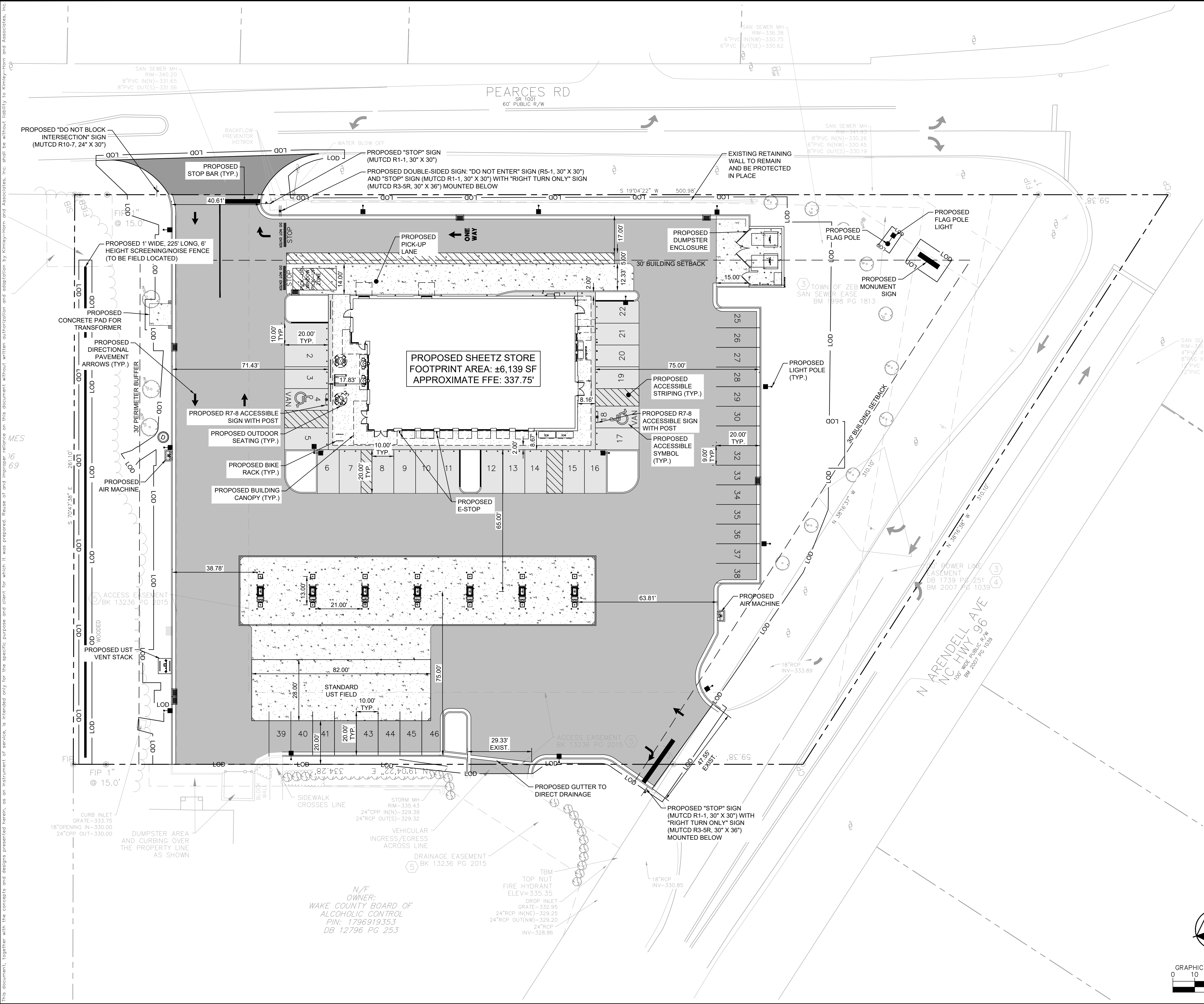


Plotted By: Dieudonne, Ryan Sheet: Set: COSTCO HARRISBURG FUEL EXPANSION Layout: SITE PLAN June 02, 2025 05:01:28pm K:\NRC-CIV\113020 - Streets\05 REMODEL SITES\10828004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD\PlanSheets\SITE PLAN.dwg  
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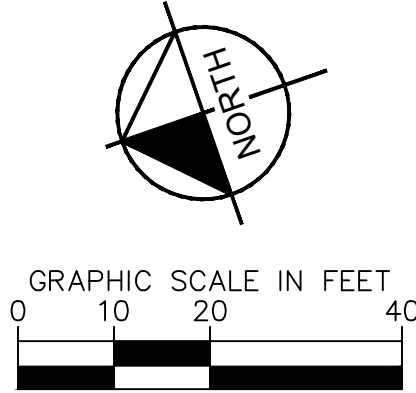


**SITE LEGEND**

	HEAVY DUTY CONCRETE (SHEETZ STANDARD)
	STANDARD DUTY CONCRETE (SHEETZ STANDARD)
	HEAVY DUTY ASPHALT (SHEETZ STANDARD)
	BRICK PAVERS (SHEETZ STANDARD)
	MILL OVERLAP ASPHALT (NCDOT)
	STANDARD 6" CURB AND GUTTER
	TRANSITION TO FLUSH CURB
	LIMITS OF DISTURBANCE (± 80,959 SF)
	LIGHT POLE
	STORM STRUCTURE

- SITE NOTES**
- CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
  - ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
  - ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
  - ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SHEETZ MAIN FREESTANDING SIGN WITH THE SHEETZ CONSTRUCTION MANAGER.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
  - ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY SHEETZ REPRESENTATIVE AND DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AT THE PROJECT SITE.
  - SEE DETAIL SHEETS FOR ADDITIONAL CONSTRUCTION INFORMATION.
  - CONTRACTOR SHALL NEATLY SAW-CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEET EXISTING PAVEMENT AND CONCRETE.

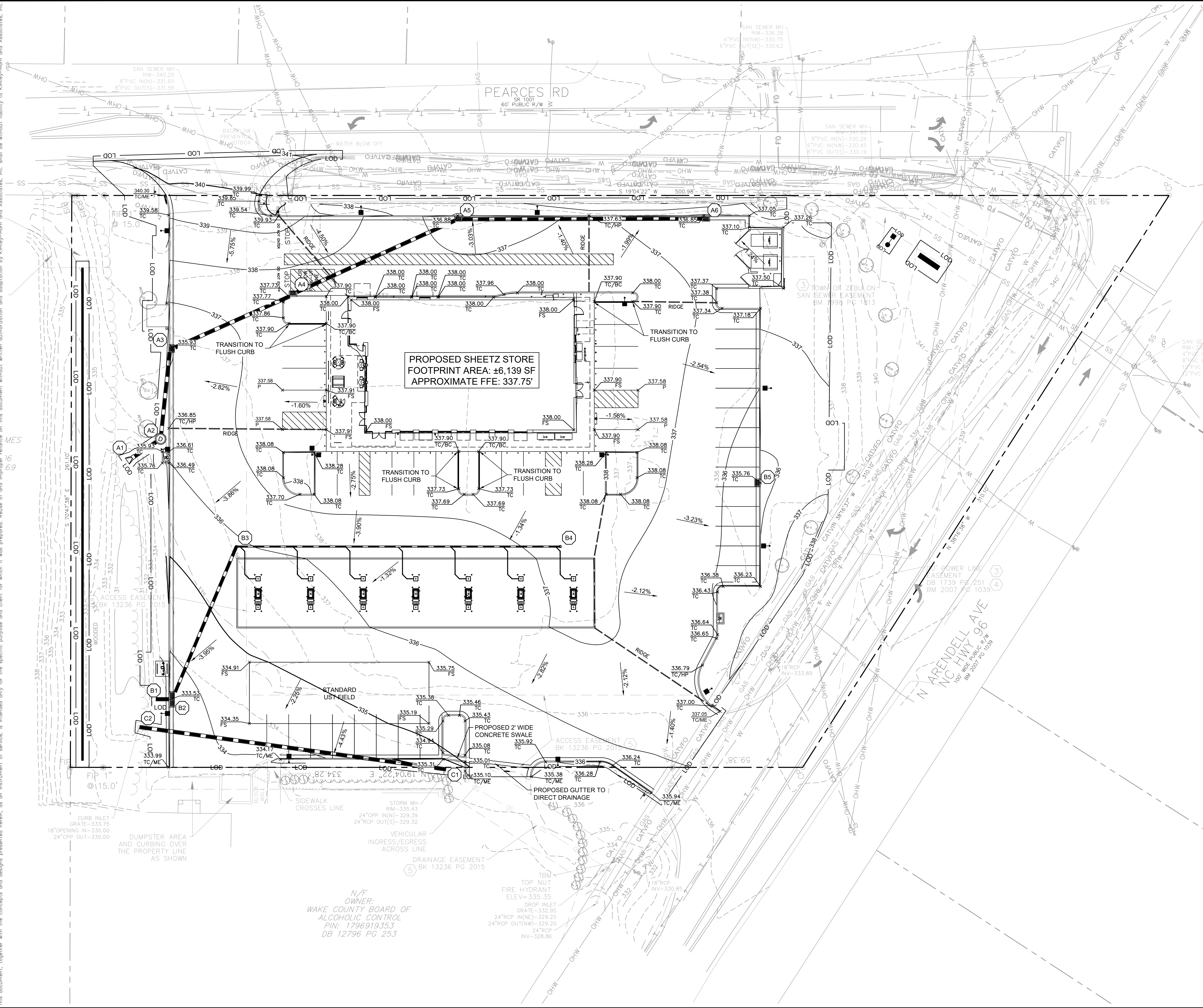
ZONING TABULATIONS	
MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	50'
SETBACK STREET	30'
SIDE/REAR SETBACK	0'
MAXIMUM LOT COVERAGE	85%
MAXIMUM BUILDING HEIGHT	50'
MAXIMUM INDIVIDUAL BUILDING SIZE	10,000 SF
FLOOR AREA RATIO	0.10 MAXIMUM



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	NOT FOR CONSTRUCTION	
	KHA PROJECT 110529004	DATE 6/2/2025
SCALE AS SHOWN		DESIGNED BY RND
DRAWN BY RND		CHECKED BY HRT
SITE PLAN		
STORE #416 1406 N ARENDELL AVE		TOWN OF ZEBULON NORTH CAROLINA
SHEET NUMBER C300		REVISIONS No. DATE BY



Plotted By: Dieudonne, Ryan Sheet: Set: COSTCO HARRISBURG FUEL EXPANSION Layout: 24-36 June 02, 2025 05:12:00pm K:\VIRG-CVA\13020 - Sheetz\A\_05 REMODEL SITES\110529004 - 416 - 1406 N Arendell Ave - Zebulon - NC\Plan\Sheetz\Grading and Drainage PLAN.dwg  
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- GRADING LEGEND**
- 1000 TC PROPOSED CONTOUR
  - 1000 BC EXISTING CONTOUR
  - 1000 TC TOP OF CURB ELEVATION
  - 1000 BC BOTTOM OF CURB ELEVATION
  - 1000 FFE FINISHED FLOOR ELEVATION
  - 1000 FS FINISHED SURFACE ELEVATION
  - 1000 P PAVEMENT ELEVATION
  - 1000 G GROUND ELEVATION
  - 1000 TW TOP OF WALL ELEVATION
  - 1000 BW BOTTOM OF WALL ELEVATION
  - 1000 HP HIGH POINT
  - 1000 ME MATCH EXISTING
  - STANDARD 6" CURB AND GUTTER
  - TRANSITION TO FLUSH CURB

- GRADING NOTES**
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY KIMLEY-HORN, THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON AND THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
  - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE. IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY.
  - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY 811 "CALL BEFORE YOU DIG" THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  - ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
  - ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH VEGETATION.
  - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
  - ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDDED, SODDED, MULCHED AND/OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
  - CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY THE GEOTECH ENGINEER PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
  - ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS ON THE PROJECT SURVEY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR AT GROUND BREAKING.
  - ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFERENCE DETAILED BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, ELEVATIONS, AND UTILITY CONNECTION POINTS.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRAPHIC SCALE IN FEET  
0 10 20 40

811  
Know what's below.  
Call before you dig.

**Kimley»Horn**  
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**NOT FOR CONSTRUCTION**

KHA PROJECT	110529004
DATE	6/2/2025
SCALE	AS SHOWN
DESIGNED BY	RND
DRAWN BY	RND
CHECKED BY	HRT

**STORE #416**  
**1406 N ARENDELL AVE**  
TOWN OF ZEBULON NORTH CAROLINA

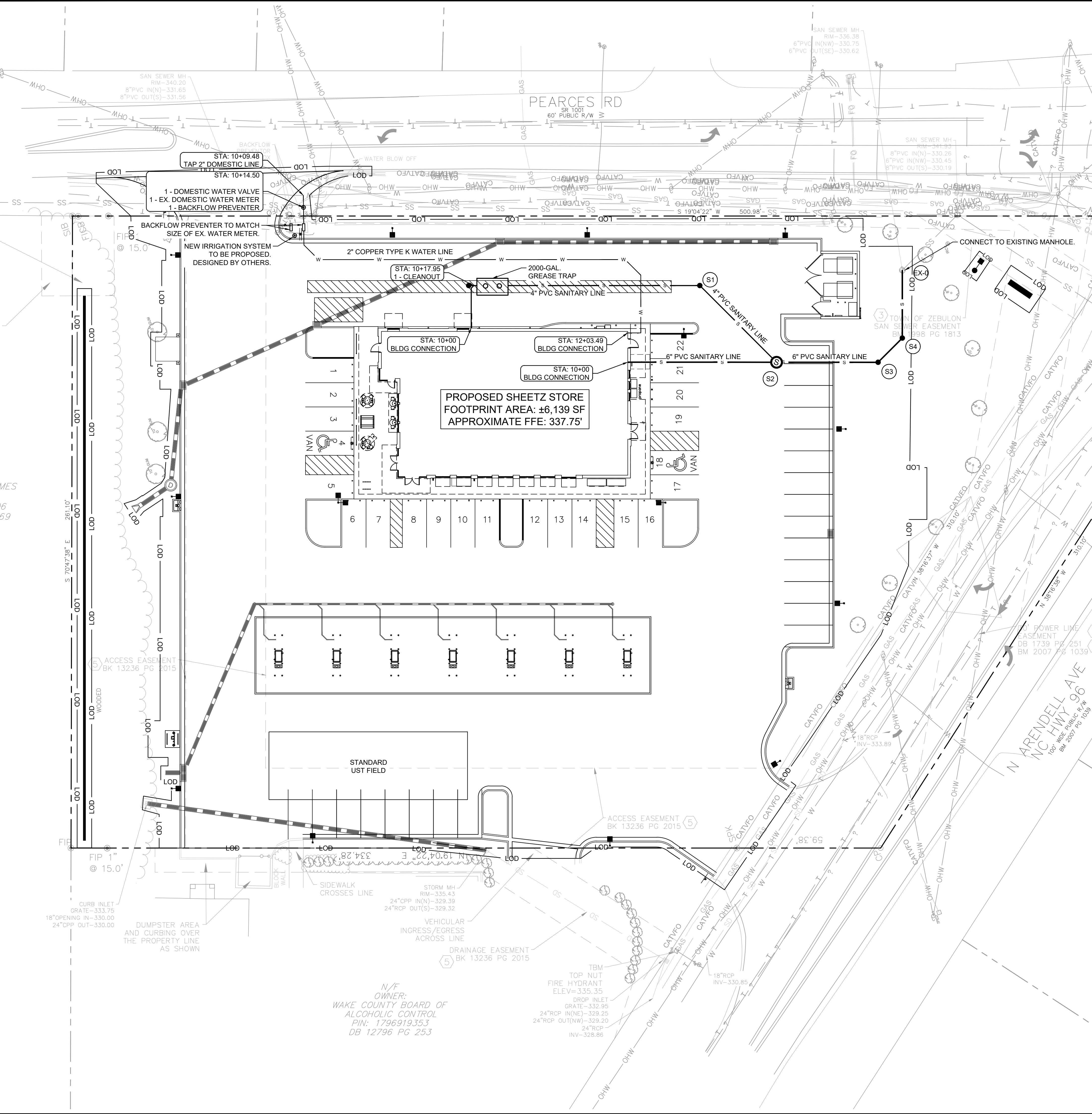
**GRADING AND DRAINAGE PLAN**

SHEET NUMBER  
**C400**



Plotted By: Jang, Scott Street Set/COSTCO HARRISBURG FUEL EXPANSION LAYOUT/UTILITY PLAN June 02, 2025 04:58:25pm K:\RVC-DW\113020 - Sheetz 05 REMODEL SITE\110529004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD\PlanSheets\UTILITY PLAN.dwg

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CITY OF RALEIGH UTILITY NOTES

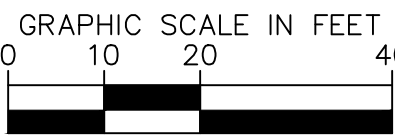
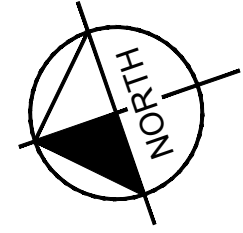
1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
  - a. A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer main passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specification.
  - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
  - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan and/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water Prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used or not needed for a site unless otherwise directed by the City of Raleigh Public Utilities Department. This included abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
10. Inspections of 4" and larger water mains of the private distribution system will be inspected as part of the infrastructure permit.
11. Private sewer mains as part of a collection system are permitted and inspected under the private infrastructure permit for sewer.
12. Any water or sewer services on private property that will be installed under Construction Drawings may require a Plumbing Utility Permit in the City of Raleigh. Consult with the Engineering Inspection Coordinator during the pre-construction meeting on the necessary permits.
13. Install sewer services with cleanouts located at ROW or easement line & spaced per the current NC Plumbing Code.
14. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
15. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
16. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
17. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 of fog@raleighnc.gov for more information.
18. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
19. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
20. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements of the Cross Connection Program in Raleigh's Service Area.
21. The devices shall be installed & tested (both, initial & periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact cross.connection@raleighnc.gov for more information.
22. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.
23. Private sub-metering - No resale of water shall occur without the approval of the North Carolina Utility Commission. Sub-metering shall be in accordance with Section 1400 of the "SAFE DRINKING WATER ACT".

UTILITY LEGEND

- |     |                                       |
|-----|---------------------------------------|
| LOD | LIMITS OF DISTURBANCE<br>(±80,959 SF) |
| SS  | EXISTING SANITARY SEWER<br>LINE       |
| W   | EXISTING WATER LINE                   |
| S   | PROPOSED SANITARY<br>SEWER LINE       |
| W   | PROPOSED WATER LINE                   |
|     | PROPOSED STORM DRAIN                  |

SHEETZ UTILITY NOTES

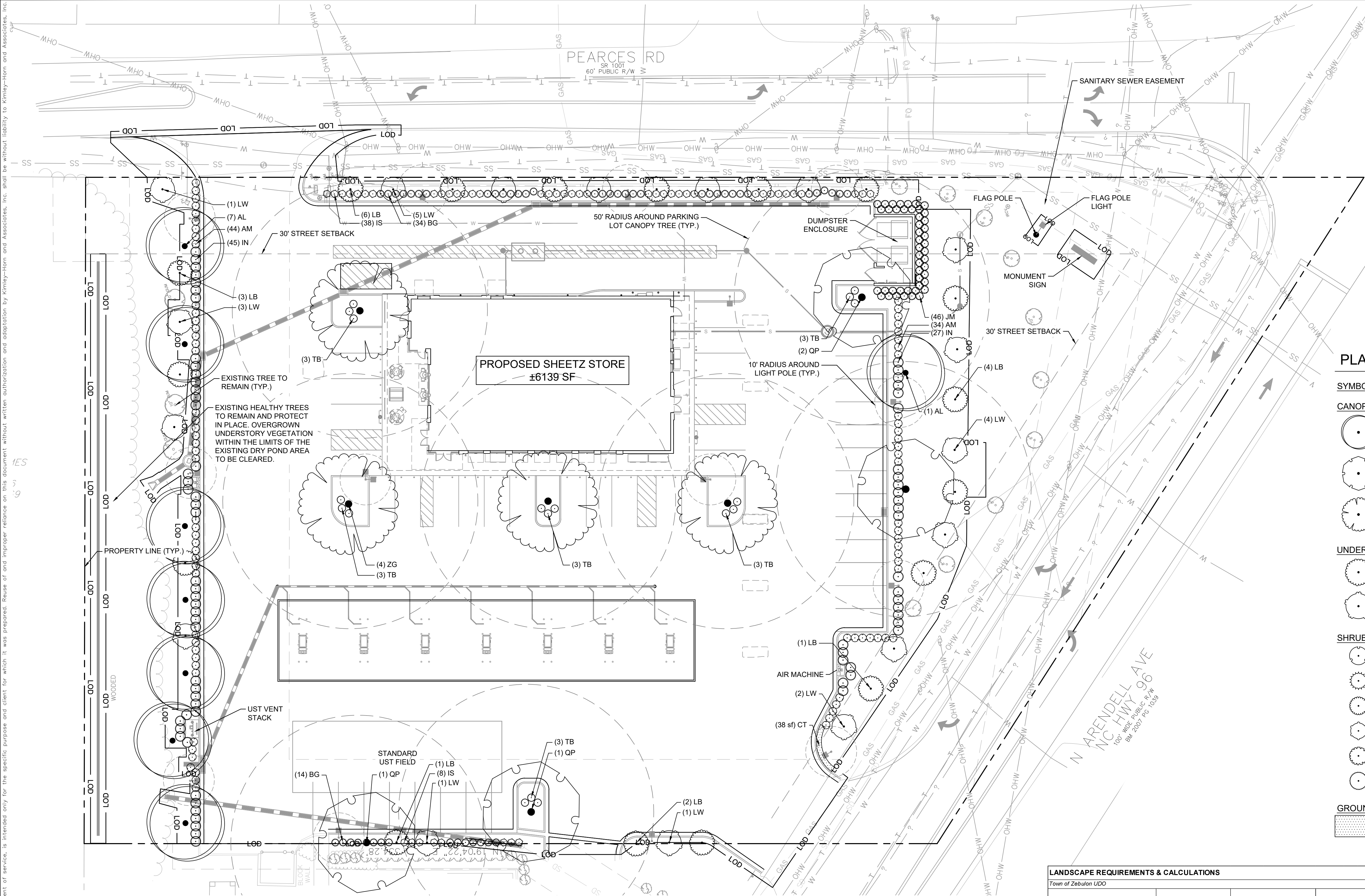
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY KIMLEY-HORN, THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON AND THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY 811 "CALL BEFORE YOU DIG" THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY CONSTRUCTION UNLESS OTHERWISE COORDINATED BEFOREHAND WITH SHEETZ.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE SHEETZ PROJECT STRUCTURES.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET C001.
11. CONDUIT LOCATIONS TO FREESTANDING SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ CONSTRUCTION MANAGER.
12. CONTRACTOR SHALL COORDINATE AND VERIFY WITH SHEETZ CONSTRUCTION MANAGER ON LOCATION AND SIZE OF THE STORE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL COORDINATE WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ IT DEPARTMENT ON THE CONDUIT ROUTE TO STORE FOR TELE/COMMUNICATION SERVICES.
14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



KHA PROJECT 110529004		DATE 5/20/2025		SCALE AS SHOWN		DESIGNED BY RND		DRAWN BY HRT		CHECKED BY	
NOT FOR CONSTRUCTION										REVISIONS	
Kimley»Horn										BY	
© 2025 KIMLEY-HORN AND ASSOCIATES 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-855-1494 WWW.KIMLEY-HORN.COM										DATE	
UTILITY PLAN										TOWN OF ZEBULON	
STORE #416 1406 N ARENDELL AVE										NORTH CAROLINA	
SHEET NUMBER C600											



Plotted By: Fullerton, Adam    Sheet Set: COSTCO HARRISBURG FUEL EXPANSION    Layout: LANDSCAPE PLAN    June 02, 2025    05:06:58pm    K:\RVC-DWA\113020 - Sheetz - 05 REMODEL SITE\110529004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD\PlanSheets\LANDSCAPE PLAN.dwg    This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- NOTES
- ALL ACER SACCHARUM 'LEGACY' TREES TO BE COUNTED FOR UTILITY ALLOCATION POLICY: 3A REQUIREMENT
  - BUFFER WIDTHS HAVE BEEN REDUCED PER DEVELOPMENT CONDITIONS.

LANDSCAPE REQUIREMENTS & CALCULATIONS				
Town of Zebulon UDO				
DESIGN REQUIREMENT	LOCATION	REQUIRED PLANTS	PROPOSED PLANTS	CODE SECTION
One canopy tree for every 12 parking spaces provided	Parking Lot	47 spaces / 12 = 4	8 Proposed Canopy Trees	5.6.9.A
Parking lot perimeter landscape shall have continuous row of evergreen shrubs	Parking Lot Perimeter	707 LF / 3 = 236	245 Proposed Evergreen Shrubs	5.6.9.C
Four (4) understory trees per 100 linear feet where overhead utility lines are present	Streetscape	811 LF / 100 = 8.11 8.11 * 4 = 33	23 Proposed Understory Trees 10 Existing Understory Trees	5.6.12
Type A Buffer Four (4) understory trees and fifteen (15) shrubs per 100 linear feet	West Property Line	110 LF / 100 = 1.10 1.10 * 4 = 5 1.10 * 15 = 17	5 Proposed Understory Trees 22 Proposed Shrubs	5.6.10
Type C Buffer Three (3) canopy trees, six (6) understory trees, and twenty-five (25) shrubs per 100 linear feet	North Property Line	258 LF / 100 = 2.58 2.58 * 3 = 8 2.58 * 6 = 16 2.25 * 25 = 65	7 Proposed Canopy Trees 3 Existing Canopy Trees 7 Proposed Understory Trees 9 Existing Understory Trees 90 Proposed Shrubs	5.6.10
Two (2) staggered rows of evergreen shrubs to form fully opaque screen	Dumpster Enclosure	60 LF / 3 = 20 20 * 2 = 40	46 Proposed Evergreen Shrubs	5.10.5
Installation of native shade trees for outdoor enhancement.	Perimeter	8	8 Proposed Canopy Trees	Utility Allocation Policy: 3A

### PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME

#### CANOPY TREES

- AL ACER SACCHARUM 'LEGACY'  
LEGACY SUGAR MAPLE
- QP QUERCUS PHELLOS  
WILLOW OAK
- ZG ZELKOVA SERRATA 'GREEN VASE'  
GREEN VASE JAPANESE ZELKOVA

#### UNDERSTORY TREES

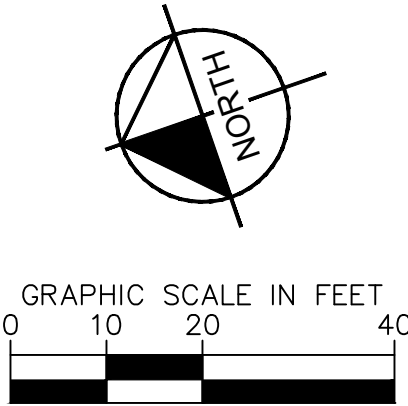
- LB LAGERSTROEMIA INDICA 'BYER'S WONDERFUL WHITE'  
WONDERFUL WHITE CRAPE MYRTLE
- LW LAGERSTROEMIA INDICA 'WHIT IV'  
RED ROCKET® CRAPE MYRTLE

#### SHRUBS

- AM ABELIA X GRANDIFLORA 'HOPLEYS'  
MISS LEMON™ 'GLOSSY ABELIA
- BG BUXUS X 'GREEN MOUNTAIN'  
GREEN MOUNTAIN BOXWOOD
- IN ILEX VOMITORIA 'NANA'  
DWARF YAUPOH HOLLY
- IS ILEX GLABRA 'SHAMROCK'  
SHAMROCK INKBERRY HOLLY
- JM JUNIPERUS SCOPULORUM 'MEDORA'  
MEDORA JUNIPER
- TB THUJA OCCIDENTALIS 'BOBOZAM'  
MR. BOWLING BALL® ARBORVITAE

#### GROUND COVERS

- CT CYNODON DACTYLON 'TIF 419'  
TIF 419 BERMUDAGRASS



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NOT FOR CONSTRUCTION

KHA PROJECT  
110529004

DATE  
6/2/2025

SCALE AS SHOWN

DESIGNED BY  
RND

DRAWN BY  
RND

CHECKED BY  
HRT

LANDSCAPE PLAN

STORE #416  
1406 N ARENDELL AVE

TOWN OF ZEBULON    NORTH CAROLINA

SHEET NUMBER  
L100

REVISIONS

BY  
DATE