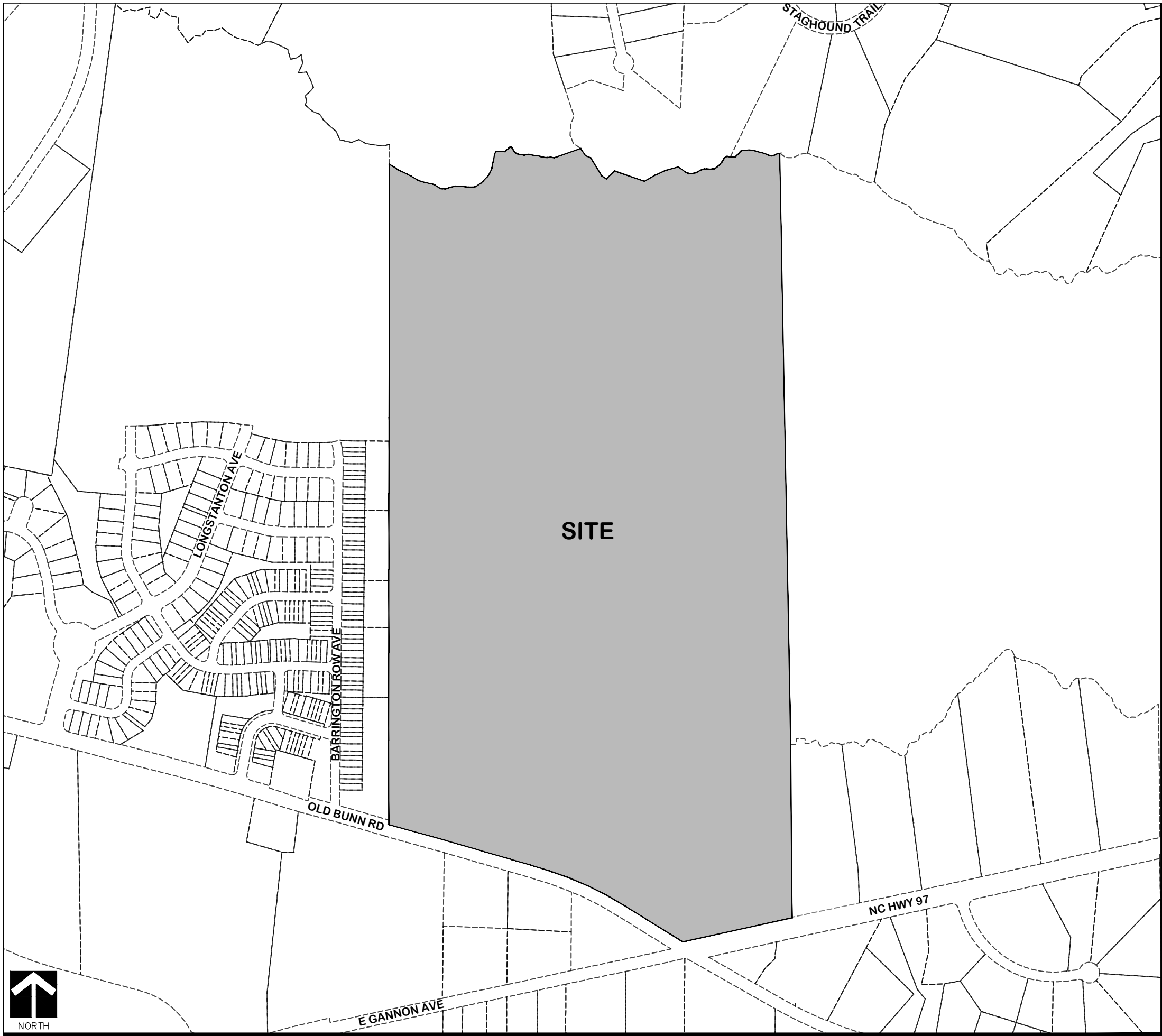


MASTER PLAN FOR:
OLD BUNN ROAD SUBDIVISION
ZEBULON, NORTH CAROLINA 27597
TOWN OF ZEBULON CASE #: 1555968

SITE DATA TABLE	
APPLICANT:	EASTWOOD HOMES, INC ATT: BILLY GUILLET 7101 CREEDMOOR ROAD, SUITE 115 RALEIGH, NC 27613 EMAIL: bguillet@eastwoodhomes.com MOBILE: 919.675.8769
OWNER(S):	HENDRICKSON, C THOMAS HENDRICKSON, JILL D PO BOX 1166 ZEBULON, NC 27597
PROPERTY ADDRESS:	1915, 1917 OLD BUNN ROAD ZEBULON, NC 27597
PIN(s):	2715-29-0916 2716-21-5371
DEED:	BK 009528, PG 01148
PLAT:	BM 1992, PG 72
EXISTING ZONING: (WAKE COUNTY)	RESIDENTIAL-30 (R-30)
PROPOSED ZONING: (TOWN OF ZEBULON)	PLANNED DEVELOPMENT (PD) DISTRICT
CASE #:	1555968
ORDINANCE #:	
ANNEXATION #:	
PARCEL AREA: (SURVEY)	2,392,871 SF (54.93 AC) & 4,564,733 SF (104.79 AC) TOTAL: 6,957,604 SF (159.72 AC)
TOTAL # OF LOTS BEING PLATTED:	SINGLE-FAMILY HOME LOTS: 347 TOWNHOME LOTS: 270 OPEN SPACE LOTS: 20 TOTAL: 637
AREA BEING PLATTED (ACREAGE):	6,957,604 SF (159.72 AC)
RIVER BASIN:	NEUSE
FLOODPLAIN DATA:	THE PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED WITHIN ZONE 'AE' AS DEFINED BY FEMA FIRM COMMUNITY PANEL 2716, MAP NUMBER 3720271600L, REVISION DATE JULY 19, 2022.
RESIDENTIAL DENSITY UNITS PER ACRE (MAX):	SUBDISTRICT R-1: 7 SUBDISTRICT R-2: 4.75 SUBDISTRICT R-3: 2.5 SUBDISTRICT R-4: 2
TREE PRESERVATION AREA:	REQUIRED: 5% OF TOTAL SITE AREA = 7.97 AC (347,880 SF) PROVIDED: 8.21% = 13.11 AC (571,183 SF)
PROPOSED BUILT UPON AREA:	70% MAXIMUM
OPEN SPACE:	SINGLE-FAMILY ATTACHED (SUBDISTRICT R-1) TOTAL AREA = 1,686,304 SF REQUIRED: 10% OF TOTAL AREA = 3.87 AC (168,630 SF) PROVIDED: 20% OF TOTAL AREA = 7.77 AC (339,538 SF) PASSIVE PROVIDED: 5.28 AC (229,939 SF) ACTIVE PROVIDED: 2.40 AC (104,495 SF) URBAN PROVIDED: 0.09 AC (4,104 SF) URBAN+ACTIVE: 2.49 AC (108,599 SF) = 64% OF REQUIRED SINGLE-FAMILY DETACHED (SUBDISTRICTS R-2, R-3, & R-4) TOTAL AREA = 5,271,300 SF REQUIRED: 10% OF TOTAL AREA = 12.10 AC (527,130 SF) PROVIDED: 19% OF TOTAL AREA = 23.38 AC (1,018,797 SF) PASSIVE PROVIDED: 20.28 AC (883,355 SF) ACTIVE PROVIDED: 1.98 AC (86,246 SF) URBAN PROVIDED: 1.13 AC (49,196 SF) URBAN+ACTIVE: 3.11 AC (135,442 SF) = 26% OF REQUIRED REQUIRED: SINGLE-FAMILY ATTACHED DWELLING: 2 SPACES PER UNIT + 0.25 GUEST SPACES PER UNIT (SEE GUEST PARKING CALCULATIONS BELOW) 270 UNITS x 2 = 540 SPACES SINGLE-FAMILY DETACHED DWELLING: 2 SPACES PER UNIT + 0.25 GUEST SPACES PER UNIT (SEE GUEST PARKING CALCULATIONS BELOW) 347 UNITS x 2 = 694 SPACES GUEST PARKING: 616 UNITS x .25 = 154 SPACES PROVIDED: SINGLE-FAMILY ATTACHED DWELLING = 619 SPACES (198 DRIVEWAYS, 277 GARAGES, & 144 PERPENDICULAR) SINGLE-FAMILY DETACHED DWELLING = 1,388 SPACES (2 IN GARAGE & 2 IN DRIVEWAY, AT EVERY UNIT) GUEST PARKING = 329 SPACES
MOTOR VEHICLE PARKING:	

TRIP GENERATION TABLE									
Land Use	ITE LUC	Size	Daily Trips		AM Peak Hour Trips		PM Peak Hour Trips		
			Total	Total	Enter	Exit	Total	Enter	Exit
Single Family Detached Housing	210	357 d.u.	3254	237	59	178	329	207	122
Single Family Attached Housing	215	260 d.u.	1951	130	32	98	152	90	62
Total			5185	367	91	276	481	297	184

TRIP GENERATION DATA (TABLE 3) FROM TRAFFIC IMPACT ANALYSIS REPORT
PREPARED BY STANTEC ON NOVEMBER 7, 2024.



INDEX TO PLANS	
C-0.0	COVER SHEET
C-0.1	BOUNDARY & TOPOGRAPHIC SURVEY
C-0.2	LEGENDS & NOTES SHEET
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SUBDIVISION LAYOUT PLAN
C-2.1	SUBDIVISION LAYOUT PLAN
C-2.2	PHASING PLAN
C-2.3	SUBDISTRICT PLAN
C-2.4	SIGNAGE PLAN
C-2.5	LIGHTING PLAN
C-2.6	FIRE TRUCK TEMPLATE SHEET
C-3.0	UTILITY PLAN
C-3.1	UTILITY PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
C-4.1	GRADING & STORM DRAINAGE PLAN
D-1.0	STREET SECTION DETAIL SHEET
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE PLAN

WATER ALLOCATION POLICY POINTS TABLE		
POINTS	SECTION	ACTION ITEM
10		BASE POINTS FOR MAJOR SUBDIVISION
10	2B	PROVISION OF ON-STREET PUBLIC PARKING (1 POINT PER STALL UP TO 10 MAX)
4	2C	CONSTRUCT A FOUNTAIN OR OTHER STORMWATER AMENITY WITHIN THE BMP/SCM
3	3A	PLANTING POLLINATOR GARDEN (225 SF MINIMUM)
9	3A	INSTALLATION OF NATIVE SHADE TREE SPECIES (PER TREE UP TO 10 TREES)
3	4A	CONSTRUCTION OF MORE THAN 3000 LINEAR FEET PRIVATE GREENWAY MEETING TOWN OF ZEBULON STANDARDS
3	4B	LAP POOL (FOUR LANE MINIMUM)
2	4C	DECK/PATIO - MORE THAN 2000 SQUARE FEET
4	4E	MEETING SPACE WITHOUT KITCHEN LESS THAN 1500 SQUARE FEET
2	4E	OUTDOOR KITCHEN OR DRILLS
5	4F	PICKLEBALL COURT (THREE REGULATION COURTS, FENCED)
3	4F	POCKET PARK - 5,000 SQUARE FEET
2	4F	IPEMA CERTIFIED PLAYGROUND EQUIPMENT
80	TOTAL	

• DEVELOPER:
EASTWOOD HOMES, INC.
7101 CREEDMOOR ROAD, SUITE 115
RALEIGH, NC 27613
TEL: 919.758.8208
E-MAIL: bguillet@eastwoodhomes.com

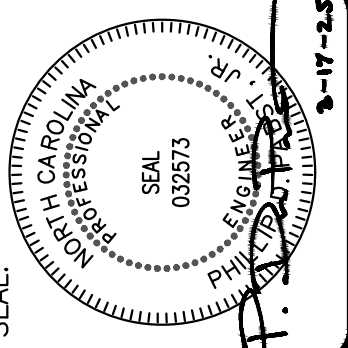
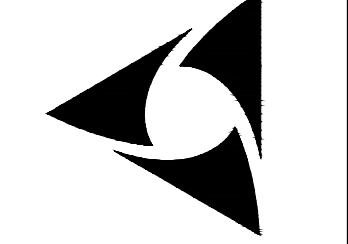
• CIVIL ENGINEER:
PABST DESIGN GROUP, PA
107 FAYETTEVILLE STREET, SUITE 200
RALEIGH, NC 27601
TEL: 919.848.4399
E-MAIL: dpabst@pabstdesign.com

• SURVEYOR:
NEWCOMB LAND SURVEYORS, LLC
7008 HARPS MILL ROAD, SUITE 105
RALEIGH, NC 27615
TEL: 919.847.1800
E-MAIL: justin@nls-nc.com

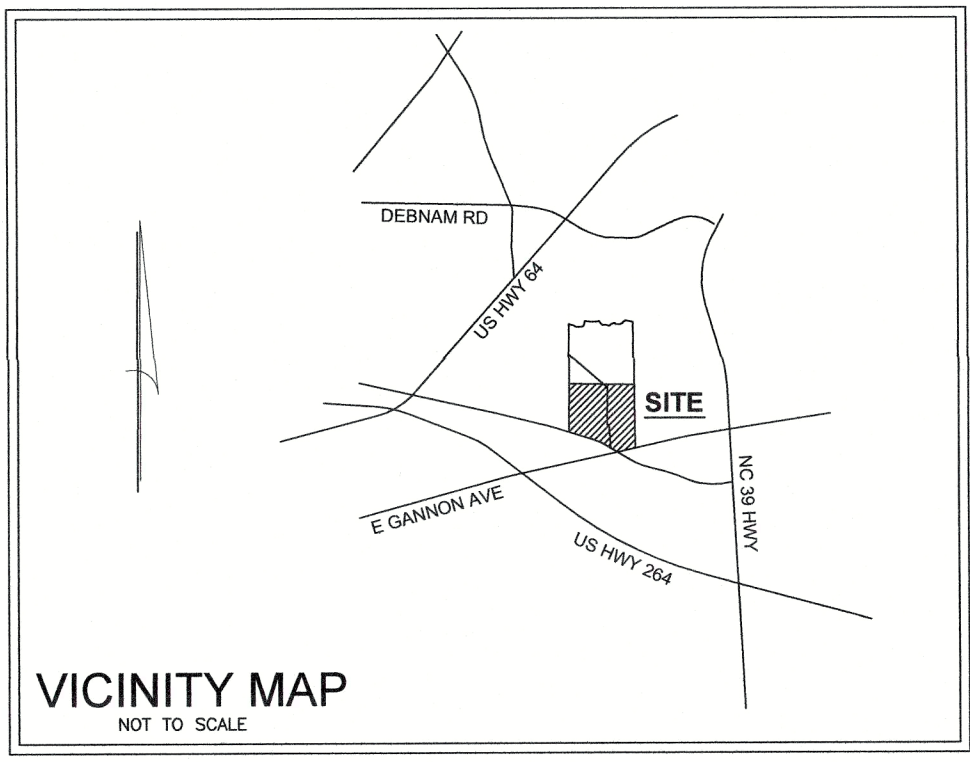
DIMENSIONAL STANDARDS	
LOT AREA MINIMUM (MIN):	SUBDISTRICT R-1: 2,200 SQUARE FEET (SF)
	SUBDISTRICT R-2: 6,000 SF
	SUBDISTRICT R-3: 7,200 SF
	SUBDISTRICT R-4: 8,400 SF
LOT WIDTH (MIN):	SUBDISTRICT H-1: 87,120 SF
	SUBDISTRICT R-1: 22 FEET (FT)
	SUBDISTRICT R-2: 50 FT
	SUBDISTRICT R-3: 60 FT
BUILDING SETBACKS (MIN):	SUBDISTRICT R-4: 70 FT
	SUBDISTRICT H-1: N/A (REFER TO MASTER PLAN)
	SUBDISTRICT R-1: FROM PRIMARY STREET: 10 FT (20 FT w/ FRONT LOAD GARAGE) FROM SIDE STREET: 10 FT FROM SIDE SITE BOUNDARY LINE: 6 FT FROM REAR SITE BOUNDARY LINE: 20 FT FROM ALLEY: 20 FT
	SUBDISTRICT R-2: FROM PRIMARY STREET: 20 FT FROM SIDE STREET: 10 FT FROM SIDE LOT LINE: 5 FT FROM REAR LOT LINE: 20 FT
LOT COVERAGE MAXIMUM (MAX):	SUBDISTRICT R-3: FROM PRIMARY STREET: 20 FT FROM SIDE STREET: 10 FT FROM SIDE LOT LINE: 5 FT FROM REAR LOT LINE: 20 FT
	SUBDISTRICT R-4: FROM PRIMARY STREET: 20 FT FROM SIDE STREET: 15 FT FROM SIDE LOT LINE: 10 FT FROM REAR LOT LINE: 20 FT
	SUBDISTRICT H-1: FROM PRIMARY STREET: 20 FT FROM SIDE STREET: 20 FT FROM SIDE LOT LINE: 15 FT FROM REAR LOT LINE: 15 FT
	SUBDISTRICT R-1: 65%
BUILDING HEIGHT (MAX):	SUBDISTRICT R-2: 65%
	SUBDISTRICT R-3: 60%
	SUBDISTRICT R-4: 55%
	SUBDISTRICT H-1: 30%
BUILDING HEIGHT (MAX):	SUBDISTRICT R-1: 45/3 (FT / STORIES)
	SUBDISTRICT R-2: 45/3 (FT / STORIES)
	SUBDISTRICT R-3: 45/3 (FT / STORIES)
	SUBDISTRICT R-4: 45/3 (FT / STORIES)
BUILDING HEIGHT (MAX):	SUBDISTRICT H-1: 45/3 (FT / STORIES)
	SUBDISTRICT H-1: 45/3 (FT / STORIES)

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.



NO.	REVISION	DATE
1	REVIEWED PER 100% COMMENTS	8.7.25
2	REVIEWED PER 100% COMMENTS	



REFERENCES:
DEED BOOK 9528, PAGE 1148
BOOK OF MAPS 1986, PAGE 318
BOOK OF MAPS 1992, PAGE 72
*OTHER SHOWN HEREON

MATCH LINE - SHEET 2



LINE TABLE-THIS SHEET ONLY		
LINE	LENGTH	BEARING
L5	270.90	S. 02°22'31" W.
L6	382.91	S. 01°18'16" W.
L7	493.81	S. 02°02'27" W.
L8	54.29	N. 73°30'54" E.
L9	660.58	S. 45°30'30" E.
L10	42.42	S. 77°39'05" W.
L11	50.11	N. 13°25' W.
L12	50.11	N. 12°02' W.
L13	542.63	S. 72°32'56" W.
L14	234.83	N. 58°41' W.
L15	216.45	N. 58°52'44" W.
L16	37.48	S. 45°22'07" W.
L17	131.88	N. 58°45' W.
L18	108.71	N. 58°33' W.
L19	108.48	N. 58°16'38" W.
L20	107.18	N. 58°16'38" W.
L21	97.28	N. 63°53'36" W.
L22	95.27	N. 63°53'36" W.
L23	104.01	N. 65°53'13" W.
L24	102.14	N. 65°53'13" W.
L25	95.37	N. 70°13'43" W.
L26	86.93	N. 70°13'43" W.
L27	107.77	N. 72°01'51" W.
L28	106.87	N. 72°51'51" W.
L29	98.87	N. 73°46'41" W.
L30	99.12	N. 73°46'41" W.
L31	164.03	N. 73°46'41" W.
L32	163.99	N. 73°46'41" W.
L33	163.95	N. 73°46'41" W.
L34	163.99	N. 73°46'41" W.
L35	288.86	N. 74°25'54" W.
L36	291.80	N. 73°28'44" W.
L37	28.77	N. 09°12' W.

SURVEY NOTES:

1) All distances are horizontal ground distances in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.

2) This survey does not include nor depict any environmental evaluations by this office. Existing wetland(s) as shown hereon (shaded areas) and edge of water (swamp) at rear of property along Beaverdam Creek taken from a Wetland Sketch Map provided by Soil & Environmental Consultants, PA dated 12/21/2022 with Project No. 15480.W1 and have not been field located by this office. Wetland flag(s) as shown hereon labeled "OF" (old flag) were field located by this office but were not readable at time of survey so Newcomb Land Surveyors, PLLC does not warrant the connectivity or relation to shaded wetland areas by others mentioned above. All riparian buffers shown hereon measured from existing top of bank / sill line(s) or high water marks of features. No drainage areas were calculated in the preparation of this survey for possible Wake County Water Supply Watershed Buffers or easements. Site lies within the Little River Critical Watershed.

3) Field survey(s) performed June 3 thru July 17, 2024.

4) Surveyor has made no investigation or independent search for easements of record, right(s) of way, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose and may or may not be depicted hereon.

5) The locations of underground utilities as shown hereon (if any) are based on aboveground structures & aboveground visual evidence only. Locations of underground utilities/structures may vary from location shown hereon and any easements associated therewith may not be shown on this survey. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. No utility locate tickets nor a private locator were utilized in the preparation of this survey.

6) Rear of subject property is located within a special flood hazard zone "AE" and "Floodway" per FEMA Flood Insurance Rate Map (FIRM) #3720271600L, effective date July 19, 2022.

7) The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is ±0.07'.

HORIZONTAL DATUM = NAD 83 / 2011
VERTICAL DATUM = NAVD 88

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET

I, Justin L. Luther, certify that this plot was drawn under my supervision from an actual survey made under my supervision from references as noted on said plot; that the boundaries not surveyed are clearly indicated as drawn from information as indicated under references; that the ratio of precision or positional accuracy as calculated is greater than 1:10,000; that this plot was prepared in accordance with NCGS 47-30 as amended.

Witness my original signature, license number and seal this 18th day of July, 2024.

Professional Land Surveyor (L-5107)



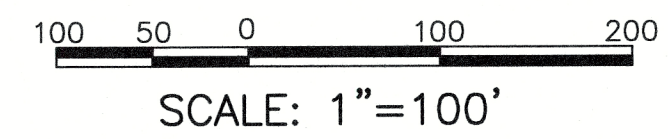
POSITIONAL ACCURACY CERTIFICATION:

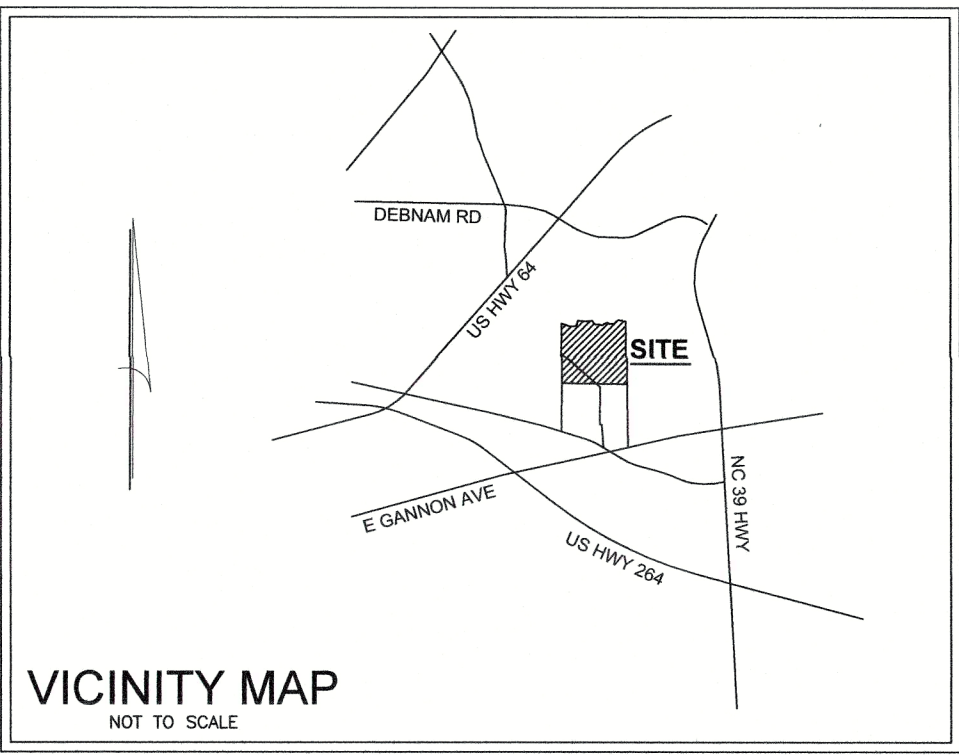
I, Justin L. Luther, certify that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:

(1) Class of survey: Urban Land Class (A)
(2) Positional accuracy: 0.07'
(3) Type of GPS field procedure: Real-time Kinematic network
(4) Date(s) of survey: June 18, 2024
(5) Datum / Epoch: NAD 83 (NSRS 2011)
(6) Published / Fixed-control used: NC Real-time Kinematic network
(7) Geoid model: Geoid 1988
(8) Combined grid factor(s): 0.99991793
(9) Units: U.S. Survey Feet

LEGEND and NOMENCLATURE	
SYMBOLS	LINE TYPES
○ Ex. iron pipe/rod or nail	— X — Fence
□ Ex. concrete monument	— OU — Overhead utility
● New iron pipe	— W — Water
○ Calculated point	— SS — Sanitary sewer
⊠ Cable pedestal	— SD — Storm drain pipe
⊞ Telephone pedestal	
⊞ Electric pedestal	
⊞ Septic tank lids	DB Deed Book
⊞ Water spigot (irrigation)	PB or BM Plat Book / Book of Maps
⊞ Propane tank	PL Property line
⊞ Water meter	PG Page
⊞ Fire hydrant	S.F. Square feet
⊞ Valve (water or gas)	AC. Acres
⊞ Sanitary sewer manhole	R/W Right-of-way
⊞ Sanitary sewer cleanout	EX. Existing
⊞ Storm curb inlet	CL Centerline
⊞ Drainage inlet (w/ grate)	G. Gazebo
⊞ Electric manhole	SS Stable / shed
⊞ Utility pole	P. Porch
⊞ Lamp post	O. Overhang
⊞ Signal pole	H. House
⊞ Guy wire	B. Barn
⊞ Sign post	C. Concrete
	D. Deck / dock
	AG Above ground
	BG Below ground

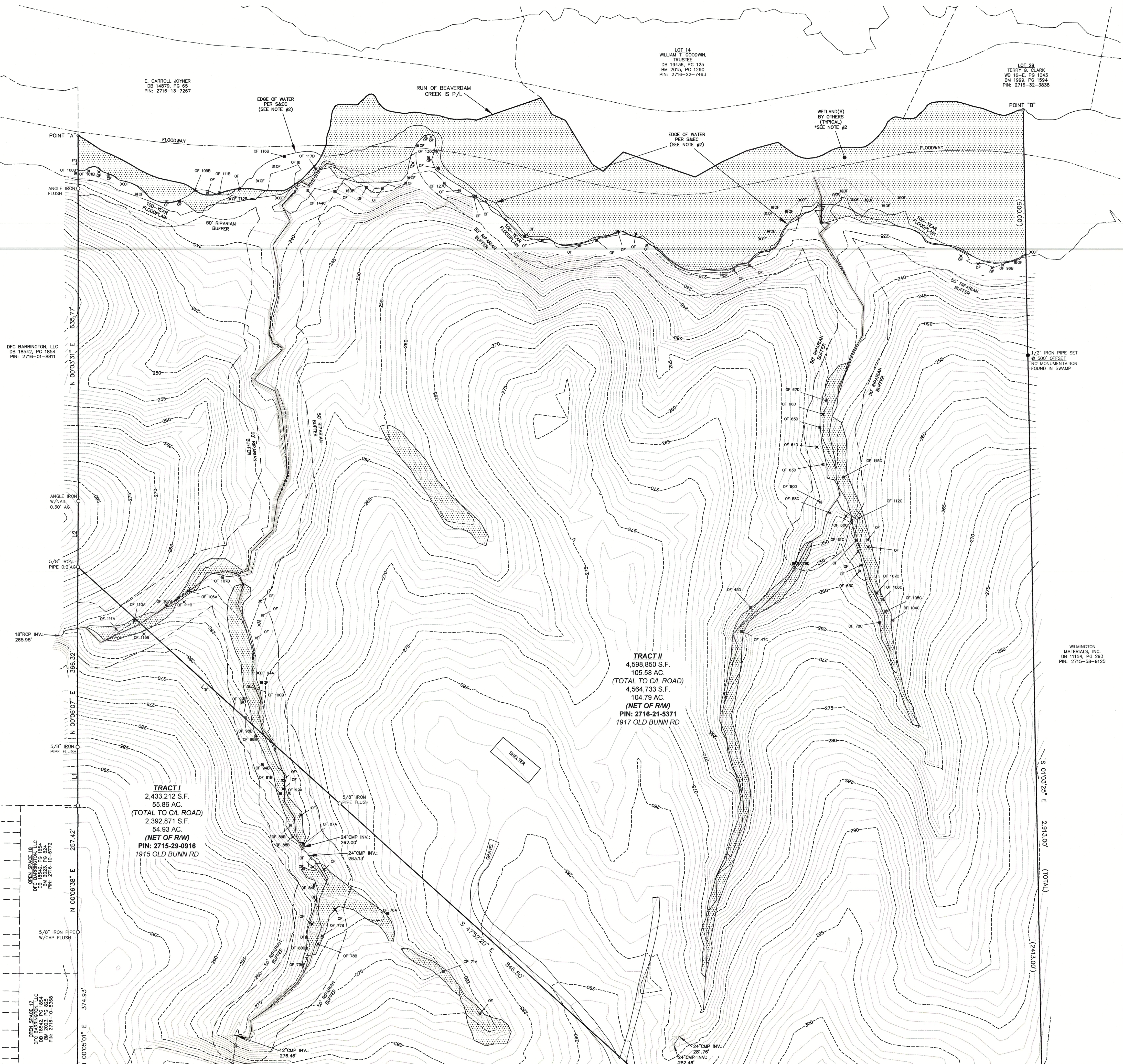
BOUNDARY & TOPOGRAPHIC SURVEY
PROPERTIES OF
THOMAS C. & JILL D. HENDRICKSON
LITTLE RIVER TOWNSHIP WAKE COUNTY NORTH CAROLINA





RUN OF BEAVERDAM CREEK FROM POINT "A" TO POINT "B"											
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
P1	2.52	S 84°42'15" E	P41	25.41	N 23°47'23" E	P81	5.35	S 88°38'13" E	P121	6.97	N 59°35'30" E
P2	9.99	S 81°11'47" E	P42	5.28	N 13°42'16" E	P82	5.04	S 89°33'51" E	P122	7.28	N 59°35'30" E
P3	19.87	S 87°27'18" E	P43	10.01	N 2°31'47" E	P83	18.15	S 77°52'41" E	P123	8.87	N 49°34'45" E
P4	21.50	S 80°38'48" E	P44	6.58	N 8°27'56" E	P84	9.08	S 82°28'58" E	P124	12.84	N 49°34'45" E
P5	7.83	S 83°29'54" E	P45	13.17	N 19°58'58" E	P85	7.50	S 89°24'44" E	P125	14.86	N 39°24'37" E
P6	16.81	S 87°15'33" E	P46	8.49	N 13°22'10" E	P86	4.55	S 81°20'02" E	P126	11.42	N 33°10'23" E
P7	23.27	S 84°33'09" E	P47	28.00	N 7°41'46" E	P87	10.85	S 74°19'54" E	P127	6.21	N 23°44'14" E
P8	21.06	S 81°27'17" E	P48	4.71	N 21°47'40" E	P88	4.27	S 69°28'30" E	P128	2.92	N 30°37'25" E
P9	19.36	S 88°28'27" E	P49	9.12	N 28°33'51" E	P89	8.23	S 78°22'59" E	P129	6.68	N 48°24'14" E
P10	16.21	S 83°28'09" E	P50	2.46	N 54°17'16" E	P90	9.10	S 81°18'52" E	P130	5.79	N 58°58'56" E
P11	11.52	S 85°39'36" E	P51	4.11	N 62°48'15" E	P91	13.25	S 89°27'35" E	P131	3.02	N 65°32'30" E
P12	13.03	S 79°51'16" E	P52	3.13	N 23°45'11" E	P92	13.77	N 87°31'17" E	P132	3.06	N 78°14'26" E
P13	9.31	S 75°13'36" E	P53	6.50	N 88°20'40" E	P93	8.77	S 86°43'42" E	P133	4.01	S 85°38'25" E
P14	43.87	S 77°56'26" E	P54	10.27	S 86°31'25" E	P94	9.70	S 78°28'27" E	P134	11.87	S 75°46'19" E
P15	5.84	S 68°01'07" E	P55	18.01	S 88°11'59" E	P95	136.88	N 71°23'38" E	P135	5.76	S 86°15'57" E
P16	5.93	S 62°21'48" E	P56	3.42	N 71°50'59" E	P96	40.85	S 33°31'41" E	P136	15.28	N 88°71'77" E
P17	23.85	S 56°38'43" E	P57	2.30	N 49°26'51" E	P97	29.59	S 86°29'54" E	P137	3.44	N 70°54'29" E
P18	5.88	S 61°43'46" E	P58	4.81	N 40°38'42" E	P98	104.58	S 31°16'21" E	P138	5.20	N 34°46'14" E
P19	5.55	S 70°57'27" E	P59	12.27	N 48°50'10" E	P99	26.02	S 56°36'50" E	P139	8.76	N 43°15'47" E
P20	6.32	S 81°28'13" E	P60	5.40	N 38°39'49" E	P100	56.74	N 48°39'51" E	P140	8.12	N 50°18'44" E
P21	11.75	N 80°41'52" E	P61	4.34	N 48°31'11" E	P101	154.82	S 70°48'15" E	P141	4.36	N 43°15'55" E
P22	4.02	N 84°37'56" E	P62	3.17	N 60°21'47" E	P102	63.39	N 80°44'37" E	P142	7.69	N 31°21'48" E
P23	4.34	N 78°22'02" E	P63	3.20	N 89°23'28" E	P103	55.65	N 85°48'28" E	P143	4.16	N 48°12'28" E
P24	11.78	N 72°43'10" E	P64	3.26	N 84°33'53" E	P104	64.76	N 74°49'41" E	P144	3.82	N 58°24'31" E
P25	13.33	N 73°40'40" E	P65	3.46	S 83°56'43" E	P105	44.37	S 53°22'48" E	P145	6.62	N 70°41'57" E
P26	14.09	N 77°54'37" E	P66	4.82	S 85°43'32" E	P106	8.31	S 68°50'13" E	P146	5.57	N 80°58'11" E
P27	16.31	N 84°56'39" E	P67	4.37	S 30°57'21" E	P107	8.42	S 71°49'58" E	P147	26.80	N 86°39'29" E
P28	12.25	S 89°25'48" E	P68	5.09	S 26°15'29" E	P108	9.78	S 83°36'58" E	P148	14.52	S 86°47'34" E
P29	13.31	S 84°35'47" E	P69	5.38	S 30°44'42" E	P109	11.55	N 84°29'24" E	P149	6.33	S 80°54'37" E
P30	18.14	S 82°52'27" E	P70	4.70	S 35°48'37" E	P110	9.48	N 77°25'51" E	P150	8.55	S 74°44'59" E
P31	10.02	S 86°48'56" E	P71	4.52	S 45°46'24" E	P111	8.85	N 68°56'36" E	P151	20.16	S 72°41'11" E
P32	24.25	S 89°33'26" E	P72	4.46	S 45°46'24" E	P112	21.43	N 61°12'36" E	P152	19.21	S 77°44'46" E
P33	4.52	N 88°14'21" E	P73	4.69	S 53°47'48" E	P113	9.36	N 69°15'52" E	P153	11.45	S 69°52'43" E
P34	5.77	N 77°54'37" E	P74	5.08	S 62°46'12" E	P114	7.26	N 74°20'49" E	P154	17.78	S 68°71'85" E
P35	5.74	N 66°13'48" E	P75	4.25	S 70°13'45" E	P115	4.04	N 82°10'42" E	P155	15.74	S 75°44'47" E
P36	28.25	N 56°16'25" E	P76	8.88	S 78°22'27" E	P116	9.50	S 87°57'20" E	P156	3.50	S 87°57'20" E
P37	8.52	N 86°46'12" E	P77	21.77	S 80°45'50" E	P117	10.53	S 85°54'57" E	P157	3.55	N 73°52'18" E
P38	39.00	N 43°18'35" E	P78	4.51	N 87°36'58" E	P118	11.75	S 87°18'26" E	P158	7.39	N 71°51'41" E
P39	9.40	N 35°46'14" E	P79	10.98	N 78°10'32" E	P119	7.77	N 88°18'26" E	P159	10.09	N 68°32'02" E
P40	9.07	N 28°14'56" E	P80	6.29	N 87°58'55" E	P120	8.91	N 83°34'34" E	P160	9.17	N 84°45'42" E
									P161	10.08	N 84°48'17" E

NC GRID NORTH
(NAD 83/2011)



MATCH LINE - SHEET 1

LEGEND and NOMENCLATURE

SYMBOLS	LINETYPES
○ Ex. iron pipeline or nail	— Fence
□ Ex. concrete monument	— Overhead utility
● New iron pipe	— Water
○ Calculated point	— Sanitary sewer
□ Cable pedestal	— Storm drain pipe
□ Telephone pedestal	
□ Electric pedestal	DB Dead Brook
□ Septic tank (S&S)	PB or BM Plat Book / Book of Maps
□ Water spigot (irrigation)	PIL Property line
□ Propane tank	PG Page
□ Water meter	S.F. Square feet
□ Fire hydrant	AC. Acres
□ Valve (water or gas)	R/W Right-of-way
□ Sanitary sewer manhole	EX Existing
□ Sanitary sewer cleanout	CL Centerline
□ Storm curb inlet	G Gasbore
□ Drainage inlet (w/ grate)	S Shale / shiel
□ Electric manhole	P Porch
□ Utility pole	O Overhang
□ Lamp post	H House
□ Signal pole	B Barn
□ Guy wire	C Concrete
□ Sign post	D Deck / dock
	AG Above ground
	BG Below ground

LINE TABLE—THIS SHEET ONLY		
LINE	LENGTH	BEARING
L1	118.22	N 01°13' E
L2	134.06	N 02°14' E
L3	198.06	N 03°31' E
L4	716.94	S 47°54' E

BOUNDARY & TOPOGRAPHIC SURVEY
PROPERTIES OF
THOMAS C. & JILL D. HENDRICKSON

LITTLE RIVER TOWNSHIP WAKE COUNTY NORTH CAROLINA

100 50 0 100 200
SCALE: 1"=100'

NEWCOMB land surveyors, Llc, 7008 Harps Mill Road, Ste. 105, Raleigh, NC 27615, (919) 847-1800

SHEET 2 OF 2

JOB NO.: 2410006
FILE NAME: B/T
PLOT DATE: 7/16/24

LEGEND		
----	LOG	LIMITS OF CONSTRUCTION
----	LOD	LIMITS OF DISTURBANCE
----	LOD/LOC	LIMITS OF DISTURBANCE & CONSTRUCTION
----	UKN UTIL	EXISTING UNKNOWN UTILITY
---	TV	EXISTING TV
---	UT	EXISTING TELEPHONE
---	COMM	EXISTING COMMUNICATIONS
---	CTV	EXISTING CATV
---	FO	EXISTING FIBER OPTIC
---	W	EXISTING WATER PIPE
---	FM	EXISTING WATER FORCE MAIN
---	WF	EXISTING WATER FIRE LINE
---	SS	EXISTING SANITARY SEWER PIPE
---	FS	EXISTING SANITARY SEWER FORCE MAIN
---	SD	EXISTING STORM PIPE
---	G	EXISTING GAS PIPE
---	OHE	EXISTING OVERHEAD ELECTRIC
---	UE	EXISTING UNDERGROUND ELECTRIC
X - X - X	X	EXISTING FENCE
---	TPF	EXISTING TREE PROTECTION FENCE
---	SF-TF	EXISTING SILT/TREE PROTECTION FENCE
O	O	EXISTING GUARDRAIL
-----	-----	EXISTING TREE LINE
////////	////////	EXISTING UTILITY TO BE REMOVED
W	W	PROPOSED WATER PIPE
FM	FM	PROPOSED WATER FORCE MAIN
WF	WF	PROPOSED WATER FIRE LINE
SS	SS	PROPOSED SANITARY SEWER PIPE
FS	FS	PROPOSED SANITARY SEWER FORCE MAIN
SD	SD	PROPOSED STORM PIPE
G	G	PROPOSED GAS PIPE
OHE	OHE	PROPOSED OVERHEAD ELECTRIC
UE	UE	PROPOSED UNDERGROUND ELECTRIC
X - X - X	X	PROPOSED FENCE
---	TPF	PROPOSED TREE PROTECTION FENCE
----	----	PROPOSED TREE CONSERVATION AREA
----	SF-TF	PROPOSED SILT/TREE PROTECTION FENCE
■ ■ ■	■ ■ ■	PROPOSED GREENWAY
O	O	PROPOSED GUARDRAIL
---	---	PROPOSED TREE LINE
SF	SF	PROPOSED TEMPORARY SILT FENCE
> >	> >	PROPOSED TEMPORARY DIVERSION DITCH
FFE	FFE	FINISHED FLOOR ELEVATION
FL	FL	FLOW LINE
TC	TC	TOP OF CURB
TG	TG	TOP OF GROUND
EOP	EOP	EDGE OF PAVEMENT
TP	TP	TOP OF PAVEMENT
TW	TW	TOP OF WALL
BW	BW	BOTTOM OF WALL
HP	HP	HIGH POINT
LP	LP	LOW POINT
→	→	FLOW DIRECTION

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF ZEBULON, NCDOT, NCDEQ, AND MUTCD STANDARDS AND SPECIFICATIONS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION DEEPER THAN TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER / DEVELOPER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT. FIELD SURVEY PERFORMED JULY 18, 2024.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS, PERFORMED BY A REGISTERED PROFESSIONAL LAND SURVEYOR, TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER / DEVELOPER.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY NC811 (TELEPHONE 811 OR 1-800-632-4949) AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NC811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE OWNER / DEVELOPER SHALL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THROUGHFARES AS REQUIRED PER TOWN OF ZEBULON. THE OWNER / DEVELOPER SHALL CONTACT THE UTILITY COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE PRELIMINARY PLAN.
- SEPARATE BUILDING PERMITS ARE REQUIRED FOR RETAINING WALLS, BOARDWALKS, BRIDGES, DUMPSTER ENCLOSURES, MONUMENTS, SIGNS, OR OTHER ACCESSORY STRUCTURES OR ELEMENTS. CONTACT THE TOWN OF ZEBULON INSPECTIONS DEPARTMENT.
- PAVEMENT SECTIONS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO BEGINNING ROADWAYS CONSTRUCTION.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER / DEVELOPER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER / DEVELOPER, AND ENGINEER AND BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE. ANY DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
- EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
- SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
- ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
- ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
- UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
- ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH MOORE COUNTY HEALTH DEPARTMENT STANDARDS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

PRELIMINARY PLAT NOTES:

- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADI DIMENSIONS ARE TO BACK OF CURB.
- ALL RADII TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE TOWN OF ZEBULON, NCDOT, AND MUTCD STANDARDS AND SPECIFICATIONS.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL TRAFFIC SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- ALL STREET SIGNS SHALL ADHERE TO THE 2009 MUTCD REQUIREMENTS RELATED TO COLOR, LETTER CASE, AND LETTER HEIGHTS.
- THE MINIMUM HEIGHT FROM GROUND TO BOTTOM OF TRAFFIC SIGNS IS 7 FEET.
- VERIFY ALL SETBACKS WITH TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- ALL ACCESSIBLE RAMPS SHALL HAVE DETECTABLE WARNING SURFACES AS SHOWN ON NCDOT DETAIL 848.05.
- NEW CURB RAMPS MUST MEET THE CURRENT NC BUILDING CODE AND IC/ANSI A117.1-2009S FOR SLOPE (MAX 1:12), WIDTH 48" AND A 4'-0" LANDING NOT EXCEEDING 2% SLOPE AT THE TOP OF THE RAMP. LANDINGS SHOULD BE MARKED AND SPOT ELEVATIONS PROVIDED.
- CURB RAMP LOCATIONS ARE APPROXIMATE ONLY. WHEELCHAIR RAMPS SHOULD BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF ZEBULON AND NCDOT STANDARDS AFTER LOCATIONS OF THE PROPOSED STOP BARS AND/OR PEDESTRIAN CROSSWALKS HAVE BEEN STAKED OUT.
- DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NOT CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTIONS BETWEEN 2' AND 10' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO, ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- TRASH RECEPTACLES WILL BE CURBSIDE PICKUP WHERE APPLICABLE.
- DRIVEWAYS SHALL BE COMPLIANT WITH THE TYPICAL PARKING DIMENSIONS IN THE TOWN OF ZEBULON, AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRADING NOTES:

- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF MOORE COUNTY, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR SLAB SUBGRADE REQUIREMENTS FOR EACH BUILDING PAD.
- ALL SIDEWALKS SHALL BE GRADED TO INCLUDE A MINIMUM 2" SHOULDER UNLESS NOTED OTHERWISE ON GRADING PLAN. CROSS-SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 3" PER FOOT.
- SPILL CURB LOCATIONS SHALL BE DETERMINED BY CONTRACTOR.
- GRADING AROUND ALL STRUCTURES MUST MEET THE MOST CURRENT NC STATE BUILDING CODE SECTION FOR SITE GRADING. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS, OR LOT LINES, PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER / DEVELOPER.
- CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS OFF SITE. THIS RESPONSIBILITY SHALL INCLUDE ALL REQUIRED APPROVALS AND CONDITIONS DICTATED BY THE TOWN OF ZEBULON.

- ALL OPEN STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY.
- CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTION INDICATED ON PLANS.
- CONTRACTOR SHALL INITIATE CONSTRUCTION SEQUENCE BEFORE BEGINNING CLEARING AND GRADING ON-SITE OPERATIONS.
- CONTRACTOR SHALL STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED 2:1, UNLESS OTHERWISE NOTED.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL EXISTING VEGETATION. CONTRACTOR TO PROTECT VEGETATION LOCATED BEYOND GRADING LIMITS.
- COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY, OR PER GEOTECHNICAL RECOMMENDATIONS.
- PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADED.
- ALL 2:1 SLOPES, WHERE SPECIFIED, TO BE STABILIZED WITH TURF REINFORCEMENT MAT PER MANUFACTURER'S RECOMMENDATIONS.
- THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A GEOTECHNICAL ENGINEER, AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES, THE TOWN OF ZEBULON MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS, AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

RETAINING WALL NOTES:

- RETAINING WALL ALIGNMENTS SHOWN ON THESE PLANS DEPICT THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE BOTTOM OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL UNLESS THE CONTRACTOR OR DEVELOPER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGNED BY OTHERS). ALL SAFETY RAILS SHALL MEET CURRENT NC BUILDING CODE. SAFETY RAILS SHALL BE 42" IN HEIGHT WITH OPENING NO MORE THAN 4" WITH THE BOTTOM RAIL NO MORE THE 2" ABOVE GROUND.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY OR TOWN OF ZEBULON EASEMENTS.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.
- RETAINING WALLS AS SHOWN REPRESENT TOP OF WALLS, THE WALL DESIGNER IS RESPONSIBLE FOR DETERMINING CONSTRAINTS FOR ANY TIE-BACKS, WALL TAPERS, ETC. DUE TO THE PRESENCE OF EASEMENTS, UTILITIES, BUILDING FOUNDATIONS, BUFFERS, ETC.
- RETAINING WALLS SHALL REQUIRE A BUILDING PERMIT FROM THE TOWN OF ZEBULON INSPECTIONS DEPARTMENT.
- AT ALL AREAS WHERE THE RETAINING WALLS ARE BEING CONSTRUCTED, THE REINFORCING NEEDED FOR THE TIE-BACKS CANNOT BE LOCATED WITHIN 5' OF PROPOSED UTILITY LINES.
- RETAINING WALLS SHALL BE DESIGNED TO ENSURE NO UTILITIES CONFLICT WITH STRUCTURAL REINFORCEMENT OF THE WALLS.
- FENCES SHALL BE INSTALLED ALONG THE TOPS OF ALL RETAINING WALLS IN EXCESS OF 30" HIGH AND WHERE FENCES ARE DEEMED REQUIRED OR NECESSARY BY THE TOWN OF ZEBULON. FENCES LOCATED IN REAR AND SIDE YARDS SHALL BE BLACK VINYL EPOXY COATED CHAIN-LINK.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF ZEBULON, AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS WITH AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAIL MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP 8" SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- PIPE FOR ROOF DRAINS SHALL BE PVC SDR-26 AND PLACED IN ACCORDANCE WITH TOWN OF ZEBULON SANITARY SEWER STANDARDS AND SPECIFICATIONS.
- INSTALLATION OF HDPE PIPE SHALL BE IN ACCORDANCE WITH ASTM D2321 AND SHALL BE CERTIFIED BY AN ENGINEER ACCORDING TO TOWN OF ZEBULON'S STANDARDS.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.

GENERAL UTILITY NOTES:

- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON, THE CURRENT REQUIREMENTS OF CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-554), FEDERAL REGISTER OF REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH ACT, AND THE FEDERAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. 811 AT "811 OR 1-800-632-4949" THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- CONDUIT LOCATIONS TO SIGNS AND SITE LIGHT POLES TO BE COORDINATE WITH OWNER/DEVELOPER.
- CONTRACTOR SHALL VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.
- ALL TOWN OF ZEBULON UTILITY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH AND TOWN OF ZEBULON STANDARD SPECIFICATIONS AND DETAILS IN EFFECT AT TIME OF UTILITY PERMITTING.

- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S / DEVELOPER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- ELECTRIC, TELEPHONE, GAS, AND CABLE TV SERVICES ROUTING ARE NOT A PART OF THIS PLAN.
- IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL METERS, APPURTENANCES, AND SERVICE LINES AS SHOWN ON THE PLAN PER STANDARDS AND SPECIFICATIONS. NOT ALL SUCH APPURTENANCES ARE SHOWN AS ARE REQUIRED TO PROPERLY INSTALL UTILITIES IN THE FIELD. CHANGES NECESSARY TO INSTALL DEVICES SHALL BE APPROVED BY ENGINEER OR OWNERS' / DEVELOPER'S REPRESENTATIVE PRIOR TO INSTALLATION. IF NOTIFICATION IS NOT PROVIDED IN ADVANCE, CONTRACTOR MAY NOT RECEIVE REIMBURSEMENT FOR CHANGES/MODIFICATIONS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

WATER AND SEWER STANDARD NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH TOWN OF ZEBULON DESIGN STANDARDS, DETAILS, AND SPECIFICATIONS.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL, OR 50" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL EASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING TOWN OF ZEBULON UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER ZEBULON PUBLIC WORKS DEPARTMENT PROCEDURE.
- INSTALL 4" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE CIT OF SANFORD CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A BLDG PERMIT.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS; IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

GENERAL PLANTING NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
- CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
- METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
- ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS GRASS LAWN.
- ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDDED HARDWOOD MULCH AT A THICKNESS OF 3".
- ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLON GRANULES).
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE TOWN OF ZEBULON.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.
- ALL LANDSCAPING WILL BE MAINTAINED IN PERPETUITY.
- NO PLANTING, STRUCTURE, FENCE, WALL, SLOPE, EMBANKMENT, PARKED VEHICLE, OR OTHER OBSTRUCTION TO VISION BETWEEN THE HEIGHTS OF TWO-AND-ONE-HALF (2 1/2) FEET AND TEN FEET ABOVE THE CENTERLINE GRADES OF INTERSECTING STREETS OR ACCESSWAYS MAY BE LOCATED WITHIN A REQUIRED SIGHT DISTANCE TRIANGLE, IN ACCORDANCE WITH THE TOWN OF ZEBULON'S ORDINANCE AND NCDOT'S STANDARDS AS APPLICABLE.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 GREENDOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613

PROJECT ENGINEER:
PDP

DATE: 8.7.2023

PROJECT CAD DESIGNER:
PDP

PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION

ZEBULON, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

LEGENDS & NOTES

SEAL:
NORTH CAROLINA
REGISTERED PROFESSIONAL LAND SURVEYOR
020573
J. BENNETT

DATE: 8.7.2023
REVISED PER PDP
2
REVISED PER PDP

REVISION

NO.

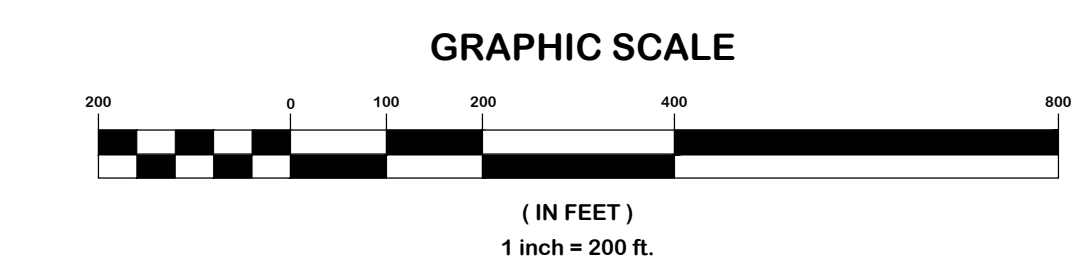
DRAWING SHEET

C-0.1

PROJECT NUMBER

673-23

C:\Public\10-Projects\600-699\673-23-Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawing\54-Design\673-23 C-1.0.dwg Feb 14, 2025 -- 9:27am BY: Jacob



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 844 4399 | Fax: 919 948 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 CREEDMORE ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613

DATE: 8.7.2023

PROJECT ENGINEER:
PJP

PROJECT CAD DESIGNER:
PJP

PROJECT SURVEYOR:
NEWCOMB LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA

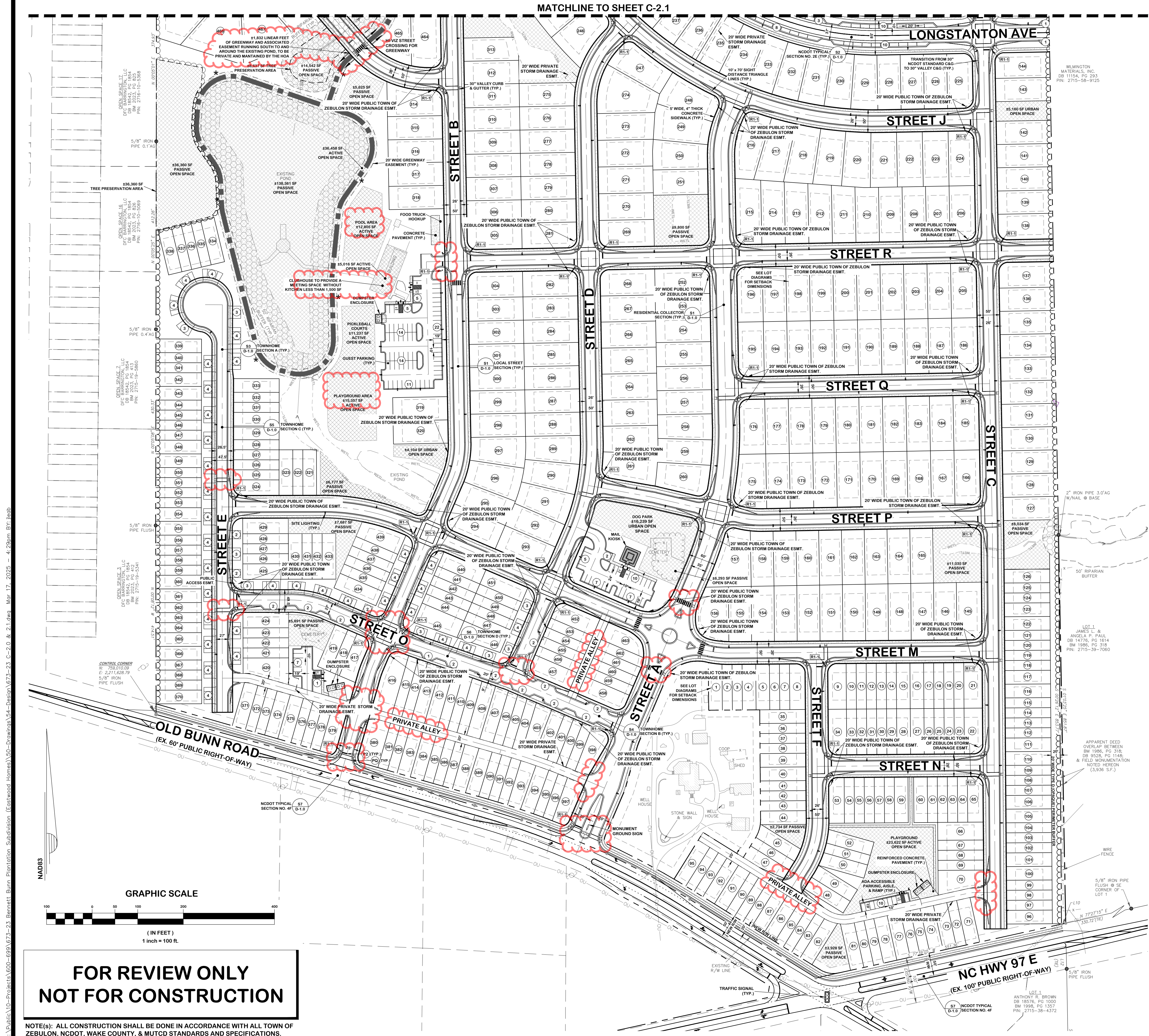
MASTER PLAN
EXISTING CONDITIONS & DEMOLITION PLAN

SCALE:
1" = 200'

DATE:
2.14.25

NO.	REVISION	DATE
1	REVISED PER PDP	2.14.25

DRAWING SHEET
C-1.0
PROJECT NUMBER
673-23



SIGNS

R1-1 MUTCD "STOP" R1-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W2-1 MUTCD "CROSS ROAD INTERSECTION" W2-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

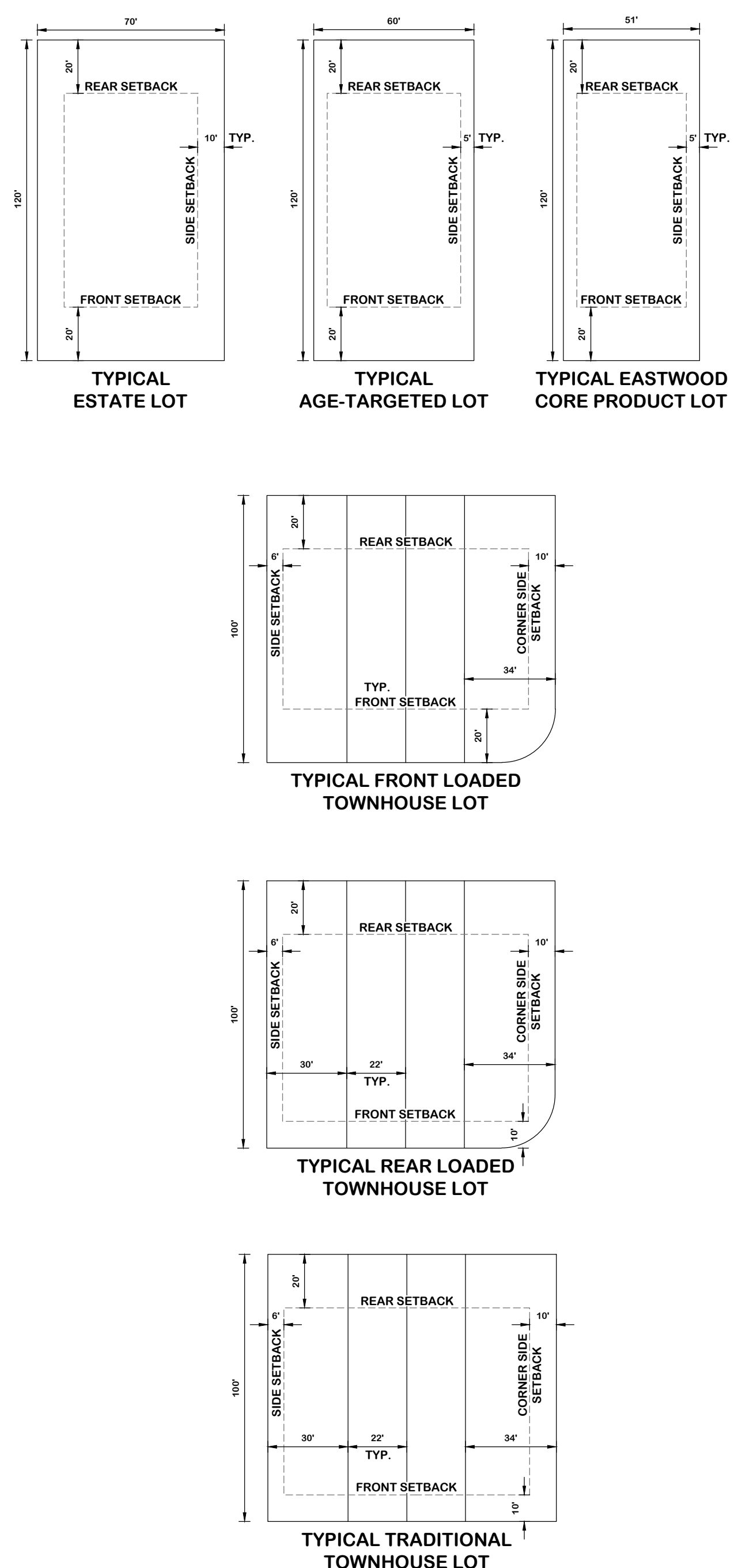
W11-2 MUTCD "PEDESTRIAN" W11-2
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W16-9P MUTCD "AHEAD" W16-9P
(SUPPLEMENTAL WARNING PLAQUE)

KEY ITEM	DESCRIPTION	WIDTH
P2 PAINT	WHITE STOP BAR	24"
P3 PAINT	WHITE CROSSWALK LINE	24"
PQ PAINT	WHITE STOP BAR	8"

LEGEND

* TRAILSIDE EXERCISE STATION, LOCATED EVERY
+/-300-350 LF ALONG GREENWAY TRAILS THAT
ARE IDENTIFIED AS PRIVATE (OWNED AND
MAINTAINED BY THE SUBDIVISION HOA)



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 444 4399 | Fax: 919 444 4395 | NC LICENSE NUMBER: C-3311

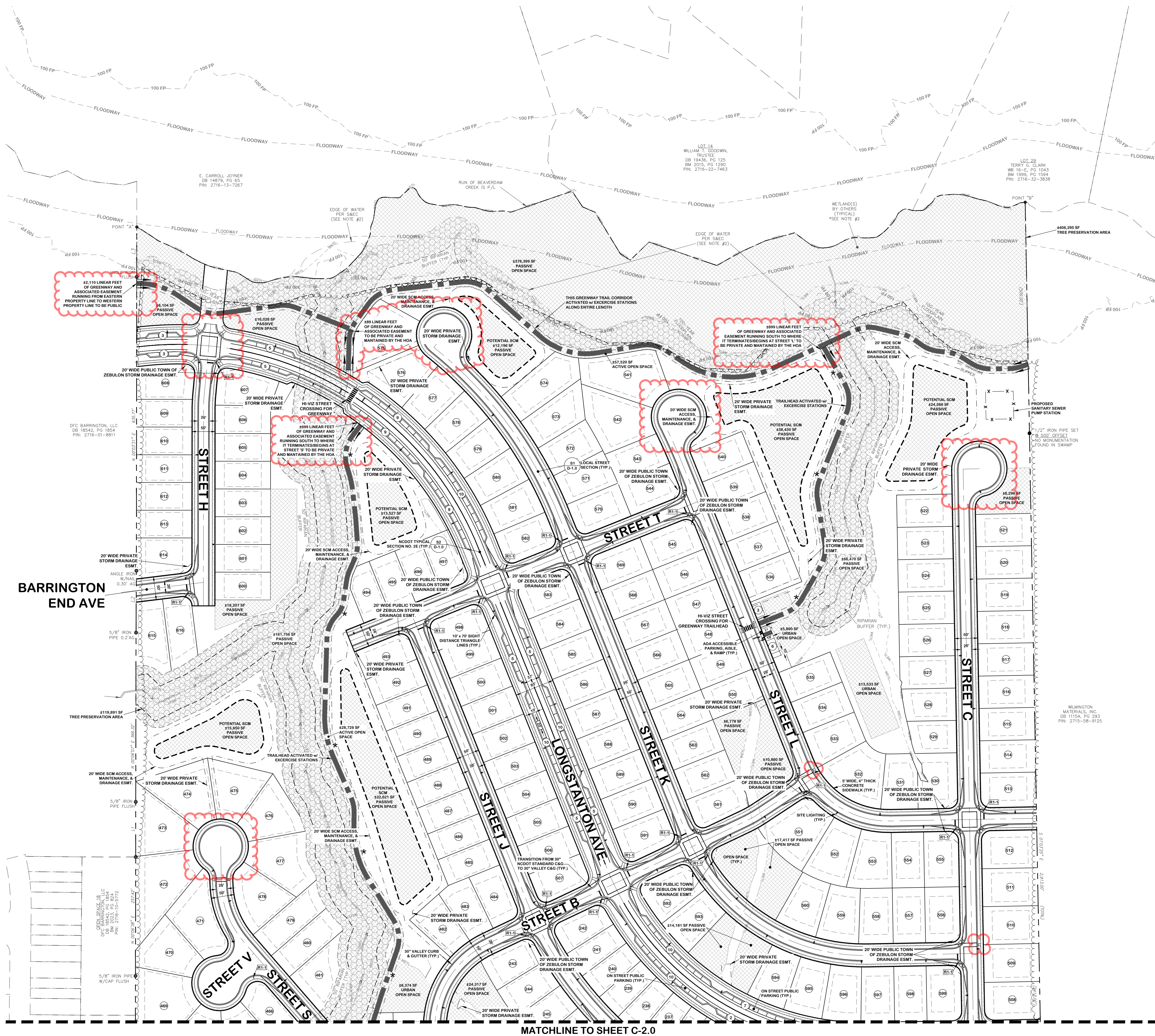
PREPARED FOR:
EASTWOOD HOMES, INC.
7101 GREEDMOR ROAD, SUITE 115
FALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
SITE LAYOUT PLAN

SCALE: 1"=100'
DATE: 8.7.2023
REVISION:
1. REVISED PER 102 COMMENTS
2. REVISED PER 102 COMMENTS

DRAWING SHEET
C-2.0
PROJECT NUMBER
673-23

C:\Public\10-Projects\600-699\673-23_Bennett_Bunn_Plan\Subdivision (Eastwood Homes)\50-Drawing\54-Design\673-23_C-2.0 & 2.1.dwg, 17:2025 - 4:30pm Bx: jeb



SIGNS

R1-1

MUTCD "STOP" R1-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W2-1

MUTCD "CROSS ROAD INTERSECTION" W2-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W11-2

MUTCD "PEDESTRIAN" W11-2
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W16-9P

MUTCD "AHEAD" W16-9P
(SUPPLEMENTAL WARNING PLAQUE)

KEY ITEM	DESCRIPTION	WIDTH
P2 PAINT	WHITE STOP BAR	24"
P3 PAINT	WHITE CROSSWALK LINE	24"
PQ PAINT	WHITE STOP BAR	8"

LEGEND
★ TRAILSIDE EXERCISE STATION, LOCATED EVERY +/300-350 LF ALONG GREENWAY TRAILS THAT ARE IDENTIFIED AS PRIVATE (OWNED AND MAINTAINED BY THE SUBDIVISION HOA)

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

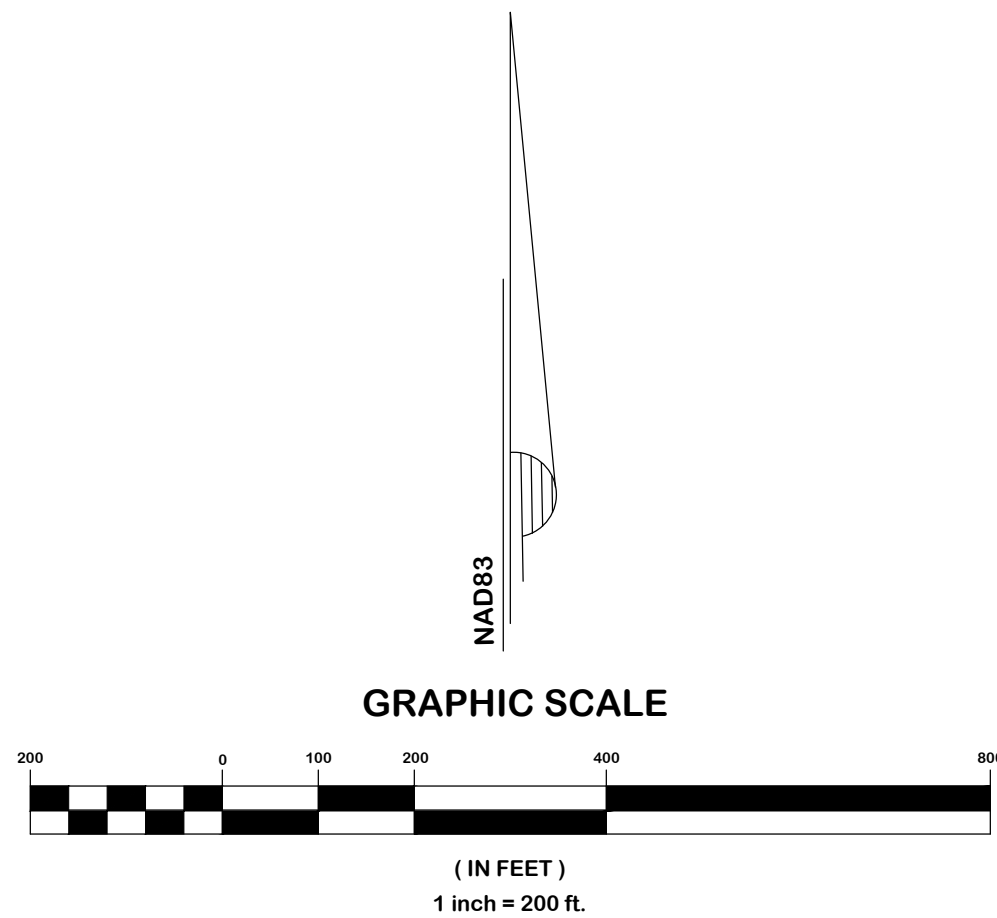
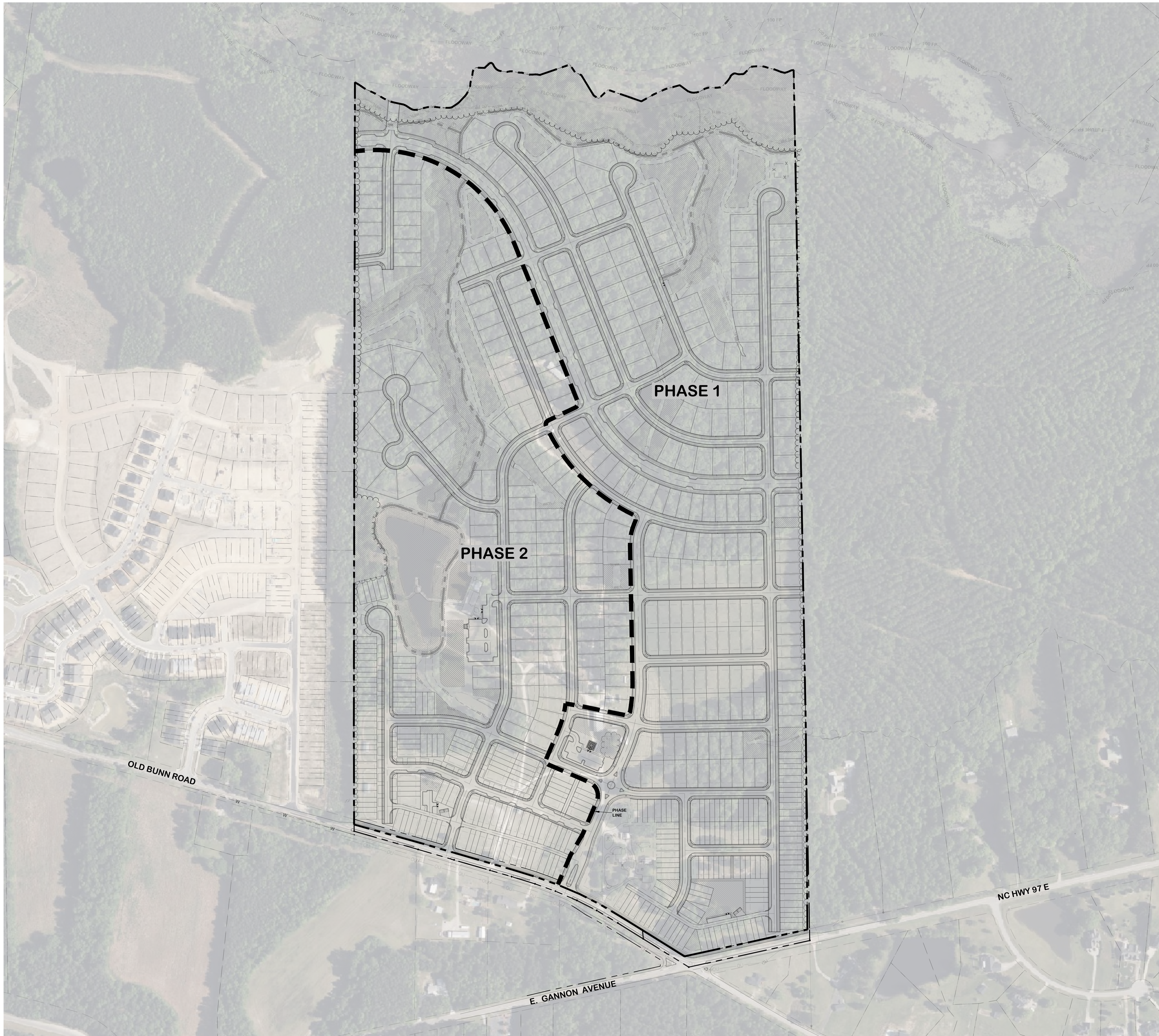
PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 944 4399 | Fax: 919 944 4392 | NC LICENSE NUMBER: C-3311

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
SITE LAYOUT PLAN

NO.	DATE	REVISION
1	8/7/25	REVISED PER 102 COMMENTS
2	8/7/25	REVISED PER 102 COMMENTS

DRAWING SHEET
C-2.1
PROJECT NUMBER
673-23

F:\Public\10-Projects\600-699\673-23 Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawings\54-Design\673-23 C-2.2.dwg Mar 13, 2025 - 4:07pm BY: jacob

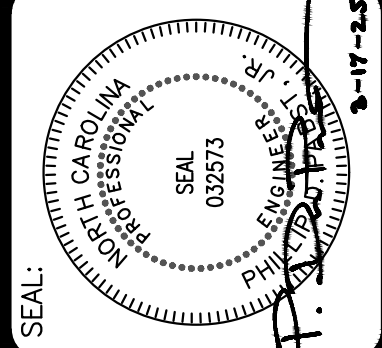


FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 944 4399 | Fax: 919 944 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	EASTWOOD HOMES, INC. 7101 CREEDMOOR ROAD, SUITE 115 RALEIGH, NORTH CAROLINA 27613
DATE:	8.7.2023
PROJECT ENGINEER:	PJP
PROJECT CAD DESIGNER:	PJP
PROJECT SURVEYOR:	NEWCOMB LAND SURVEYORS, LLC

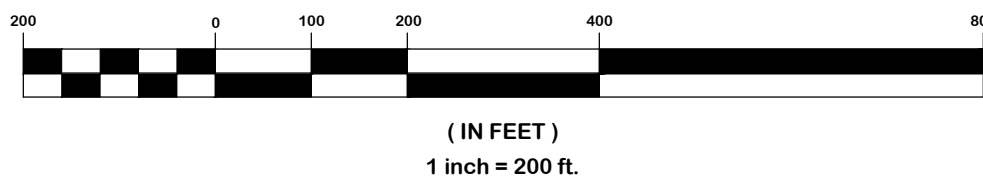
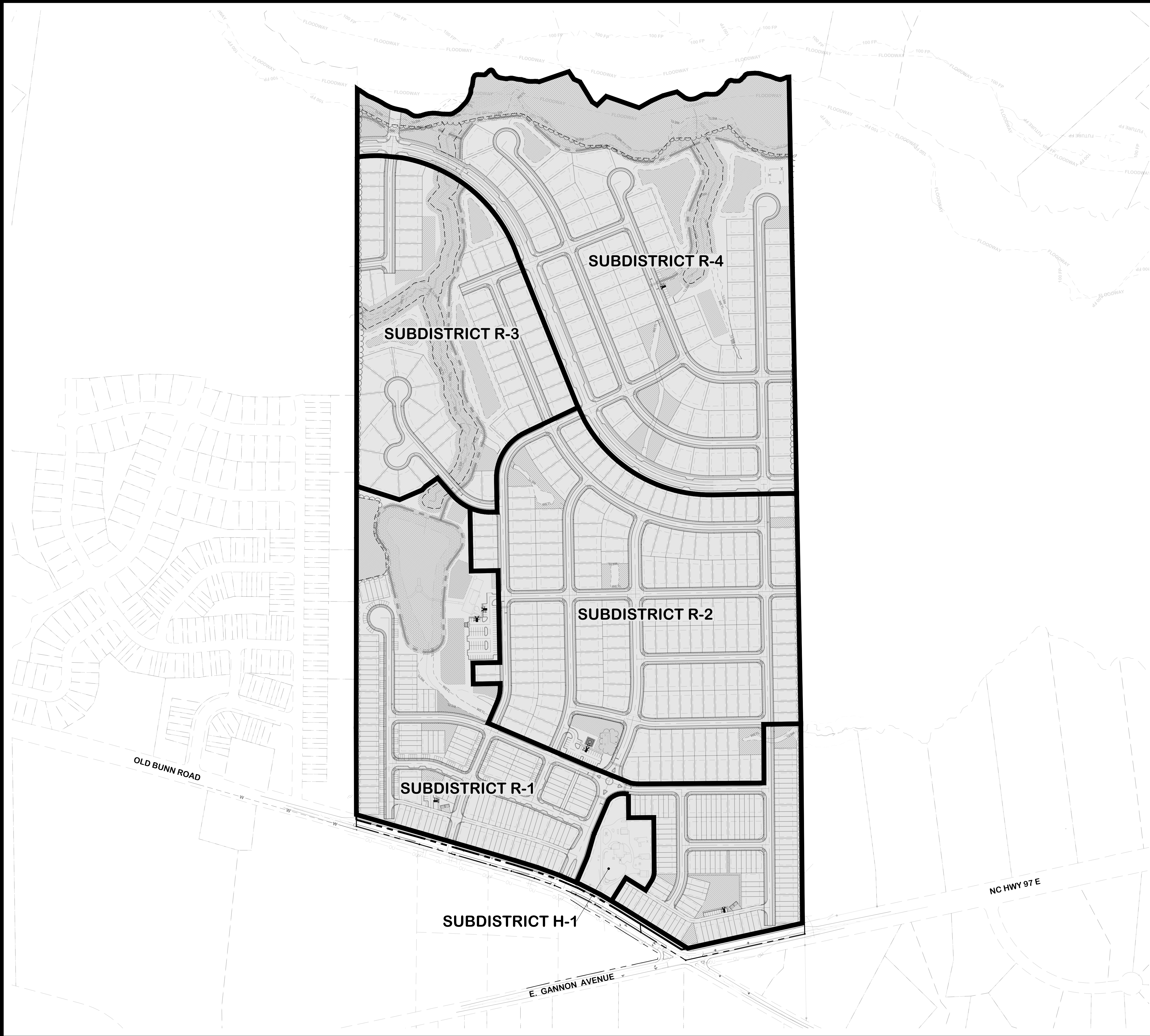
OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
PHASING PLAN



NO.	REVISION	DATE
1	REVIEWED PER 102 COMMENTS	3.17.25
2	REVIEWED PER 102 COMMENTS	

DRAWING SHEET
C-2.2
PROJECT NUMBER
673-23

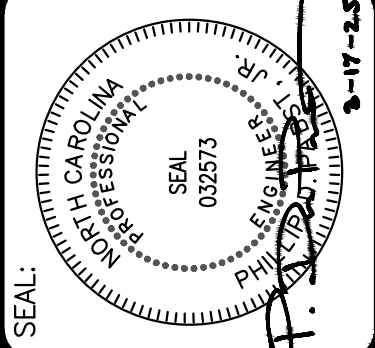
F:\Public\10-Projects\600-699\673-23 Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawings\54-Design\673-23 C-2.3.dwg Mar 13, 2025 - 4:08pm BY: jlab



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 CREDMOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
SUBDISTRICT PLAN



NO.	REVISION	DATE
1	REVISED PER 102 COMMENTS	8.7.25
2	REVISED PER 102 COMMENTS	8.17.25

**DRAWING
SHEET**
C-2.3
PROJECT NUMBER
673-23

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 844 4399 | Fax: 919 848 5395 | NC LICENSE NUMBER: C-3311

F:\Public\10-Projects\600-699\673-23 Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawings\54-Design\673-23 C-2.4.dwg Mar 17, 2025 - 2:36pm BY: jlab



SIGNS

R1-1

MUTCD "STOP" R1-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W2-1 MUTCD "CROSS ROAD INTERSECTION" W2-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W11-2

MUTCD "PEDESTRIAN" W11-2
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

W16-9P

MUTCD "AHEAD" W16-9P
(SUPPLEMENTAL WARNING PLAQUE)

KEY ITEM	DESCRIPTION	WIDTH
P2 PAINT	WHITE STOP BAR	24"
P3 PAINT	WHITE CROSSWALK LINE	24"
PQ PAINT	WHITE STOP BAR	8"

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 GREEDMOOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION

ZEBULON, WAKE COUNTY, NORTH CAROLINA

MASTER PLAN

SIGNAGE PLAN

SEAL:
CAROLINA
NORTH CAROLINA
PROFESSIONAL
SURVEYOR
J. LAB
032513

NO.

REVISION

DATE

1

REVISED PER 102 COMMENTS

5.17.25

2

REVISED PER 102 COMMENTS

5.17.25

DRAWING SHEET

C-2.4

PROJECT NUMBER

673-23

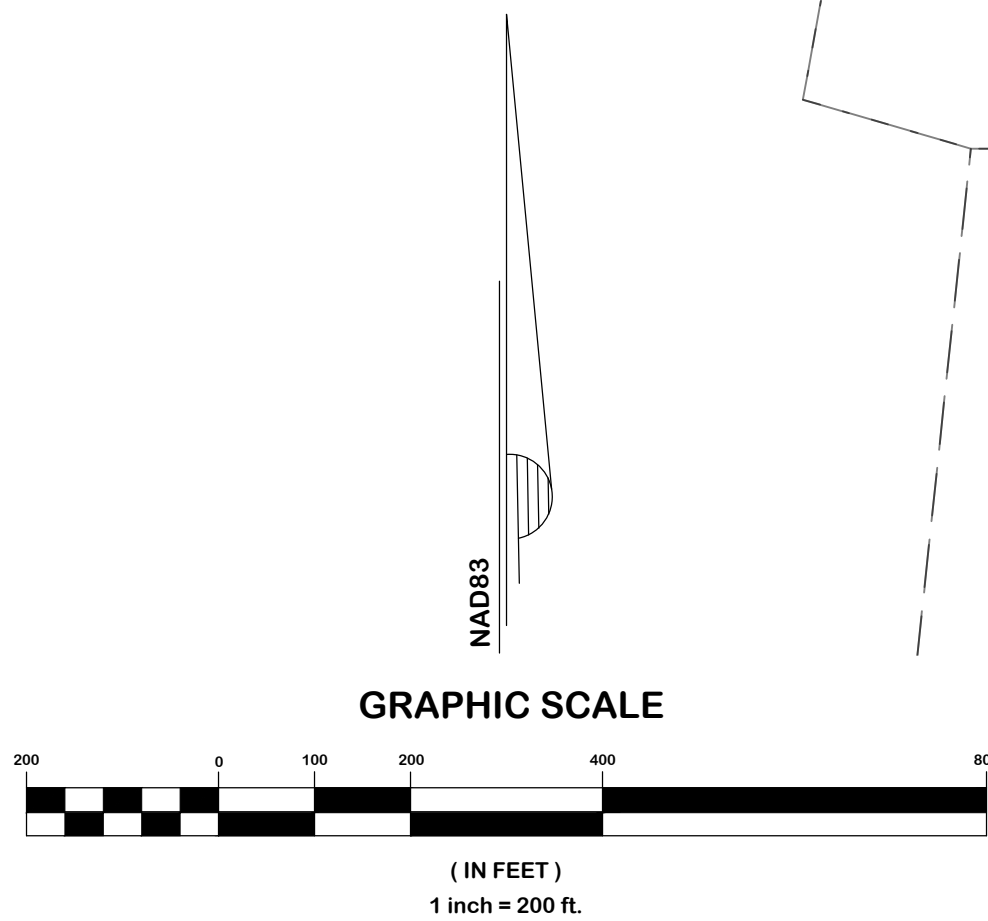
PAST DESIGN GROUP, PA

Engineering | Consulting

107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601

Phone: 919 944 4399 | Fax: 919 946 0362 | NC LICENSE NUMBER: C-3311

C:\Public\10-Projects\600-699\673-23 Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawings\54-Design\673-23 C-2.5.dwg Mar 17, 2025 - 2:46pm BY: jacob



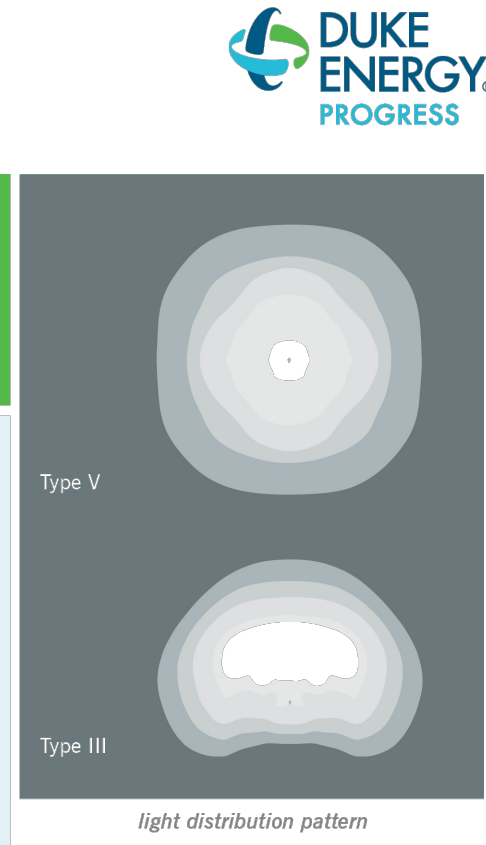
Outdoor Lighting

Mitchell LED Series

Light source: LED (white)

Lumens: 4,332 ~ 5,678 (fixture dependent)

Color temperature: 4,000K



	Wattage	Light Pattern	IESNA Backlight - Uplight - Glare (BUG) Rating
Mitchell LED	50	IESNA Type V	B3-U4-G3
Mitchell Top Hat LED	50	IESNA Type V	B3-U3-G3
Mitchell Open LED	75	IESNA Type III	B1-U0-G1
Mitchell LED with Ribs, Bands and Medallions	50	IESNA Type V	B3-U4-G3
Mitchell Top Hat LED with Ribs, Bands and Medallions	50	IESNA Type V	B3-G3-U3

Poles available:

Name	Mounting height	Color
Smooth concrete	12', 16'	Black
Fiberglass	16'	Black
Style V	12', 16'	Black
Style VI	12'	Black
Style VII	13'	Black

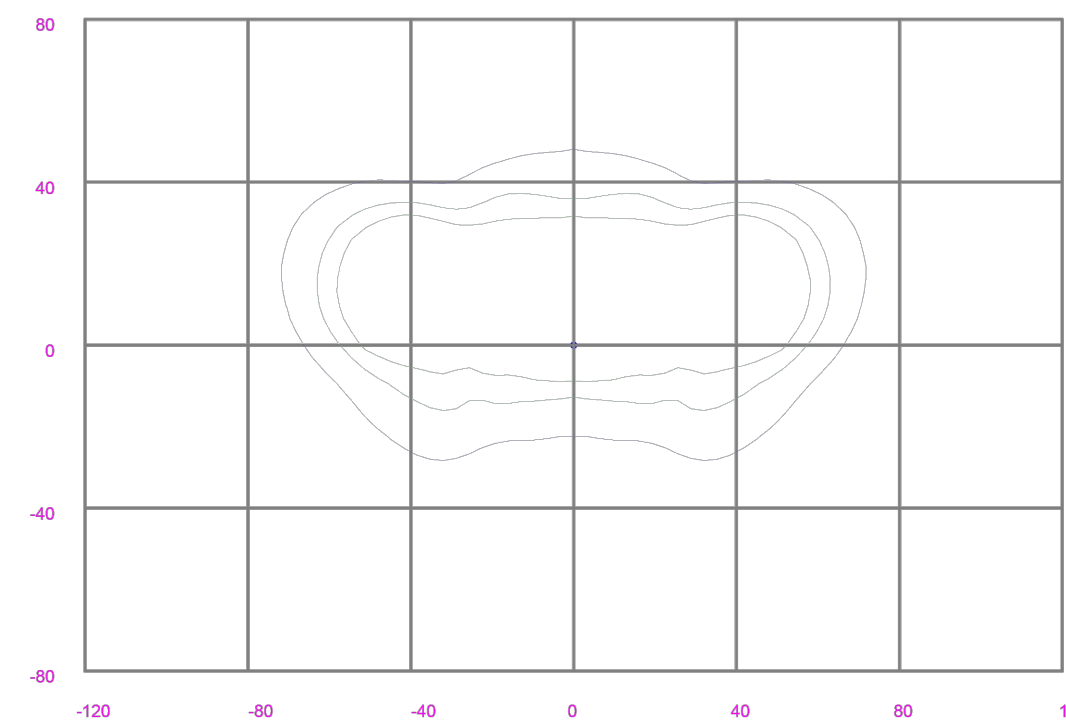
©2015 Duke Energy Corporation 101307 7/15

ISOFOOTCANDLE CURVES

FIXTURE: MITCHELL LED w/CLEAR TOP
MOUNTING HEIGHT: 16 FT
LIGHT SOURCE: 50W LED'S, 4000K
PATTERN: TYPE III, B2-U4-G3

ASSY # LFIX-MTCH-LED-50-BLK-III-MULTIV-___P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER to INNER): 0.100 , 0.200 , 0.300

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	A	16	LED 50w Mitchell - Type II - 3000K	1	6544	0.85

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 944 4399 | Fax: 919 944 4395 | NC LICENSE NUMBER: C-3211

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 CREEDMOOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
LIGHTING PLAN

SEAL:
CAROLINA
NORTH CAROLINA
REGISTERED PROFESSIONAL
SAL
032513
8-17-25

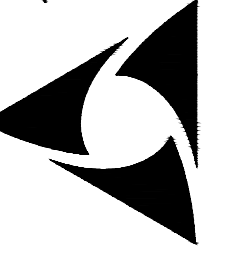
NO. 1
DATE 8.17.25
REVISION
1 REVISED PER 102 COMMENTS
2 REVISED PER 102 COMMENTS

DRAWING SHEET
C-2.5
PROJECT NUMBER
673-23



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.



EASTWOOD HOMES, INC.
7101 CREEDMORE ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613

DATE : 8.7.2023

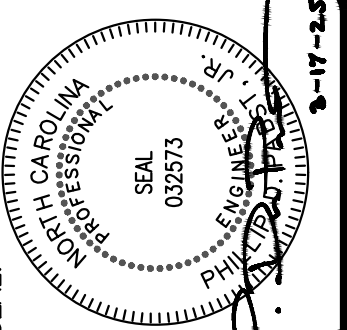
PROJECT ENGINEER:
PDP

PROJECT CADD DESIGNER:
PDP

PROJECT SURVEYOR:
NEWCOMB LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION

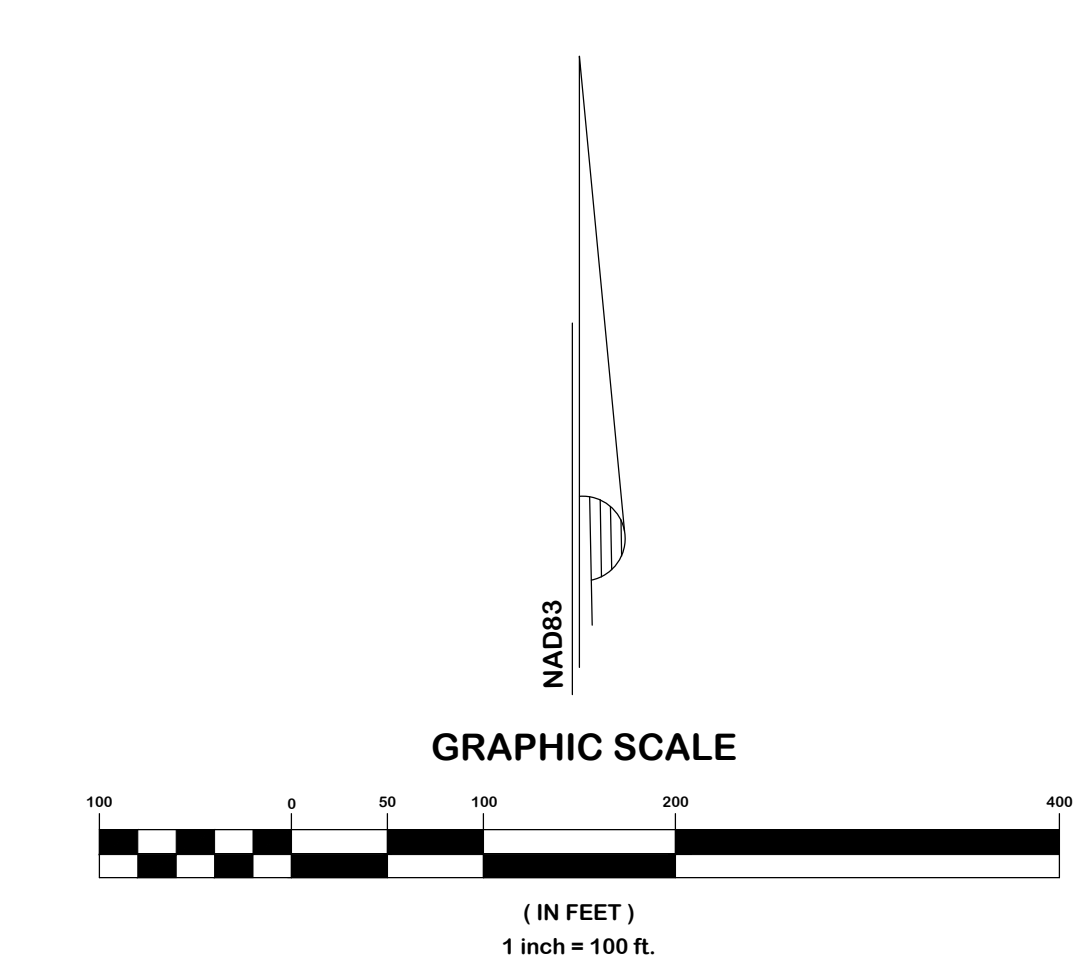
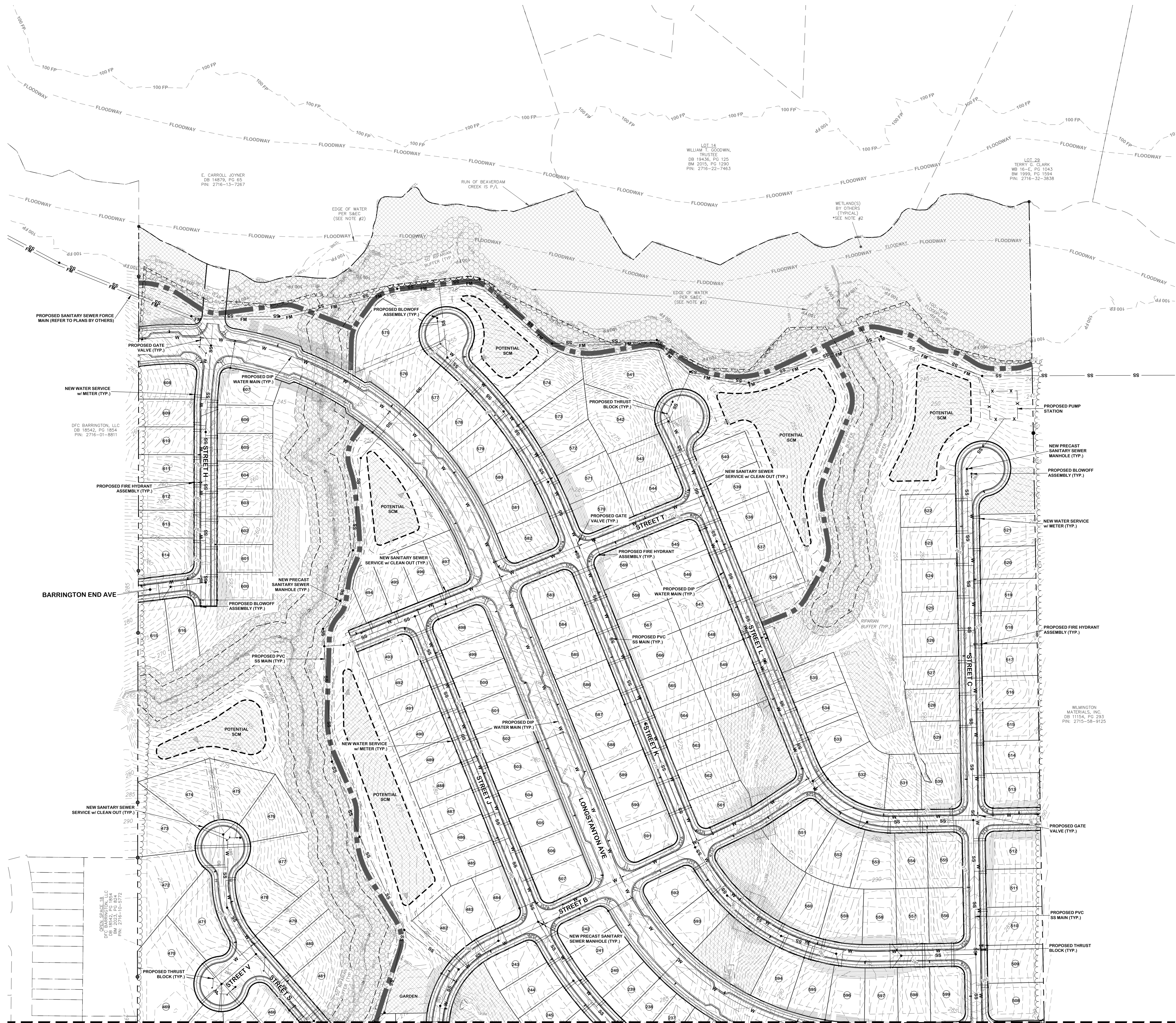
**MASTER PLAN
UTILITY PLAN**

[illegible]

DRAWING
SHEET
-3.0

PROJECT NUMBER
673-23

C:\Public\10-Projects\600-699\673-23_Bennett_Burn_Plantation_Subdivision (Eastwood Homes)\50-Drawing\54-Design\673-23 C-3.0 & 3.1.dwg Mar 17, 2025 5:27pm Bx: jeb



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 944 4399 | Fax: 919 944 4395 | NC LICENSE NUMBER: C-3311

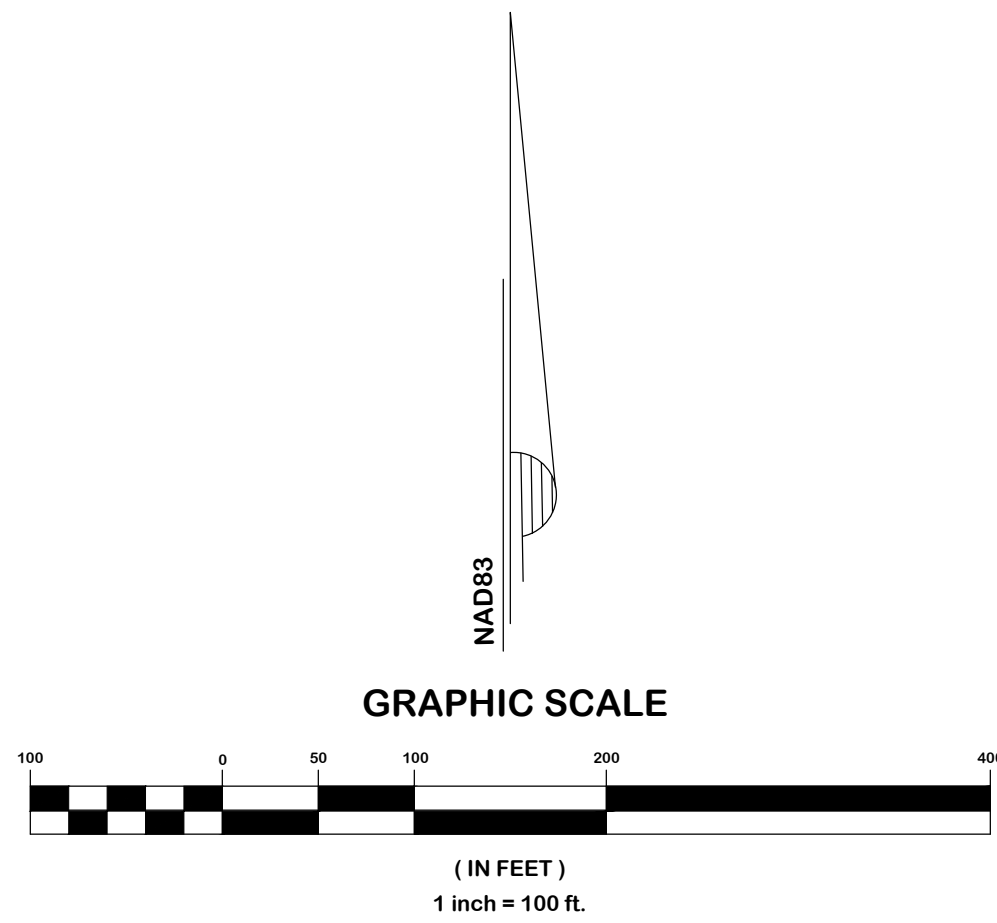
PREPARED FOR:
EASTWOOD HOMES, INC.
7101 CREEDMOOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
PJP
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
**MASTER PLAN
UTILITY PLAN**

SEAL:
DATE:
3.17.25
REVISION:
1
REVISED PER 102 COMMENTS
2
REVISED PER 102 COMMENTS

DRAWING SHEET
C-3.1
PROJECT NUMBER
673-23

MATCHLINE TO SHEET C-4.1



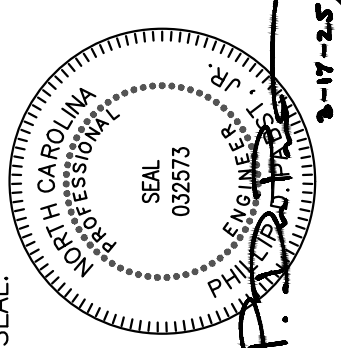
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 844 4399 | Fax: 919 844 4392 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
EASTWOOD HOMES, INC.
7101 CREEDMOOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

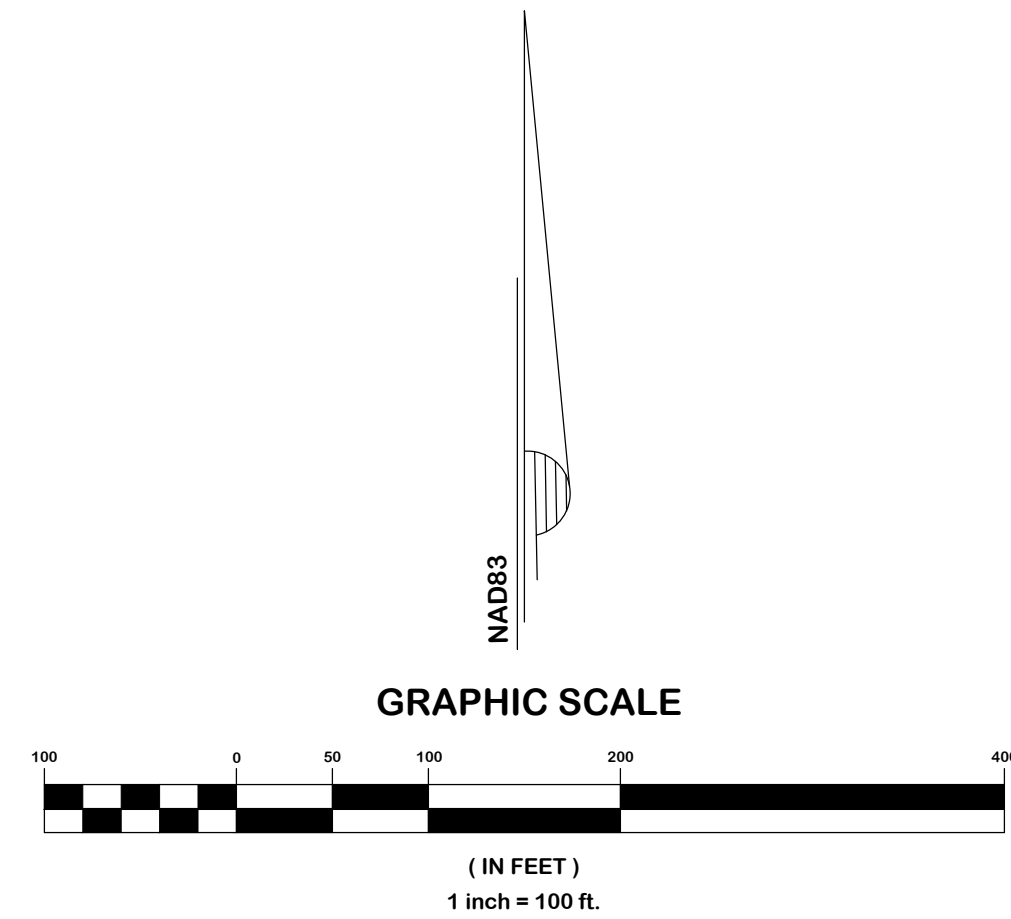
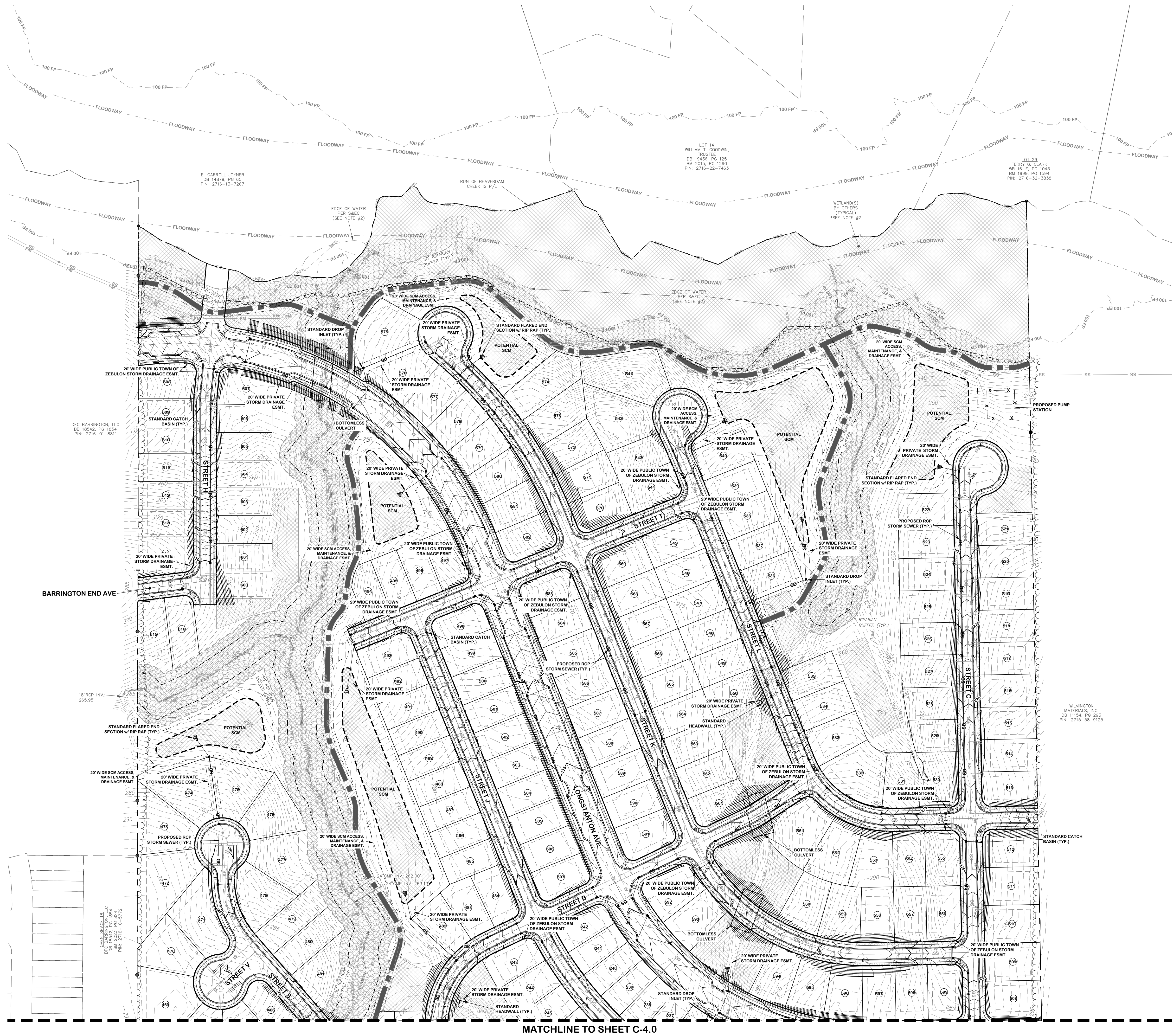
OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
GRADING & STORM DRAINAGE PLAN



NO.	REVISION	DATE
1	REVISED PER 102 COMMENTS	5.17.25
2	REVISED PER 102 COMMENTS	

DRAWING
SHEET
C-4.0
PROJECT NUMBER
673-23

C:\Public\10-Projects\600-699\673-23_Bennett Bunn Plantation Subdivision (Eastwood Homes)\50-Drawings\54-Design\673-23 C-4.0 & 4.1.dwg Mar 17, 2025 5:29pm Bx: jeb

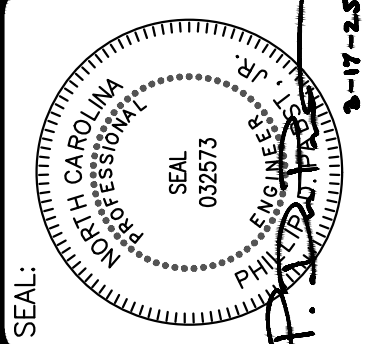


**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.

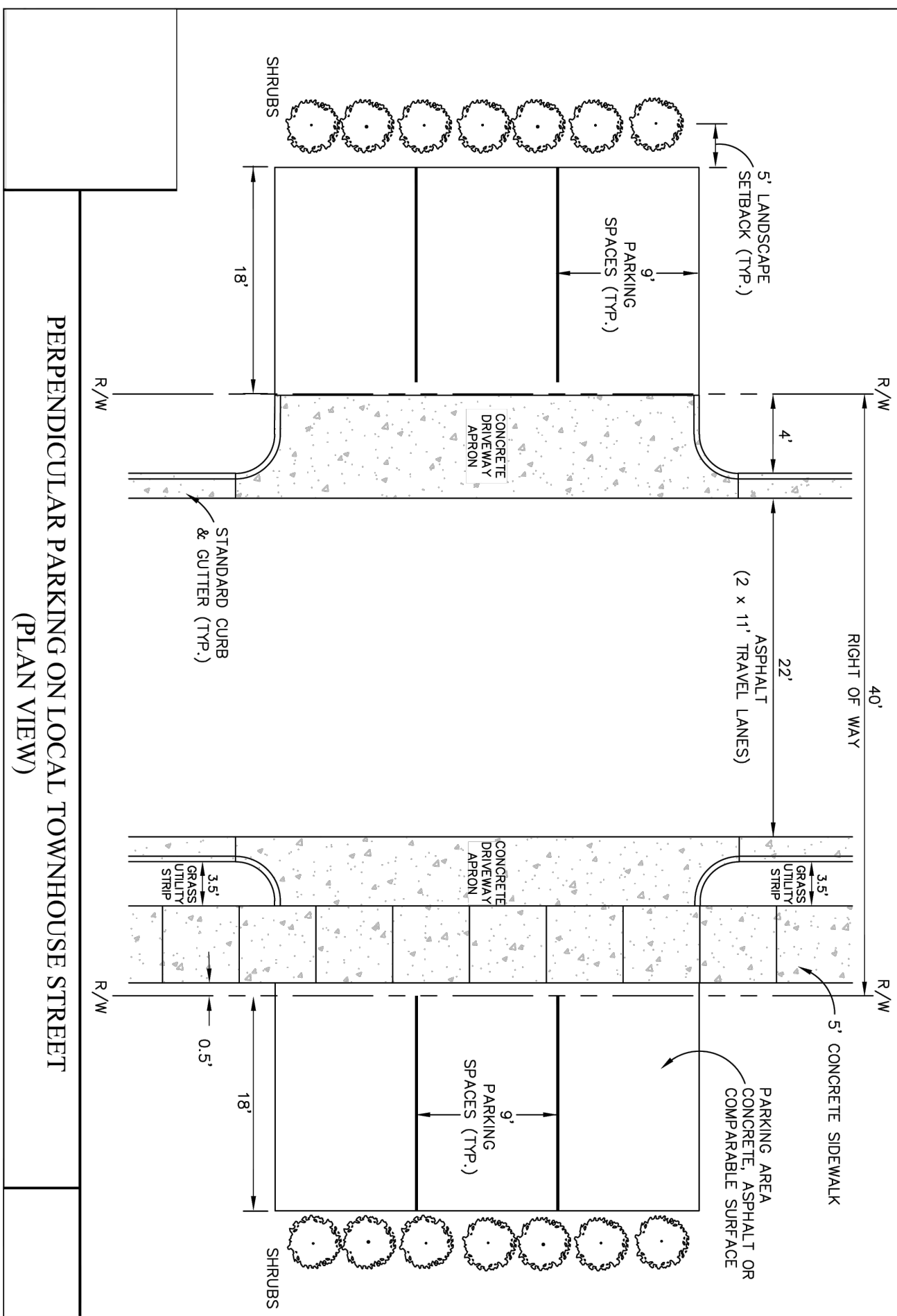
PREPARED FOR:
EASTWOOD HOMES, INC.
7101 DREEMOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PJP
PROJECT CAD DESIGNER:
PJP
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
GRADING & STORM DRAINAGE PLAN

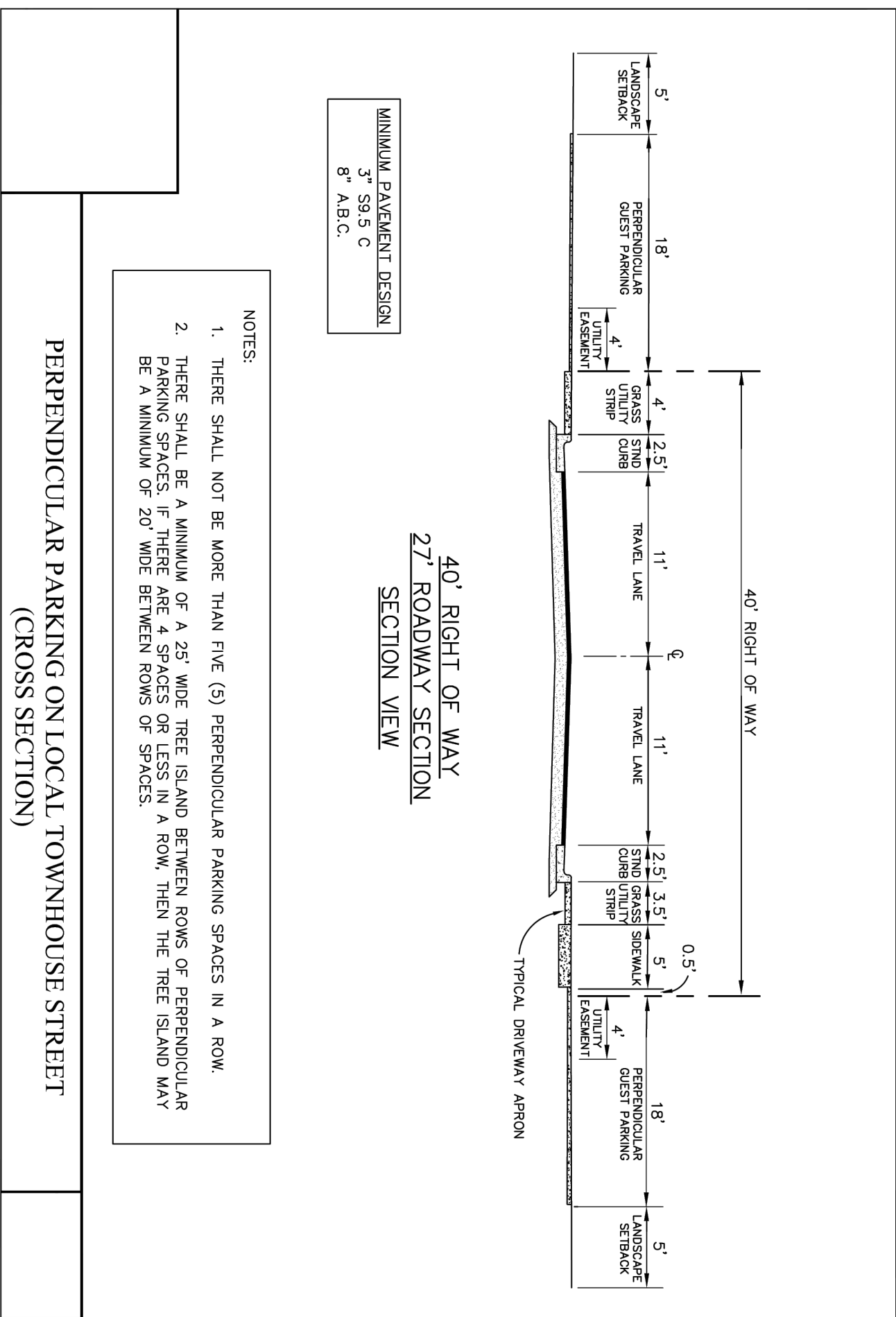


NO.	REVISION	DATE
1	REVISED PER 102 COMMENTS	5.17.25
2	REVISED PER 102 COMMENTS	

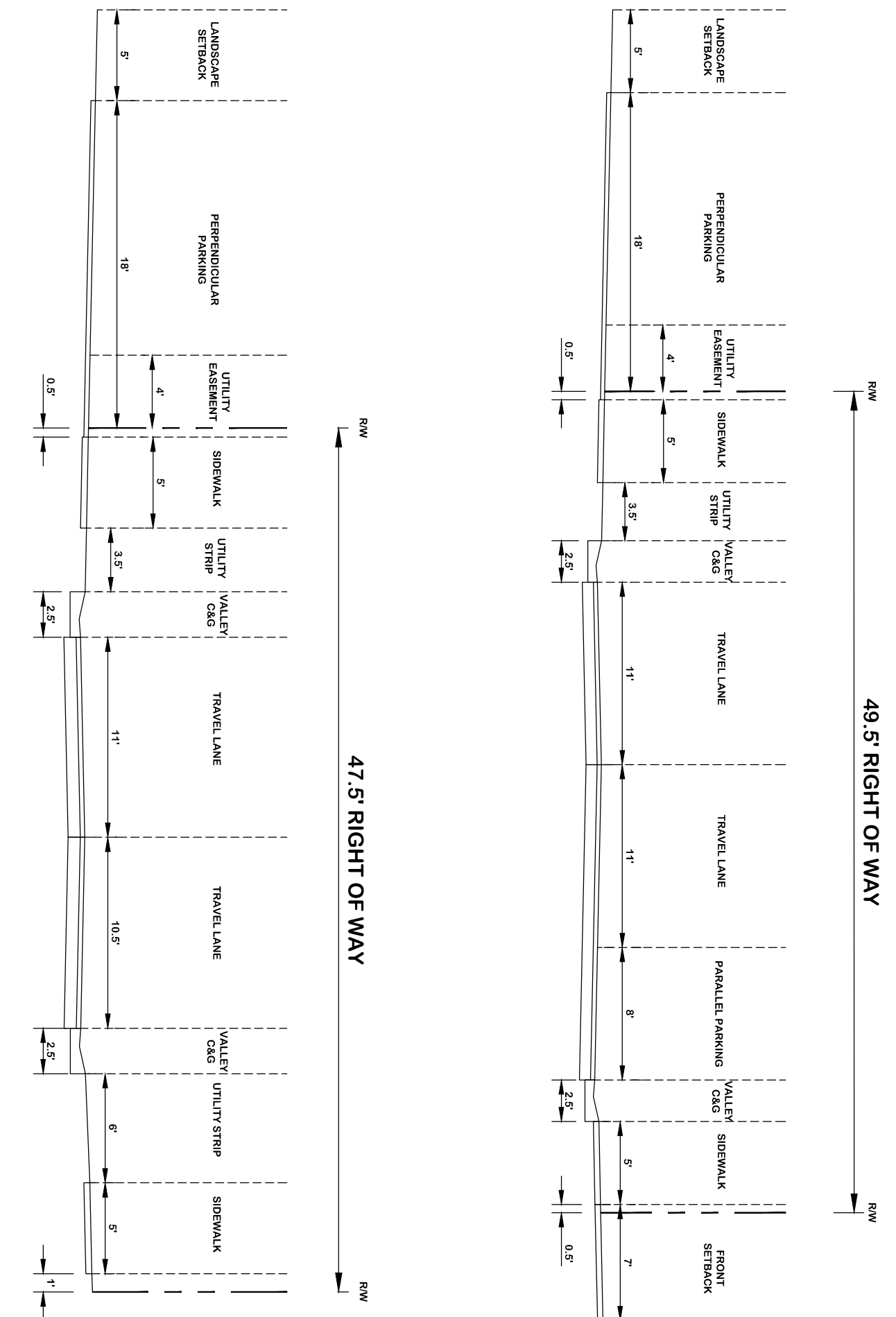
DRAWING SHEET
C-4.1
PROJECT NUMBER
673-23



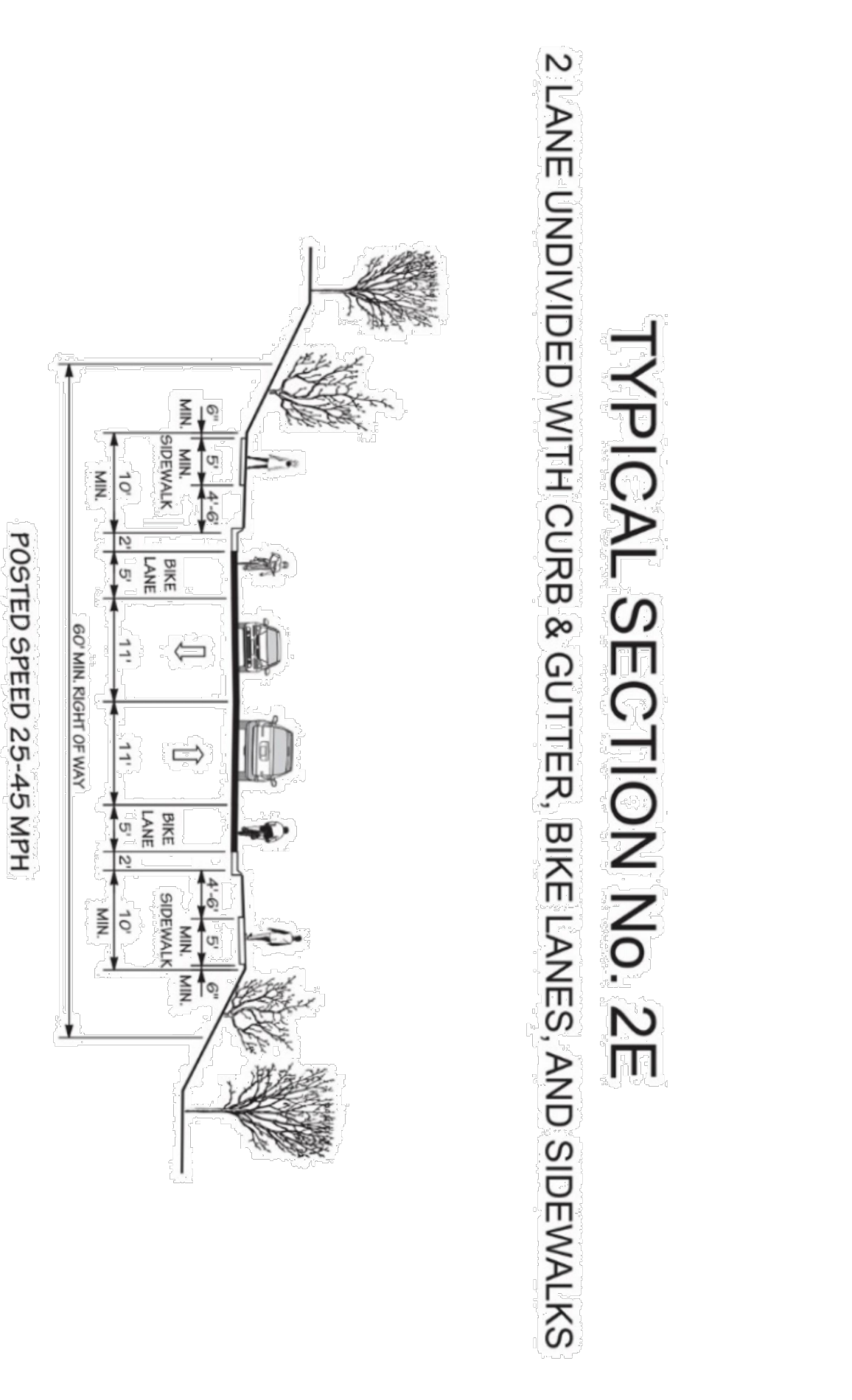
S3 TOWNHOME SECTION A



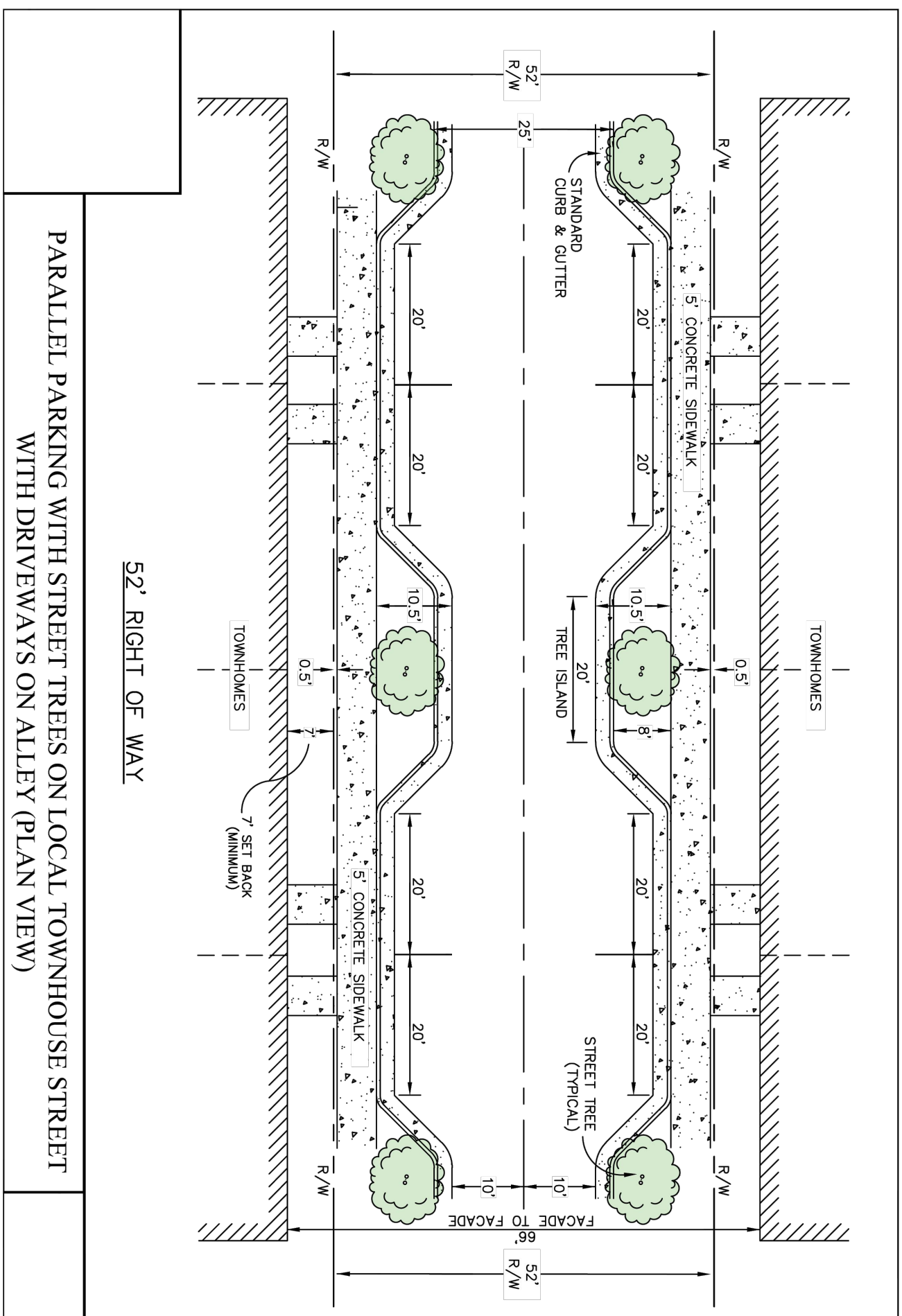
C S6 TOWNHOME SECTION D



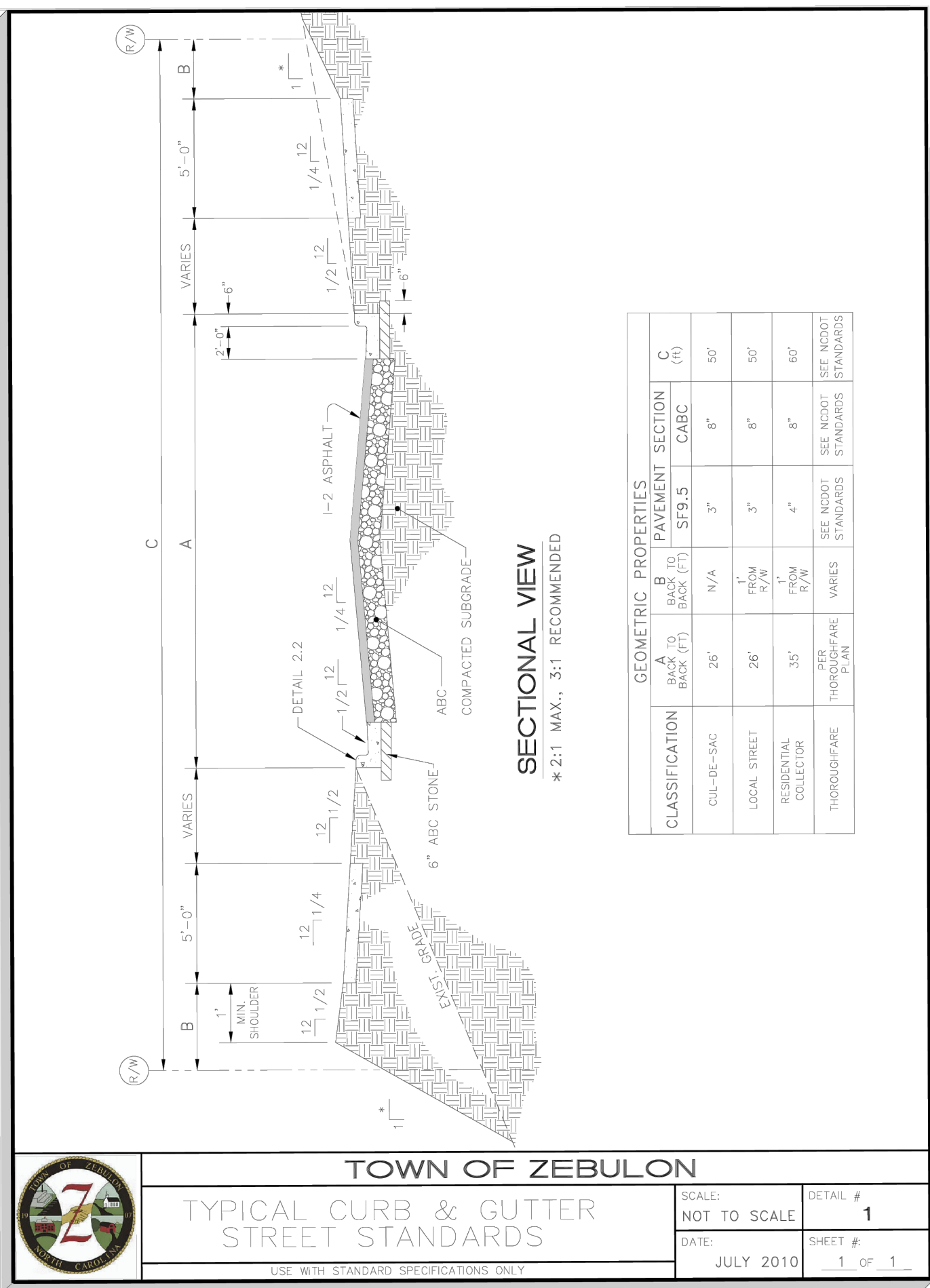
S5 TOWNHOME SECTION C



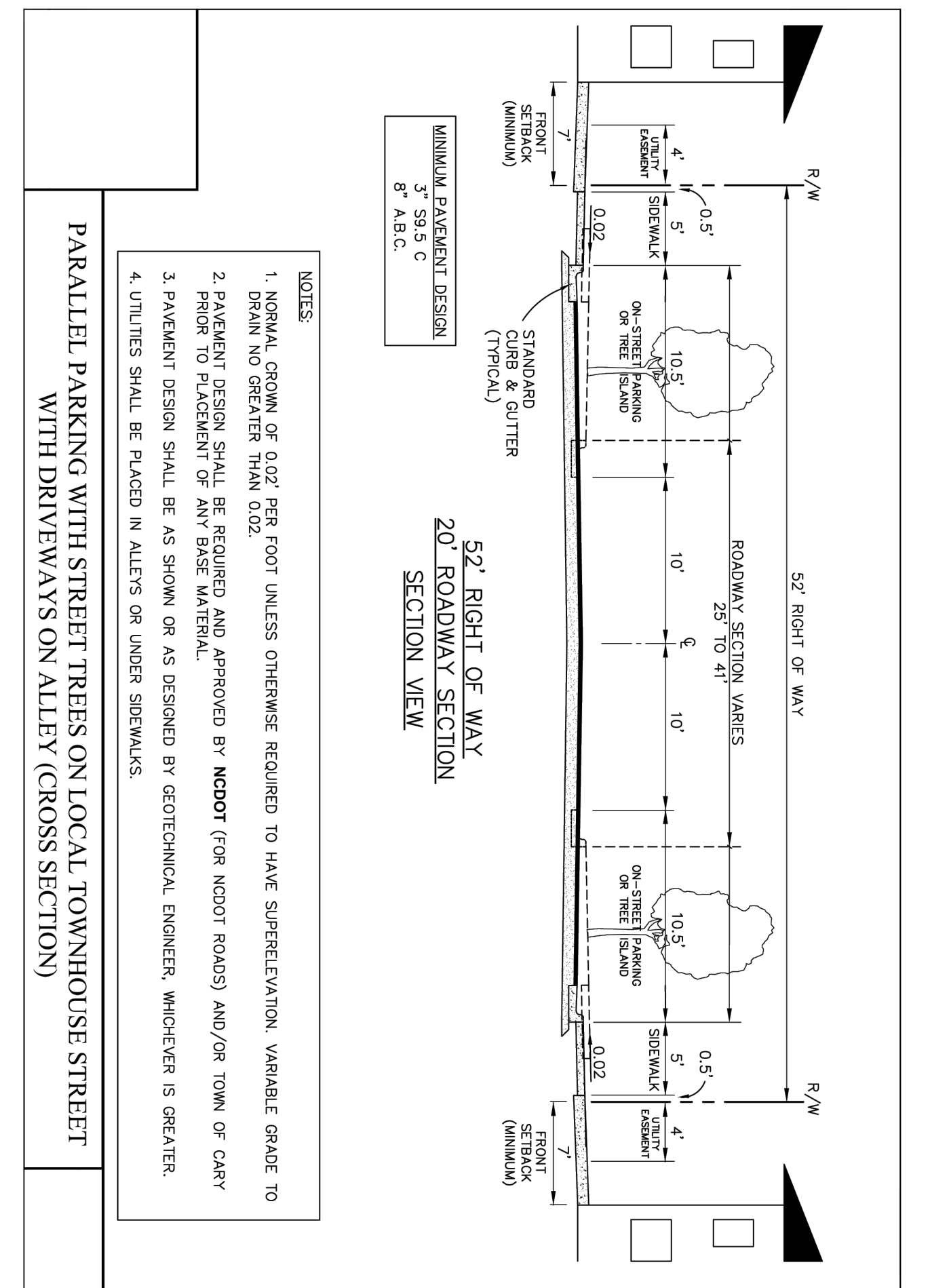
S2 **NCDOT TYPICAL SECTION NO. 2E**



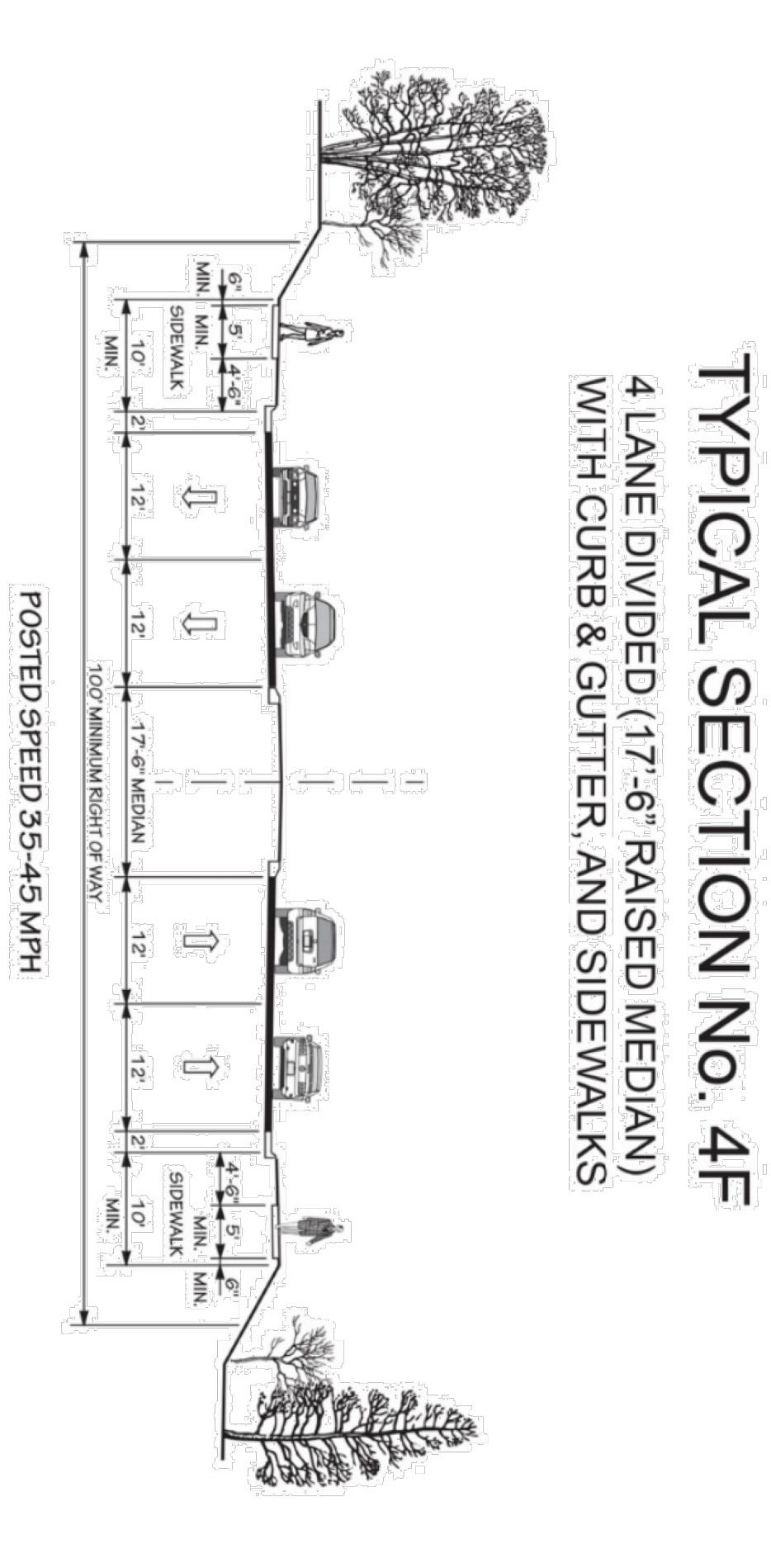
S4 TOWNHOME SECTION B



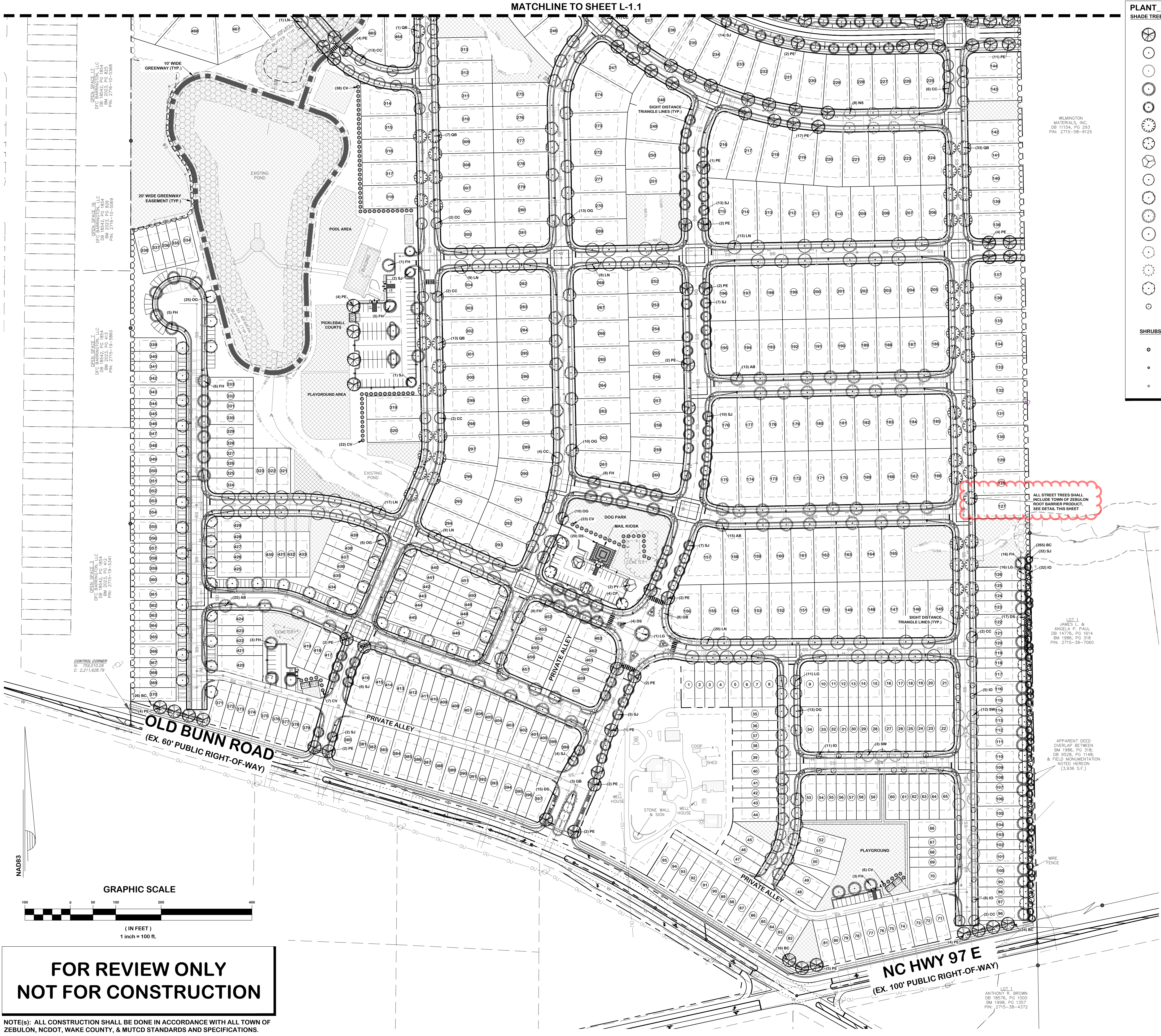
S1 ZEBULON STANDARD STREET SECTIONS






















S7 NCDOT TYPICAL SECTION NO. 4F



F:\Public\10-Projects\600-699\673-23_Bennett_Burn_Planetation_Subdivision\50-Drawing\54-Design\673-23 L-1.0 & L-1.1.dwg Mar 17, 2025 - 5:25pm BY: leeb



PLANT SCHEDULE						
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	PE	118	Ulmus americana 'Princeton' Princeton American Elm	2.5" MIN.	8' MIN.	B&B
	CC	50	Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud	2.5" MIN.	8' MIN.	B&B
	SW	15	Oxydendron arboreum Sourwood	2.5" MIN.	8' MIN.	B&B
	FH	105	Carpinus betulus 'fastigiata' European Hornbeam	2.5" MIN.	8' MIN.	B&B
	SJ	120	Styrax japonicus Japanese Snowbell	2.5" MIN.	8' MIN.	B&B
	QB	81	Quercus bicolor Swamp White Oak	2.5" MIN.	8' MIN.	B&B
	CP	52	Pistachio chinensis Chinese Pistache	2.5" MIN.	8' MIN.	B&B
	PY	31	Prunus yedoensis 'Yoshino' Yoshino Cherry	2.5" MIN.	8' MIN.	B&B
	QA	36	Quercus acutissima Sawtooth Oak	2.5" MIN.	8' MIN.	B&B
	OG	92	Acer rubrum 'October Glory' October Glory Maple	2.5" MIN.	8' MIN.	B&B
	AB	63	Acer buergerianum 'Valynor' Trident Maple	2.5" MIN.	8' MIN.	B&B
	LN	84	Lagerstroemia indica x faurei 'Natchez' Natchez Crepe Myrtle	2.5" MIN.	8' MIN.	B&B
	NS	45	Nyssa sylvatica 'Green Gable' Green Gable Black Gum	2.5" MIN.	8' MIN.	B&B
	GB	45	Ginkgo biloba 'Autumn Gold' Autumn Gold Ginkgo	2.5" MIN.	8' MIN.	B&B
	LG	65	Magnolia grandiflora 'Little Gem' Little Gem Southern Magnolia	2.5" MIN.	8' MIN.	B&B
	IO	33	Ilex opaca 'Tinga' Tinga American Holly	2.5" MIN.	8' MIN.	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	CV	96	Viburnum awabuki 'Chindo' Chindo Viburnum		4' MIN.	CONT.
	DS	56	Thuja occidentalis 'Degroot's Spire' Degroot's Spire Arborvitae		4' MIN.	CONT.
	BC	331	Distylium x 'Blue Cascade' Blue Cascade Distylium		18" MIN.	3 GAL.

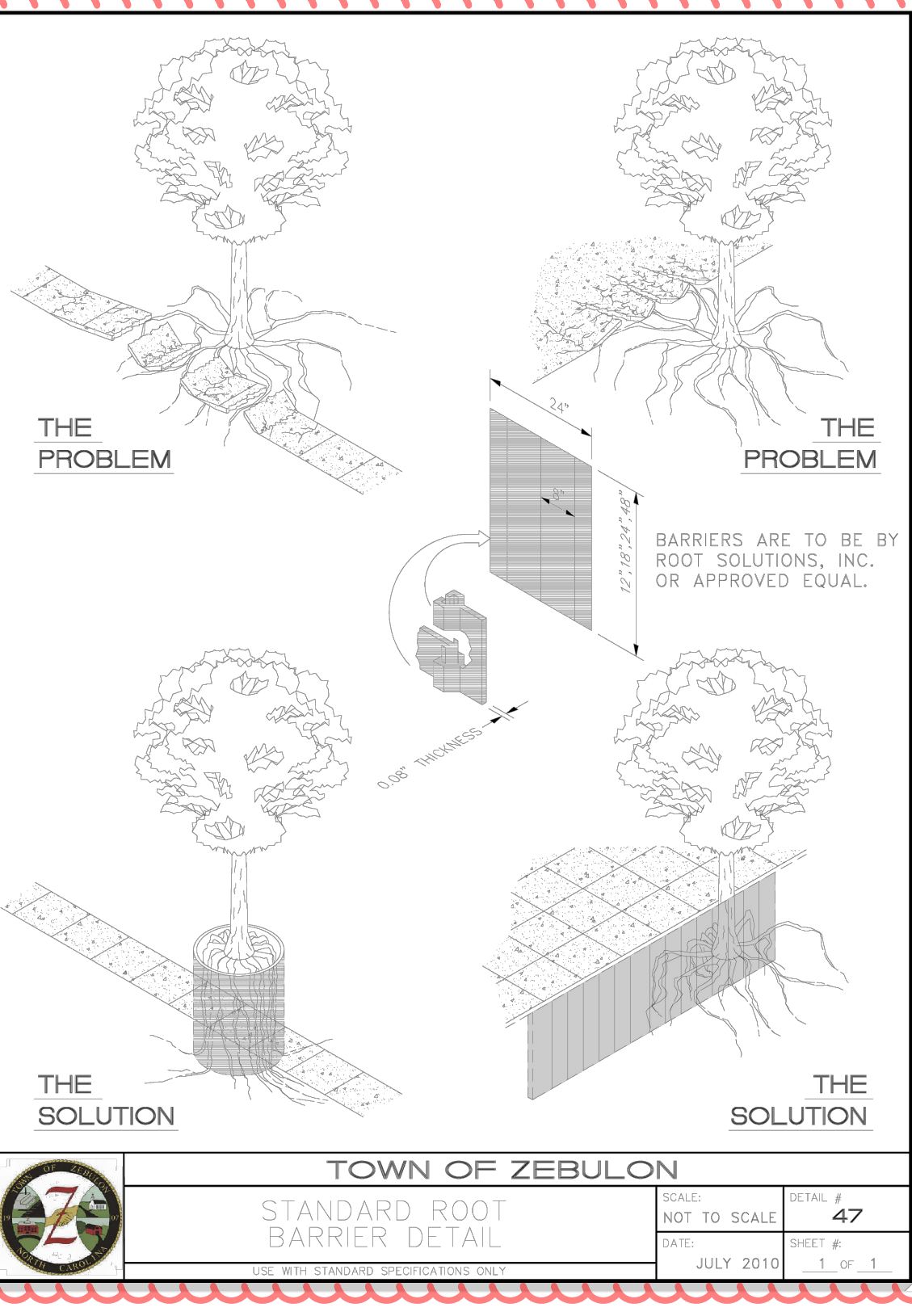
LANDSCAPE CALCULATIONS:

STREETSCAPE BUFFER ALONG PORTION OF OLD BUNN RD. w/ NO TOWN HOMES FRONTS:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (122 LF / 100) X 3 = 3.66 = 4 CANOPY TREES
PROVIDED: 4 CANOPY TREES
REQUIRED: (122 LF / 100) X 20 = 24.40 = 25 SHRUBS
PROVIDED: 26 SHRUBS

STREETSCAPE BUFFER ALONG PORTION OF OLD BUNN RD. & NC HWY 97 INTERSECTION w/ NO TOWN HOMES FRONTS:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (80 LF / 100) X 3 = 2.40 = 3 CANOPY TREES
PROVIDED: 3 CANOPY TREES
REQUIRED: (80 LF / 100) X 20 = 16.00 = 16 SHRUBS
PROVIDED: 16 SHRUBS

STREETSCAPE BUFFER ALONG PORTION OF NC HWY 97 w/ NO TOWN HOMES FRONTS:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (118 LF / 100) X 3 = 3.54 = 4 CANOPY TREES
PROVIDED: 4 CANOPY TREES
REQUIRED: (118 LF / 100) X 20 = 23.60 = 24 SHRUBS
PROVIDED: 24 SHRUBS

TYPE D (OPaque) PERIMETER BUFFER ON EASTERN PROPERTY LINE ADJACENT TO PROPERTY IDENTIFIED BY PIN: 2715-39-7060 (UDO 5.6.10.C):
MUST INCLUDE 4 CANOPY TREES, 8 UNDERSTORY TREES, & 35 SHRUBS PER 100 LF
LANDSCAPE MATERIAL REQUIREMENTS FOR ENTIRE PROPERTY LINE OF 800 LF:
REQUIRED: (800 LF / 100) X 4 = 32 CANOPY TREES
PROVIDED: 32 CANOPY TREES
REQUIRED: (800 LF / 100) X 8 = 64 UNDERSTORY TREES
PROVIDED: 64 UNDERSTORY TREES
REQUIRED: (800 LF / 100) X 35 = 280 EVERGREEN SHRUBS
PROVIDED: 280 EVERGREEN SHRUBS



PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 946 4399 | Fax: 919 946 4392 | NC LICENSE NUMBER: C-3311

RESERVED FOR:
EASTWOOD HOMES, INC.
7101 GREEDMOR ROAD, SUITE 115
RALEIGH, NORTH CAROLINA 27613
DATE: 8.7.2023
PROJECT ENGINEER:
PROJECT CAD DESIGNER:
PROJECT SURVEYOR:
VIEWCOM LAND SURVEYORS, LLC

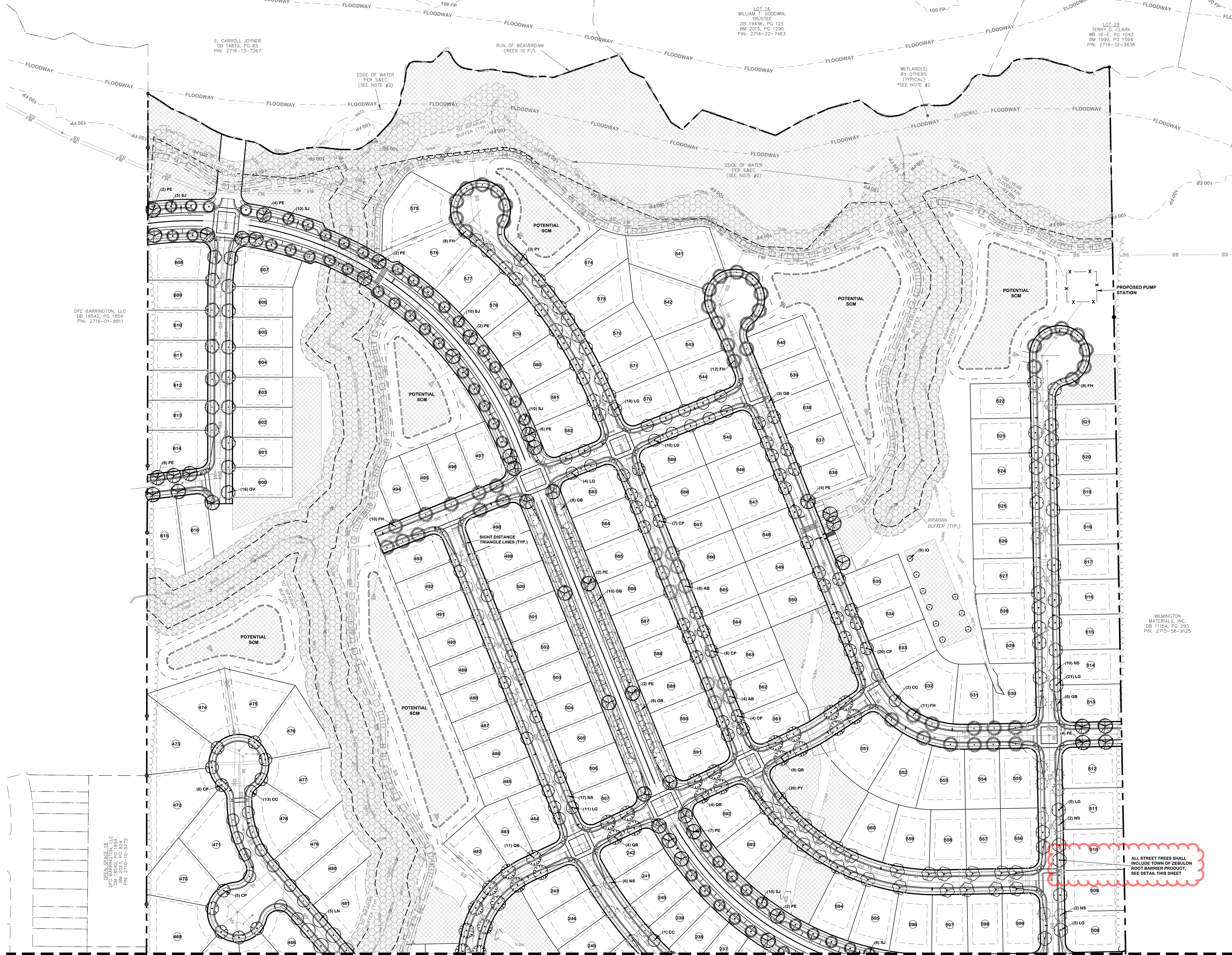
OLD BUNN ROAD SUBDIVISION
ZEBULON, WAKE COUNTY, NORTH CAROLINA
MASTER PLAN
LANDSCAPE PLAN




















SCALE:
DATE:
REVISION:
NO. 1
2
REVIEWED PER 102 COMMENTS
REVIEWED PER 102 COMMENTS

DRAWING SHEET
L-1.0
PROJECT NUMBER
673-23

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, NCDOT, WAKE COUNTY, & MUTCD STANDARDS AND SPECIFICATIONS.



PLANT SCHEDULE						
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	PE	118	Ulmus americana 'Princeton' Princeton American Elm	2.5" MIN.	8' MIN.	B&B
	CC	50	Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud	2.5" MIN.	8' MIN.	B&B
	SW	15	Oxydendron arboreum Sourwood	2.5" MIN.	8' MIN.	B&B
	FH	105	Carpinus betulus 'fastigiata' European Hornbeam	2.5" MIN.	8' MIN.	B&B
	SJ	120	Styrax japonicus Japanese Snowbell	2.5" MIN.	8' MIN.	B&B
	QB	81	Quercus bicolor Swamp White Oak	2.5" MIN.	8' MIN.	B&B
	CP	52	Pistachio chinensis Chinese Pistache	2.5" MIN.	8' MIN.	B&B
	PY	31	Prunus yedoensis 'Yoshino' Yoshino Cherry	2.5" MIN.	8' MIN.	B&B
	QA	36	Quercus acutissima Sawtooth Oak	2.5" MIN.	8' MIN.	B&B
	OG	92	Acer rubrum 'October Glory' October Glory Maple	2.5" MIN.	8' MIN.	B&B
	AB	63	Acer buergerianum 'Valynor' Trident Maple	2.5" MIN.	8' MIN.	B&B
	LN	84	Lagerstroemia indica x faurei 'Natchez' Natchez Crepe Myrtle	2.5" MIN.	8' MIN.	B&B
	NS	45	Nyssa sylvatica 'Green Gable' Green Gable Black Gum	2.5" MIN.	8' MIN.	B&B
	GB	45	Ginkgo biloba 'Autumn Gold' Autumn Gold Ginkgo	2.5" MIN.	8' MIN.	B&B
	LG	65	Magnolia grandiflora 'Little Gem' Little Gem Southern Magnolia	2.5" MIN.	8' MIN.	B&B
	IO	33	Ilex opaca 'Tinga' Tinga American Holly	2.5" MIN.	8' MIN.	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	CV	96	Viburnum awabuki 'Chindo' Chindo Viburnum		4' MIN.	CONT.
	DS	56	Thuja occidentalis 'Degroot's Spire' Degroot's Spire Arborvitae		4' MIN.	CONT.
	BC	331	Distylium x 'Blue Cascade' Blue Cascade Distylium		18" min.	3 gal.

LANDSCAPE CALCULATIONS:

STREETSCAPE BUFFER ALONG PORTION OF OLD BUNN RD. w/ NO TOWN HOMES FRONTED:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (122 LF / 100) x 3 = 3.66 = 4 CANOPY TREES
PROVIDED: 4 CANOPY TREES
REQUIRED: (122 LF / 100) x 20 = 24.40 = 25 SHRUBS
PROVIDED: 26 SHRUBS

STREETSCAPE BUFFER ALONG PORTION OF OLD BUNN RD. & NC HWY 97 INTERSECTION
w/ NO TOWN HOMES FRONTED:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (80 LF / 100) x 3 = 2.40 = 3 CANOPY TREES
PROVIDED: 3 CANOPY TREES
REQUIRED: (80 LF / 100) x 20 = 16.00 = 16 SHRUBS
PROVIDED: 16 SHRUBS

STREETSCAPE BUFFER ALONG PORTION OF NC HWY 97 w/ NO TOWN HOMES FRONTED:
MODIFIED TYPE C BUFFER (UDO 5.6.12)
MUST INCLUDE 3 CANOPY TREES AND 20 SHRUBS PER 100 LF
REQUIRED: (118 LF / 100) x 3 = 3.54 = 4 CANOPY TREES
PROVIDED: 4 CANOPY TREES
REQUIRED: (118 LF / 100) x 20 = 23.60 = 24 SHRUBS
PROVIDED: 24 SHRUBS

TYPE D (OPAOUE) PERIMETER BUFFER ON EASTERN PROPERTY LINE
ADJACENT TO PROPERTY IDENTIFIED BY PIN: 2715-38-7060 (UDO 5.6.10.C)
MUST INCLUDE 4 CANOPY TREES, 8 UNDERSTORY TREES, & 35 SHRUBS PER 100 LF
LANDSCAPE MATERIAL REQUIREMENTS FOR ENTIRE PROPERTY LINE OF 800 LF:
REQUIRED: (800 LF / 100) x 4 = 32 CANOPY TREES
PROVIDED: 32 CANOPY TREES
REQUIRED: (800 LF / 100) x 8 = 64 UNDERSTORY TREES
PROVIDED: 64 UNDERSTORY TREES
REQUIRED: (800 LF / 100) x 35 = 280 EVERGREEN SHRUBS
PROVIDED: 280 EVERGREEN SHRUBS

