

SCHEDULE B, PART II EXCEPTIONS

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET.  
-NOT A MATTER OF SURVEY
- TAXES FOR THE YEAR 2024, AND SUBSEQUENT YEARS NOT YET DUE AND PAYABLE.  
-NOT A MATTER OF SURVEY
- BUILDING RESTRICTION LINES, EASEMENTS AND ANY OTHER FACTS SHOWN ON PLAT(S) RECORDED IN BOOK OF MAPS 1998, PAGE 1813; BOOK OF MAPS 2005, PAGE 2269; BOOK OF MAPS 2007, PAGE 0796; BOOK OF MAPS 2007, PAGE 1039; BOOK OF MAPS 2020, PAGE 397; AND BOOK OF MAPS 2020, PAGE 1372, WAKE COUNTY REGISTRY.  
BOOK OF MAPS 1998, PAGE 1813: SHOWN HEREON  
BOOK OF MAPS 2005, PAGE 2269: -DOES NOT APPLY TO SUBJECT SITE  
BOOK OF MAPS 2007, PAGE 0796: -DOES NOT APPLY TO SUBJECT SITE  
BOOK OF MAPS 2007, PAGE 1039: -POWER LINE EASEMENT PER DB 1739 PG 251 REFERENCED AND SHOWN HEREON  
BOOK OF MAPS 2020, PAGE 397: -SHOWN HEREON  
BOOK OF MAPS 2020, PAGE 1372: -SHOWN HEREON; EASEMENT ON ADJOINING PARCEL
- EASEMENT(S) TO CAROLINA POWER AND LIGHT COMPANY RECORDED IN BOOK 1103, PAGE 401; AND BOOK 1739, PAGE 251, WAKE COUNTY REGISTRY.  
BOOK 1103 PAGE 401: BLANKET TYPE EASEMENT  
BOOK 1739 PG 251: SHOWN HEREON
- EASEMENT AGREEMENT BETWEEN OLD HERITAGE PROPERTIES, LLC, WAKE COUNTY BOARD OF ALCOHOLIC CONTROL, INC. AND SHEETZ, INC. RECORDED IN BOOK 13236, PAGE 2015, WAKE COUNTY REGISTRY.  
-SHOWN HEREON
- EASEMENTS SET OUT IN DEED RECORDED IN BOOK 12796, PAGE 253, WAKE COUNTY REGISTRY.  
-EASEMENT DESCRIBED AS A PERMANENT NON-EXCLUSIVE RIGHT AND EASEMENT FOR THE PURPOSE OF INGRESS/EGRESS TO AND FROM SUBJECT LOT, LIMITED TO THE PAVED PARKING AREAS AND DRIVEWAYS ON THE ADJOINING LOT TO THE WEST.
- UTILITY AND SEWER EASEMENT SET OUT IN DEED RECORDED IN BOOK 8181, PAGE 173, WAKE COUNTY REGISTRY.  
-UTILITY AND SEWER EASEMENT WITH TOWN OF ZEBULON OVER SUBJECT PARCEL. LOCATION NOT DESCRIBED IN DOCUMENT.
- DRAINAGE EASEMENT SET OUT IN DEED RECORDED IN BOOK 17773, PAGE 2044, WAKE COUNTY REGISTRY.  
-SHOWN HEREON. TEMPORARY CONSTRUCTION EASEMENT NTOTED NOT SHOWN (TEMPORARY IN NATURE)
- TITLE TO THAT PORTION OF SUBJECT PROPERTY LYING WITHIN THE RIGHT(S) -OF-WAY OF NC 96 HIGHWAY (ZEBULON ROAD).  
-PORTION WITHIN THE R/W OF ARENDELL RD (NC 96) SHOWN HEREON
- DEED OF TRUST TO TRUSTEE(S) FOR CAPITAL BANK IN THE AMOUNT OF \$1,108,000.00, RECORDED IN BOOK 12134, PAGE 197; ASSUMPTION AND MODIFICATION AGREEMENT RECORDED IN BOOK 13270, PAGE 2109; ASSIGNMENT OF RENTS RECORDED IN BOOK 13270, PAGE 2118; AND MODIFICATION AGREEMENT RECORDED IN BOOK 13954, PAGE 2509, WAKE COUNTY REGISTRY.  
-NOT A MATTER OF SURVEY
- DEED OF TRUST TO TRUSTEE(S) FOR CAPITAL BANK, N.A. IN THE AMOUNT OF \$100,000.00, RECORDED IN BOOK 14867, PAGE 2020, WAKE COUNTY REGISTRY.  
-EXHIBIT B THEREIN REFERENCES EXCEPTIONS ALREADY SHOWN AND LISTED HEREON
- DEED OF TRUST TO TRUSTEE(S) FOR NEW REPUBLIC SAVINGS BANK IN THE AMOUNT OF \$785,000.00, RECORDED IN BOOK 14961, PAGE 404, WAKE COUNTY REGISTRY.  
-NOT A MATTER OF SURVEY
- ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. THIS EXCEPTION DELETES THE COVERAGE PROVIDED UNDER COVERED RISK 2(C), UPON RECEIPT OF A CURRENT SURVEY AND SURVEYOR'S REPORT, THIS EXCEPTION WILL BE DELETED OR AMENDED IN ACCORDANCE WITH THE FACTS DISCLOSED THEREBY.  
-SHOWN HEREON IF FOUND DURING COURSE OF SURVEY
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN ON THE PUBLIC RECORD. (THIS EXCEPTION MAY BE DELETED FROM THE POLICY ONLY UPON SATISFACTION OF REQUIREMENT #5 IN SCHEDULE B HEREIN.)  
-NOT A MATTER OF SURVEY
- MECHANICS LIEN AGENT ENTRY NUMBER \_\_\_\_\_ AND ALL RELATED RIGHTS TO FILING OR CURRENT FILINGS BY ANY POTENTIAL LIEN CLAIMANTS, INCLUDING DESIGN PROFESSIONALS. (THIS EXCEPTION MAY BE DELETED FROM THE POLICY ONLY UPON SATISFACTION OF REQUIREMENT #5 IN SCHEDULE B HEREIN.)  
-NOT A MATTER OF SURVEY
- NOTICE: CLOSING PROTECTION INSURANCE COVERING THE TRANSACTION INSURED BY THIS POLICY IS NOT PROVIDED.  
-NOT A MATTER OF SURVEY

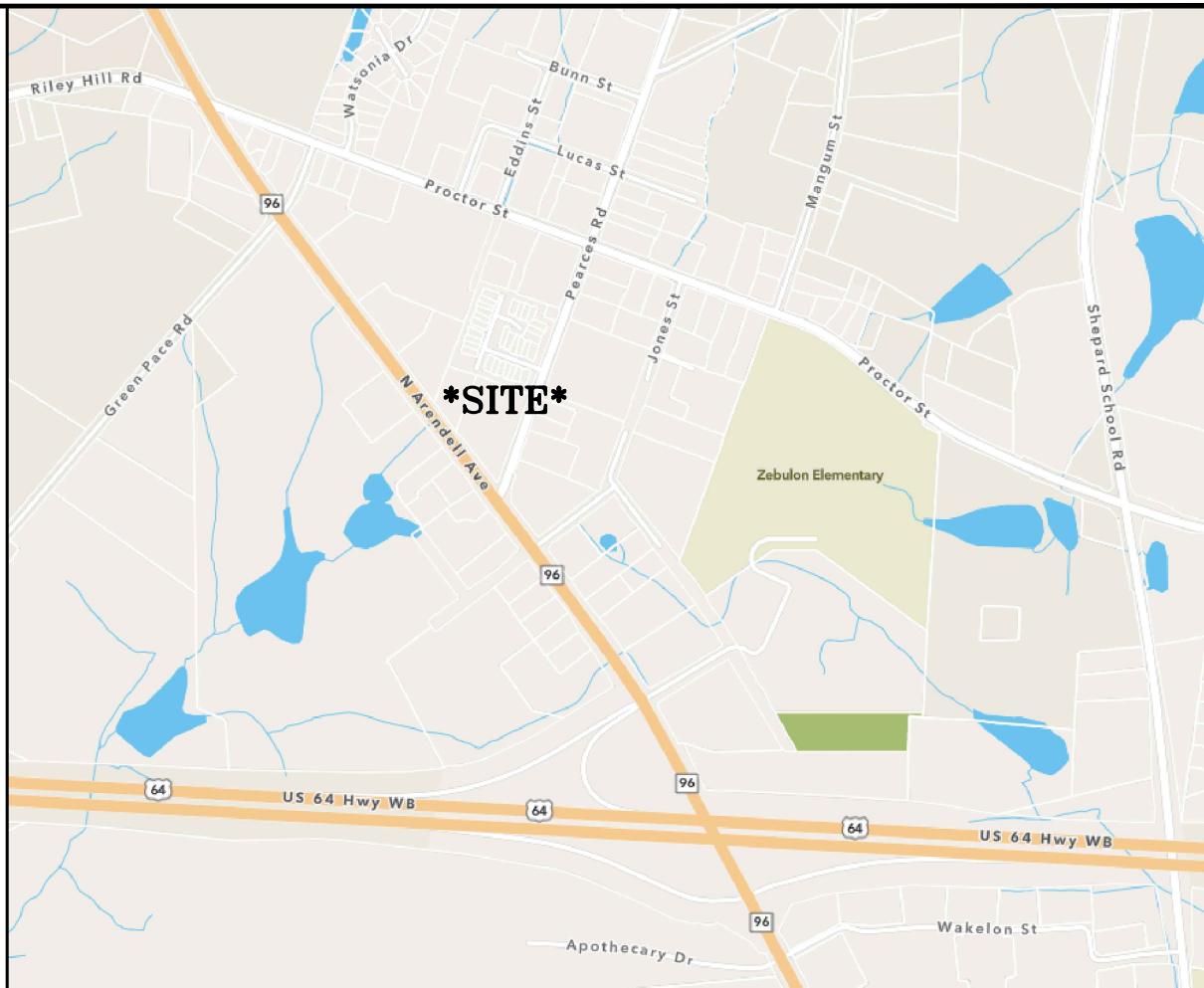
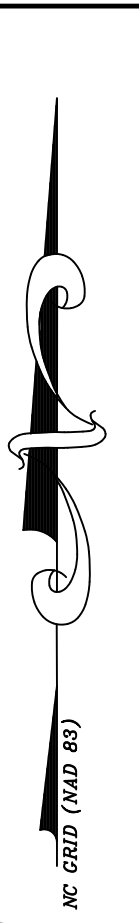
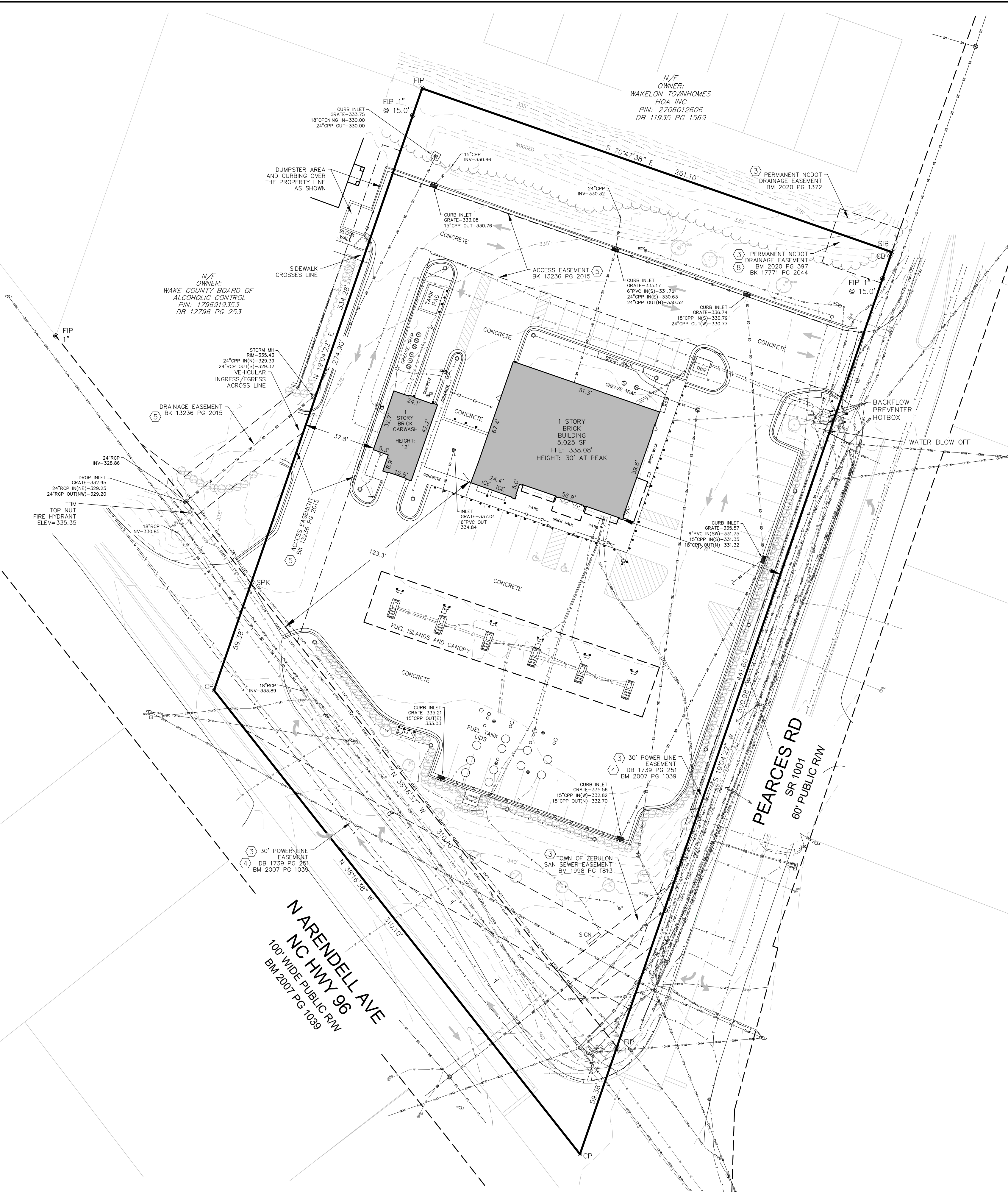
PROPERTY DESCRIPTION (PER TITLE COMMITMENT)

LYING AND BEING IN WAKE COUNTY AND IDENTIFIED IN THE 2023 WAKE COUNTY GIS RECORDS UNDER PIN #070601-0220 AND DESCRIBED AS ALL OF LOT 2, CONTAINING 2.504 GROSS ACRES, AS SHOWN ON THAT MAP RECORDED IN BOOK OF MAPS 2007, PAGE 1039, WAKE COUNTY REGISTER OF DEEDS.

SURVEYOR'S CERTIFICATION

I, ROBERT C. BAUMGARTNER, CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B, 7C, 8, 9, 11(OBSERVED), 13, 17, 18, 19, 20, & 21 OF TABLE A THEREOF.

ROBERT C. BAUMGARTNER, NC PLS No. L-4531



VICINITY MAP

SURVEYOR'S NOTES

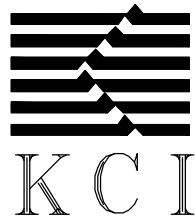
- THIS PLAN HAS BEEN PREPARED WITH THE BENEFIT OF FOLLOWING REPORT OF TITLE PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY: COMMITMENT #: 23R01465, DATED SEPTEMBER 19, 2023.
- AREA SHOWN HEREON COMPUTED BY COORDINATE METHOD.
- THE BASIS OF THE BEARING SHOWN HEREON ARE BASED ON NORTH CAROLINA GRID BEARING.
- SUBJECT PROPERTIES KNOWN AS PARCEL NUMBERS: AS SHOWN
- THIS SURVEY DOES NOT VERIFY THE EXISTENCE OF, NOR CERTIFY THE LOCATION OF, ANY JURISDICTIONAL WETLANDS THAT MAY EXIST ON THIS PROPERTY.
- THE SUBJECT PARCEL IS LOCATED WITHIN ZONE X AS SHOWN ON FIRM 3720270600K EFFECTIVE 7/19/22 AND FIRM 3720179600K EFFECTIVE 7/19/22.
- THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
- EXCEPT AS SHOWN ON THE SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR UTILITIES, DRAINAGE, STRUCTURAL SUPPORT OR INGRESS OR EGRESS.
- THE LEGAL DESCRIPTION ON AND DEPICTION OF THE SUBJECT PROPERTY CONTAINED IN THE SURVEY DESCRIBE AND DEPICT THE SAME PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION CONTAINED IN THAT CERTAIN TITLE COMMITMENT REFERENCED IN NOTE 1 ABOVE.
- THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.
- THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- SUBJECT PARCEL HAS ACCESS TO PEARCES ROAD AND N ARENDELL AVENUE; BOTH PUBLIC RIGHTS OF WAY
- SUBJECT PARCEL INFORMATION:

OWNER:  
OLD HERITAGE PROPERTIES LLC  
PIN: 2706011220  
DB 13270 PG 2106  
109,044 SF 2.50 AC  
15505 SF IN R/W  
93,539 SF 2.15 AC NET

LEGEND

EXCEPTION #	①	SPRINKLER HEAD	①
BOUNDARY MONUMENT	●	IRRIGATION CONTROL VALVE	②
STORM INLETS	③	WATER VALVE	③
STORM MANHOLE	④	FIRE HYDRANT	④
CLEANOUT	⑤	WATER METER	⑤
AIR CONDITIONING UNIT	⑥	FIRE DEPARTMENT CONNECTION	⑥
TRAFFIC HANDHOLE	⑦	POST INDICATOR VALVE	⑦
ELEC. OUTLET	⑧	GAS VALVE	⑧
ELEC. BOX	⑨	FIBER MARKER	⑨
ELEC. HANDHOLE	⑩	SIGN	⑩
HANDHOLE	⑪	LARGE ROCK	⑪
LIGHT POLE	⑫	HANDICAP	⑫
UTILITY POLE	⑬	SEWER MANHOLE	⑬
SIGNAL POLE	⑭	ELECTRIC MANHOLE	⑭
COMMUNICATIONS MANHOLE	⑮	MONITORING WELL	⑮
WATER MANHOLE	⑯		
TELEPHONE PED	⑰		

TREE SYMBOLS + SIZE	①
SHRUB/BUSH	②
WOODS LINE	③
FENCE	④
STORM DRAIN PIPE	⑤
SANITARY SEWER PIPE	⑥
GAS LINE	⑦
POWER LINE	⑧
TELEPHONE LINE	⑨
IRRIGATION LINE	⑩
UNKNOWN UTILITY	⑪
OVERHEAD WIRE	⑫
TV FIBER OPTIC LINE	⑬
TELEPHONE FIBER OPTIC LINE	⑭
FIBER OPTIC LINE	⑮
WATER LINE	⑯
CHILLED WATER LINE	⑰
CABLE TV LINE	⑱



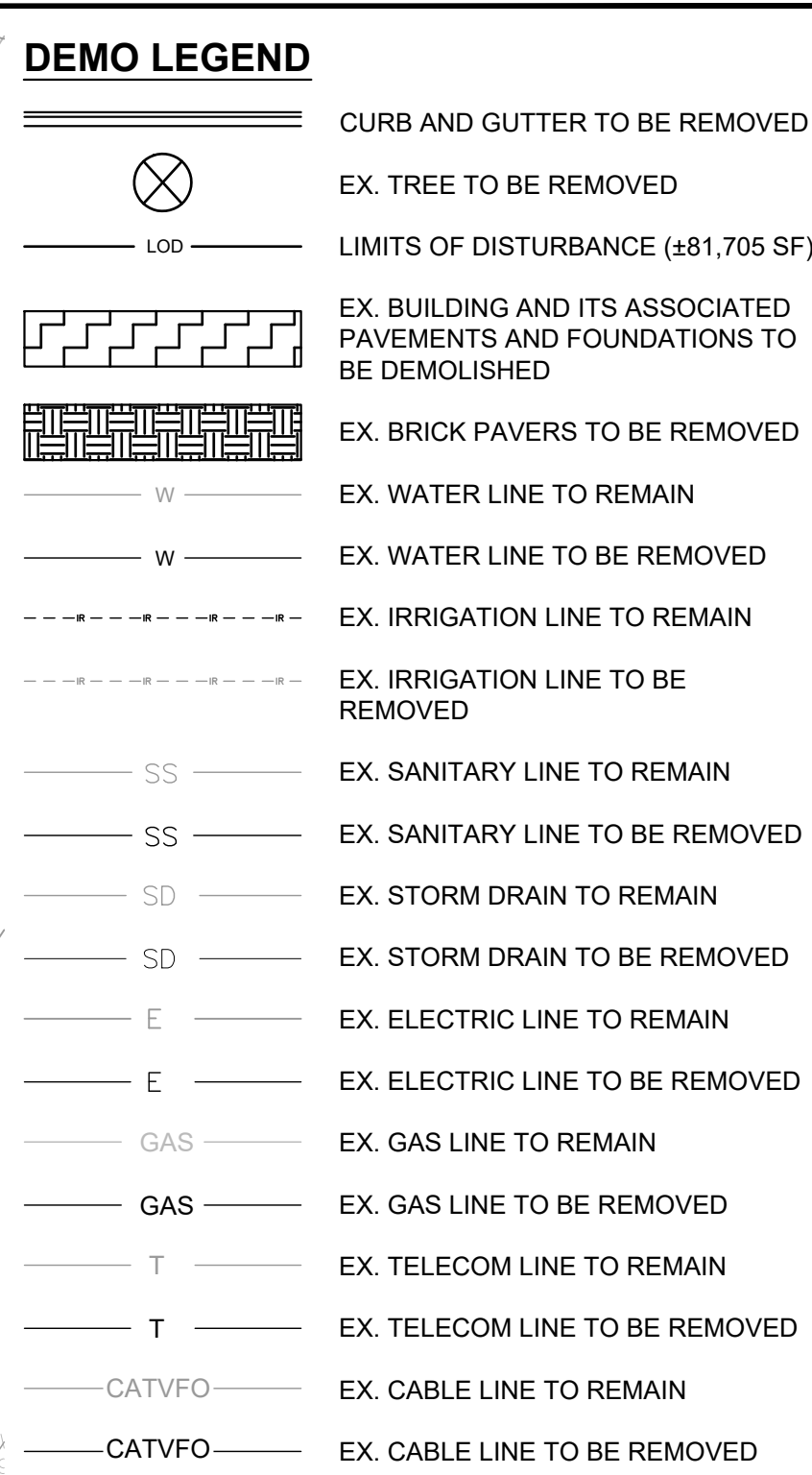
KCI ASSOCIATES OF NC  
ENGINEERS, SURVEYORS AND PLANNERS

4800 FALLS OF NEUSE ROAD, SUITE 200  
RALEIGH, NC 27607  
PHONE (919) 783-9214 • FAX (919) 783-9266

ALTA/NSPS LAND TITLE SURVEY  
1406 N ARENDELL AVE  
LANDS OWNED BY  
OLDE HERITAGE PROPERTIES LLC  
TOWN OF ZEBULON,  
WAKE COUNTY, NC

REV: 4/16/25  
DATE: 3/10/25  
SCALE: 1" = 30'  
SHEET: C-100







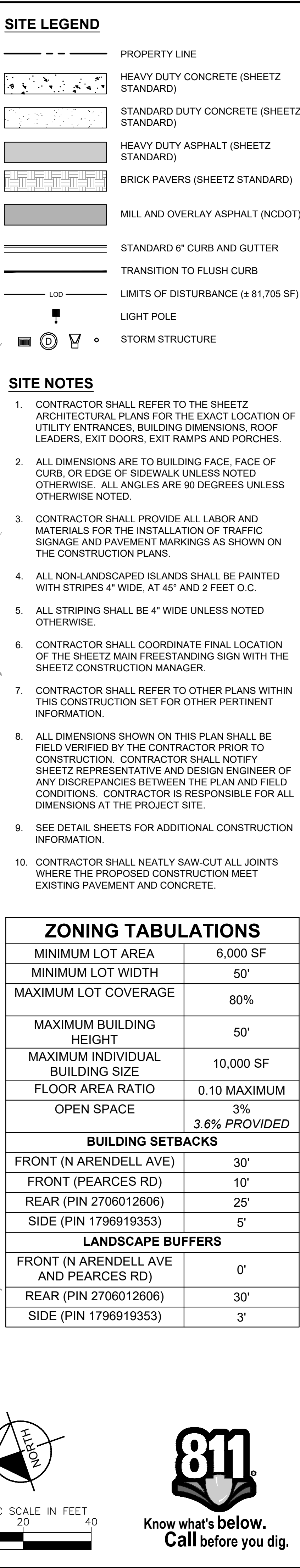
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR VERIFYING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. UTILITY CONTACTS ARE LISTED ON SHEET C-000.
9. EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO THE E&S PLAN FOR DETAILS.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY SHEETZ IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.



Know what's **below**.  
**Call** before you dig.

SHEET NUMBER <b>C-110</b>		STORE #416 <b>1406 N ARENDELL AVE</b>		TOWN OF ZEBULON		NORTH CAROLINA	
<div>EXISTING CONDITIONS AND DEMOLITION PLAN</div>				KHA PROJECT 110529004		KHA PROJECT 110529004	
				DATE 8/15/2025		DATE 8/15/2025	
				SCALE AS SHOWN		SCALE AS SHOWN	
				DESIGNED BY RND		DESIGNED BY RND	
				DRAWN BY RND		DRAWN BY RND	
CHECKED BY		CHECKED BY		CHECKED BY		CHECKED BY	
HRT		HRT		HRT		HRT	
<div>NOT FOR CONSTRUCTION</div>							
							
© 2025 KIMLEY-HORN AND ASSOCIATES 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-801-1494 FAX: 919-801-1495 WWW.KIMLEY-HORN.COM				© 2025 KIMLEY-HORN AND ASSOCIATES 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-801-1494 FAX: 919-801-1495 WWW.KIMLEY-HORN.COM			
No.		REVISIONS		DATE		BY	

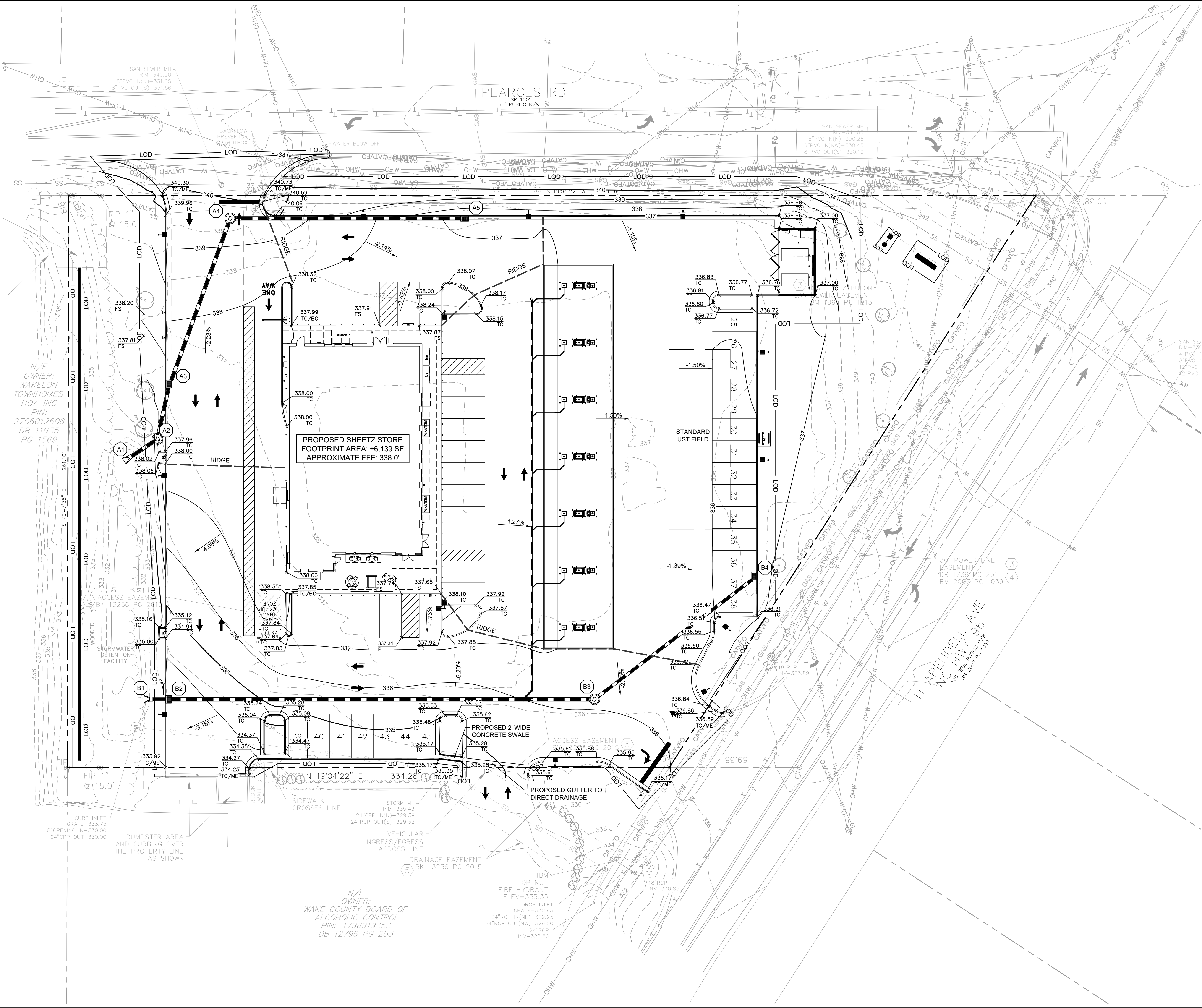






Plotted By: Dieudonne, Ryan. Sheet: Set: COSTCO HARRISBURG FUEL EXPANSION. Layout: 24-36. August 15, 2025. 03:10:11pm. K:\RVC-CIV\113020 - Streets\08 REMODEL SITES\10528004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD Plans\Sheets\GRADING AND DRAINAGE PLAN.dwg

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- GRADING LEGEND**
- 100 PROPOSED CONTOUR
  - 100 EXISTING CONTOUR
  - 1000 TC TOP OF CURB ELEVATION
  - 1000 BC BOTTOM OF CURB ELEVATION
  - 1000 FFE FINISHED FLOOR ELEVATION
  - 1000 FS FINISHED SURFACE ELEVATION
  - 1000 P PAVEMENT ELEVATION
  - 1000 G GROUND ELEVATION
  - 1000 TW TOP OF WALL ELEVATION
  - 1000 BW BOTTOM OF WALL ELEVATION
  - 1000 HP HIGH POINT
  - 1000 ME MATCH EXISTING
  - STANDARD 6" CURB AND GUTTER
  - TRANSITION TO FLUSH CURB

- GRADING NOTES**
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY KIMLEY-HORN. THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON AND THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
  - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE. IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY.
  - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY 811 "CALL BEFORE YOU DIG" THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  - ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
  - ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH VEGETATION.
  - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
  - ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, SODDED, MULCHED AND/OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
  - CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY THE GEOTECH ENGINEER PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
  - ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS ON THE PROJECT SURVEY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR AT GROUND BREAKING.
  - ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFERENCE DETAILED BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, ELEVATIONS, AND UTILITY CONNECTION POINTS.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRAPHIC SCALE IN FEET  
0 10 20 40

811  
Know what's below.  
Call before you dig.

**Kimley»Horn**

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-855-1494  
WWW.KIMLEY-HORN.COM

**NOT FOR CONSTRUCTION**

KHA PROJECT 110529004  
DATE 8/15/2025  
SCALE AS SHOWN  
DESIGNED BY RND  
DRAWN BY RND  
CHECKED BY HRT

**GRADING AND DRAINAGE PLAN**

**STORE #416**  
**1406 N ARENDELL AVE**

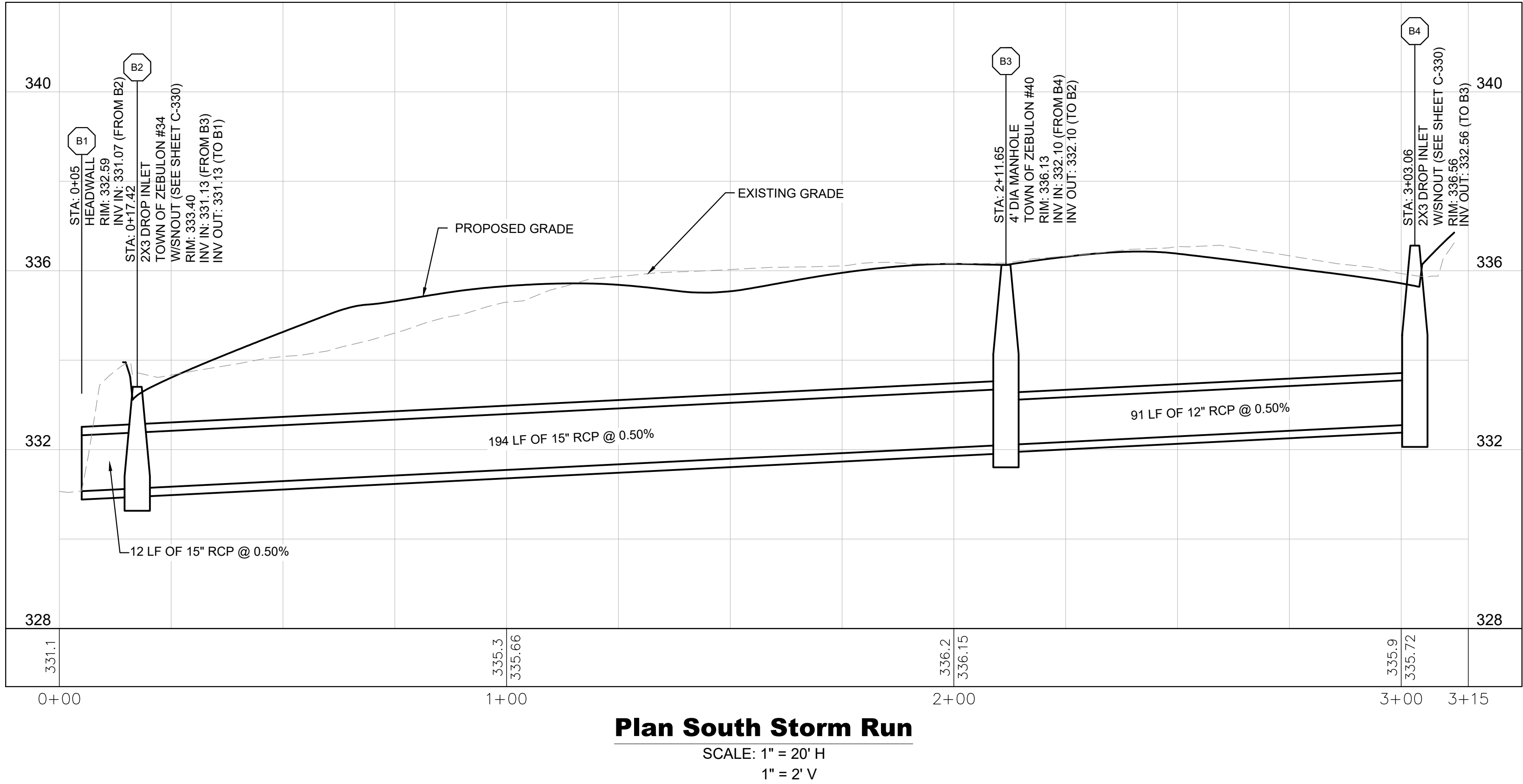
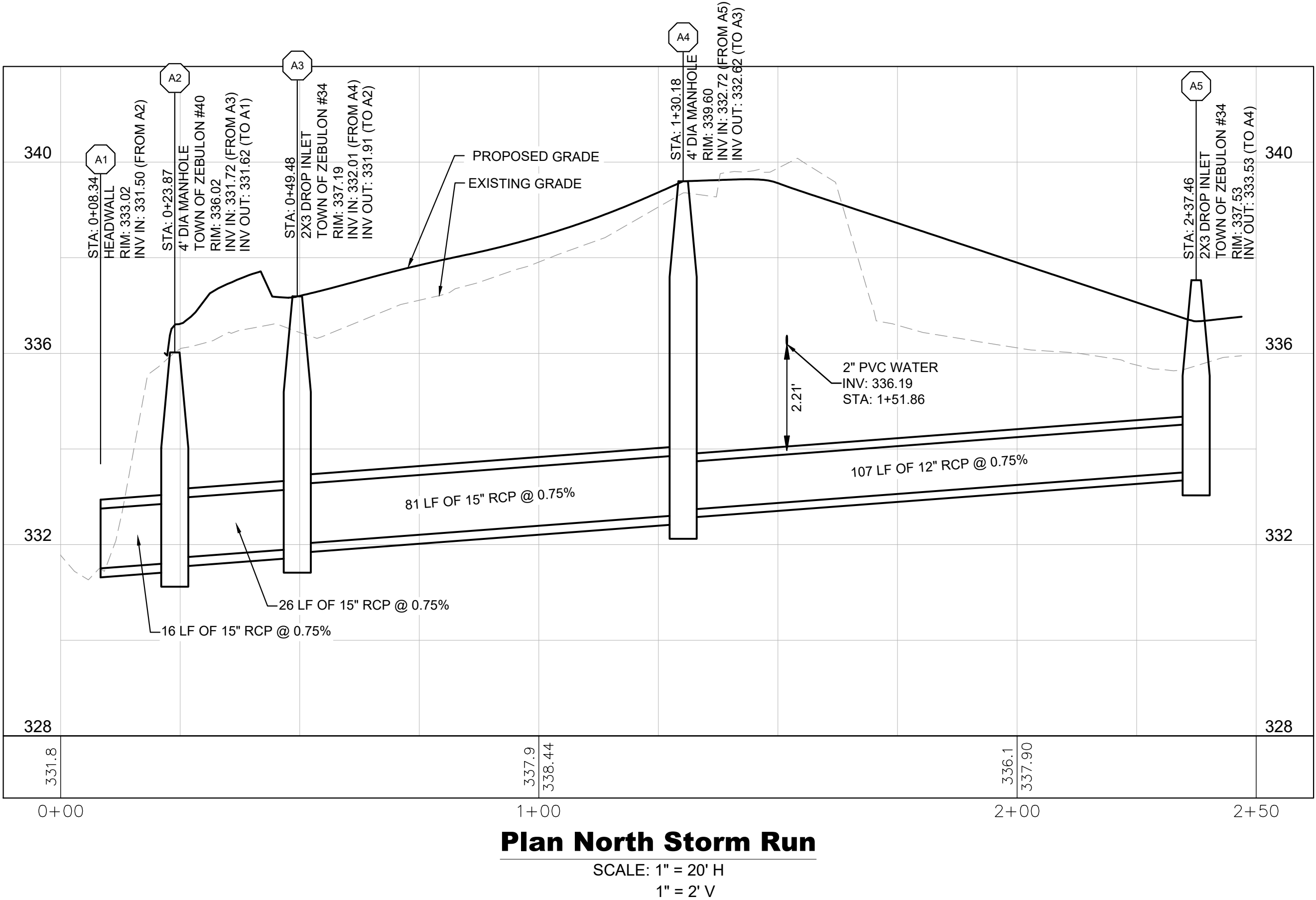
TOWN OF ZEBULON NORTH CAROLINA

SHEET NUMBER  
**C-300**



Plotted By: Dieudonne, Byron Sheet: Set: COSTCO HARRISBURG FUEL EXPANSION Layout: DRAINAGE PROFILES August 15, 2025 03:10:32pm K:\RJC-OVA\113020 - Sheet\2\_05 REMODEL SITES\110529004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD\PlanSheets\UTILITY PROFILES.dwg

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STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
A1	HEADWALL RIM: 333.02 INV IN: 331.50	FROM A2, 15" RCP INV IN: 331.50 @ 0.75%	
A2	4" DIA MANHOLE TOWN OF ZEBULON #40 RIM: 336.02 INV IN: 331.72 INV OUT: 331.62	FROM A3, 15" RCP INV IN: 331.72 @ 0.75%	TO A1, 15" RCP INV OUT: 331.62 @ 0.75%
A3	2X3 DROP INLET TOWN OF ZEBULON #34 RIM: 337.19 INV IN: 332.01 INV OUT: 331.91	FROM A4, 15" RCP INV IN: 332.01 @ 0.75%	TO A2, 15" RCP INV OUT: 331.91 @ 0.75%
A4	4" DIA MANHOLE RIM: 339.60 INV IN: 332.72 INV OUT: 332.62	FROM A5, 12" RCP INV IN: 332.72 @ 0.75%	TO A3, 15" RCP INV OUT: 332.62 @ 0.75%
A5	2X3 DROP INLET TOWN OF ZEBULON #34 RIM: 337.53 INV OUT: 333.53		TO A4, 12" RCP INV OUT: 333.53 @ 0.75%
B1	HEADWALL RIM: 332.59 INV IN: 331.07	FROM B2, 15" RCP INV IN: 331.07 @ 0.50%	
B2	2X3 DROP INLET TOWN OF ZEBULON #34 W/SNOUT (SEE SHEET C-330) RIM: 333.40 INV IN: 331.13 INV OUT: 331.13	FROM B3, 15" RCP INV IN: 331.13 @ 0.50%	TO B1, 15" RCP INV OUT: 331.13 @ 0.50%
B3	4" DIA MANHOLE TOWN OF ZEBULON #40 RIM: 336.13 INV IN: 332.10 INV OUT: 332.10	FROM B4, 12" RCP INV IN: 332.10 @ 0.50%	TO B2, 15" RCP INV OUT: 332.10 @ 0.50%
B4	2X3 DROP INLET W/SNOUT (SEE SHEET C-330) RIM: 336.56 INV OUT: 332.56		TO B3, 12" RCP INV OUT: 332.56 @ 0.50%



STORE #416

1406 N ARENDELL AVE

TOWN OF ZEBULON

NORH CAROLINA

SHEET NUMBER

C-320

NOT FOR CONSTRUCTION

KHA PROJECT

110529004

DATE

8/15/2025

SCALE

AS SHOWN

DESIGNED BY

RND

DRAWN BY

RND

CHECKED BY

HRT

Kimley»Horn

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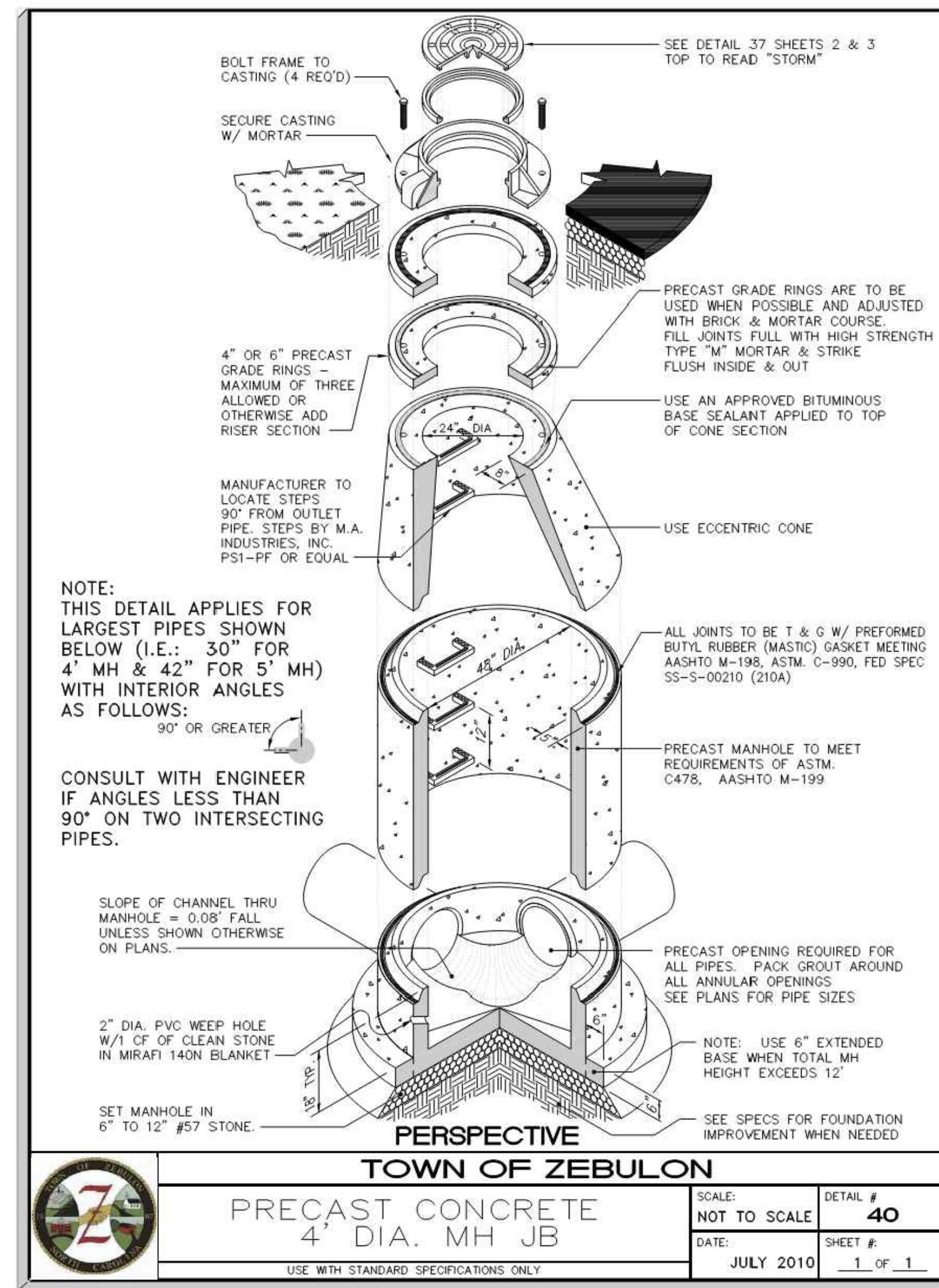
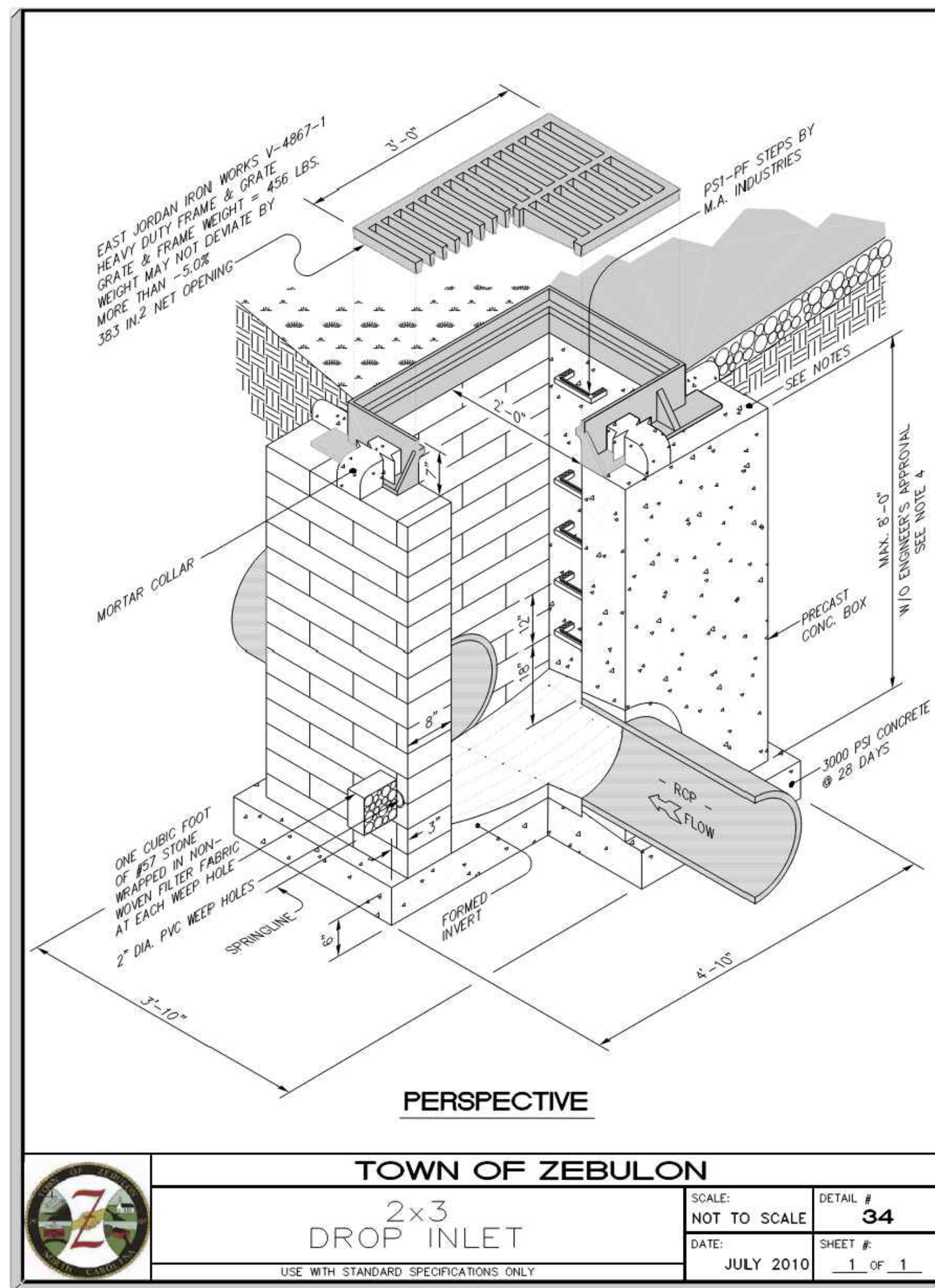
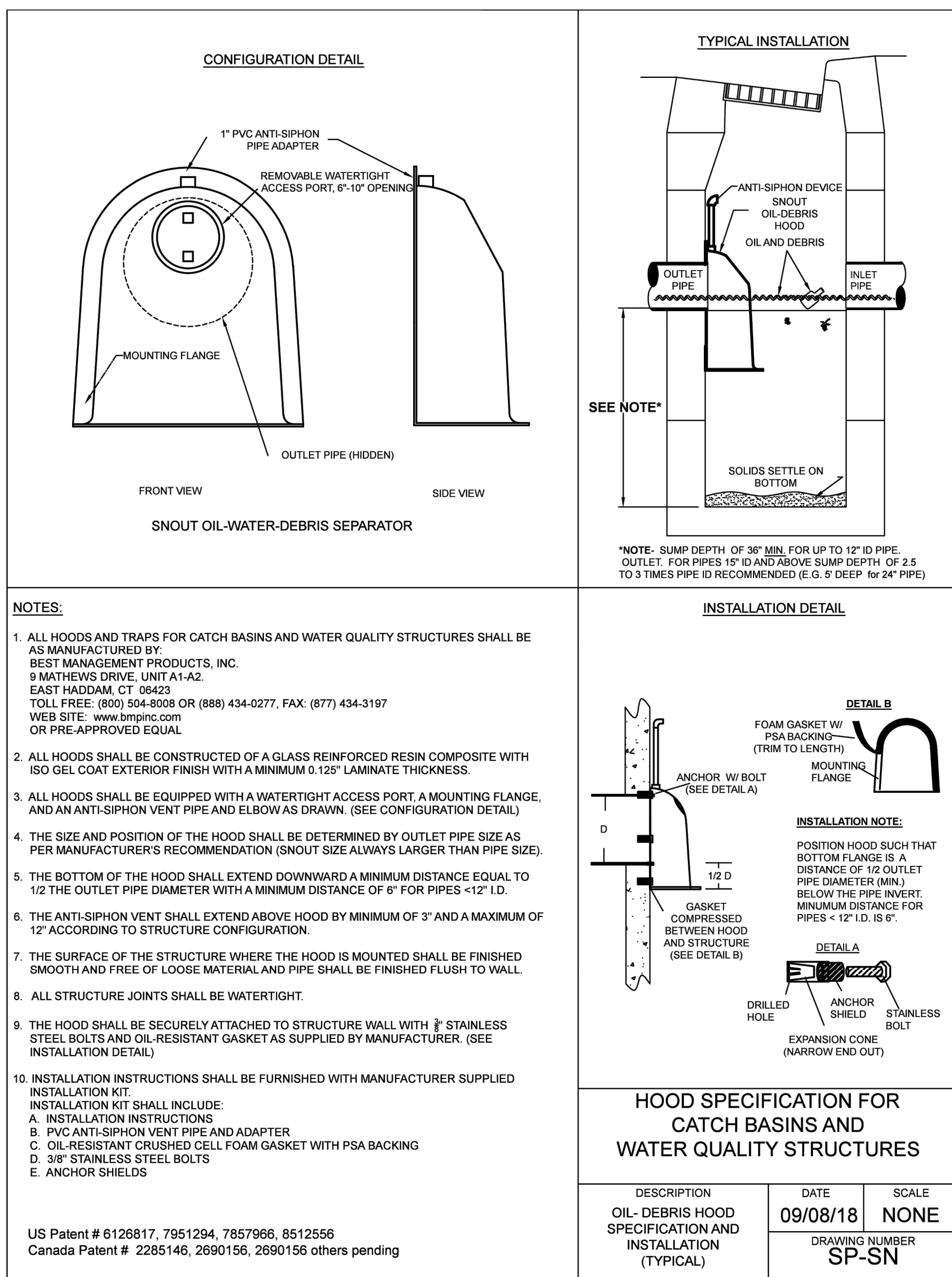
REVISIONS

No.

DATE

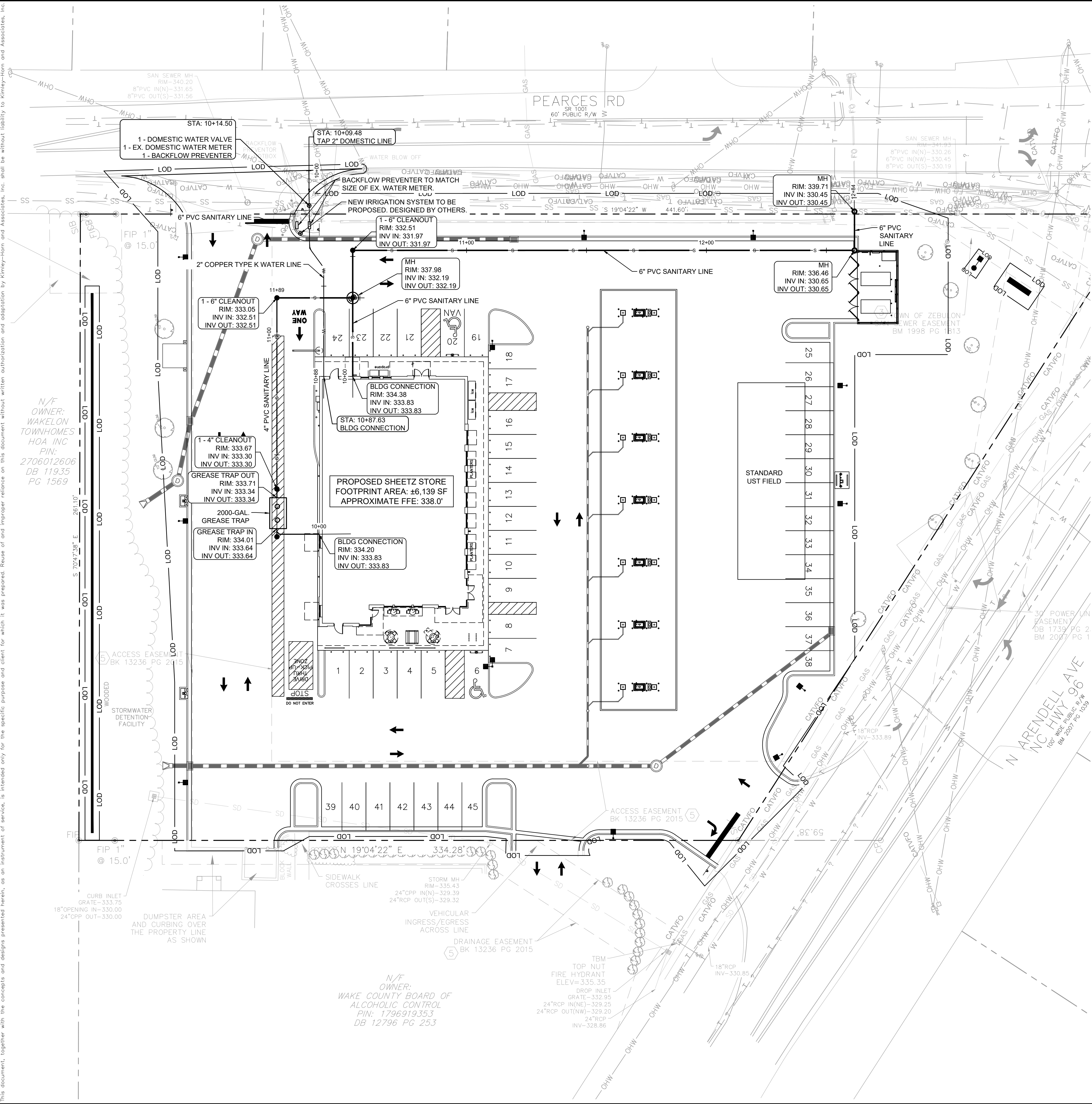
BY







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### CITY OF RALEIGH UTILITY NOTES

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)

2. Utility separation requirements:

- a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
- b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
- c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
- d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
- e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
- f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.

3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.

4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.

5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.

6. SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.

7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.

8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.

9. Install 2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.

10. Install 4" and 6" PVC sewer services as noted @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.

11. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.

12. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.

13. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.

14. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.

15. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.

16. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.

17. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.

18. The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.

19. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

### UTILITY LEGEND

— LOD —	LIMITS OF DISTURBANCE (±81,705 SF)
— SS — SS —	EXISTING SANITARY SEWER LINE
— W —	EXISTING WATER LINE
— S —	PROPOSED SANITARY SEWER LINE
— W —	PROPOSED WATER LINE
— —	PROPOSED STORM DRAIN

### SHEETZ UTILITY NOTES

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY KIMLEY-HORN, THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON AND THE CITY OF RALEIGH. THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY 811 CALL BEFORE YOU DIG™ THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY CONSTRUCTION UNLESS OTHERWISE COORDINATED BEFOREHAND WITH SHEETZ.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE SHEETZ PROJECT STRUCTURES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET C-000.
- CONDUIT LOCATIONS TO FREESTANDING SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ CONSTRUCTION MANAGER.
- CONTRACTOR SHALL COORDINATE AND VERIFY WITH SHEETZ CONSTRUCTION MANAGER ON LOCATION AND SIZE OF THE STORE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ IT DEPARTMENT ON THE CONDUIT ROUTE TO STORE FOR TELE/COMMUNICATION SERVICES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

#### ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-855-1494  
WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

KHA PROJECT	110529004
DATE	8/15/2025
SCALE	AS SHOWN
DESIGNED BY	RND
DRAWN BY	RND
CHECKED BY	HRT

UTILITY PLAN

STORE #416

1406 N ARENDELL AVE

TOWN OF ZEBULON

NORTH CAROLINA

SHEET NUMBER

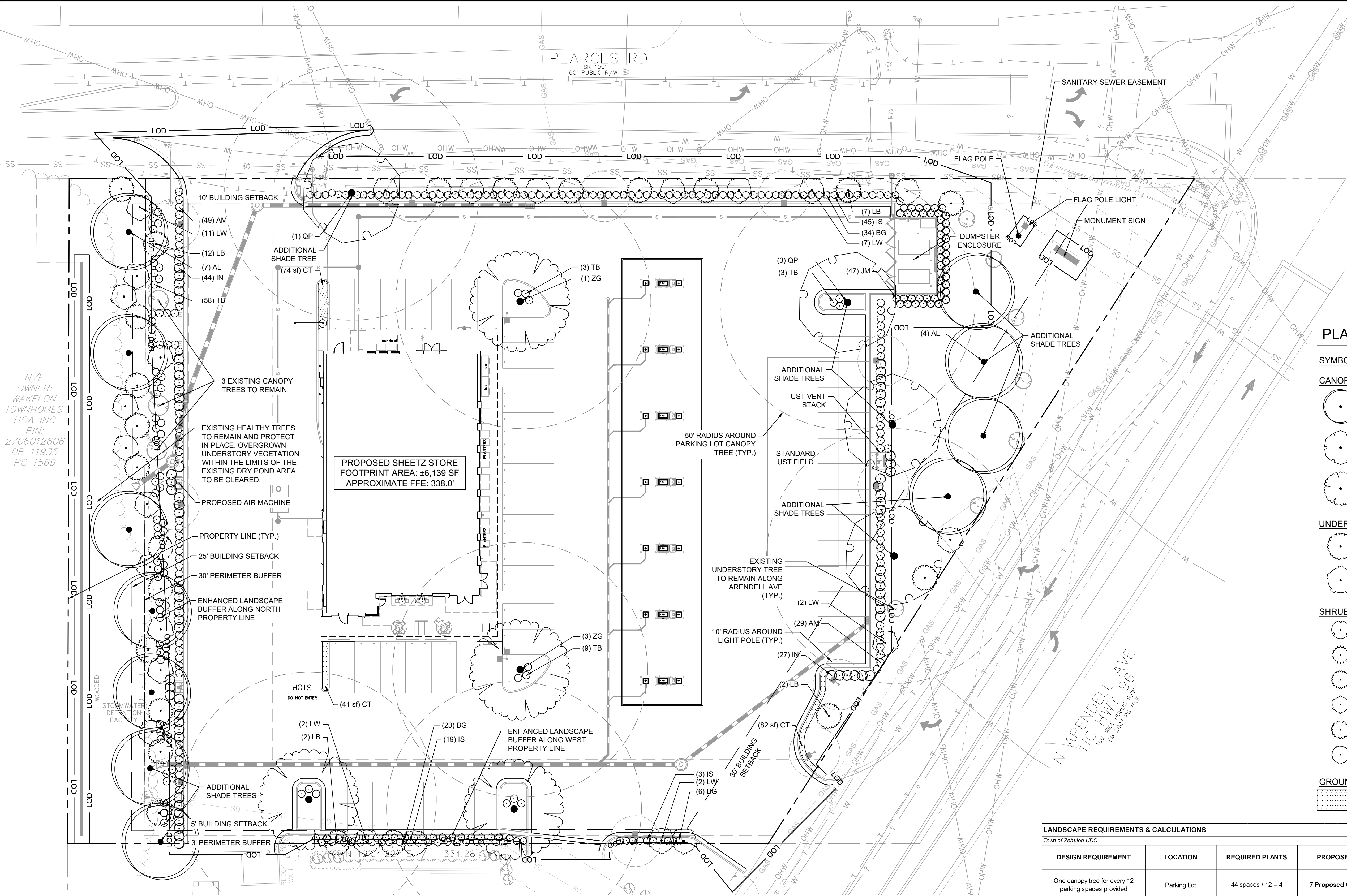
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Plotted By: Deidonna, Ryan, Sheet: Set: COSTCO HARRISBURG FUEL EXPANSION, Layout: LANDSCAPE PLAN, August 15, 2025, 03:11:12pm, K:\RIC-DVA\113020 - SheetZ\_L05 REMODEL SITES\110528004 - 416 - 1406 N Arendell Ave - Zebulon - NC\CAD\PlanSheets\LANDSCAPE PLAN.dwg, This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



N/F  
OWNER:  
WAKELON  
TOWNHOMES  
HOA INC  
PIN:  
2706012606  
DB 11935  
PG 1569

## PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME

### CANOPY TREES

AL	ACER SACCHARUM 'LEGACY' LEGACY SUGAR MAPLE
QP	QUERCUS PHELLOS WILLOW OAK
ZG	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA

### UNDERSTORY TREES

LB	LAGERSTROEMIA INDICA 'BYER'S WONDERFUL WHITE' WONDERFUL WHITE CRAPE MYRTLE
LW	LAGERSTROEMIA INDICA 'WHIT IV' RED ROCKET® CRAPE MYRTLE

### SHRUBS

AM	ABELIA X GRANDIFLORA 'HOPLEYS' MISS LEMON™ GLOSSY ABELIA
BG	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD
IN	ILEX VOMITORIA 'NANA' DWARF YAUPOH HOLLY
IS	ILEX GLABRA 'SHAMROCK' SHAMROCK INKERRY HOLLY
JM	JUNIPERUS SCOPULORUM 'MEDORA' MEDORA JUNIPER
TB	THUJA OCCIDENTALIS 'BOBOZAM' MR. BOWLING BALL® ARBORVITAE

### GROUND COVERS

CT	CYNODON DACTYLON 'TIF 419' TIF 419 BERMUDAGRASS
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## LANDSCAPE REQUIREMENTS & CALCULATIONS

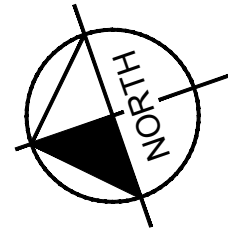
Town of Zebulon UDO

DESIGN REQUIREMENT	LOCATION	REQUIRED PLANTS	PROPOSED PLANTS	CODE SECTION
One canopy tree for every 12 parking spaces provided	Parking Lot	44 spaces / 12 = 4	7 Proposed Canopy Trees	5.6.9.A
Parking lot perimeter landscape shall have continuous row of evergreen shrubs	Parking Lot Perimeter	707 LF / 3 = 236	246 Proposed Evergreen Shrubs	5.6.9.C
<b>Streetscape</b> Four (4) understory trees per 100 linear feet where overhead utility lines are present and twenty shrubs per 100 linear feet	Pearces Rd	395 LF / 100 = 3.95 3.95 * 4 = 16 3.95 * 20 = 79	14 Proposed Understory Trees 2 Existing Understory Tree 79 Proposed Shrubs	5.6.12
	N Arendell Ave	277 LF / 100 = 2.77 2.77 * 4 = 11 2.77 * 20 = 56	4 Proposed Understory Trees 7 Existing Understory Trees 56 Proposed Shrubs	5.6.12
<b>Type A Buffer</b> Four (4) understory trees and fifteen (15) shrubs per 100 linear feet	West Property Line	120 LF / 100 = 1.20 1.20 * 4 = 5 1.20 * 15 = 18	6 Proposed Understory Trees 51 Proposed Shrubs	5.6.10
<b>Type C Buffer</b> Three (3) canopy trees, six (6) understory trees, and twenty-five (25) shrubs per 100 linear feet	North Property Line	261 LF / 100 = 2.61 2.61 * 3 = 8 2.61 * 6 = 16 2.61 * 25 = 66	7 Proposed Canopy Trees 3 Existing Canopy Trees 23 Proposed Understory Trees 151 Proposed Shrubs	5.6.10
Two (2) staggered rows of evergreen shrubs to form fully opaque screen	Dumpster Enclosure	64 LF / 3 = 22 22 * 2 = 44	47 Proposed Evergreen Shrubs	5.10.5
Installation of native shade trees for outdoor enhancement	Perimeter	10	10 Proposed Canopy Trees	Utility Allocation Policy: 3A

Note: Shade trees planted in the buffers and parking lot perimeter beyond the required amount are used to meet the additional native shade tree requirement for the Utility Allocation Policy: 3A. Shrubs and understory trees planted in the buffers beyond the required amount are used to meet the enhanced buffer landscaping requirement for the Utility Allocation Policy: 3A.

## NOTES

- SPECIFIED ACER SACCHARUM 'LEGACY' AND QUERCUS PHELLOS SHADE TREES TO BE COUNTED FOR UTILITY ALLOCATION POLICY: 3A REQUIREMENT
- BUFFER WIDTHS HAVE BEEN REDUCED PER DEVELOPMENT CONDITIONS.



GRAPHIC SCALE IN FEET  
0 10 20 40



Know what's below.  
Call before you dig.

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	RND	CHECKED BY	HRT
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## LANDSCAPE PLAN

STORE #416  
1406 N ARENDELL AVE

TOWN OF ZEBULON NORTH CAROLINA

SHEET NUMBER  
L-100