

SITE PLAN FOR AUTUMN LAKES SUBDIVISION PHASE II

CONTACT INFORMATION

REFERENCES

SURVEY
"BOUNDARY SURVEY OF GAY FAMILY PARTNERSHIP II"
PREPARED BY ALLIED ASSOCIATES, PA
ALLIED ASSOCIATES JOB NO. PA160922
DATED: 12/14/2017

"TOPOGRAPHIC SURVEY"
PREPARED BY BOHLER ENGINEERING NC, PLLC
BOHLER ENGINEERING JOB NO. NCS162057
DATED: 4/28/17

GEOTECHNICAL INVESTIGATION REPORT:
"SUMMARY OF GEOTECHNICAL EVALUATION, OLD BUNN PROPERTY"
PREPARED BY SUMMIT ENGINEERING, LABORATORY & TESTING, INC.
SUMMIT PROJECT NO. 1203-08R
DATED: 10/05/16

"SUMMARY OF GEOTECHNICAL EVALUATION, 1225 OLD BUNN ROAD PROPERTY"
PREPARED BY SUMMIT ENGINEERING, LABORATORY & TESTING, INC.
SUMMIT PROJECT NO. 1203-08R
DATED: 12/13/16

ENVIRONMENTAL SITE ASSESSMENT
"PHASE I ENVIRONMENTAL SITE ASSESSMENT OLD BUNN ROAD SITE"
PREPARED BY SUMMIT ENGINEERING, LABORATORY & TESTING, INC.
SUMMIT PROJECT NO. 4285-500
DATED: 09/09/16

"PHASE I ENVIRONMENTAL SITE ASSESSMENT OLD BUNN ROAD SITE"
PREPARED BY SUMMIT ENGINEERING, LABORATORY & TESTING, INC.
SUMMIT PROJECT NO. 4285-500-2
DATED: 12/23/16

TRAFFIC ASSESSMENT
"TRAFFIC IMPACT ANALYSIS FOR AUTUMN LAKES"
PREPARED BY HAMEY KEMP & ASSOCIATES, INC.
DATED: 11/22/16

SITE PLAN FOR AUTUMN LAKES PHASE I
PREPARED BY BOHLER ENGINEERING NC, PLLC
DATED: 3/26/18

SITE PLAN AUTUMN LAKES ROADWAY IMPROVEMENTS
PREPARED BY BOHLER ENGINEERING NC, PLLC
DATED: 11/8/17

GOVERNING AGENCIES

TOWN OF ZEBULON PLANNING DEPARTMENT
1000 N. ARENDELL AVENUE
ZEBULON, NC 27597
CONTACT - JULIE SPRIGGS
PHONE: (919) 286-7455
EMAIL: JSRIGGS@TOWNOFZEBULON.ORG

CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
(919) 996-3474

WAKE COUNTY ENVIRONMENTAL SERVICES DEPARTMENT
336 FAYETTEVILLE STREET
RALEIGH, NC 27602
(919) 856-7400

NC DEPARTMENT OF TRANSPORTATION DIVISION 5
ONE S. WILMINGTON STREET
RALEIGH, NC 27601
(919) 220-4609

OWNERS

GAY FAMILY LIMITED PARTNERSHIP II
104 W HORTON STREET
ZEBULON, NC 27597

BUNN EDGAR ROGER III HEIRS
436 E SECOND STREET
OCEAN ISLE BEACH, NC 28469

DEVELOPER

LGI HOMES, INC.
3037 SHERMAN DR.
LANCASTER, SC 29720
CONTACT - JEFF WEBB
jeff.webb@lghomes.com

UTILITY SERVICE CONTACTS

SERVICE	UTILITY / GOVERNING AGENCY
WATER AND SEWER	CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT ONE EXCHANGE PLAZA, 6TH FLOOR RALEIGH, NC 27601 ROBERT MASSENGILL - DIRECTOR PHONE: (919) 996-4540
STORMWATER AND EROSION CONTROL	STORMWATER MANAGEMENT DIVISION 127 W. HARGETT STREET, 8TH FLOOR RALEIGH, NC 27601 PHONE: (919) 996-3940
GAS	PSNC ENERGY 150 FAYETTEVILLE STREET 5070 RALEIGH, NC 27601 PHONE: (800) 752-7504
ELECTRIC	DUKE ENERGY 411 FAYETTEVILLE STREET RALEIGH, NC 27601 PHONE: (800) 452-2777
TELEPHONE/CABLE	TIME WARNER CABLE 2505 ATLANTIC AVENUE #101 RALEIGH, NC 27604 PHONE: (919) 595-4892

ISSUED FOR CONSTRUCTION

06/28/18
SIGNATURE DATE

06/28/18 06/28/18
SIGNATURE DATE SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT (3) SIGNATURES

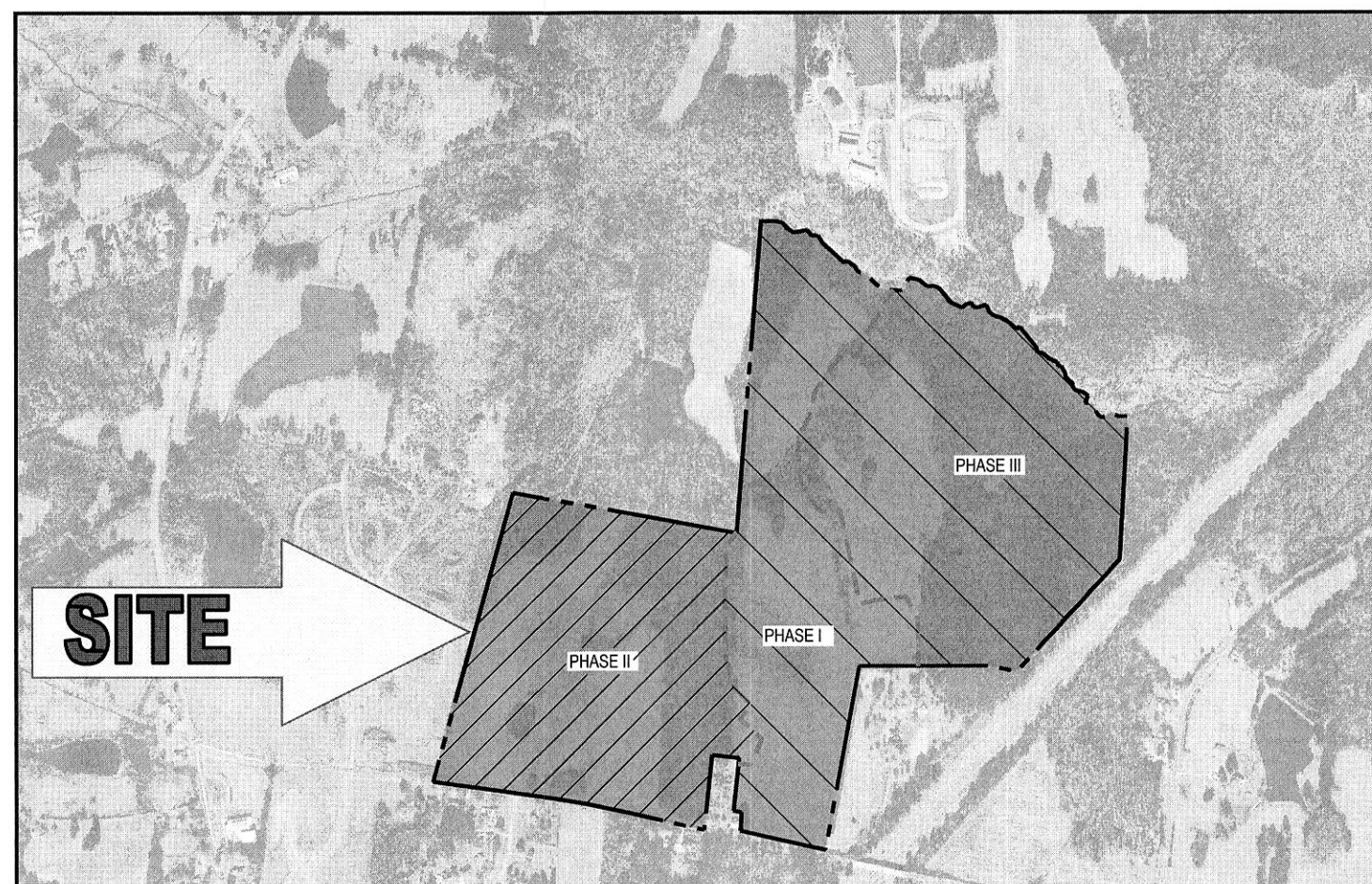
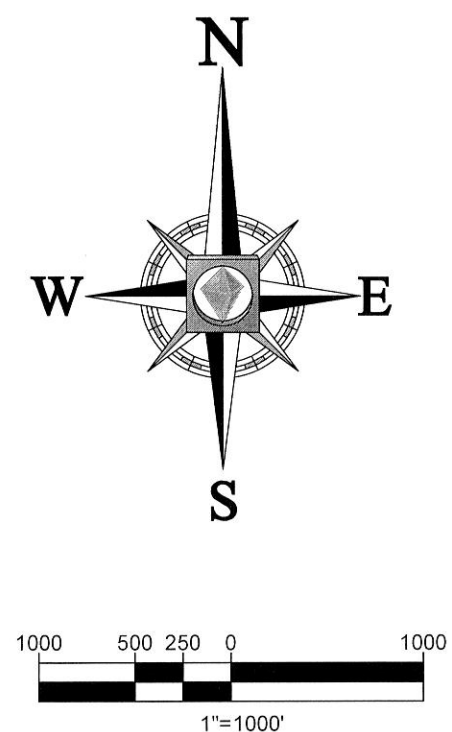
PROJECT # NCR162057

REVISION DATE:

LOCATION OF SITE

0 OLD BUNN ROAD
ZEBULON, NC 27597

PIN # 2706615785; 2706729236; 2706514158
WAKE COUNTY, NORTH CAROLINA



LOCATION MAP

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BOHLER
ENGINEERING NC, PLLC
NCBELS P-1132

4130 PARKLAKE AVE., SUITE 130
RALEIGH, NC 27612

Phone: (919) 578-9000
Fax: (919) 703-2665

NC@BohlerEng.com

CONTACT: MIKE ROSELLI - MROSELLI@BOHLERENG.COM

ADDITIONALLY THE FOLLOWING PLANS ARE INCLUDED FOR REFERENCE ONLY. THEY ARE CURRENTLY UNDER REVIEW WITH PHASE I DRAWINGS.

Sheet Number	Sheet Title
RW-1.0	OLD BUNN ROADWAY EXISTING CONDITIONS 1
RW-2.0	OLD BUNN ROADWAY IMPROVEMENT PLAN 1
RW-3.0	OLD BUNN ROAD GRADING PLAN 1
RW-4.0	OLD BUNN ROAD PAVEMENT MARKING PLAN 1

PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER(S)	3
TOTAL NUMBER OF LOT(S)	506
LOT NUMBER(S) BY PHASE	PH II: 188
PHASE II PUBLIC UTILITIES	
PUBLIC SEWER (LF)	8,189
PUBLIC WATER (LF)	7,263
PHASE II PUBLIC STREETS	
RESIDENTIAL COLLECTOR (LF)	1,572
LOCAL STREET (LF)	5,545
PUBLIC SIDEWALK (LF)	6,850

PHASE II SITE DATA

SITE AREA: (AC)	PIN# 2706615785: 185.65 AC PIN# 2706729236: 222.38 AC PIN# 2706514158: 552.01 AC Total = 1160.04 AC
ZONING:	R-13-SUD
WATERSHED:	BEAVERDAM CREEK (NEUSE RIVER BASIN)
FIRM MAP DATE:	MAY 2, 2006
FIRM MAP NUMBER:	372027060J
FLOODPLAIN:	NOT IN FLOODPLAIN
PHASE II AREA:	53.74 AC
PROPOSED # OF LOTS:	188
PROPOSED DENSITY:	2.71 DU/A
ALLOWABLE MINIMUM LOT SIZE:	4,800 SF
PROPOSED MINIMUM LOT SIZE:	5,000 SF
AVERAGE LOT SIZE:	5,000 SF
ALLOWABLE MINIMUM LOT WIDTH:	50 FT
PROPOSED MINIMUM LOT WIDTH:	50 FT
SETBACKS:	
FROM STREET RIGHT-OF-WAY (FRONT):	20
SIDEYARD:	5 MIN, 12 AGGREGATE
REARYARD:	20
MAX BUILDING HEIGHT:	2 STORIES
REQUIRED OPEN SPACE (25%):	13.40 AC
PROPOSED OPEN SPACE:	20.34 AC
INFRASTRUCTURE QUANTITIES	
AVERAGE SEWER FLOW:	90,240 GPD (188 x 480 GPD)
PROPOSED # OF DOMESTIC WATER TAPS:	191
PROPOSED # OF SEWER TAPS:	188
15" RCP:	4,616 LF
18" RCP:	977 LF
24" RCP:	1,206 LF
30" RCP:	1,073 LF
36" RCP:	553 LF
42" RCP:	303 LF
48" RCP:	617 LF
54" RCP:	63 LF
IMPERVIOUS SURFACES	
STREETS:	201,164 SF
SIDEWALKS:	33,514 SF
LOTS (MAX 2,500 SF PER LOT):	470,000 SF
TOTAL:	704,680 SF
PERCENT IMPERVIOUS: (%)	16.18 AC / 53.74 AC = 30.1%
SUBDIVISION DISTURBED AREA (AC):	45.34 AC

Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-0.1	GENERAL NOTES
C-0.2	SPECIAL USE PERMIT
C-0.3	1 OF 2 ALTA SURVEY
C-0.4	2 OF 2 ALTA SURVEY
C-2.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-3.0	OVERALL PHASING PLAN
C-3.1	SITE PLAN - AREA A
C-3.2	SITE PLAN - AREA B
C-3.3	SITE PLAN - AREA C
C-3.4	SITE PLAN - AREA D
C-3.5	STREET SIGN AND PAVEMENT MARKING PLAN
C-3.6	LIGHTING PLAN
C-4.0	GRADING PLAN - AREA A
C-4.1	GRADING PLAN - AREA B
C-4.2	GRADING PLAN - AREA C
C-4.3	GRADING PLAN - AREA D
C-4.4	BMP PLAN
C-4.5	BMP PLAN
C-4.6	BMP PLAN
C-5.0	MASTER UTILITY PLAN
C-5.1	UTILITY PLAN - AREA A
C-5.2	UTILITY PLAN - AREA B
C-5.3	UTILITY PLAN - AREA C
C-5.4	UTILITY PLAN - AREA D
C-6.0	HOWLING WIND DRIVE PLAN AND PROFILE
C-6.1	FROSTY WAY PLAN AND PROFILE
C-6.2	FROSTY WAY PLAN AND PROFILE
C-6.3	LOGAN CANYON LANE PLAN AND PROFILE
C-6.4	BRISK WAY PLAN AND PROFILE
C-6.5	BRISK WAY PLAN AND PROFILE
C-6.6	FLANNEL WAY PLAN AND PROFILE
C-6.7	GOULD STREET PLAN AND PROFILE
C-6.8	SANITARY PLAN AND PROFILE
C-6.9	SANITARY PLAN AND PROFILE
C-6.10	LINE OF SIGHT PROFILE
C-7.0	EROSION CONTROL DRAINAGE AREA PLAN
C-7.1	EROSION CONTROL PLAN PHASE I - AREA A
C-7.2	EROSION CONTROL PLAN PHASE I - AREA B
C-7.3	EROSION CONTROL PLAN PHASE I - AREA C
C-7.4	EROSION CONTROL PLAN PHASE I - AREA D
C-7.5	EROSION CONTROL PLAN PHASE II - AREA A
C-7.6	EROSION CONTROL PLAN PHASE II - AREA B
C-7.7	EROSION CONTROL PLAN PHASE II - AREA C
C-7.8	EROSION CONTROL PLAN PHASE II - AREA D
C-8.0	OVERALL LANDSCAPE PLAN
C-8.1	LANDSCAPE PLAN - AREA A
C-8.2	LANDSCAPE PLAN - AREA B
C-8.3	LANDSCAPE PLAN - AREA C
C-8.4	LANDSCAPE PLAN - AREA D
C-8.5	AMENITY AREA
C-8.6	AMENITY AREA ENLARGEMENT
C-8.7	LANDSCAPE HARDSCAPE DETAILS
C-9.0	PRE DEVELOPMENT DRAINAGE AREA PLAN
C-9.1	POST DEVELOPMENT DRAINAGE AREA PLAN
D-1.0	SITE DETAILS
D-1.1	SITE DETAILS
D-1.2	STORM DETAILS
D-1.3	SEWER DETAILS
D-1.4	SEWER DETAILS
D-1.5	WATER DETAILS
D-1.6	WATER DETAILS
D-1.7	EROSION DETAILS
D-1.8	EROSION DETAILS

Public
Water Distribution / Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # N-3541
Authorization to Construct Jim Beasley
Date 6/28/18

Public
Sewer Collection / Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-4431
Authorization to Construct Jim Beasley
Date 6/28/18

ATTENTION CONTRACTORS:
THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS. IS RESPONSIBLE FOR CONTACTING AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

BOHLER ENGINEERING NC, PLLC
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES LOGO DESIGN SIGNAGE
LIBERTY, MISSISSIPPI
NEW ENGLAND, NEW YORK
BOSTON, MASSACHUSETTS
PITTSBURGH, PENNSYLVANIA
NEW YORK, NEW YORK
NORTH CAROLINA
NORTHWESTERN, ILLINOIS
NORTHWESTERN, INDIANA
NORTHWESTERN, MISSOURI
NORTHWESTERN, OHIO
NORTHWESTERN, TEXAS
WASHINGTON, DC
WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

811
KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT NO.: NCR162057
DRAWN BY: SJK
CHECKED BY: MAR
DATE: 8/16/17
SCALE: N/A
CAD I.D.: SDZ

PROJECT: **AUTUMN LAKES PHASE II**
FOR
LGI HOMES
LOCATION OF SITE:
0 OLD BUNN RD
ZEBULON, NC 27597
WAKE COUNTY, NORTH CAROLINA

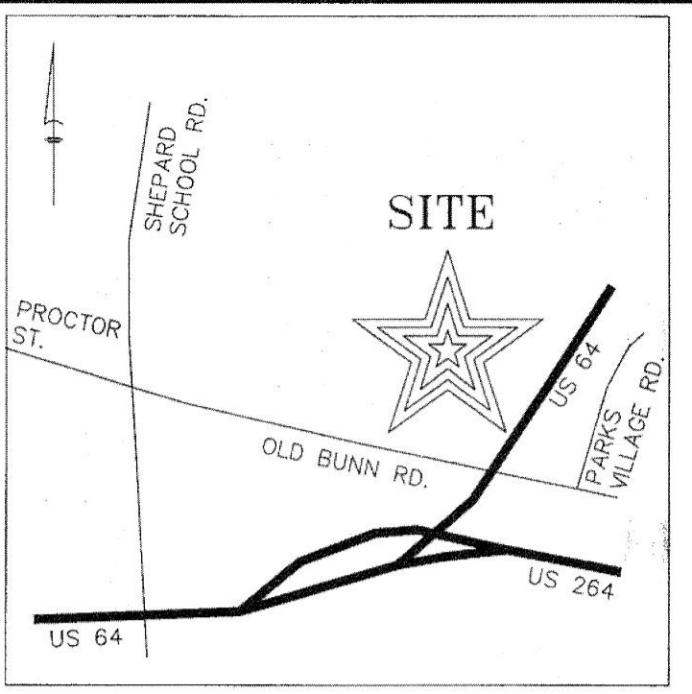
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NC@BohlerEng.com

CITY OF RALEIGH
ENGINEER
MICHAEL A. ROSELLI
06/28/2018

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-0.0

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATORY AGENCIES.



LINE	LENGTH	BEARING	TYPE
L64	60.82	N54°30'13"W	CONTROL
L65	470.27	S77°16'56"E	CONTROL
L66	65.76	N77°09'11"W	PROPERTY
L67	143.22	N03°49'21"E	PROPERTY
L68	112.00	N77°10'22"W	PROPERTY

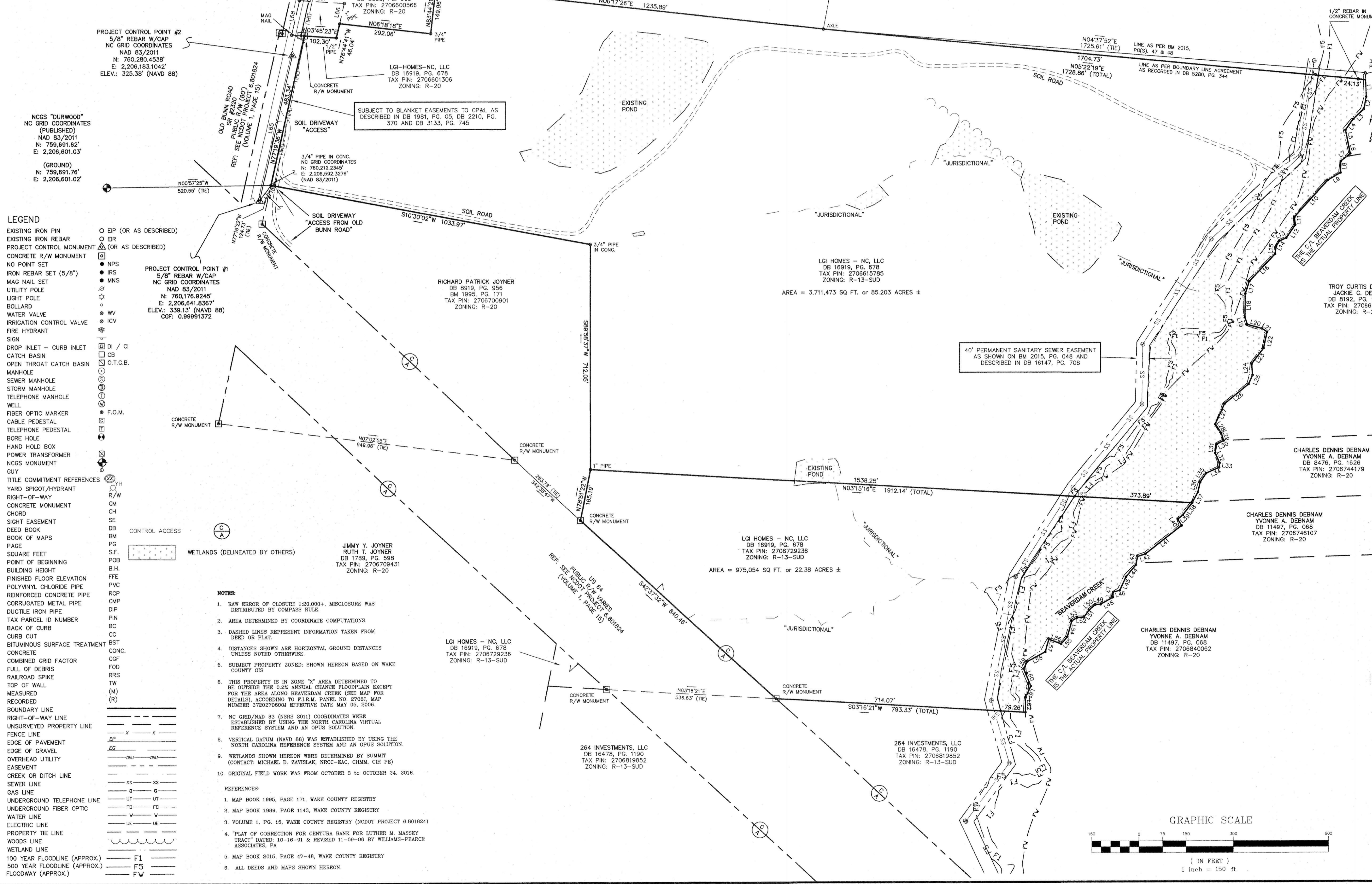
CERTIFICATE OF ACCURACY OF MAPPING
WAKE COUNTY, NORTH CAROLINA

I, DAVID K. ALLEY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 16919, PAGE 870); THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN DEEDS AS REFERENCED HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:1000+; THAT THE SITE CONTROL SHOWN HEREON WAS ESTABLISHED UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS SURVEY: 1) CLASS OF SURVEY CLASS A; 2) POSITIONAL ACCURACY DOES NOT EXCEED 0.10; 3) TYPE OF GPS FIELD PROCEDURE - STATIC; 4) DATE OF SURVEY - 10/18/16; 5) DATUM/EPOCH - NAD 83(2011); 6) PUBLISHED/FIXED CONTROL - OPUS; 7) GRID MODEL - GRID12A; 8) COMBINED GRID FACTOR - 0.9991372; 9) UNITS - U.S. SURVEY FOOT; AND THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH THE STANDARDS AND PRACTICE FOR LAND SURVEYING AS OUTLINED BY THE NC ADMINISTRATIVE CODE, TITLE 81, CHAPTER 56.

WITNESS MY HAND AND OFFICIAL SEAL THIS 14TH DAY OF DECEMBER, 2017.

David K. Alley
L-4492
LICENSE NO. PROFESSIONAL LAND SURVEYOR

VICINITY MAP NOT TO SCALE



BOEX, LLC
DB 15435, PG. 765
TAX PIN: 2706427500
ZONING: R-13-SUD

PATRICIA K. WESTOVER
DB 6231, PG. 1844
TAX PIN: 2706548655
ZONING: R-20

CALLS ALONG C/L BEAVERDAM CREEK

LINE	LENGTH	BEARING
L1	52.40	N87°55'41"E
L2	41.11	S77°41'59"E
L3	45.49	S44°29'30"E
L4	41.97	S54°30'10"E
L5	41.89	N78°13'57"E
L6	33.89	N78°48'46"E
L7	38.58	S38°37'59"E
L8	36.45	S88°37'44"E
L9	46.08	S30°36'48"E
L10	198.03	S47°50'56"E
L11	25.33	N84°38'38"E
L12	48.65	S55°49'52"E
L13	24.79	S25°19'51"E
L14	20.00	S58°51'39"E
L15	23.69	S82°42'42"E
L16	119.30	S46°51'25"E
L17	41.40	S72°43'59"E
L18	75.26	S88°54'54"E
L19	24.24	N72°07'37"E
L20	47.90	N15°03'42"E
L21	19.05	N33°04'54"E
L22	52.86	S77°52'56"E
L23	62.32	S53°00'20"E
L24	35.84	N85°06'54"E
L25	31.48	S65°34'31"E
L26	98.44	S39°11'32"E
L27	70.37	S65°48'59"E
L28	26.87	N53°45'00"E
L29	24.94	N71°13'59"E
L30	24.53	S26°42'46"E
L31	28.62	S79°47'04"E
L32	34.43	N65°54'28"E
L33	14.23	S83°58'50"E
L34	45.69	S23°41'16"E
L35	33.15	S56°22'04"E
L36	31.97	S76°56'11"E
L37	39.45	S62°15'26"E
L38	48.82	S82°31'21"E
L39	20.92	S40°30'38"E
L40	23.68	N58°29'41"E
L41	146.75	S38°22'22"E
L42	26.49	S17°43'49"E
L43	27.29	S78°29'35"E
L44	49.16	S50°19'45"E
L45	47.50	S65°09'57"E
L46	21.65	S13°43'55"E
L47	16.90	S86°48'51"E
L48	44.79	S29°33'58"E
L49	16.65	S82°59'42"E
L50	27.30	S41°09'36"E
L51	27.78	S53°46'53"E
L52	20.86	S01°54'03"E
L53	20.46	S31°11'09"E
L54	92.58	S74°19'15"E
L55	29.74	S49°58'34"E
L56	42.00	S19°56'34"W
L57	41.34	S74°14'28"E
L58	65.10	S28°13'33"E
L59	26.21	S62°37'51"E
L60	59.81	N67°15'33"E
L61	41.23	S65°26'21"E
L62	46.42	N89°57'37"E

LEGEND

- EXISTING IRON PIN
- EXISTING IRON REBAR
- PROJECT CONTROL MONUMENT (OR AS DESCRIBED)
- CONCRETE R/W MONUMENT
- NO POINT SET
- IRON REBAR SET (5/8")
- MAG NAIL SET
- UTILITY POLE
- LIGHT POLE
- BOLLARD
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- SIGN
- DROP INLET - CURB INLET
- CATCH BASIN
- OPEN THROAT CATCH BASIN
- MANHOLE
- SEWER MANHOLE
- STORM MANHOLE
- TELEPHONE MANHOLE
- WELL
- FIBER OPTIC MARKER
- CABLE PEDESTAL
- TELEPHONE PEDESTAL
- BORE HOLE
- HAND HOLD BOX
- POWER TRANSFORMER
- NCGS MONUMENT
- GUY
- TITLE COMMITMENT REFERENCES
- YARD SPIGOT/HYDRANT
- RIGHT-OF-WAY
- CONCRETE MONUMENT
- CHORD
- SIGHT EASEMENT
- DEED BOOK
- BOOK OF MAPS
- PAGE
- SQUARE FEET
- POINT OF BEGINNING
- BUILDING HEIGHT
- FINISHED FLOOR ELEVATION
- POLYVINYL CHLORIDE PIPE
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- DUCTILE IRON PIPE
- TAX PARCEL ID NUMBER
- BACK OF CURB
- CURB CUT
- BITUMINOUS SURFACE TREATMENT
- CONC.
- COMBINED GRID FACTOR
- FULL OF DEBRIS
- RAILROAD SPIKE
- TOP OF WALL
- MEASURED
- RECORDED
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- UNSURVEYED PROPERTY LINE
- FENCE LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- OVERHEAD UTILITY
- EASEMENT
- CREEK OR DITCH LINE
- SEWER LINE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND FIBER OPTIC
- WATER LINE
- ELECTRIC LINE
- PROPERTY TIE LINE
- WOODS LINE
- WETLAND LINE
- 100 YEAR FLOODLINE (APPROX.)
- 500 YEAR FLOODLINE (APPROX.)
- FLOODWAY (APPROX.)

PROJECT CONTROL POINT #1
5/8" REBAR W/CAP
NC GRID COORDINATES
NAD 83/2011
N: 760,176.9245'
E: 2,206,641.8367'
ELEV.: 339.13' (NAVD 88)
CGF: 0.99991372

JIMMY Y. JOYNER
RUTH T. JOYNER
DB 1789, PG. 588
TAX PIN: 2706709431
ZONING: R-20

- NOTES:
1. RAW ERROR OF CLOSURE 1:20,000+. MISCLOSURE WAS DISTRIBUTED BY COMPASS RULE.
 2. AREA DETERMINED BY COORDINATE COMPUTATIONS.
 3. DASHED LINES REPRESENT INFORMATION TAKEN FROM DEED OR PLAT.
 4. DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
 5. SUBJECT PROPERTY ZONED: SHOWN HEREON BASED ON WAKE COUNTY GIS.
 6. THIS PROPERTY IS IN ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN EXCEPT FOR THE AREA ALONG BEAVERDAM CREEK (SEE MAP FOR DETAILS), ACCORDING TO F.I.R.M. PANEL NO. 2706Z, MAP NUMBER 372027060G1 EFFECTIVE DATE MAY 05, 2006.
 7. NC GRID/NAD 83 (NRS 2011) COORDINATES WERE ESTABLISHED BY USING THE NORTH CAROLINA VIRTUAL REFERENCE SYSTEM AND AN OPUS SOLUTION.
 8. VERTICAL DATUM (NAVD 88) WAS ESTABLISHED BY USING THE NORTH CAROLINA REFERENCE SYSTEM AND AN OPUS SOLUTION.
 9. WETLANDS SHOWN HEREON WERE DETERMINED BY SUMMIT (CONTACT: MICHAEL D. ZAVIJSKAK, NRCC-EAC, CHMM, CH PE).
 10. ORIGINAL FIELD WORK WAS FROM OCTOBER 3 TO OCTOBER 24, 2016.

- REFERENCES:
1. MAP BOOK 1996, PAGE 171, WAKE COUNTY REGISTRY
 2. MAP BOOK 1989, PAGE 1143, WAKE COUNTY REGISTRY
 3. VOLUME 1, PG. 15, WAKE COUNTY REGISTRY (NCDOT PROJECT 6.801824)
 4. "PLAT OF CORRECTION FOR CENTURA BANK FOR LUTHER M. MASSEY TRACT" DATED 10-16-91 & REVISED 11-09-08 BY WILLIAMS-PEARCE ASSOCIATES, PA
 5. MAP BOOK 2015, PAGE 47-48, WAKE COUNTY REGISTRY
 6. ALL DEEDS AND MAPS SHOWN HEREON.

BOUNDARY SURVEY FOR:
LGI HOMES-NC, LLC

OWNER:
LGI HOMES - NC, LLC
3037 SHERMAN DRIVE
LANCASTER, SC 29720-0063

TAX PIN: 2706615785
DEED BOOK 16919, PAGE 878
85.203 ACRES +/- (TOTAL)

TAX PIN: 2706729236
DEED BOOK 16919, PAGE 878
22.38 ACRES +/- (TOTAL)

TOTAL AREA = 107.583 +/-

Allied Associates, P.A.
4720 KESTER MILL ROAD PHONE (336) 765-2377
WINSTON-SALEM, N.C. 27103 FAX 760-8886
www.alliedapps.com NC LICENSE C-2198

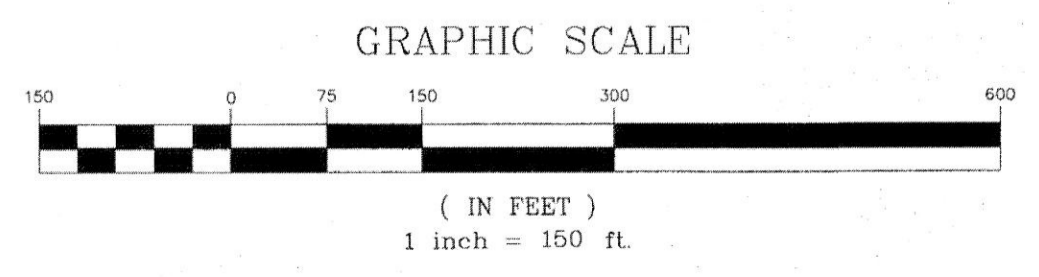
SCALE 1" = 150'

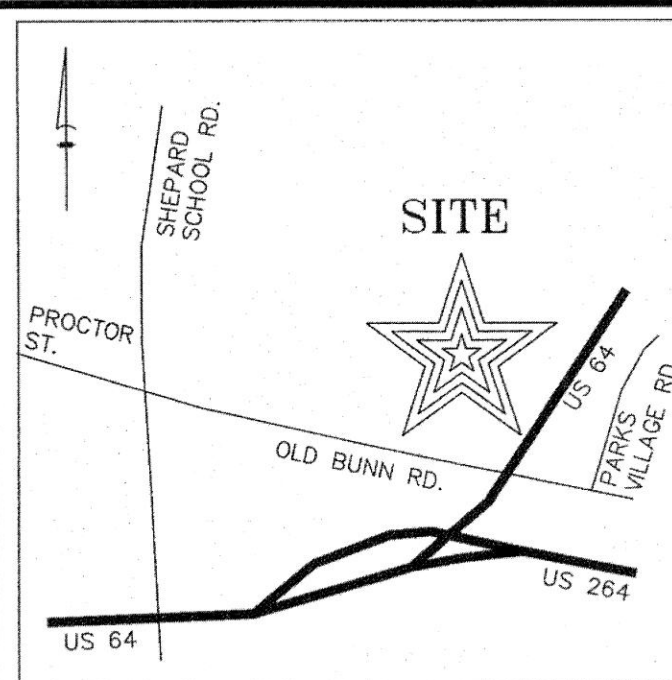
TOWNSHIP LITTLE RIVER
COUNTY WAKE
STATE NORTH CAROLINA

DATE 12/14/17

SURVEYED: TR RW PJ
MAPPED: DA
JOB NO: PA160922
MAP NO: DB2.dwg
TDS
O&A

© Allied Assoc., PA 2017





- NOTES:**
1. RAW ERROR OF CLOSURE 1:20,000+; MIS-CLOSURE WAS DISTRIBUTED BY COMPASS RULE.
 2. AREA DETERMINED BY COORDINATE COMPUTATIONS.
 3. DISTANCE LINES REPRESENT INFORMATION TAKEN FROM DEED OR PLAT.
 4. DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
 5. SUBJECT PROPERTY ZONED: SHOWN HEREON BASED ON WAKE COUNTY GIS.
 6. THIS PROPERTY IS IN ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.25 ANNUAL CHANCE FLOODPLAIN EXCEPT FOR THE AREA ALONG BEAVERDAM CREEK (SEE MAP FOR DETAILS), ACCORDING TO F.I.R.M. PANEL NO. 27061, MAP NUMBER 3720270600J EFFECTIVE DATE MAY 05, 2006.
 7. NC GRID/NAD 83 (NRS 2011) COORDINATES WERE ESTABLISHED BY USING THE NORTH CAROLINA VIRTUAL REFERENCE SYSTEM AND AN OPUS SOLUTION.
 8. VERTICAL DATUM (NAVD 88) WAS ESTABLISHED BY USING THE NORTH CAROLINA REFERENCE SYSTEM AND AN OPUS SOLUTION.

SURVEYOR'S CERTIFICATE

The undersigned, being a Professional Land Surveyor of the State of North Carolina certifies to LGI Homes-NC, LLC, their successors and assigns, the successors and assigns and Chicago Title Insurance Company as follows:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 10(a) 13, 14, 16, 17 and 19 of Table A thereof, and this survey meets the requirements for an Urban Survey as defined therein.

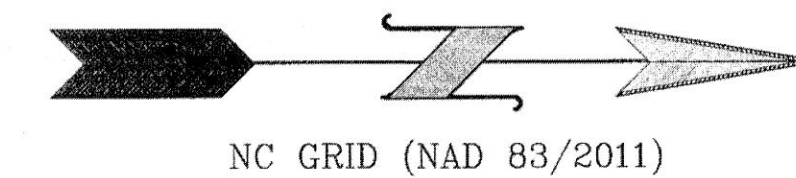
The survey was made on the ground on October 3-25, 2016 and correctly shows the area of the subject property, the location and type of all buildings, structures, and other improvements situated on the subject property.

Date of Plat or Map: March 12, 2017

Surveyor's Name: David K. Alley
 License Number: L-4492

Signed: *David K. Alley*

- REFERENCES:**
1. MAP BOOK 1995, PAGE 171, WAKE COUNTY REGISTRY
 2. MAP BOOK 1989, PAGE 1143, WAKE COUNTY REGISTRY
 3. VOLUME 1, PG. 15, WAKE COUNTY REGISTRY (NCDOT PROJECT 6.801824)
 4. ALL DEEDS AND MAPS SHOWN HEREON.



- Chicago Title Insurance Company
 Commitment Number: 17-04290CH -- Effective Date: March 6, 2016 at 8:00 am.
- SCHEDULE B -- SECTION II EXCEPTIONS**
- 1) Defects, liens, encumbrances, adverse claims or other matter, if any, created, first appearing in the public records of attaching subsequent to the Effective Date but prior to the date the proposed insured acquires for value of the estate or interest or mortgage thereon covered by this Commitment. --NOT A MATTER OF SURVEY.
 - 2) Taxes or assessments for the year 2017, and subsequent years, not yet due or payable. --NOT A MATTER OF SURVEY.
 - 3) Right(s) of way to Department of Transportation recorded in Book 2612, page 35. --INTERSECTION OF SR #2320 AND SR #2341 -- SUBJECT PROPERTY HAS FRONTAGE ON SR #2320.
 - 4) Agreement for Communications Systems Easement to American Telephone & Telegraph Company recorded in Book 3704, page 813. --15' EASEMENT -- NOT ABLE TO DETERMINE LOCATION DUE TO VAGUE DESCRIPTION.
 - 5) Right(s) of way to Carolina Power & Light Company recorded in Book 4366, page 938. --AS SHOWN HEREON.
 - 6) Easement(s) to Duke Energy Progress, Inc. recorded in Book 15537, page 1232. --AS SHOWN HEREON.
 - 7) Easement(s) to Duke Energy Progress, Inc. recorded in Book 15537, page 1235. --AS SHOWN HEREON.
 - 8) The correctness of the square footage/acreage computation contained in the description of the Land is not insured. --NOT A MATTER OF SURVEY.
 - 9) Title to any portion of the Land lying within the right of way of S.R. 2320. --NOT A MATTER OF SURVEY.
 - 10) Rights of others in and to the continuous and uninterrupted flow of the waters bounding or crossing the Land and riparian and/or littoral rights incident to the Land. --NOT A MATTER OF SURVEY -- FOND AND CREEKS SHOWN HEREON.
 - 11) Any discrepancy, conflict, access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean higher water mark or within the bounds of any adjoining body of water, or other adverse circumstances affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. --AS SHOWN HEREON.

- LEGEND**
- EXISTING IRON PIN
 - EXISTING IRON REBAR
 - PROJECT CONTROL MONUMENT
 - CONCRETE R/W MONUMENT
 - NO POINT SET
 - IRON REBAR SET (5/8")
 - MAG NAIL SET
 - UTILITY POLE
 - LIGHT POLE
 - BOLLARD
 - WATER VALVE
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - SIGN
 - DROP INLET - CURB INLET
 - CATCH BASIN
 - OPEN THROAT CATCH BASIN
 - MANHOLE
 - SEWER MANHOLE
 - STORM MANHOLE
 - TELEPHONE MANHOLE
 - WELL
 - FIBER OPTIC MARKER
 - CABLE PEDESTAL
 - TELEPHONE PEDESTAL
 - BORE HOLE
 - HAND HOLD BOX
 - POWER TRANSFORMER
 - NCSS MONUMENT
 - GUY
 - TITLE COMMITMENT REFERENCES
 - YARD SPIGOT/HYDRANT
 - RIGHT-OF-WAY
 - CONCRETE MONUMENT
 - CHORD
 - SIGHT EASEMENT
 - DEED BOOK
 - PLAT BOOK
 - PAGE
 - SQUARE FEET
 - POINT OF BEGINNING
 - BUILDING HEIGHT
 - FINISHED FLOOR ELEVATION
 - POLYVINYL CHLORIDE PIPE
 - REINFORCED CONCRETE PIPE
 - CORRUGATED METAL PIPE
 - DUCTILE IRON PIPE
 - TAX PARCEL ID NUMBER
 - BACK OF CURB
 - CURB CUT
 - BUTYMINOUS SURFACE TREATMENT
 - CONCRETE
 - COMBINED GRID FACTOR
 - FULL OF DEBRIS
 - RAILROAD SPIKE
 - TOP OF WALL
 - MEASURED
 - RECORDED
 - BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - UNSURVEYED PROPERTY LINE
 - FENCE LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - OVERHEAD UTILITY
 - EASEMENT
 - CREEK OR DITCH LINE
 - SEWER LINE
 - GAS LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND FIBER OPTIC
 - WATER LINE
 - ELECTRIC LINE
 - PROPERTY TIE LINE
 - WOODS LINE
 - WETLAND LINE
 - 100 YEAR FLOODLINE (APPROX.)
 - 500 YEAR FLOODLINE (APPROX.)
 - FLOODWAY (APPROX.)
 - CONTROL ACCESS
 - WETLANDS (DELINEATED BY OTHERS)

CERTIFICATE OF ACCURACY OF MAPPING
 WAKE COUNTY, NORTH CAROLINA

I, DAVID K. ALLEY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 17036 PAGE 567); THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN DEEDS AS REFERENCED HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10000+; THAT THE SITE CONTROL SHOWN HEREON WAS ESTABLISHED UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS SURVEY: 1) CLASS OF SURVEY CLASS A; 2) POSITIONAL ACCURACY DOES NOT EXCEED (S.D.): 3) TYPE OF GPS FIELD PROCEDURE: STATIC; 4) DATE OF SURVEY: 10/15/16; 5) DATUM/EPOCH: NAD 83(2011); 6) PUBLISHED/FIXED CONTROL: OPUS; 7) GEOD MODEL: GEOD12A; COMBINED GRID FACTOR: 0.9999372; 8) UNITS: U.S. SURVEY FOOT; AND THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH THE STANDARDS AND PRACTICE FOR LAND SURVEYING AS OUTLINED BY THE NC ADMINISTRATIVE CODE, TITLE 21, CHAPTER 56.

WITNESS MY HAND AND OFFICIAL SEAL THIS 12TH DAY OF FEBRUARY, 2017.

L-4492
 LICENSE NO. PROFESSIONAL LAND SURVEYOR

Signed: *David K. Alley*



TRACT 2 -- BOOK OF MAPS 2018, PAGE 218

EDGAR ROGER BUNN, III HEIRS
 BUNN FARMS, INC.
 "REMAINDER"

DB 2261, PG. 273
 DB 5068, PG. 215 (PARCEL 2 (FIRST TRACT))
 TAX PIN: 2706502154
 ZONING: R-20

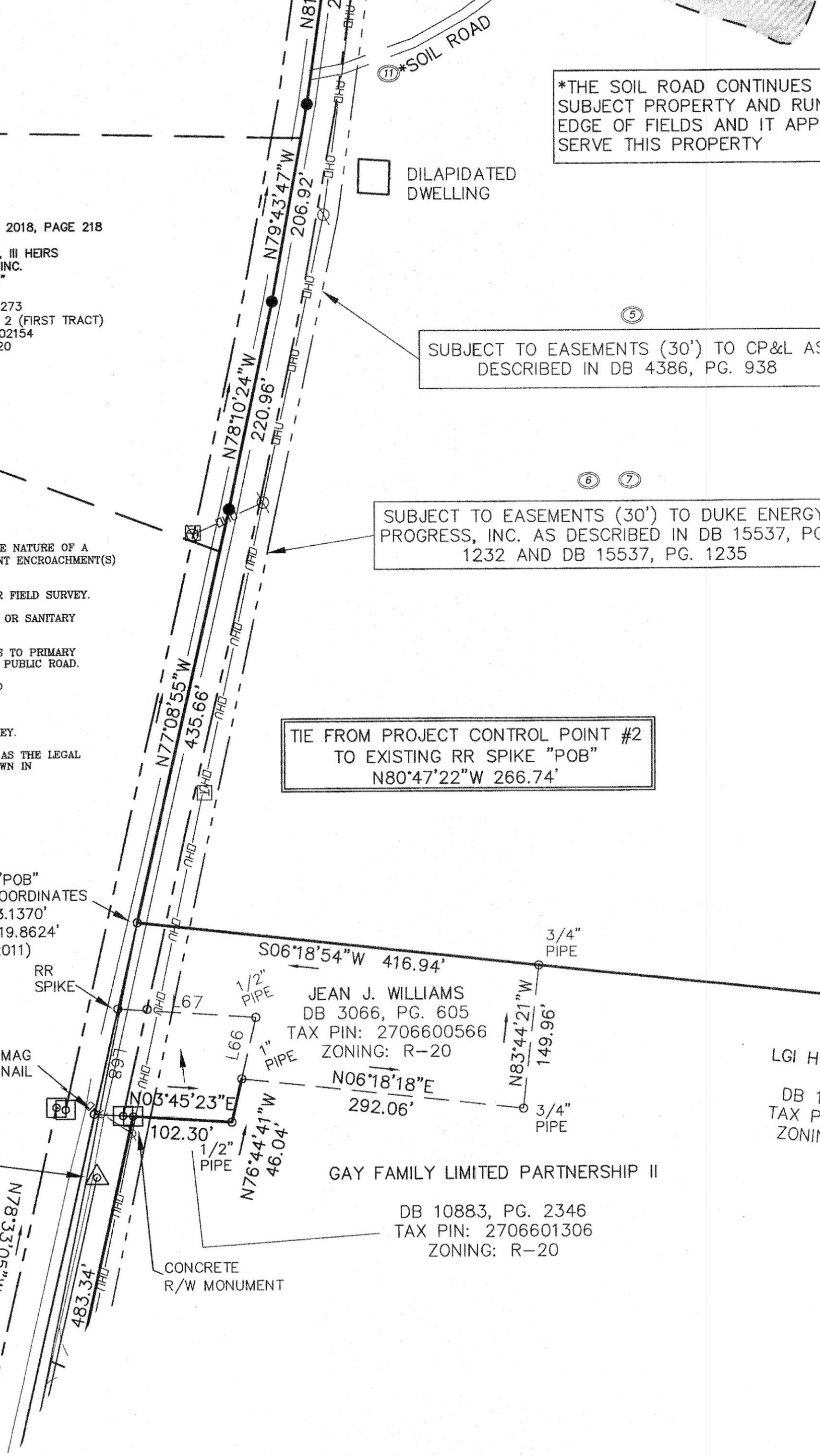
SURVEYOR OBSERVATIONS:

9. WITHOUT EXPRESSING A LEGAL OPINION AS TO OWNERSHIP OR TO THE NATURE OF A POTENTIAL ENCROACHMENT, GAPS OR GORES, THERE ARE NO APPARENT ENCROACHMENT(S) GAPS OR GORES AS PER THE EVIDENCE SHOWN ON THIS SURVEY.
10. THERE WAS NO EARTH MOVING OBSERVED DURING THE TIME OF OUR FIELD SURVEY.
11. NO EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL THE DURING TIME OF OUR FIELD SURVEY.
12. AS SHOWN HEREON THIS PLAT, THE SUBJECT PROPERTY HAS ACCESS TO PRIMARY ACCESSWAY -- THE PROPERTY LINE LIES WITHIN OLD BUNN ROAD, A PUBLIC ROAD.
13. WETLAND MARKERS WERE OBSERVED DURING THE FIELD SURVEY AND ARE SHOWN HEREON AS PER THE EVIDENCE SHOWN BY SUMMIT (CONTACT: MICHAEL D. ZAVISLAK, NRCC-EAC, CHMM, CH PR)
14. CURRENT RECORD LEGAL DESCRIPTION IS NOT BASED ON THIS SURVEY.
15. THE SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE THE SAME AS THE LEGAL DESCRIPTION IN THE TITLE COMMITMENT AND BEING TRACT 1 AS SHOWN IN MAP BOOK 2018, PAGE 218.

PROJECT CONTROL POINT #2
 5/8" REBAR W/CAP
 NC GRID COORDINATES
 NAD 83/2011
 N: 760,280.4538'
 E: 2,206,183.1042'
 ELEV.: 325.38' (NAVD 88)

TIE LINE TABLE

LINE	LENGTH	BEARING	TYPE
L64	60.82	N54°30'13"W	CONTROL
L65	470.27	S77°16'56"E	CONTROL
L66	65.76	N77°00'11"W	PROPERTY
L67	143.22	N03°49'21"E	PROPERTY
L68	112.00	N77°10'22"W	PROPERTY



TRACT 1 -- BOOK OF MAPS 2018, PAGE 218

LGI HOMES NC, LLC
 DB 17036, PG. 567
 TAX PIN: 2706513257
 ZONING: R-20

AREA = 2,265,600 SQ. FT. or 52.011 ACRES ±

LEGAL DESCRIPTION AS PER SURVEY

Lying and being in the Little River Township, Wake County, Zebulon, North Carolina and being a portion of Tax PIN: 2706514158.

COMMENCING at Project Control #1 having North Carolina Grid Coordinates (NAD 83/2011) of Northing: 760,176,924.8 feet; Easting: 2,205,641,837 feet; N 78°30'17" W, 746.83 feet (grid) to an existing railroad spike in the center of Old Bunn Road (SR #2320) having North Carolina Grid Coordinates (NAD 83/2011) of Northing: 760,323,149 feet; Easting: 2,205,919,829 feet; and railroad spike being the POINT OF BEGINNING. THENCE with the centerline of Old Bunn Road (SR #2320) the following five (5) calls: (1) N 77°08'55" W, 435.68 feet to a point; (2) N 78°10'24" W, 220.96 feet to a point; (3) N 78°43'47" W, 206.92 feet to a point; (4) N 81°51'07" W, 287.42 feet to a point; (5) N 82°08'55" W, 388.01 feet to a point being a common corner with Book, LLC (Deed Book 15435, Page 765); THENCE leaving said road and with the common line of Book, LLC (Deed Book 15435, Page 765) the following two (2) calls: (1) N 15°24'38" E, a total distance of 1660.12 feet (passing an existing 3/4" pipe at 30.27 feet) to an existing 1/2" rebar in a concrete monument; (2) S 78°33'07" W, 1254.67 feet to an existing 5/8" rebar in a concrete monument; THENCE continuing with the common line of the LGI Homes - NC, LLC (Deed Book 16919, Page 678) 8 06'17"26" W, 1235.89 feet to an existing 3/4" pipe being a common corner with Jean J. Williams (Deed Book 3066, Page 605); THENCE with the common line of Jean J. Williams (Deed Book 3066, Page 605) 8 06'17"26" W, 1235.89 feet TO THE POINT AND PLACE OF BEGINNING AND CONTAINING AN AREA OF 2,265,600 SQUARE FEET or 52.011 ACRES MORE OR LESS.

Being all of Tract 1 of Book of Maps 2018, Page 218 as recorded in the Wake County Register of Deeds.

CURRENT RECORD LEGAL DESCRIPTION AS PER TITLE COMMITMENT

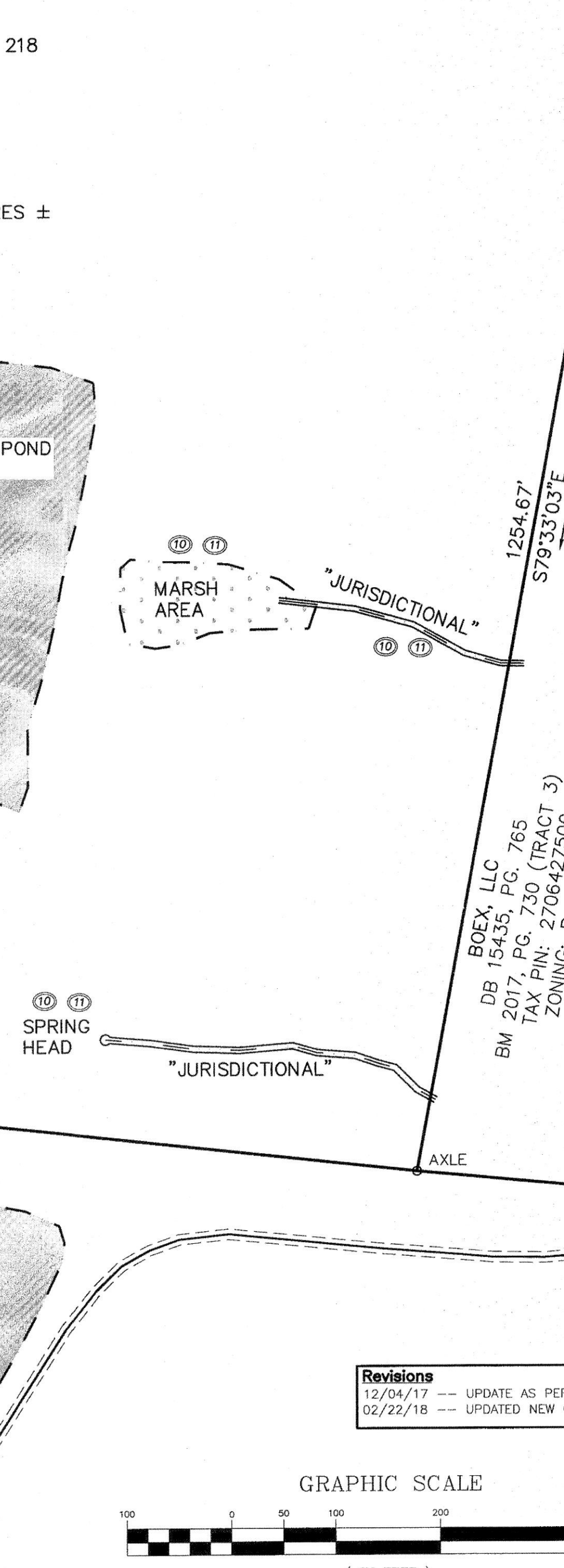
That certain tract of land containing 58.57 acres, more or less, located in Little River Township, Wake County, North Carolina; and bounded, now or formerly, by natural boundaries and/or lands owned by and/or in the possession of persons as follows: North by Dr. L. M. Massey, East by J. R. Joyner, Finch Property and SR 2320, South by SR 2320 and right-of-way of new US 64 By-Pass; and West by Dr. L. M. Massey and Windley Property; said tract lying approximately one mile North of the Town of Zebulon, and being more specifically described as follows:

BEGINNING at an iron stake in the northern right-of-way line of S.R. 2320 said iron stake being located at the intersection of the northern right-of-way line of S.R. 2320 and the southeastern corner of Dr. L. M. Massey; runs thence with the line of Massey North 22° 25' East 1630.63 feet to an iron stake; runs thence with the line of Massey South 72° 32' East 1295.61 feet to an iron stake; runs thence with the line of Dr. L. M. Massey South 10° 19' West 452.42 feet to an iron stake; runs thence with the line of Joyner South 19° 19' West 1213.84 feet to an iron stake in the northern right-of-way line of S. R. Joyner South 10° 19' West 30.68 feet to a nail and cap in the centerline of S.R. 2320; runs thence North 70° 08' West 87.51 feet to an iron stake in the centerline of S.R. 2320; runs thence North 70° 08' West 414.32 feet to a nail and cap in the centerline of S.R. 2320; runs thence South 27° 28' West 30.38 feet to an iron stake in the southern right-of-way line of S.R. 2320; runs thence South 27° 28' West 373.54 feet to an iron stake; runs thence South 13° 07' West 201.29 feet to a concrete monument in the northwestern right-of-way line of new U. S. Highway 64 By-Pass; runs thence with the northwestern right-of-way line of U. S. Highway 64 By-Pass South 82° 59' West 285.25 feet to a concrete monument in the northwestern right-of-way line of new U. S. Highway 64 By-Pass; runs thence and cap in the centerline of S.R. 2320; runs thence with the centerline of S.R. 2320 North 74° 55' West 705.35 feet to a nail and cap in the centerline of S.R. 2320; runs thence North 22° 25' East 30.25 feet to an iron stake in the northern right-of-way line of S.R. 2320, the point and place of BEGINNING and being all of a 58.57 acre tract of land according to a map and survey of Harold A. Miller, R.L.S. dated August 9, 1974 and entitled "Property Survey for Edgar Roger Bunn, Jr. and Edgar Roger Bunn, III, Little River Township, Wake County, North Carolina."

ALTA/NSPS LAND TITLE SURVEY FOR:
LGI HOMES-NC, LLC

OWNER:
 LGI HOMES NC, LLC
 3037 SHERMAN DRIVE
 LANCASTER, SC 29720

TAX PIN: 2706513257
 DEED BOOK 17036, PAGE 567
 52.01 ACRES +/- (TOTAL)



Revisions

12/04/17 -- UPDATE AS PER ATTORNEY COMMENTS
 02/22/18 -- UPDATED NEW OWNER INFORMATION

Allied Associates, P.A.
 4720 KESTER MILL ROAD PHONE (336) 765-2377
 WINSTON-SALEM, N.C. 27103 FAX 760-8868
 www.alliedpa.com NC LICENSE C-2198

SCALE TOWNSHIP COUNTY STATE DATE
 1" = 100' LITTLE RIVER WAKE NORTH CAROLINA 03/12/17

SURVEYED: MAPPED: JOB NO. MAP NO. TDS
 TR JW PJ DA PA160922 OBZ_50.dwg OBZ

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DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTE
---	PROPERTY LINE	---
---	ADJACENT LOT LINE	---
---	CONCRETE CURB & GUTTERS	---
---	SOIL ROAD	---
X X	WIRE FENCE	X X X X
---	LIMITS OF DISTURBANCE	---
100' 100'	100-YR FLOODPLAIN	---
---	FLOODWAY	---
---	UNDERGROUND WATER LINE	---
---	OVERHEAD WIRE	---
---	FIBER OPTIC	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	UTILITY POLE/LIGHT	---
---	SANITARY MANHOLE	---
---	STORM INLET	---
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
2. EXISTING SURVEY AND TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEY PROVIDED BY ALLIED ASSOCIATES, A TITLE BOUNDARY SURVEY OF GAY FAMILY PARTNERSHIP II, DATED OCTOBER, 26 2016, AS WELL AS ADDITIONAL TOPOGRAPHIC SURVEY PERFORMED BY BOHLER ENGINEERING NC, PLLC ON 4/28/17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. PHASE I SHOWN BASED ON AUTUMN LAKES PHASE I APPROVED PLANS.
4. BASED ON THE DELINEATION AND REPORT PROVIDED BY SUMMIT ENGINEERING, LABORATORY AND TESTING, P.C. THERE ARE SIX JURISDICTIONAL WETLANDS, SEVEN JURISDICTIONAL CHANNELS, & TWO JURISDICTIONAL PONDS LOCATED ON THE SITE. ALL BUFFERS SHOWN HEREIN ARE BASED ON THIS DELINEATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
6. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL IN PLACE SUB-SURFACE UTILITY INFORMATION INCLUDING HORIZONTAL AND VERTICAL LOCATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
7. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT OR TOWN OF ZEBULON REQUIREMENTS ARE OBTAINED.
9. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

DEMOLITION NOTES

1. REFER TO GENERAL NOTES ON SHEET C-0.1.
2. ALL EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO FENCING, UTILITIES, BUILDINGS, SEPTIC TANKS, WELLS, SIGNS, PAVING, SHALL BE REMOVED EVEN IF NOT SHOWN ON THIS PLAN.
3. ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
4. ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE REMOVED COMPLETELY. THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN FILL MATERIAL AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING TREES AND OTHER VEGETATION, ONLY AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
6. WITH ANY CONCRETE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE THE CONCRETE TO THE NEAREST JOINT OR SAW CUT TO PROVIDE CLEAN EDGE.
7. WITH ANY ASPHALT SHOWN TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT TO PROVIDE A CLEAN EDGE.
8. ALL UTILITIES TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY MEASURES ARE TAKEN, WHETHER TEMPORARY OR PERMANENT, TO ALLOW FOR PROPER FUNCTIONING OF EXISTING UTILITIES.
9. ANY EXISTING WELL HEADS SHALL BE REMOVED TO A MINIMUM OF FIVE (5) FEET BELOW PROPOSED FINAL GRADE AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS. CONTRACTOR SHALL VERIFY THAT WELL HEADS ARE REMOVED TO A DEPTH SUITABLE FOR THE INSTALLATION OF INFRASTRUCTURE AND UTILITIES IN GRADE ABOVE, INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, SANITARY SEWER, WATER, AND ASSOCIATED SERVICES. ALL SERVICE LINES FROM THE WELL SHALL BE COMPLETELY REMOVED. ANY WORK PERFORMED ON THE WELL MUST BE DONE BY A LICENSED UTILITY CONTRACTOR.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION & EXTENTS OF ANY SEPTIC SYSTEM AND REMOVING COMPLETELY. ANY REMOVAL MUST BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
11. ALL EXISTING DRAINAGE PIPES AND FENCES WITHIN DEVELOPED AREA SHALL BE REMOVED COMPLETELY.

BOHLER ENGINEERING NC, PLLC

ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

OFFICES:
 • RALEIGH, NC
 • CHARLOTTE, NC
 • FAYETTEVILLE, NC
 • GREENSBORO, NC
 • HUNTSVILLE, AL
 • KANSAS CITY, MO
 • MEMPHIS, TN
 • NASHVILLE, TN
 • PITTSBURGH, PA
 • RICHMOND, VA
 • TAMPA, FL
 • WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

811

KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG

It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 200'
 CAD ID: DP2

AUTUMN LAKES PHASE II FOR

LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

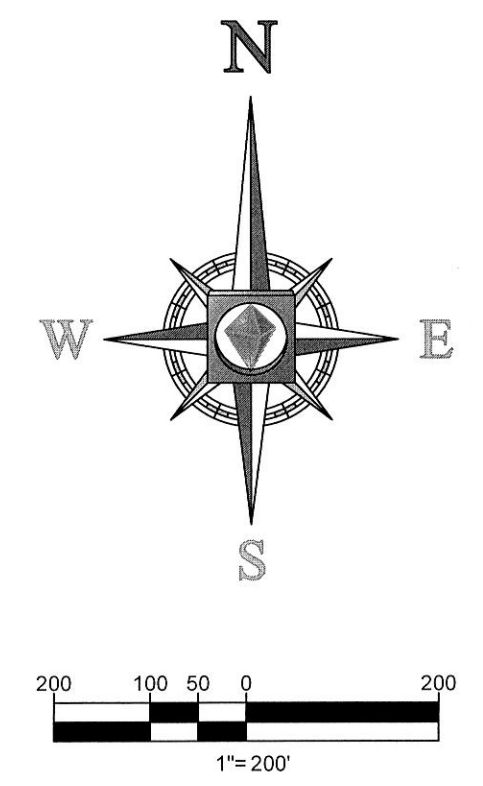
4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

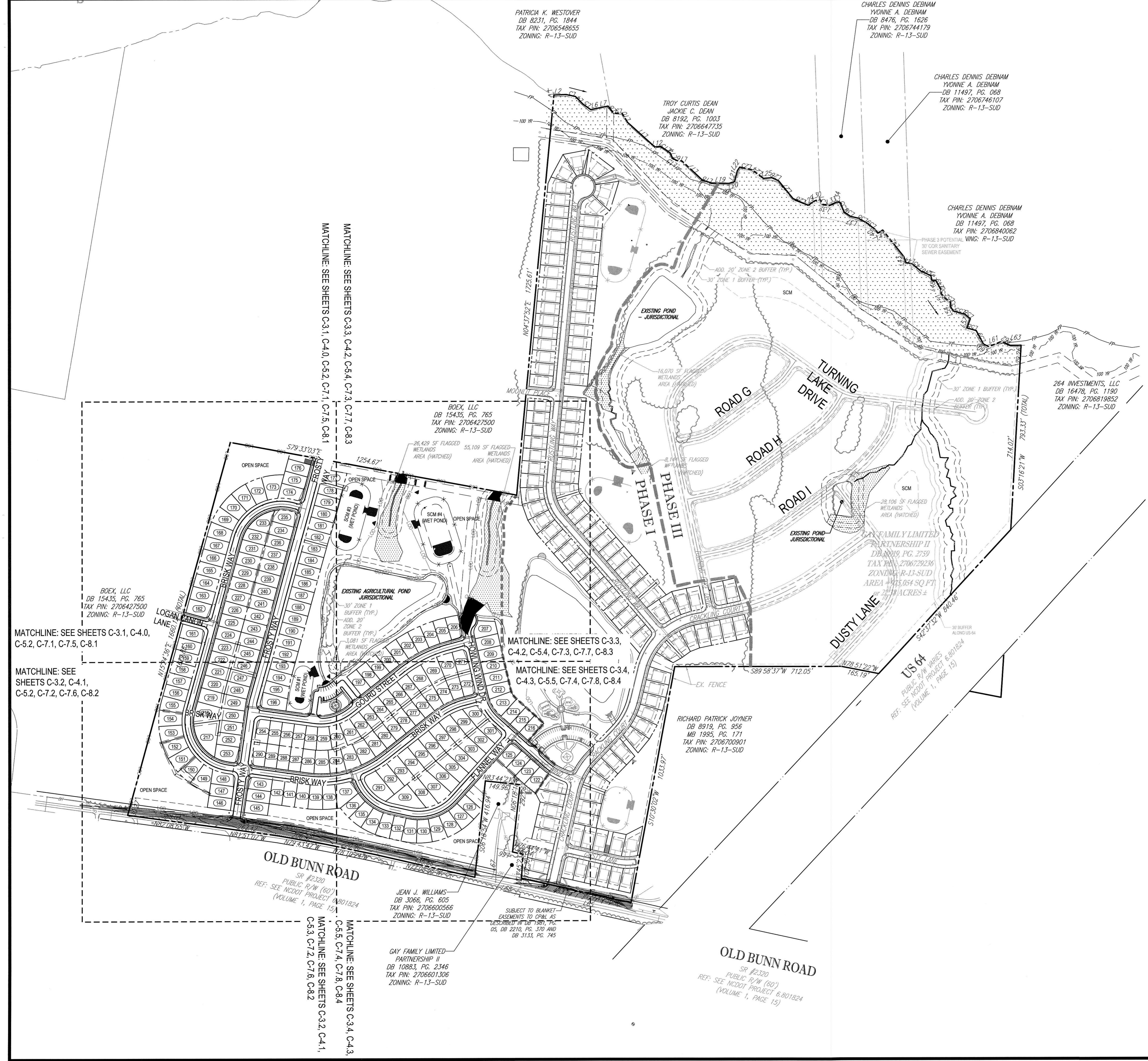
PROFESSIONAL ENGINEER

MICHAEL A. ROBEL
 2018.06.28

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER:
C-2.0





GRAPHIC LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PARKING COUNT	△
---	ELEC. TRANSFORMER ON CONC. PAD	T
---	PAVEMENT STRIPING - 4" SSYL	▨
---	STOP SIGN	+
---	ADA ACCESSIBLE PARKING SIGN	+
---	PAINTED STOP BAR	STOP
○	TREE	○
---	PHASE LINE	---

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 LOS ANGELES, CA
 MEMPHIS, TN
 MIAMI, FL
 MILWAUKEE, WI
 NEW YORK, NY
 PHILADELPHIA, PA
 RICHMOND, VA
 SOUTH BEND, IN
 TAMPA, FL
 WASHINGTON, DC

REVISIONS			
REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

LAND USE AND ZONING INFORMATION AND NOTES:

- REFER TO GENERAL NOTES SHEET C-0.1
- SURVEYOR: ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NC 27103
- APPLICANT: LGI HOMES 3037 SHERMAN DRIVE LANCASTER, SC 29720
- OWNER: GAY FAMILY LIMITED PARTNERSHIP II 1301 OLD BUNN ROAD ZEBULON, NC 27597
 BUNN EDGAR ROGER III HEIRS 438 E SECOND STREET OCEAN ISLE BEACH, NC 28469
- PARCEL: 2708615785, 2706729236, 2706514158 0 OLD BUNN ROAD ZEBULON, NC WAKE COUNTY, NORTH CAROLINA
- ZONED: R-13-SUD
- ALL DIMENSIONS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.

TOTAL AREA DISTURBED AREA	PROPOSED
BUILDING/STRUCTURE SETBACKS	445.34 AC
FROM PRIMARY STREET	20'
FROM SIDE STREET	10'
FROM SIDE LOT LINE	5' MIN, 12' AGGREGATE
FROM REAR LOT LINE	20'

ROADWAY DATA TABLE				
STREET NAME	CLASSIFICATION	DESIGN POSTED SPEED	PUBLIC OR PRIVATE	LENGTH OF NEW ROAD
HOWLING WIND DRIVE	LOCAL STREET	30/25	PUBLIC	786'
FROSTY WAY LANE	RESIDENTIAL COLLECTOR	30/25	PUBLIC	1,610'
LOGAN CANON LANE	LOCAL STREET	30/25	PUBLIC	135'
BRISK WAY	LOCAL STREET	30/25	PUBLIC	2,672'
FLANNEL WAY	LOCAL STREET	30/25	PUBLIC	893'
GOURD STREET	LOCAL STREET	30/25	PUBLIC	1,042'

- SUBDIVISION NOTES**
- REFER TO GENERAL NOTES ON SHEET C-0.1
 - SETBACKS ARE SHOWN IN ACCORDANCE WITH THE APPROVED TOWN OF ZEBULON STANDARDS. REFER TO TOWN OF ZEBULON LAND DEVELOPMENT ORDINANCE FOR PORCHES, DECKS, GARAGES, ETC.
 - ALL CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO STANDARD DETAILS OF THE TOWN OF ZEBULON STREET AND STORM DRAINAGE STANDARDS & SPECIFICATIONS MANUAL.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.
 - CERTIFICATES OF OCCUPANCY FOR PHASE I WILL BE LIMITED TO 100 UNITS UNTIL SUCH TIME AS FUNCTIONAL FIRE ACCESS IS PROVIDED THROUGH PHASE II.

811

KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG

It's fast. It's free. It's the law.

APPROVED FOR CONSTRUCTION

PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 200'
 CAD I.D.: SP2

PROJECT: **AUTUMN LAKES PHASE II**

FOR: **LGI HOMES**

LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

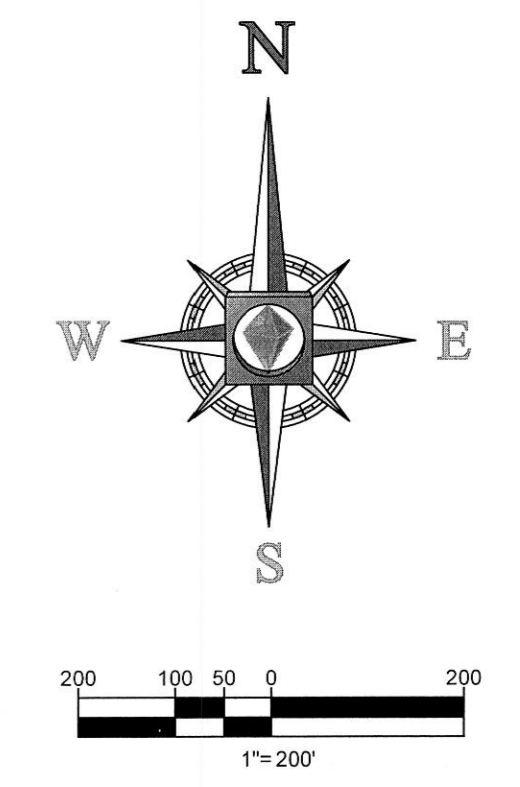
BOHLER ENGINEERING NC, PLLC

4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

PROFESSIONAL ENGINEER
 MICHAEL A. ROSEL
 08/16/2018

SHEET TITLE: **OVERALL PHASING PLAN**

SHEET NUMBER: **C-3.0**





GRAPHIC LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	PROPERTY LINE	
	ADJACENT LOT LINE	
	BUILDING OR PARKING SETBACK	
	CURB & GUTTER	
	FLUSH CURB	
	PARKING COUNT	
	ELEC. TRANSFORMER ON CONC. PAD	
	PAVEMENT STRIPING - 4' SSYL	
	STOP SIGN	
	ADA ACCESSIBLE PARKING SIGN	
	PAINTED STOP BAR	
	TREE	
	STREET LIGHT	

MATCHLINE: SEE SHEETS C-3.4, C-4.3, C-5.5, C-7.4, C-7.8, C-8.4
 MATCHLINE: SEE SHEETS C-3.3, C-4.2, C-5.4, C-7.3, C-7.7, C-8.3

ROAD CENTERLINE LINE TABLE

LINE	BEARING	DISTANCE
L1	S15° 24' 36"W	1067.07'
L2	S08° 08' 53"W	467.21'
L3	N74° 35' 24"W	55.00'
L4	S15° 24' 36"W	762.44'
L5	S82° 00' 35"E	342.14'
L6	N51° 47' 53"E	284.82'
L7	N74° 52' 32"E	87.48'
L8	S74° 35' 24"E	135.03'
L9	S82° 00' 35"E	275.03'
L10	N51° 47' 53"E	284.82'
L11	N74° 52' 32"E	96.95'
L12	S19° 19' 30"E	26.23'
L13	S77° 28' 47"E	77.03'
L14	N42° 01' 48"E	375.49'
L15	S12° 55' 21"E	360.21'
L16	S47° 58' 12"E	283.41'

ROAD CENTERLINE CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	300.00'	38.02'	S11°46'44"W	38.00'	007°15'44"	19.04'
C2	200.00'	314.16'	S60°24'36"W	282.84'	090°00'00"	200.00'
C3	200.00'	340.06'	S33°17'59"E	300.55'	097°25'12"	227.73'
C4	450.00'	362.79'	N74°53'39"E	353.05'	046°11'31"	191.90'
C5	308.00'	124.06'	N63°20'13"E	123.22'	023°04'39"	62.88'
C6	200.00'	161.24'	N74°53'39"E	156.91'	046°11'31"	85.29'
C7	558.00'	224.75'	N63°20'13"E	223.23'	023°04'39"	113.92'
C8	200.00'	203.00'	S48°24'09"E	194.40'	058°09'17"	111.21'
C9	200.00'	211.15'	N72°16'31"E	201.48'	060°29'25"	116.61'
C10	200.00'	122.34'	S30°26'46"E	120.44'	035°02'51"	63.15'
C11	250.00'	0.37'	S48°00'43"E	0.37'	000°05'03"	0.18'
C12	250.00'	34.37'	S51°59'34"E	34.34'	007°52'37"	17.21'

BOHLER ENGINEERING NC, PLLC
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 LAND ACQUISITION AND DEVELOPMENT SERVICES
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 URBAN DESIGN SERVICES
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 FORT WORTH, TX • HOUSTON, TX • MEMPHIS, TN
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 WASHINGTON, DC • WASHINGTON, DC • WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
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APPROVED FOR CONSTRUCTION

PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 60'
 CAD I.D.: SP2

AUTUMN LAKES PHASE II
 FOR

LGI HOMES

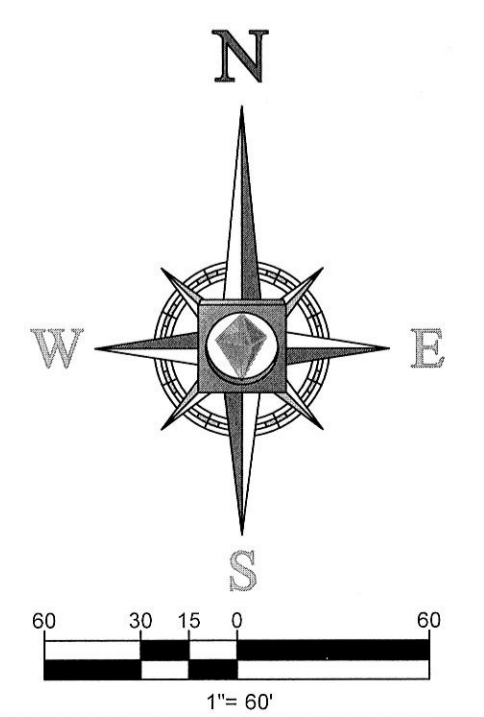
LOCATION OF SITE
 0 OLD BUNN RD
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 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
 NCBELS P-1132
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
 MICHAEL A. ROSSETTI
 2018-05-28

SHEET TITLE:
SITE PLAN - AREA B

SHEET NUMBER:
C-3.2





BOEX, LLC
 DB 15435, PG. 765
 TAX PIN: 2706427500
 ZONING: R-13-SUD

GRAPHIC LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	PROPERTY LEASE LINE	
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 FORT WORTH, TX | HOUSTON, TX
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 LINCOLN, NE | MEMPHIS, TN
 NEW YORK, NY | PHILADELPHIA, PA
 RICHMOND, VA | SAVANNAH, GA
 TAMPA, FL | WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

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APPROVED FOR CONSTRUCTION

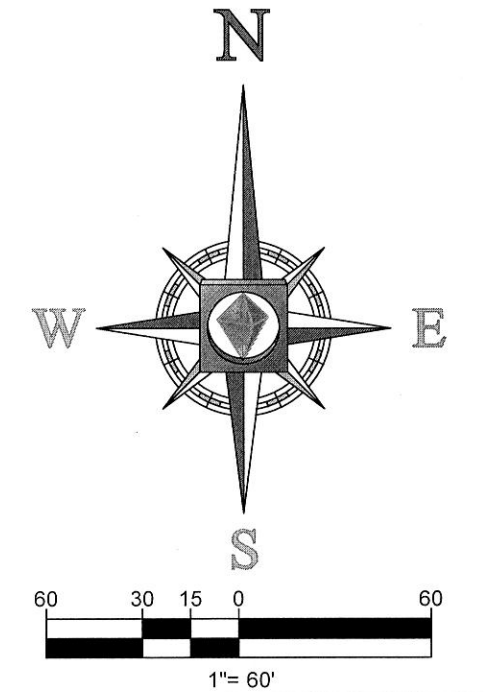
PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 60'
 CAD I.D.: SP2

PROJECT: **AUTUMN LAKES PHASE II** FOR

 LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-5000
 Fax: (919) 703-3665
 NC@BohlerEng.com

SHEET TITLE:
SITE PLAN - AREA D
 SHEET NUMBER:
C-3.4





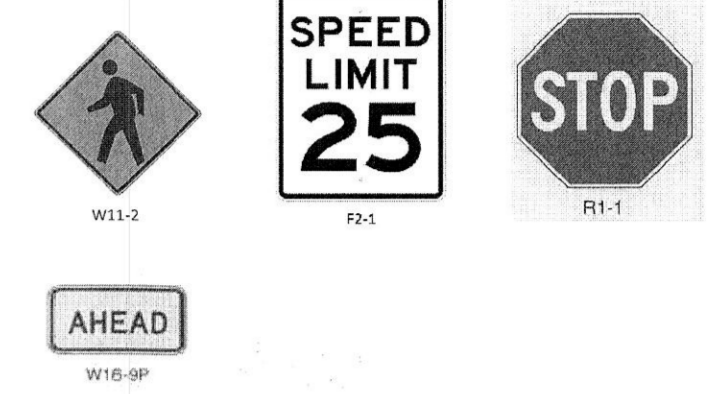
BOEK, LLC
 09 154435, PG. 765
 TAX PIN: 2706427200
 ZONING: R-13-SUD

BOEK, LLC
 09 154435, PG. 765
 TAX PIN: 2706427200
 ZONING: R-13-SUD

OLD BUNN ROAD
 PUBLIC R/W (80')
 REF. SEE NCDOT PROJECT 6.801824
 (VOLUME 1, PAGE 15)

OLD BUNN ROAD
 PUBLIC R/W (80')
 REF. SEE NCDOT PROJECT 6.801824
 (VOLUME 1, PAGE 15)

SIGNAGE AND MARKING LEGEND				
SYMBOL	SIGN / MARKING	MUTCD #	SIGN DIMENSIONS	QUANTITY
(L)	SPEED LIMIT 25	R2-1	24" x 30"	11
(S)	STOP SIGN	R1-1	30" x 30"	6
(C)	PEDESTRIAN CROSSWALK WARNING SIGN	W11-2	30" x 30"	4
(C)	AHEAD SIGN	W16-90	24" x 12"	4
(T)	WHITE CROSSWALK LINE (8", 120 MIL)			
(T)	RIGHT TURN ARROW (80 MIL)			
(T)	WHITE SOLID LANE LINE (4", 120 MIL)			
(T)	3 FT. - 0 FT./SP WHITE MINISKIP (4", 120 MIL)			
(T)	WHITE STOPBAR (24", 120 MIL)			



- PAVEMENT MARKING & SIGNAGE NOTES**
1. ALL PAVEMENT MARKINGS AND STREET SIGNAGE SHALL BE IN ACCORDANCE WITH THE MUTCD.
 2. PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL COMPLY WITH NCDOT STANDARDS AND SPECIFICATIONS.
 3. SIGNS MUST USE PRISMATIC SHEETING AND MEET THE MINIMUM RETROREFLECTIVITY LEVELS SHOWN IN THE LATEST EDITION OF THE MUTCD. SIGNS PROVIDED FOR PEDESTRIAN CROSSINGS SHALL USE THE STRONG YELLOW-GREEN COLORING.
 4. ALL SPECIALTY TRAFFIC CONTROL AND STREET NAME SIGNS AND POSTS MUST COMPLY WITH TOWN OF ZEBULON POLICY STANDARDS. REQUESTS FOR SPECIALTY SIGNS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT.
 5. ALL STREET NAME SIGNS SHALL ADHERE TO THE 2009 MUTCD REQUIREMENTS RELATED TO COLOR, LETTER CASE AND LETTER HEIGHTS. SIGN DESIGNS SHALL BE SUBMITTED TO TOWN STAFF APPROVAL PRIOR TO ACCEPTANCE OF STREETS FOR MAINTENANCE.

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 LAND SURVEYING AND ARCHITECTURE
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PROJECT: **AUTUMN LAKES PHASE II**

FOR

LGI HOMES

LOCATION OF SITE
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 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

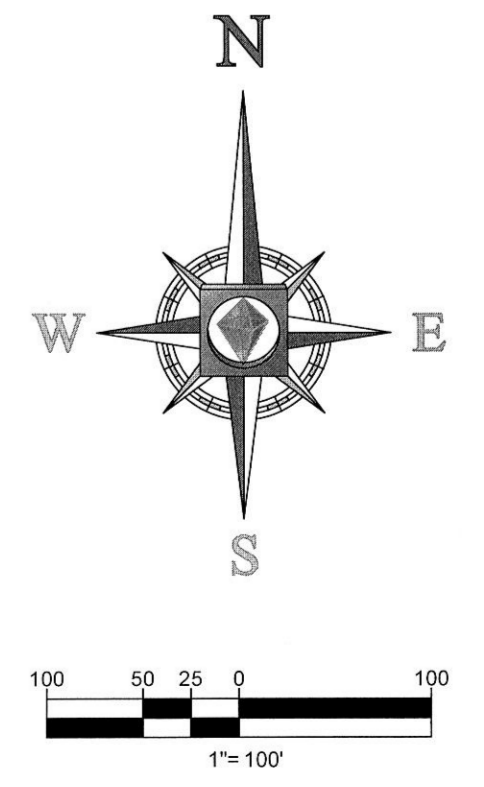
NCBELS P-1132

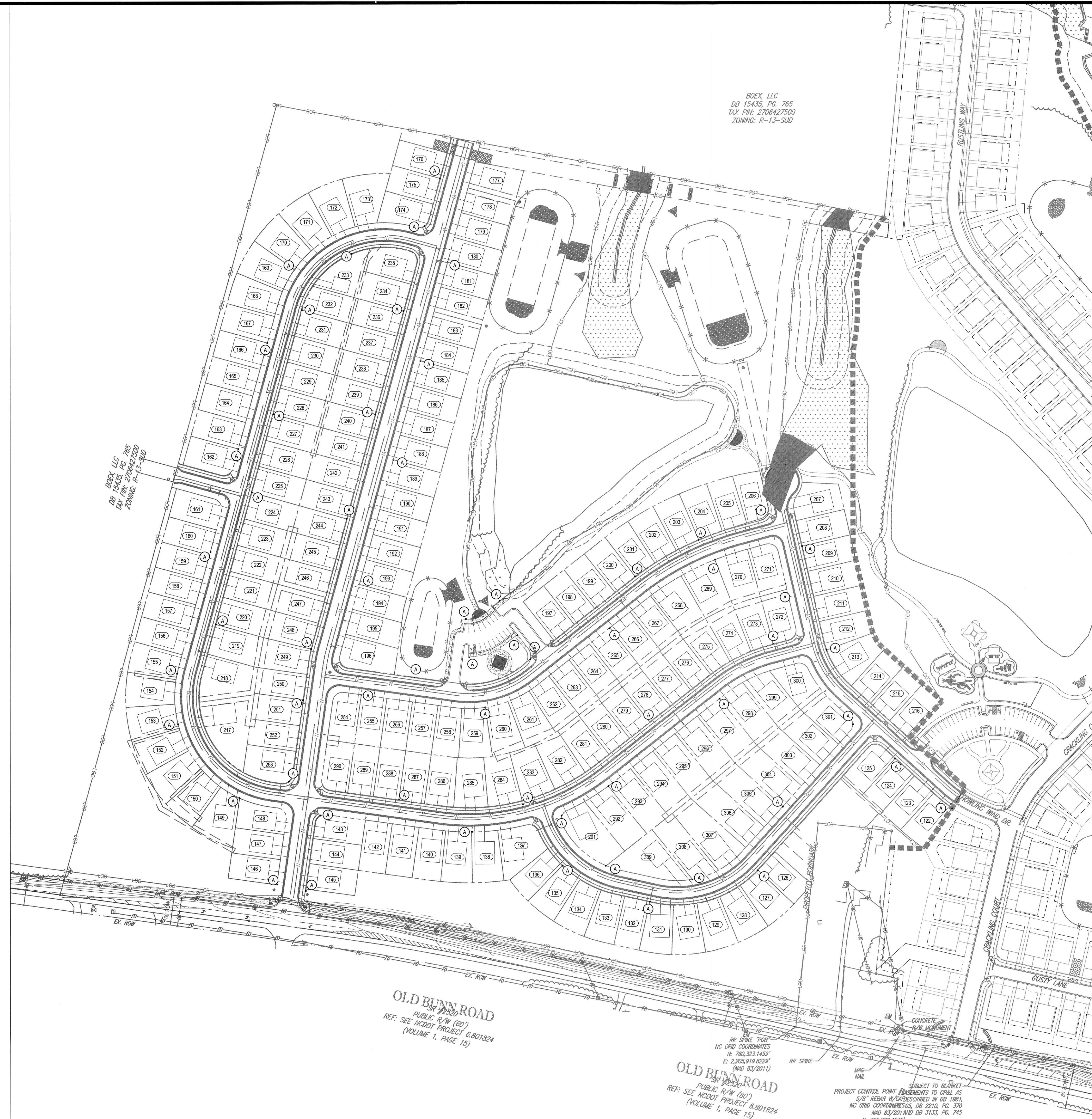
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PROFESSIONAL ENGINEER
 MICHAEL A. ROSELL
 2018.06.28

SHEET TITLE:
STREET SIGN AND PAVEMENT MARKING PLAN

SHEET NUMBER:
C-3.5





BOEX, LLC
 DB 15435, PG. 765
 TAX PIN: 2706427500
 ZONING: R-13-SUD

BOEX, LLC
 DB 15435, PG. 765
 TAX PIN: 2706427500
 ZONING: R-13-SUD

OLD BUNN ROAD
 SR 2720
 PUBLIC R/W (80')
 REF: SEE NCDOT PROJECT 6.801824
 (VOLUME 1, PAGE 15)

OLD BUNN ROAD
 SR 2720
 PUBLIC R/W (80')
 REF: SEE NCDOT PROJECT 6.801824
 (VOLUME 1, PAGE 15)

SUBJECT TO BLANKET
 PROJECT CONTROL POINT #BASEMENTS TO CP#1 AS
 5/8" REBAR W/ CAPESCREED IN DB 1897,
 NC GRID COORDINATES, DB 2210, PG. 370
 442, 83/2011 AND DB 3133, PG. 745
 N: 760,280,453'

LIGHTING NOTES

1. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP, LIGHTING CONTRACTOR, OR LOCAL ELECTRIC COMPANY. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
2. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
3. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
4. THE FIVE AREA LIGHTS FOR PARKING AT THE OUTDOOR AMENITY CENTER WILL BE RESPONSIBILITY OF THE HOW FOR INSTALLATION FEES AND MONTHLY CHARGES.
5. THE DEVELOPER IS RESPONSIBLE FOR THE DUKE PROGRESS ENERGY ONETIME FEE CHARGES FOR POLE INSTALLATION. INSTALLATION MUST BE COORDINATED WITH DUKE PROGRESS ENERGY AND THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT. THE TOWN OF ZEBULON WILL BE RESPONSIBILITY FOR MONTHLY FEES FOR THE 28 STREET LIGHTS ALONG THE ROW.

GENERAL NOTES

1. THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER (BOHLER) FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
3. LIGHTING FIXTURE MANUFACTURER: MITCHELL SERIES

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QUANTITY	MANUFACTURER	DESCRIPTION	SPACING	WATTAGE
	A	56	MITCHELL SERIES	1" BLACK FIBERGLASS POLE WITHOUT BANDING AND RIBBON	125-140 LF	50

BOHLER ENGINEERING NC, PLLC

LAND SURVEYING AND CONSULTING ENGINEERING ARCHITECTURE INTERIOR DESIGN SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

CHARLOTTE, NC
 RALEIGH, NC
 WASHINGTON, DC
 FAYETTEVILLE, NC
 GREENSBORO, NC
 HUNTSVILLE, AL
 KANSAS CITY, MO
 MEMPHIS, TN
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1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

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APPROVED FOR CONSTRUCTION

PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 100'
 CAD I.D.: IP2

PROJECT: **AUTUMN LAKES PHASE II** FOR

LGI HOMES

LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

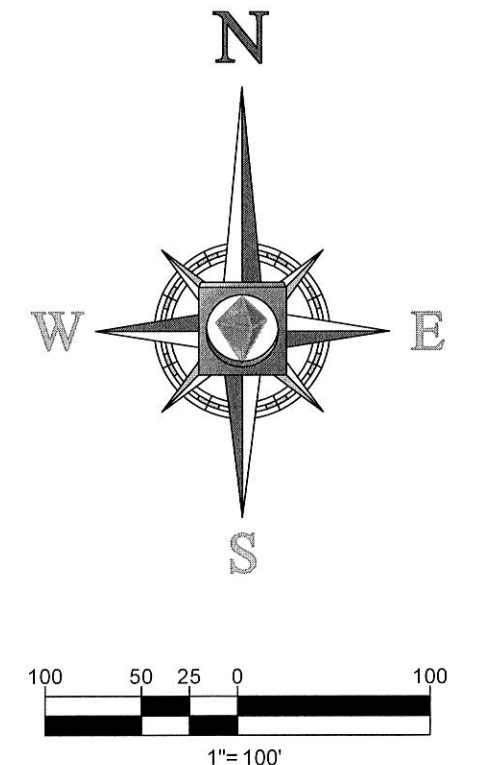
BOHLER ENGINEERING NC, PLLC
 NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
 MICHAEL A. ROSEL
 09180628

SHEET TITLE:
LIGHTING PLAN

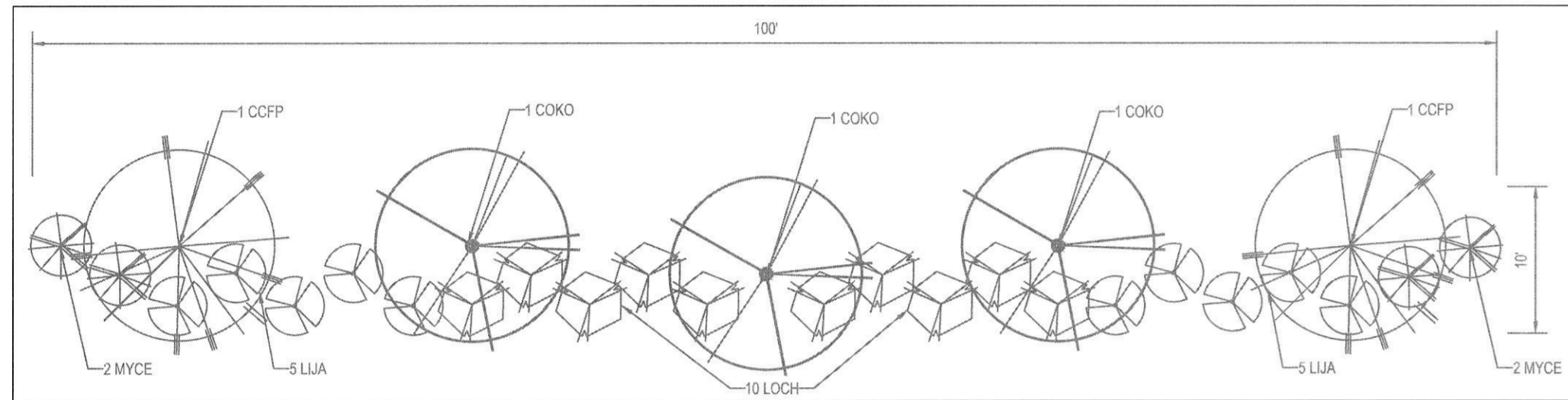
SHEET NUMBER:
C-3.6



STREETSCAPE & AMENITY LANDSCAPE SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	SIZE	Remarks
QLY1	20	Quercus lyrata 'Highbeam'	'Highbeam' Overcup Oak	2.5" CAL	B#B	12-14 HT	Full, Central Leader
QJNU	37	Quercus nuttallii	Nuttall Oak	2.5" CAL	B#B	12-14 HT	Full, Central Leader
QLPH	24	Quercus phellos 'Hightower'	'Hightower' Willow oak	2.5" CAL	B#B	12-14 HT	Full, Central Leader
QUSH	38	Quercus shumardii	Shumard Oak	2.5" CAL	B#B	12-14 HT	Full, Central Leader
ULPA	21	Ulmus parvifolia 'Alder'	'Alder' Lacebark Elm	2.5" CAL	B#B	12-14 HT	Full
ULPB	18	Ulmus parvifolia 'Bosque'	Bosque Elm	2.5" CAL	B#B	12-14 HT	Full
ROEN	135	Rhododendron x 'Encore'	Encore Azalea Variety	N/A	5 GAL	32" HT	Full
RXSG	65	Rhododendron x saliki 'Gumpo'	Gumpo Azalea	N/A	5 GAL	32" HT	Full

**LANDSCAPE COMPLIANCE CHART
ZEBULON, NC**

REQUIREMENT	COMPLIANCE
STREETSCAPING OLD BUNN ROAD (NORTH SIDE): 1 LARGE SHADE TREE EVERY 35 LF + 5 BUSHES ALONG ALL LOCAL AND RESIDENTIAL CONNECTOR STREETS: 1 LARGE DECIDUOUS TREE EVERY 100 LF	STREETSCAPING PROVIDED
AMENITY PARKING 1 SHADE TREE PER 8 SPACES	20 SPACES REQUIRED: 3 TREES PROVIDED: 3 TREES
LANDSCAPE BUFFER 10' WIDE TYPE "A" LANDSCAPE BUFFER: OPAQUE SCREEN TO A HEIGHT OF 6' TREES SHALL BE NO LESS THAN 20' AT MATURITY	TYPICAL 100' SECTION OF BUFFER PROVIDED. INSTALLED ALONG PROPERTY PERIMETER EXCEPT IN AREAS WHERE GREENWAY EASEMENTS ARE DEDICATED. ANY EXISTING TREE IN PERIMETER BUFFER SHOULD BE PRESERVED.



TYPICAL TYPE A BUFFER

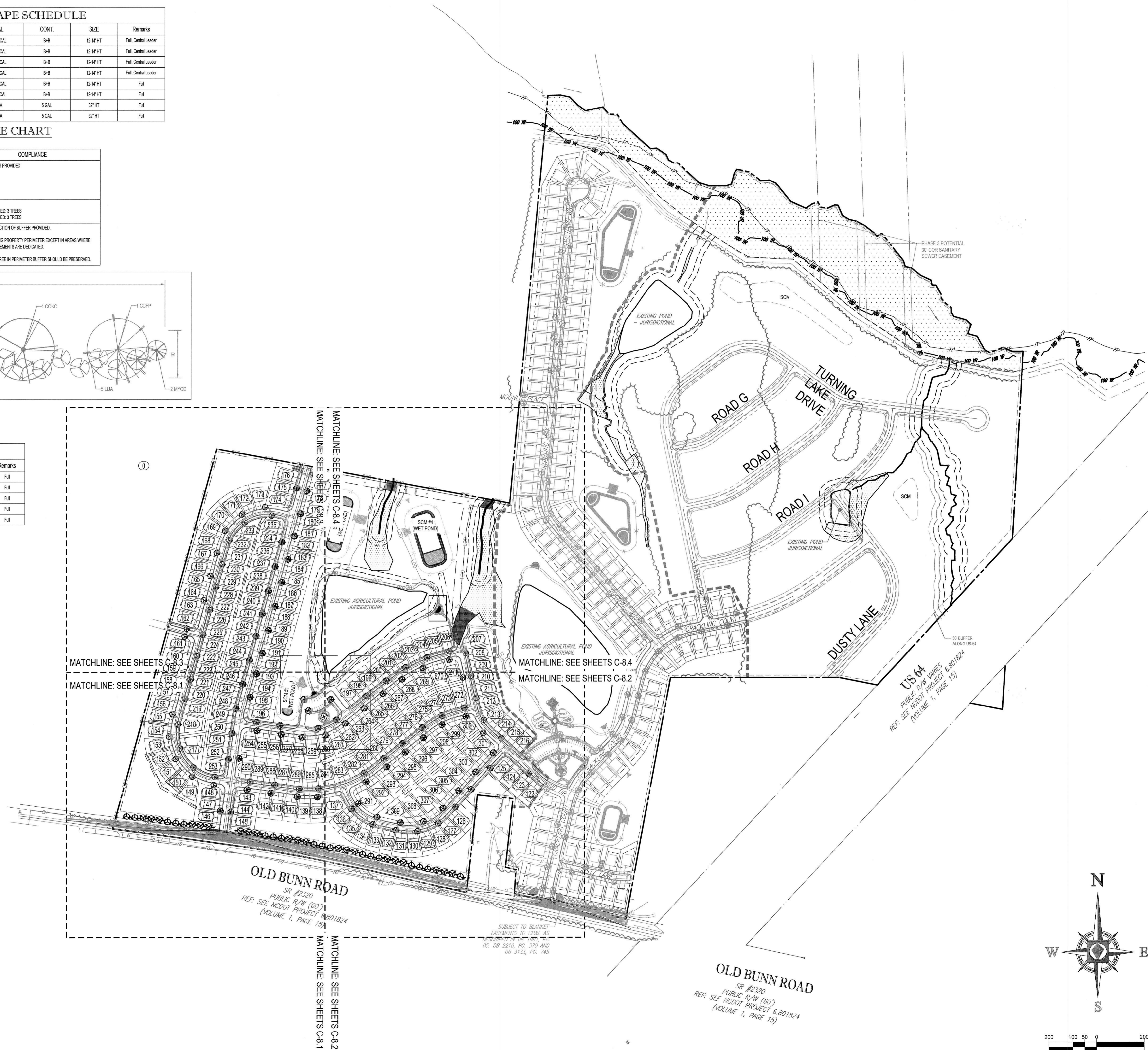
1" = 10'

TYPE A BUFFER LANDSCAPE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	SIZE	Remarks
CCFP	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2.5" CAL	B#B	8-10 HT	Full
COKO	Cornus kousa	Kousa Dogwood	2.5" CAL	B#B	8-10 HT	Full
LOCH	Loropetalum chinense 'Chang Nain Hong'	Ever Red Fringe Flower	5 GAL	36" HT	Full	
LUA	Ligustrum japonicum	Japanese Privet	5 GAL	36" HT	Full	
MYCE	Myrica carolinensis	Wax Myrtle	B#B	5 HT	Full	

TOTAL PHASE II WET POND LANDSCAPE LEGEND:

SHALLOW LAND	SHALLOW WATER
CHCL: CHELONE GLABRA - WHITE TURTLEHEAD / 896 UNITS	IRV: IRIS VIRGINIA - BLUE IRIS / 769 UNITS
EMDU: EUPATORIADAPHNUS DUBIUS - DIMARF JOE PYE WEED / 611 UNITS	ACSU: ACORUS SUBCORDATUS - SWEETFLAG / 510 UNITS
LOCA: LOBELIA CARDINALIS - CARDINAL FLOWER / 668 UNITS	SACE: SAURURUS CERNAUS - LIZARD'S TAIL / 659 UNITS



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 BOSTON, MA • BOSTON, MA • BOSTON, MA • BOSTON, MA
 CHARLOTTE, NC • CHARLOTTE, NC • CHARLOTTE, NC • CHARLOTTE, NC
 DALLAS, TX • DALLAS, TX • DALLAS, TX • DALLAS, TX
 DENVER, CO • DENVER, CO • DENVER, CO • DENVER, CO
 HOUSTON, TX • HOUSTON, TX • HOUSTON, TX • HOUSTON, TX
 JACKSONVILLE, FL • JACKSONVILLE, FL • JACKSONVILLE, FL • JACKSONVILLE, FL
 MIAMI, FL • MIAMI, FL • MIAMI, FL • MIAMI, FL
 NEW YORK, NY • NEW YORK, NY • NEW YORK, NY • NEW YORK, NY
 PHOENIX, AZ • PHOENIX, AZ • PHOENIX, AZ • PHOENIX, AZ
 RICHMOND, VA • RICHMOND, VA • RICHMOND, VA • RICHMOND, VA
 TAMPA, FL • TAMPA, FL • TAMPA, FL • TAMPA, FL
 WASHINGTON, DC • WASHINGTON, DC • WASHINGTON, DC • WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
3	2-23-18	PER WAKE COMMENTS	SJK
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APPROVED FOR CONSTRUCTION

PROJECT NO.:	NCR162057
DRAWN BY:	SJK
CHECKED BY:	MAR
DATE:	8/16/17
SCALE:	1" = 200'
CAD I.D.:	LLT

PROJECT: **AUTUMN LAKES PHASE II**
 FOR **LGI HOMES**
 LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

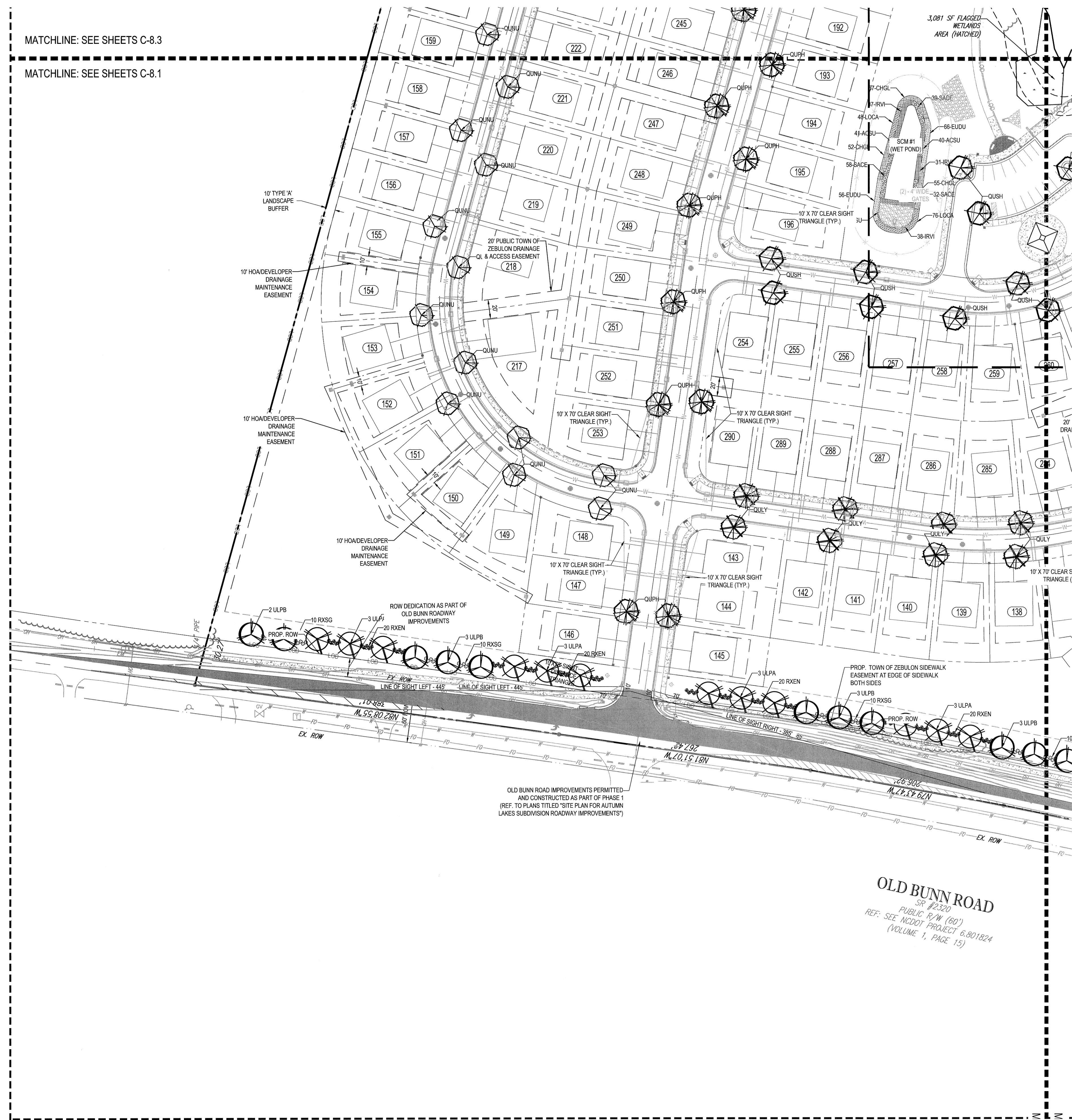
BOHLER ENGINEERING NC, PLLC
 NC0813.P1-1132
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

PROFESSIONAL ENGINEER
 MICHAEL A. ROSELI
 2018.06.28

SHEET TITLE:
OVERALL LANDSCAPE PLAN
 SHEET NUMBER:
C-8.0

MATCHLINE: SEE SHEETS C-8.3

MATCHLINE: SEE SHEETS C-8.1



WET POND (SCM #1) LANDSCAPE LEGEND:

SHALLOW LAND	CHCL: CHELONE GLABRA - WHITE TURTLEHEAD / 164 UNITS
	EUDU: EUPATORIADAPHLIS DUBIUS - DWARF JOE PEE WEED / 122 UNITS
	LOCA: LOBELIA CARDINALIS - CARDINAL FLOWER / 124 UNITS
SHALLOW WATER	IRV: IRR VIRGINIA - BLUE IRR / 106 UNITS
	ACSU: ACORUS SUBCORDATIUM - SWEETFLAG / 119 UNITS
	SACE: SAURURUS CERNAUS - LIZARD'S TAIL / 129 UNITS

OLD BUNN ROAD IMPROVEMENTS PERMITTED AND CONSTRUCTED AS PART OF PHASE 1 (REF. TO PLANS TITLED "SITE PLAN FOR AUTUMN LAKES SUBDIVISION ROADWAY IMPROVEMENTS")

OLD BUNN ROAD
SR #2320
PUBLIC R/W (60')
REF. SEE NC DOT PROJECT 6.801824
(VOLUME 1, PAGE 15)

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● MINNEAPOLIS, MN ● NORTHERN VIRGINIA ● PITTSBURGH, PA
● RICHMOND, VA ● TAMPA, FL ● WASHINGTON, DC ● WASHINGTON, DC
● NEW YORK, NY ● PHILADELPHIA, PA ● PHOENIX, AZ ● PORTLAND, ME
● RICHMOND, VA ● TAMPA, FL ● WASHINGTON, DC ● WASHINGTON, DC
THE INFORMATION CONTAINED HEREON IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE BY INDICATED CROSS-REFERENCES AND IS NOT TO BE RELEASED TO THE PUBLIC.

REVISIONS

REV	DATE	COMMENT	BY
1	11-8-17	PER TOWN COMMENTS	SJK
2	2-7-18	PER TOWN COMMENTS	SJK
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APPROVED FOR CONSTRUCTION

PROJECT No.:	NCR162057
DRAWN BY:	SJK
CHECKED BY:	MAR
DATE:	8/16/17
SCALE:	1" = 60'
CAD I.D.:	LLT

PROJECT: **AUTUMN LAKES PHASE II** FOR

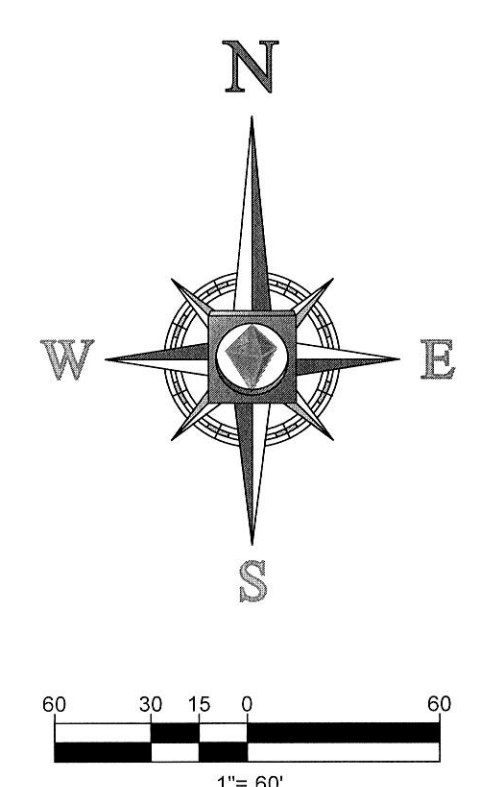
LOCATION OF SITE
0 OLD BUNN RD
ZEBULON, NC 27597
WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
NCBELS P-1152

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2655
NC@BohlerEng.com

SHEET TITLE:
LANDSCAPE PLAN - AREA A

SHEET NUMBER:
C-8.1





UNN ROAD

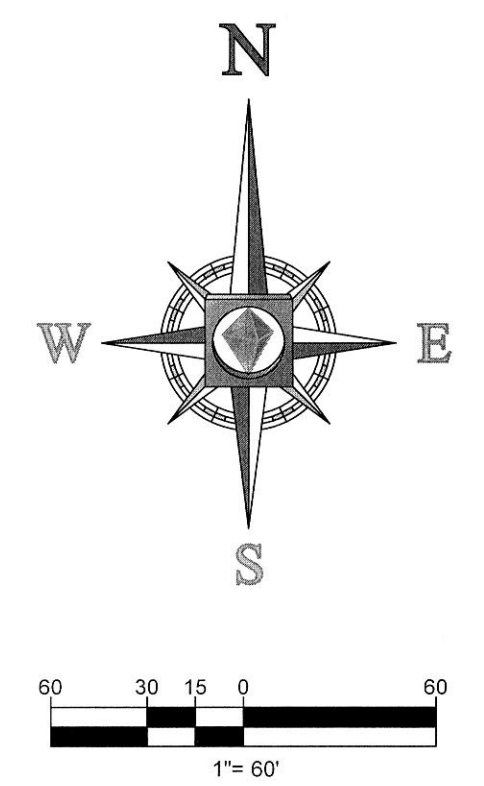
OLD BUNN ROAD
 SR #2120
 PUBLIC R/W (80')
 REF: SEE NCDOT PROJECT 6.801824
 (VOLUME 1, PAGE 15)

MATCHLINE: SEE SHEETS C-8.4
 MATCHLINE: SEE SHEETS C-8.2

GAY FAMILY LIMITED
 PARTNERSHIP II
 DB 1883, PG. 2346
 TAX PIN: 2706615783
 ZONING: R-13-SUD

JEAN J. WILLIAMS
 DB 3066, PG. 605
 TAX PIN: 2706600566
 ZONING: R-13-SUD
 NEW 30' CITY OF RALEIGH SANITARY SEWER EASEMENT

GAY FAMILY LIMITED
 PARTNERSHIP II
 DB 1883, PG. 2346
 TAX PIN: 2706601309
 ZONING: R-13-SUD



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REVISIONS

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APPROVED FOR CONSTRUCTION
 PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 60'
 CAD I.D.: LLI

AUTUMN LAKES PHASE II
 FOR

 LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
 NCBS 5 P-1132
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

PROFESSIONAL ENGINEER

 MICHAEL A. ROBEL
 2018/06/28

SHEET TITLE:
LANDSCAPE PLAN - AREA B
 SHEET NUMBER:
C-8.2



BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
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 LOS ANGELES, CA
 MIAMI, FL
 MINNEAPOLIS, MN
 NEW YORK, NY
 PHOENIX, AZ
 RICHMOND, VA
 TAMPA, FL
 WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
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3	2-23-18	PER WAKE COMMENTS	SJK
4	6-28-18	PER WAKE, COR. & IFC COMMENTS	SJK

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APPROVED FOR CONSTRUCTION

PROJECT No.: NCR162057
 DRAWN BY: SJK
 CHECKED BY: MAR
 DATE: 8/16/17
 SCALE: 1" = 50'
 CAD I.D.: LLT

PROJECT: **AUTUMN LAKES PHASE II**
 FOR

LGI HOMES

LOCATION OF SITE
 0 OLD BUNN RD
 ZEBULON, NC 27597
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
 NCCELS P-1132

4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
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 Fax: (919) 703-2865
 NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
 MICHAEL A. ROSE
 2018.06.28

SHEET TITLE:
AMENITY AREA

SHEET NUMBER:
C-8.5

