

401 WEST GANNON AVENUE

SITE PLAN DRAWINGS

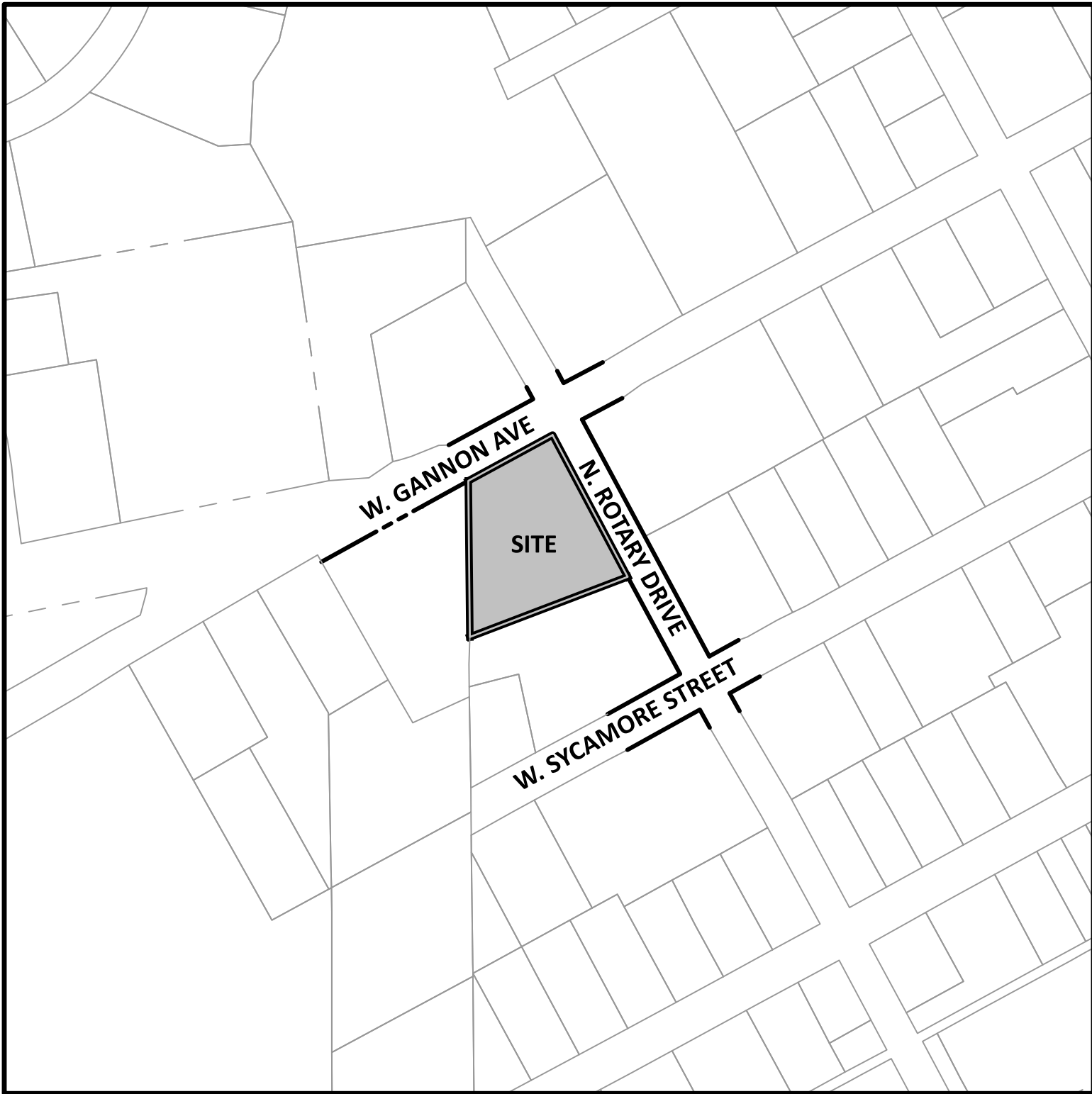
ZEBULON, NC

MARCH 1, 2023

CLIENT

MERIDIAN PROPERTIES GROUP, LLC
4030 WAKE FOREST ROAD, SUITE 100
RALEIGH, NC 27609
919-621-4648

VICINITY MAP



SHEET INDEX

SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
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C2.0	SITE PLAN	3/1/2023
C3.0	UTILITY PLAN	3/1/2023
C4.0	GRADING PLAN	3/1/2023
C5.0	LANDSCAPE PLAN	3/1/2023
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D4.1	RALEIGH WATER DETAILS	3/1/2023
D4.2	RALEIGH WATER DETAILS	3/1/2023

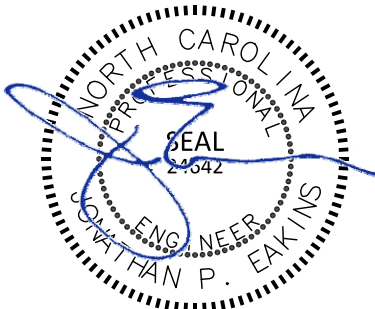
EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT
APPROVED
EROSION CONTROL ☐ S-
STORMWATER MGMT. ☐ S-
FLOOD STUDY ☐ S-
DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE

ATTENTION CONTRACTORS
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT 919-596-4640 AT LEAST 24 HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

SITE PERMITTING APPROVAL
Water and Sewer Permits (If Applicable)
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CITY OF RALEIGH -- PLANS AUTHORIZED FOR CONSTRUCTION
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City of Raleigh Development Approval _____
Raleigh Water Review Officer

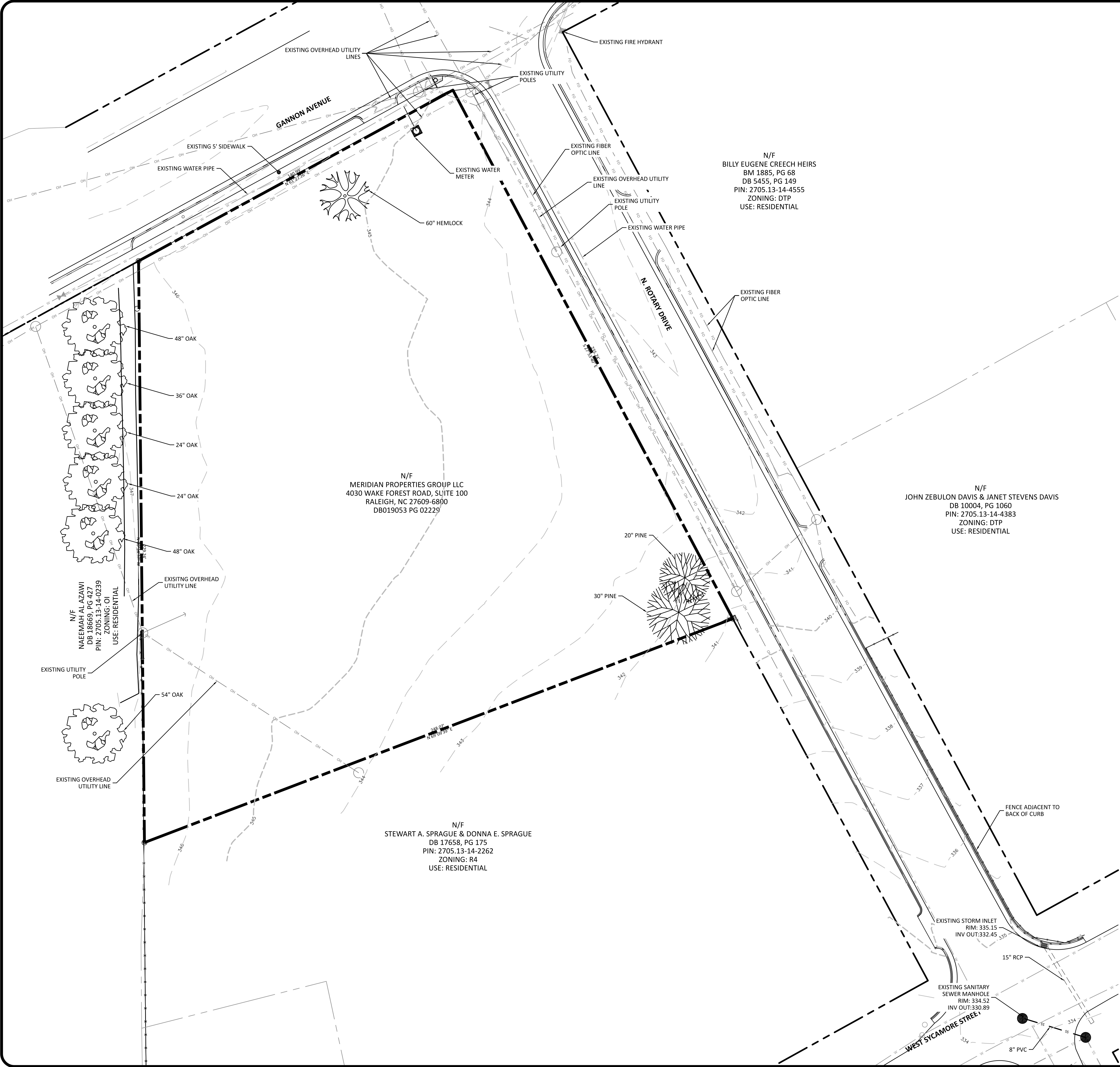
TOWN OF XXX PROJECT IDENTIFICATION #S	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS
--	---



3/1/2023

The Nau Company
Consulting Civil Engineers
PO Box 810 Rolesville, NC 27571
919-435-6395
NCBELS License P-0751

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS SOURCES

THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM A CAD FILE PROVIDED BY ANGLE RIGHT SURVEYING, PLLC | 3008 ANDERSON DRIVE, SUITE 160 RALEIGH, NC 27609 | 919-810-4324 WITH THE FOLLOWING EXCEPTIONS:

- SANITARY SEWER MANHOLES AND PIPES WERE DIGITIZED FROM WAKE COUNTY IMAPS DATA
- PROPERTY LINES ADJACENT TO THE SUBJECT PROPERTY WERE TAKEN FROM WAKE COUNTY GIS

EXISTING CONDITIONS NOTES

- THERE ARE NO ROCK OUTCROPPINGS OR ONSITE SLOPES STEEPER THAN 3H:1V
- THERE ARE NO WETLANDS PRESENT ONSITE
- THERE ARE NO CREEKS, STREAMS PONDS OR DAMS ONSITE.
- THERE ARE PERENNIAL OR INTERMITTENT STREAMS AND NO REQUIRED RIPARIAN BUFFERS ONSITE.
- THERE IS NO FEMA FLOODPLAIN ONSITE PER FEMA PANEL 2705 MAP NUMBER 3720270500K

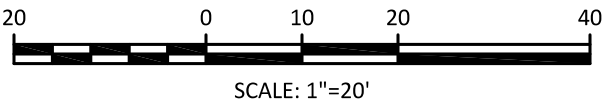
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BM 1885, PG 68
DB 5455, PG 149
PIN: 2705.13-14-4555
ZONING: DTP
USE: RESIDENTIAL

N/F
JOHN ZEBULON DAVIS & JANET STEVENS DAVIS
DB 10004, PG 1060
PIN: 2705.13-14-4383
ZONING: DTP
USE: RESIDENTIAL

N/F
MERIDIAN PROPERTIES GROUP LLC
4030 WAKE FOREST ROAD, SUITE 100
RALEIGH, NC 27609-6800
DB019053 PG 02229

N/F
STEWART A. SPRAGUE & DONNA E. SPRAGUE
DB 17658, PG 175
PIN: 2705.13-14-2262
ZONING: R4
USE: RESIDENTIAL

N/F
NAEEMAH AL AZAWI
DB 18669, PG 427
PIN: 2705.13-14-0239
ZONING: OI
USE: RESIDENTIAL



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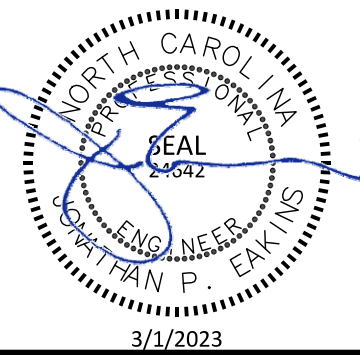
OWNER/DEVELOPER:
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REVISIONS									

401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

EXISTING CONDITIONS PLAN



PROJECT NO: ---

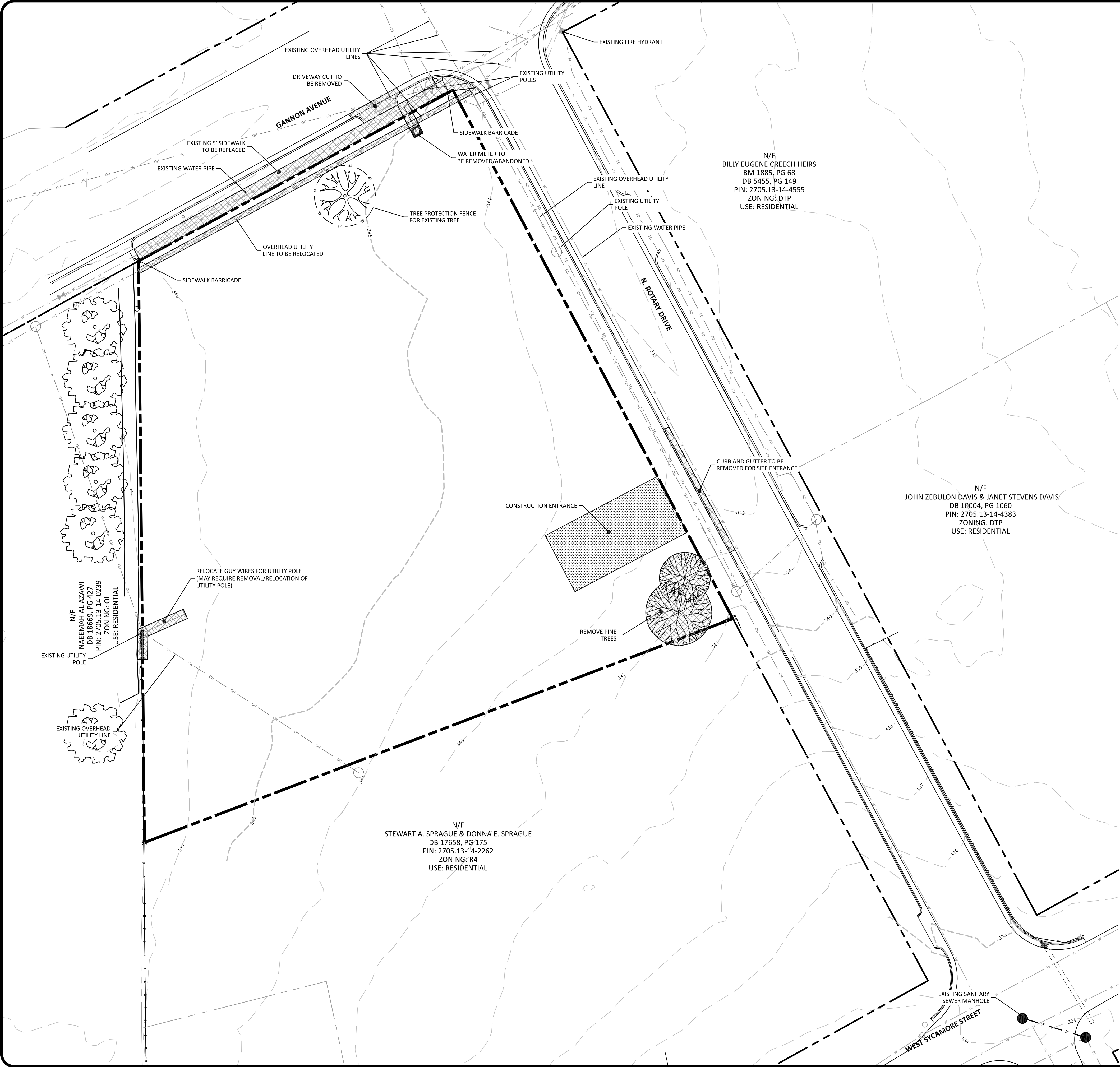
DESIGN BY: JPE

DRAWN BY: JPE

SCALE: 1"=20'

DATE: 2023-03-01

SHEET NO: C1.0



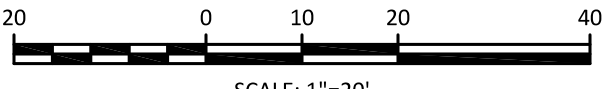
- STAGING AND DEMOLITION NOTES**
1. THE ONLY TREE TO REMAIN IS THE HEMLOCK TREE ALONG THE NORTHERN PROPERTY BOUNDARY
 2. THERE ARE NO STOCKPILES REQUIRED FOR THIS PROJECT.
 3. CONSTRUCTION AND EMERGENCY ACCESS WILL BE FROM ROTARY DRIVE.
 4. TRAFFIC MANAGEMENT IS NOT NECESSARY FOR THE PROPOSED DEVELOPMENT
 5. THE EXISTING SIDEWALK ALONG GANNON AVENUE WILL REQUIRE A BARRICADE ON EACH END OF THE SITE WHILE THE EXISTING SIDEWALK IS REMOVED AND THE PROPOSED SIDEWALK IS CONSTRUCTED

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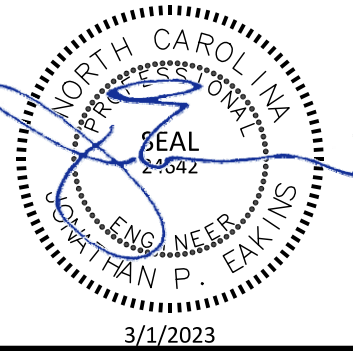
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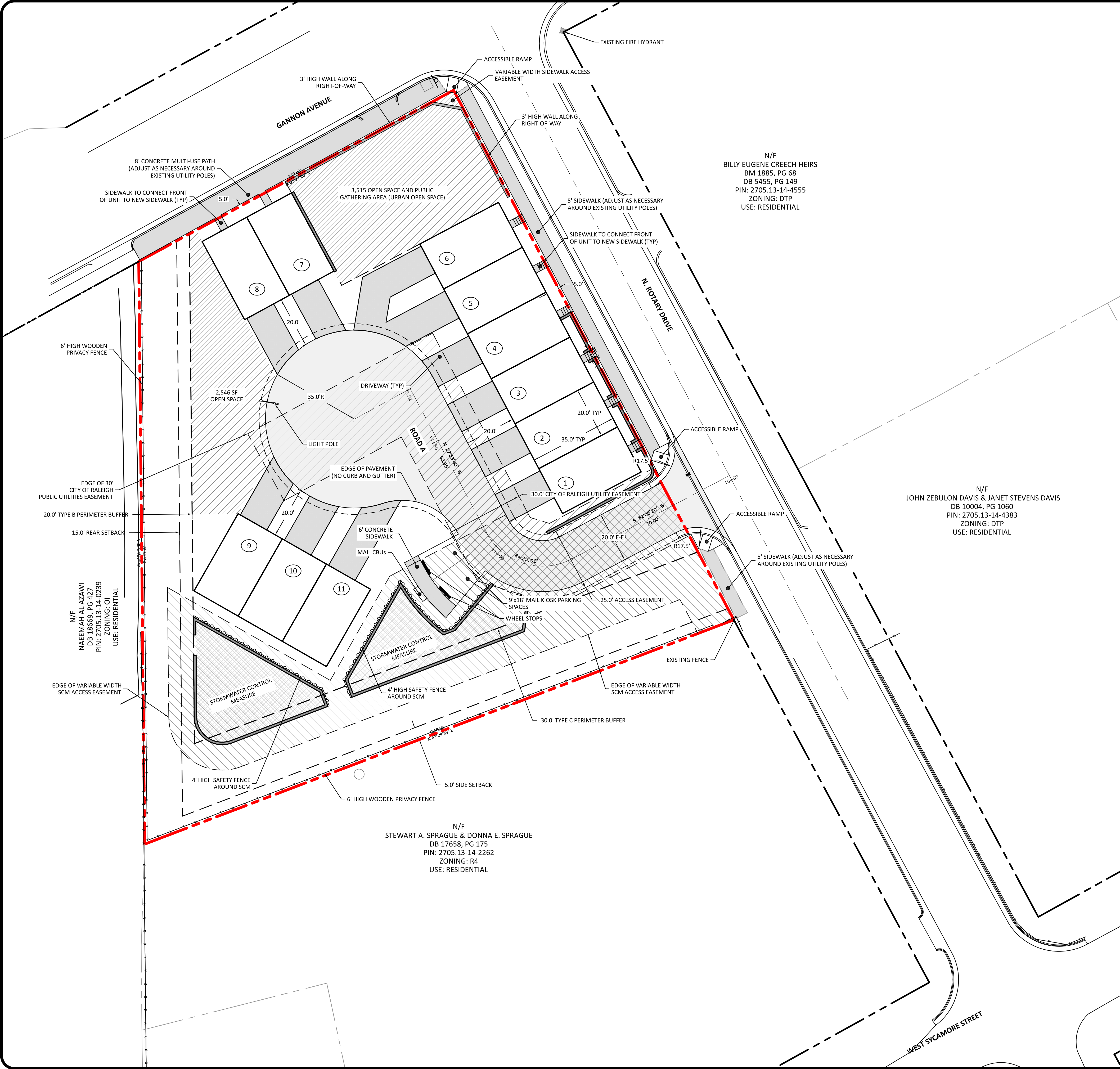
401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

STAGING AND DEMOLITION PLAN



PROJECT NO:	---
DESIGN BY:	JPE
DRAWN BY:	JPE
SCALE:	1"=20'
DATE:	2023-03-01
SHEET NO:	C1.1



SITE PLAN LEGEND	
PROPERTY BOUNDARY	
ACCESS EASEMENT	
RALEIGH PUBLIC UTILITIES EASEMENT	
SCM ACCESS EASEMENT	

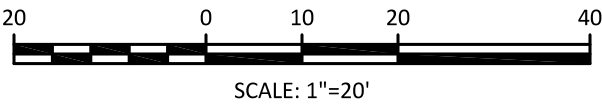
EXISTING SITE DATA	
PARCEL PIN(S)	2705-15-2309
ZONING	O&I
PARCEL AREA	0.99 ACRES (43,291 SF)
EXISTING USE	VACANT
RIVER BASIN	NEUSE

PROPOSED SITE DATA	
ZONING	DTP
EXISTING SITE AREA	0.99 ACRES (43,291 SF)
R/W DEDICATION	0 SF
OTHER DEDICATIONS	0 SF
PROPOSED NET SITE AREA	0.99 ACRES (43,291 SF)
PROPOSED USE	RESIDENTIAL (CONDOS)
SINGLE FAMILY UNITS	0
TOWNHOME UNITS	0
CONDO UNITS	11
APARTMENT UNITS	0
TOTAL UNITS	11
NET DENSITY	11.1 UNITS/ACRE
OPEN SPACE REQUIRED	10% OF 43,291 SF = 4,329 SF
ACTIVE OPEN SPACE REQUIRED	NONE
PASSIVE OPEN SPACE REQUIRED	NONE
URBAN OPEN SPACE REQUIRED	50% OF OPEN SPACE REQUIREMENT = 50% OF 4,329 SF = 2,165 SF
TOTAL OPEN SPACE PROVIDED	6,061 SF
URBAN OPEN SPACE PROVIDED	3,515 SF
REFORESTATION AREA	NOT REQUIRED

PARKING SUMMARY	
PARKING SPACES REQUIRED	NONE - EXEMPT PER UDO 5.8.3.B
REQUIRED PARKING CALCULATION	N/A
PARKING SPACES PROVIDED	1 PER GARAGE AND 1 PER DRIVEWAY SPACE = 22 SPACES
REQUIRED MAIL CBU SPACES	2 (PER UDO 6.12.7.B)
MAIL CBU PARKING SPACES PROVIDED	2

LOT COVERAGE SUMMARY	
BUILDINGS	7,700 SF
DRIVE AREAS	6,900 SF
DRIVEWAYS	3,200 SF
SIDEWALK	300 SF
OTHER IMPERVIOUS	500 SF (FUTURE/UNSPECIFIED USE)
TOTAL LOT COVERAGE PROPOSED	18,600 SF
ALLOWABLE LOT COVERAGE	85% OF TOTAL SITE
CALCULATED LOT COVERAGE ALLOWED	43,291 SF x 0.85 = 36,797 SF

- GENERAL NOTES**
- TOWNHOME BUILDINGS ARE 20' WIDE AND 35' DEEP
 - UNITS 1-6 ARE REAR LOAD TOWNHOMES THAT FACE N. ROTARY DRIVE
 - UNITS 7-8 ARE REAR LOAD TOWNHOMES THAT FACE GANNON AVENUE
 - UNITS 9-11 ARE FRONT LOAD TOWNHOMES THAT FACE THE INTERNAL ROAD ACCESS
 - ALL UNITS HAVE A 1 CAR GARAGE
 - ROAD A WILL BE A DRIVEWAY WITH A ROAD NAME. IT WILL NOT BE A PUBLIC STREET BUT WILL HAVE AN ACCESS EASEMENT

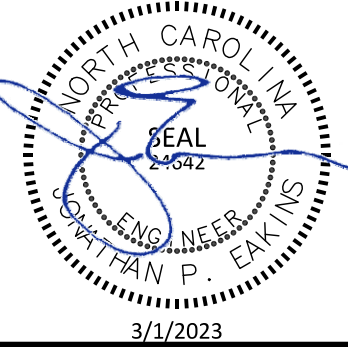


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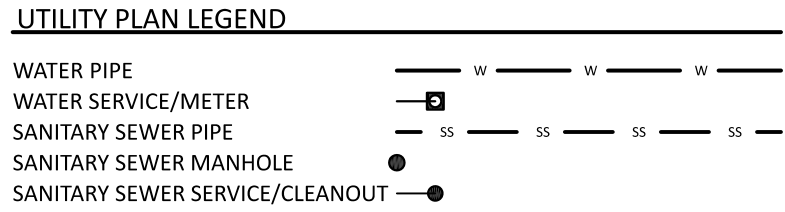
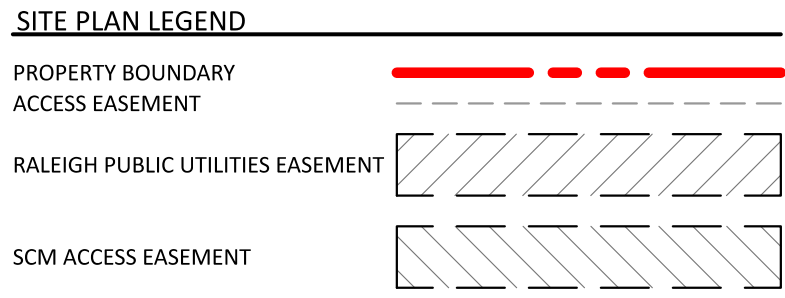
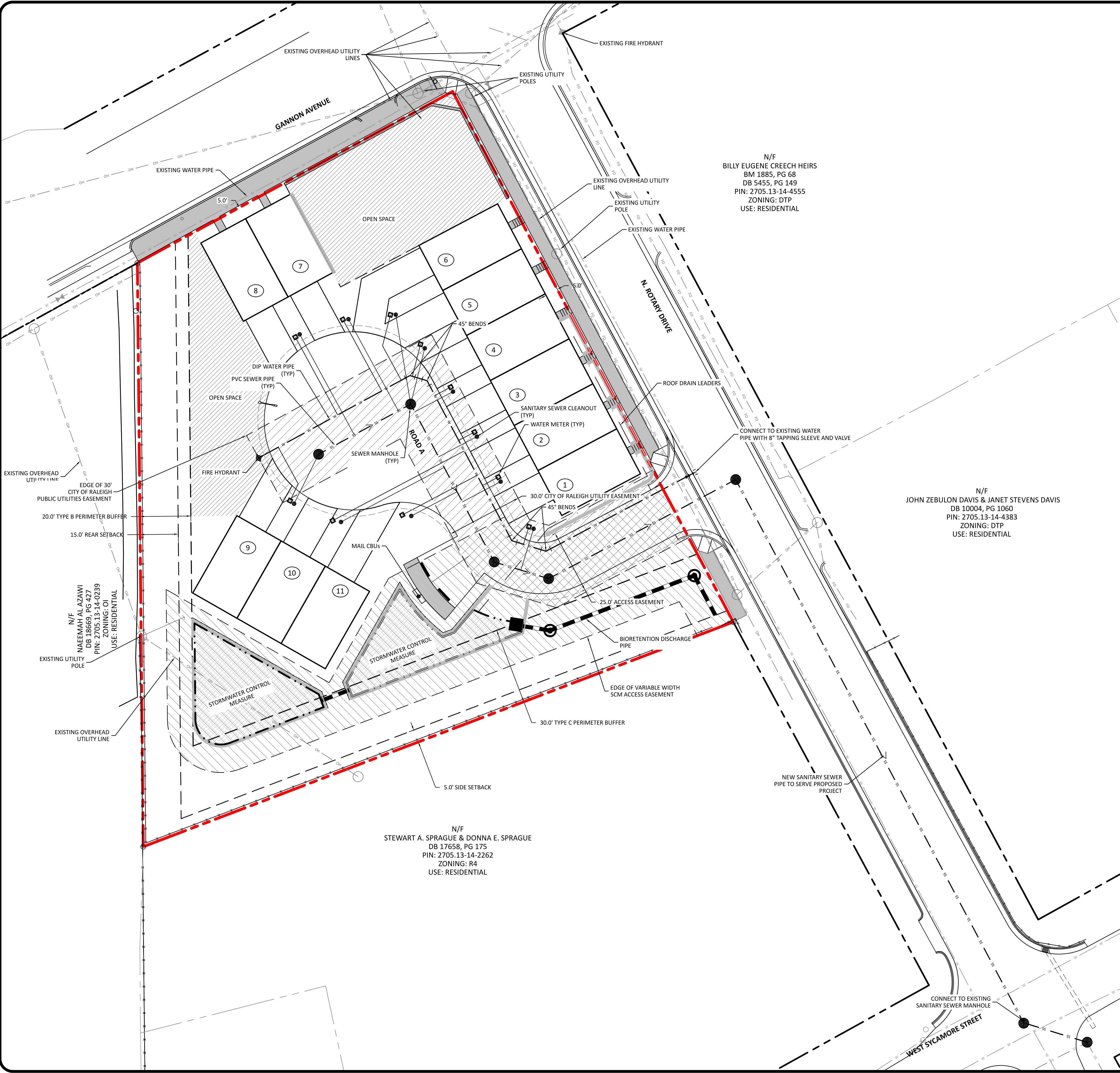
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919-621-4646

REVISIONS	

401 GANNON AVENUE
SITE PLAN DRAWINGS
ZEBULON, NC
SITE PLAN



PROJECT NO:	---
DESIGN BY:	JPE
DRAWN BY:	JPE
SCALE:	1"=20'
DATE:	2023-03-01
SHEET NO:	C2.0



CITY OF RALEIGH STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 30' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
11. NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT.
CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

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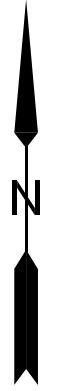
City of Raleigh Development Approval
Raleigh Water Review Officer

3/1/2023

PROJECT NO: ---
DESIGN BY: JPE
DRAWN BY: JPE
SCALE: 1"=20'
DATE: 2023-03-01
SHEET NO: **C3.0**

SCALE: 1"=20'

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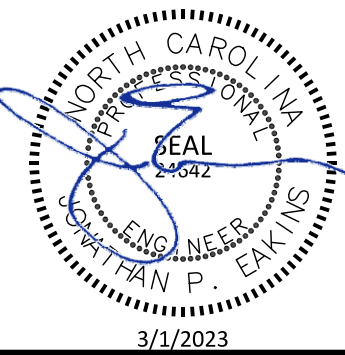
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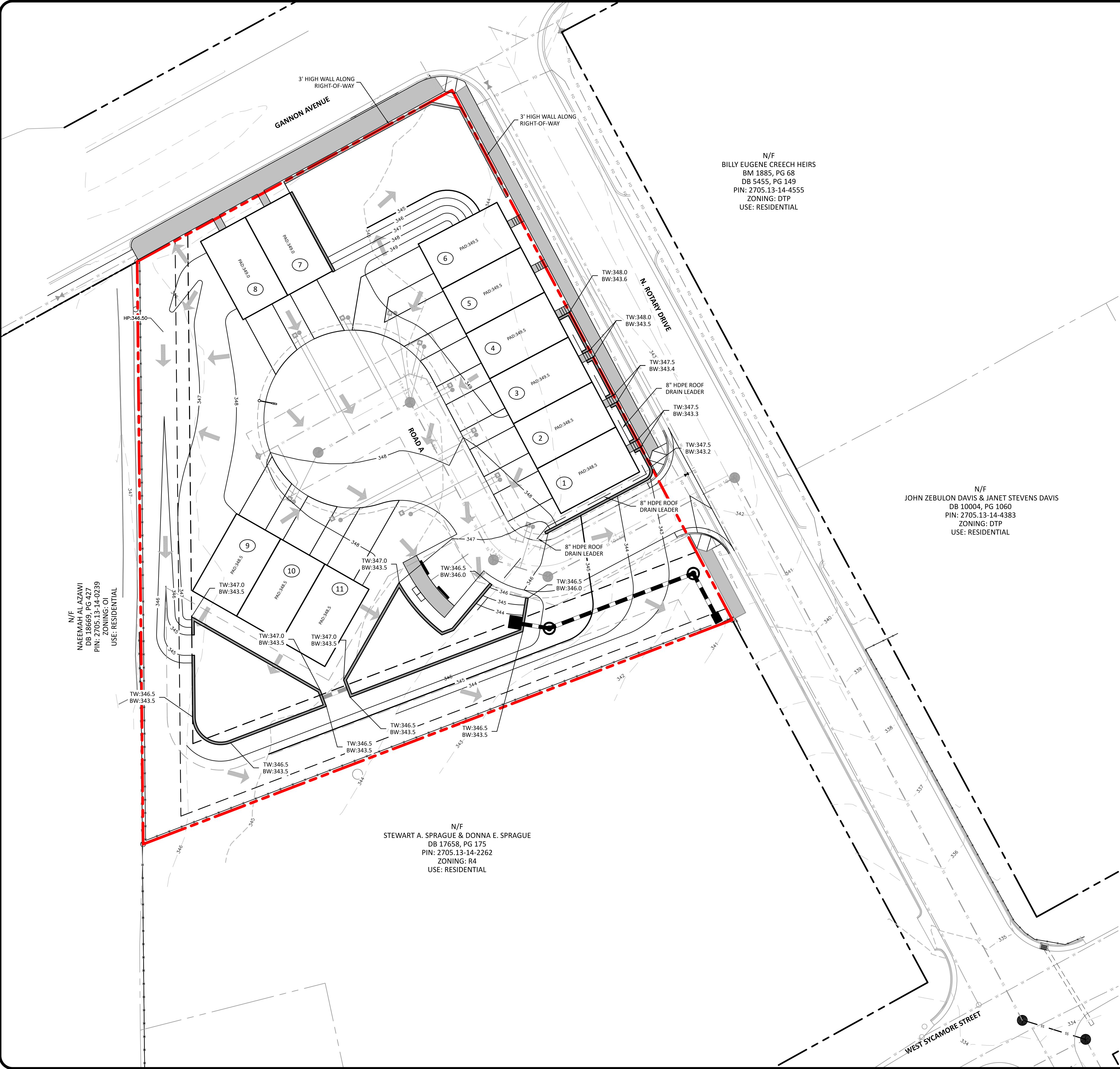
401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

UTILITY PLAN



PROJECT NO: ---
DESIGN BY: JPE
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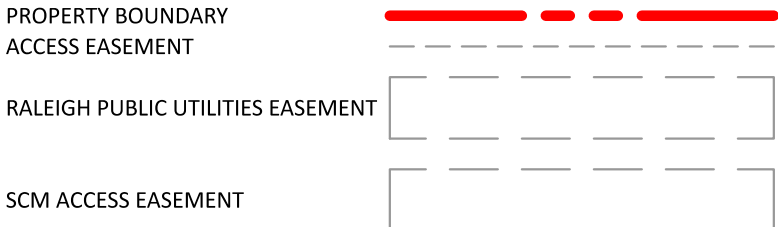
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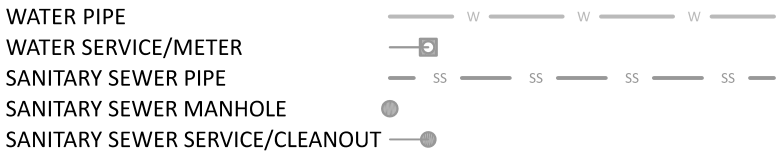
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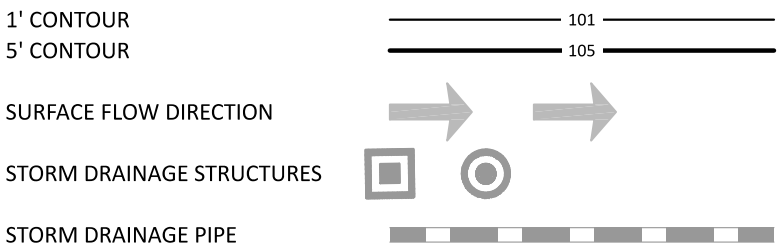
SITE PLAN LEGEND



UTILITY PLAN LEGEND



GRADING/DRAINAGE PLAN LEGEND



STORM DRAINAGE NOTES

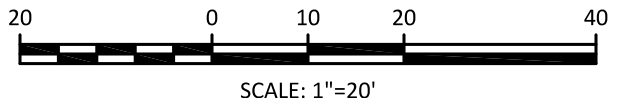
- RIM ELEVATION FOR A CATCH BASIN (CB) OR CURB INLET (CI) IS TOP OF CURB (T/C). RIM ELEVATION FOR DROP INLET (DI) OR YARD INLET (YI) IS TOP OF BOX OR TOP OF GRATE (NOT SLAB). RIM ELEVATION FOR A MANHOLE (MH) OR JUNCTION BOX (JB) IS CENTER OF THE STRUCTURE COVER.
- ALL STORM DRAINAGE PIPES SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE PIPE IN TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN UNLESS OTHERWISE APPROVED.
- ALL STORM DRAINAGE PIPE IN TRAFFIC NON-AREAS SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN UNLESS OTHERWISE APPROVED.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAINAGE STRUCTURES SHALL BE STRUCK EVEN WITH THE INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PASTIC GASKETS UNLESS OTHERWISE NOTED.
- EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SUITABLE SOILS SHALL BE CAPABLE OF COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE PERFORMED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND AND ABOVE THE PIPE SHALL BE COMPACTED IN ACCORDANCE WITH THE PERMITTING AUTHORITY'S SPECIFICATIONS AND/OR THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

GRADING NOTES

- PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERCEED CONTOUR INFORMATION.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND SHALL MAINTAIN ADEQUATE DRAINAGE DURING CONSTRUCTION.
- ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.
- ALL SWALES/DITCHES ALONG PROPERTY LINES AND REAR YARDS SHOULD BE 2% OR STEEPER.
- SLOPES STEEPER THAN 3H:1V SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB.

GENERAL GRADING NOTES

- NO SITE DEVELOPMENT ACTIVITY, INCLUDING BUT NOT LIMITED TO TESTING, CLEARING, INSTALLATION OF S&E MEASURES OR GRADING, SHALL OCCUR UNTIL REQUIRED PROTECTION FENCING HAS BEEN INSTALLED AND INSPECTED



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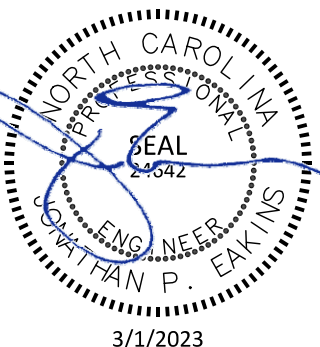
OWNER/DEVELOPER:
MERIDIAN PROPERTIES GROUP LLC
4030 WAKE FOREST ROAD, SUITE 100
RALEIGH, NC 27609
919-621-4646

REVISIONS

401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

GRADING AND DRAINAGE PLAN



PROJECT NO: ---

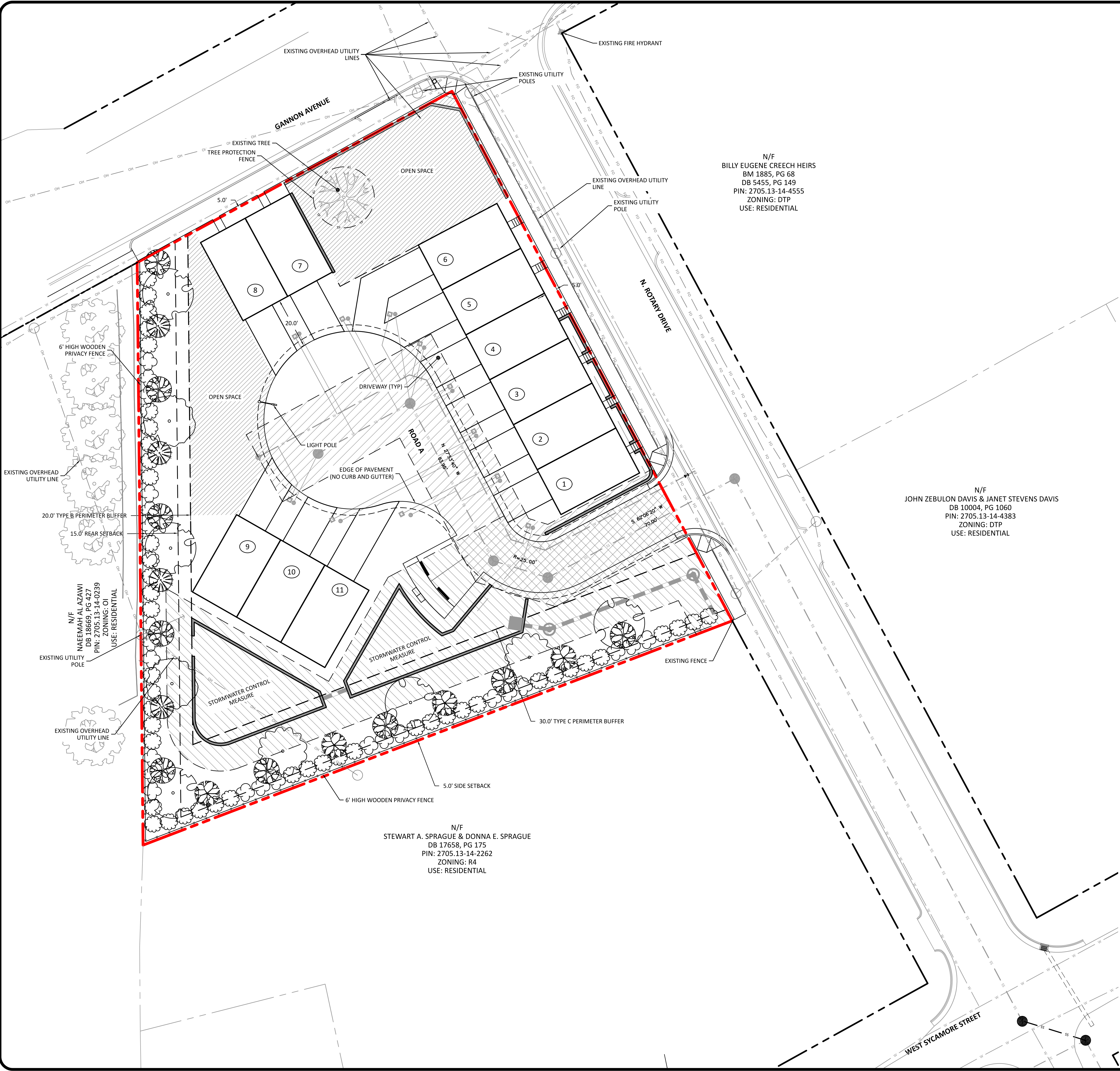
DESIGN BY: JPE

DRAWN BY: JPE

SCALE: 1"=20'

DATE: 2023-03-01

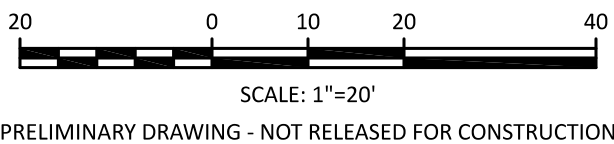
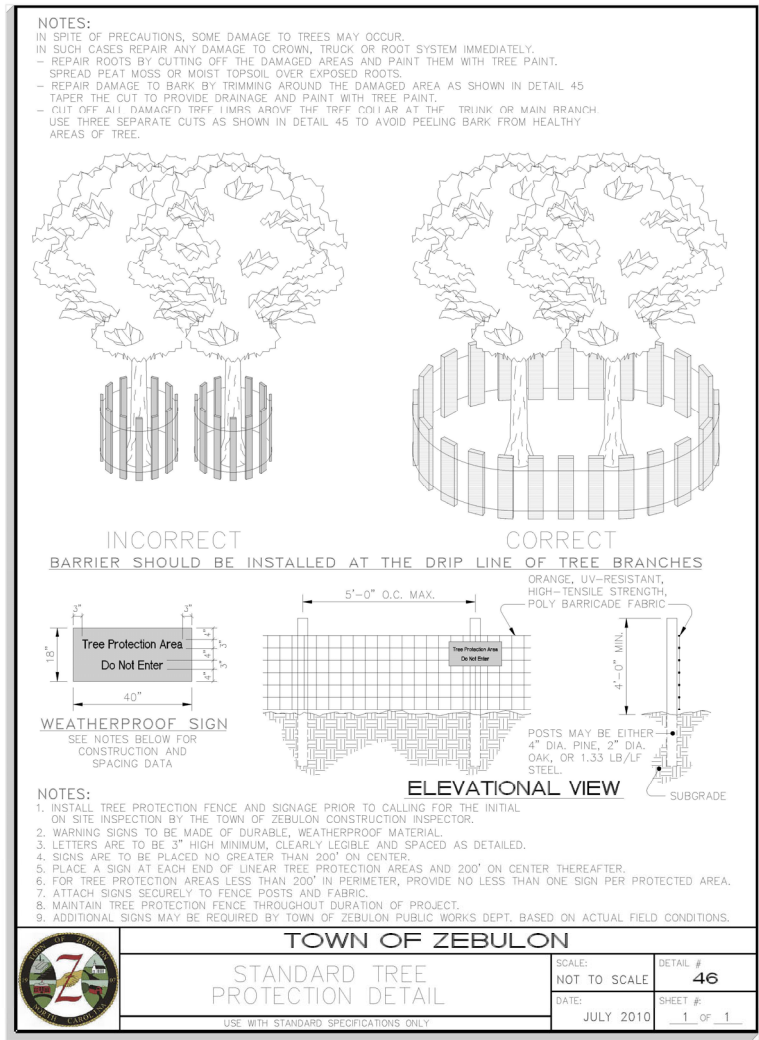
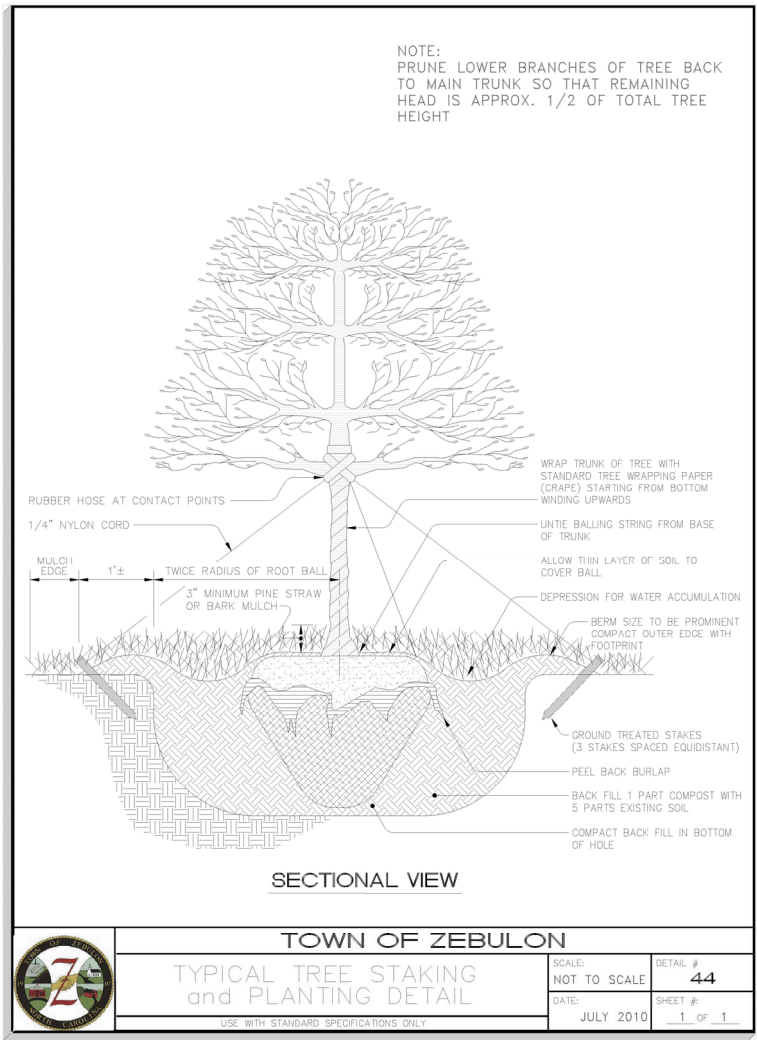
SHEET NO: C4.0



SITE PLAN LEGEND	
PROPERTY BOUNDARY	
ACCESS EASEMENT	
RALEIGH PUBLIC UTILITIES EASEMENT	
SCM ACCESS EASEMENT	

UTILITY PLAN LEGEND	
WATER PIPE	
WATER SERVICE/METER	
SANITARY SEWER PIPE	
SANITARY SEWER MANHOLE	
SANITARY SEWER SERVICE/CLEANOUT	

TYPE "B" BUFFER LANDSCAPE PLANT LIST						
#	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
46		Morella cerifera	WAX MYRTLE	18" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
24		Ligustrum japonicum	CURLY-LEAF PRIVET	18" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
4		Cercis Canadensis	REDBUD	1.5" CAL/ 4" HT	B&B	UNDERSTORY TREE
9		Ilex x 'Nellie R. Stevens'	NELLIE STEVENS HOLLY	1.5" CAL/ 4" HT	B&B	UNDERSTORY TREE
4		Amelanchier arborea	SERVICEBERRY	1.5" CAL/ 4" HT	B&B	UNDERSTORY TREE
5		Quercus Phellos	WILLOW OAK	2.0" CAL /8" HT	B&B	CANOPY TREE
2		Acer Rubrum	RED MAPLE	2.0" CAL /8" HT	B&B	CANOPY TREE
2		Celtis laevigata	HACKBERRY	2.0" CAL /8" HT	B&B	CANOPY TREE

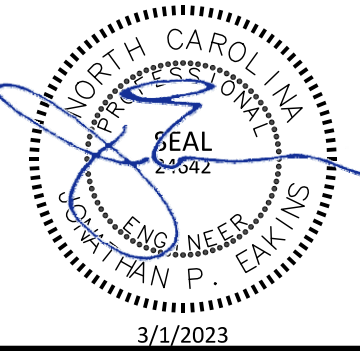


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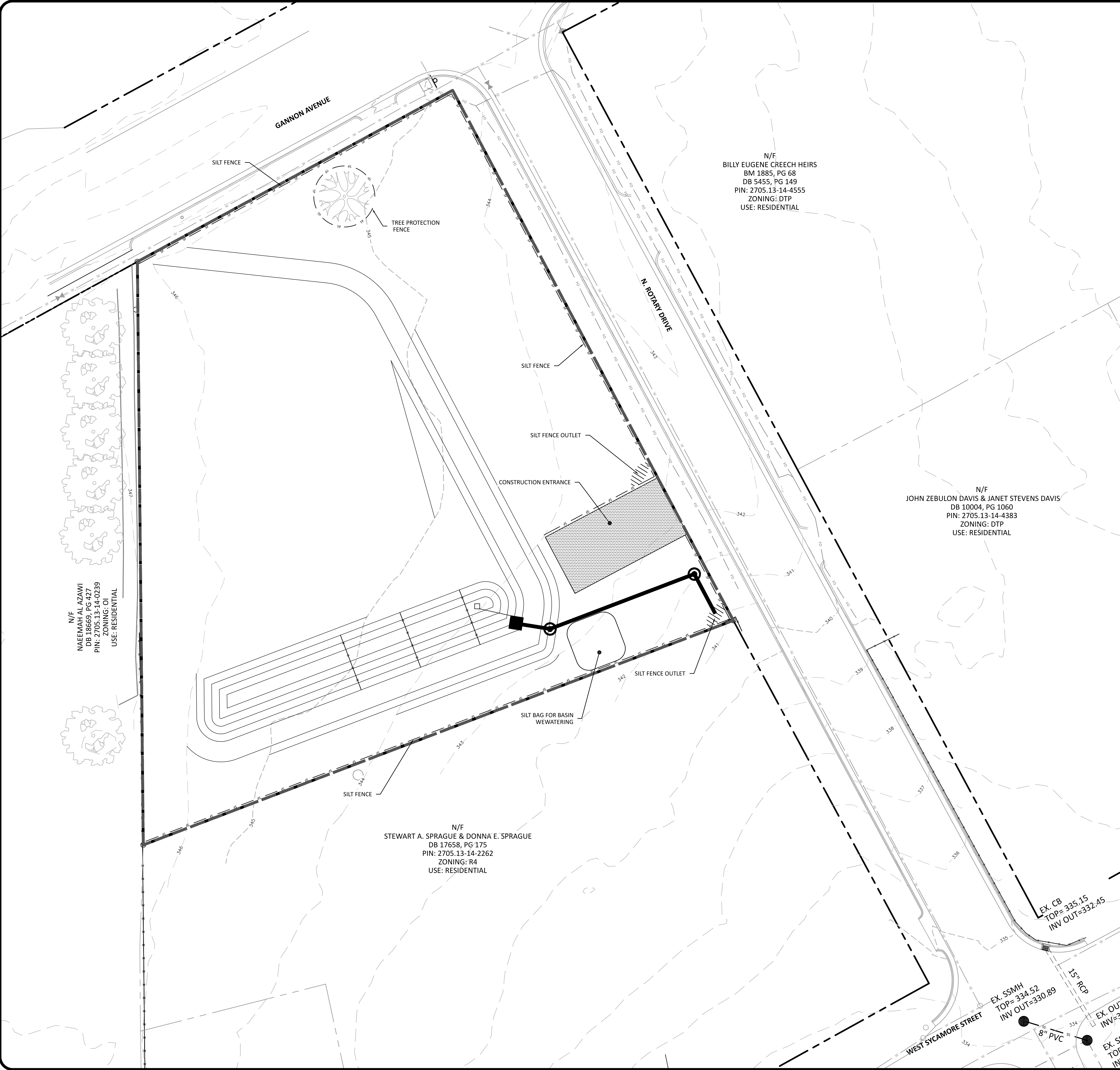
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REVISIONS	

401 GANNON AVENUE
SITE PLAN DRAWINGS
ZEBULON, NC
LANDSCAPE PLAN



PROJECT NO: ---
DESIGN BY: JPE
DRAWN BY: JPE
SCALE: 1"=20'
DATE: 2023-03-01
SHEET NO: **C5.0**



N/F
BILLY EUGENE CREECH HEIRS
BM 1885, PG 68
DB 5455, PG 149
PIN: 2705.13-14-4555
ZONING: DTP
USE: RESIDENTIAL

N/F
JOHN ZEBULON DAVIS & JANET STEVENS DAVIS
DB 10004, PG 1060
PIN: 2705.13-14-4383
ZONING: DTP
USE: RESIDENTIAL

N/F
STEWART A. SPRAGUE & DONNA E. SPRAGUE
DB 17658, PG 175
PIN: 2705.13-14-2262
ZONING: R4
USE: RESIDENTIAL

N/F
N/AEEMAH AL AZAWI
DB 18669, PG 427
PIN: 2705.13-14-0239
ZONING: OI
USE: RESIDENTIAL

- WAKE COUNTY EROSION CONTROL SEQUENCE**
1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LANDDISTURBING PERMIT.
 2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
 3. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
 4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
 5. ROUGH GRADE SITE.
 6. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
 7. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
 8. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
 9. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
 10. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

- WAKE COUNTY SEDIMENT BASIN REMOVAL SEQUENCE**
1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
 2. CONTACT NCDEQ - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDEQ-DEMLR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ONSITE. THE EMAIL SHOULD INCLUDE: E&SC JURISDICTION: WAKE COUNTY, WAKE COUNTY PROJECT: NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION)
 3. AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDEQ-DEMLR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER. REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
 4. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY.
 5. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
 6. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

THE SEDIMENT BASIN SHALL NOT BE CONVERTED TO THE FINAL STORMWATER CONTROL MEASURE UNTIL THE AREA UPSTREAM HAS BEEN ADEQUATELY STABILIZED AND HAS BEEN APPROVED BY THE EROSION CONTROL INSPECTOR. THIS INCLUDES MAINTAINING THE SKIMMER AND BAFFLES IN THE TRAP AND MAINTAINING INLET PROTECTION AT THE UPSTREAM INLETS.

THERE WILL BE NO STOCKPILES NECESSARY FOR THIS PROJECT.

SILT FENCE OUTLETS MAY BE ADJUSTED IN THE FIELD TO MATCH LOW POINTS ALONG SILT FENCE

TOTAL DISTURBED AREA
43,290 SF
0.99 ACRES

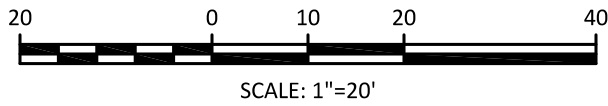
SEDIMENT TRAP DATA	
DRAINAGE AREA	0.50 AC
DISTURBED AREA	0.50 AC
Q(10)	2.0 CFS
VOLUME REQUIRED	850 CF
VOLUME PROVIDED	2596 CF
SURFACE AREA REQUIRED	650 SF
SURFACE AREA PROVIDED	2073 SF
TOP OF BERM ELEV.	346.5
BOTTOM OF TRAP ELEV.	342.0
SEDIMENT DEPTH	2.0 FT
SPILLWAY LENGTH	10 FT
SPILLWAY ELEV.	344.0
SKIMMER SIZE	1.5 IN
SKIMMER ORIFICE SIZE	0.5 IN

OUTLET PROTECTION - POND	
Q(10)	1.0 CFS
APRON LENGTH	4 FT
APRON WIDTH	3 FT
APRON THICKNESS	9 INCHES
STONE SIZE	NC DOT CLASS A

EX. CB
TOP=335.15
INV OUT=332.45

EX. SSMH
TOP=334.52
INV OUT=330.89

EX. OU
INV=??



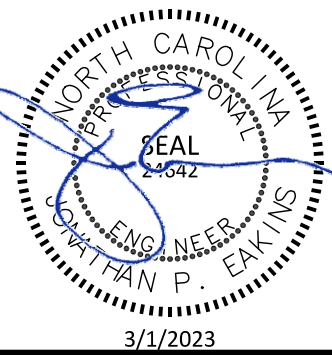
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MERIDIAN PROPERTIES GROUP LLC
4030 WAKE FOREST ROAD, SUITE 100
RALEIGH, NC 27609
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401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

EROSION CONTROL PLAN STAGE 1



PROJECT NO: ---

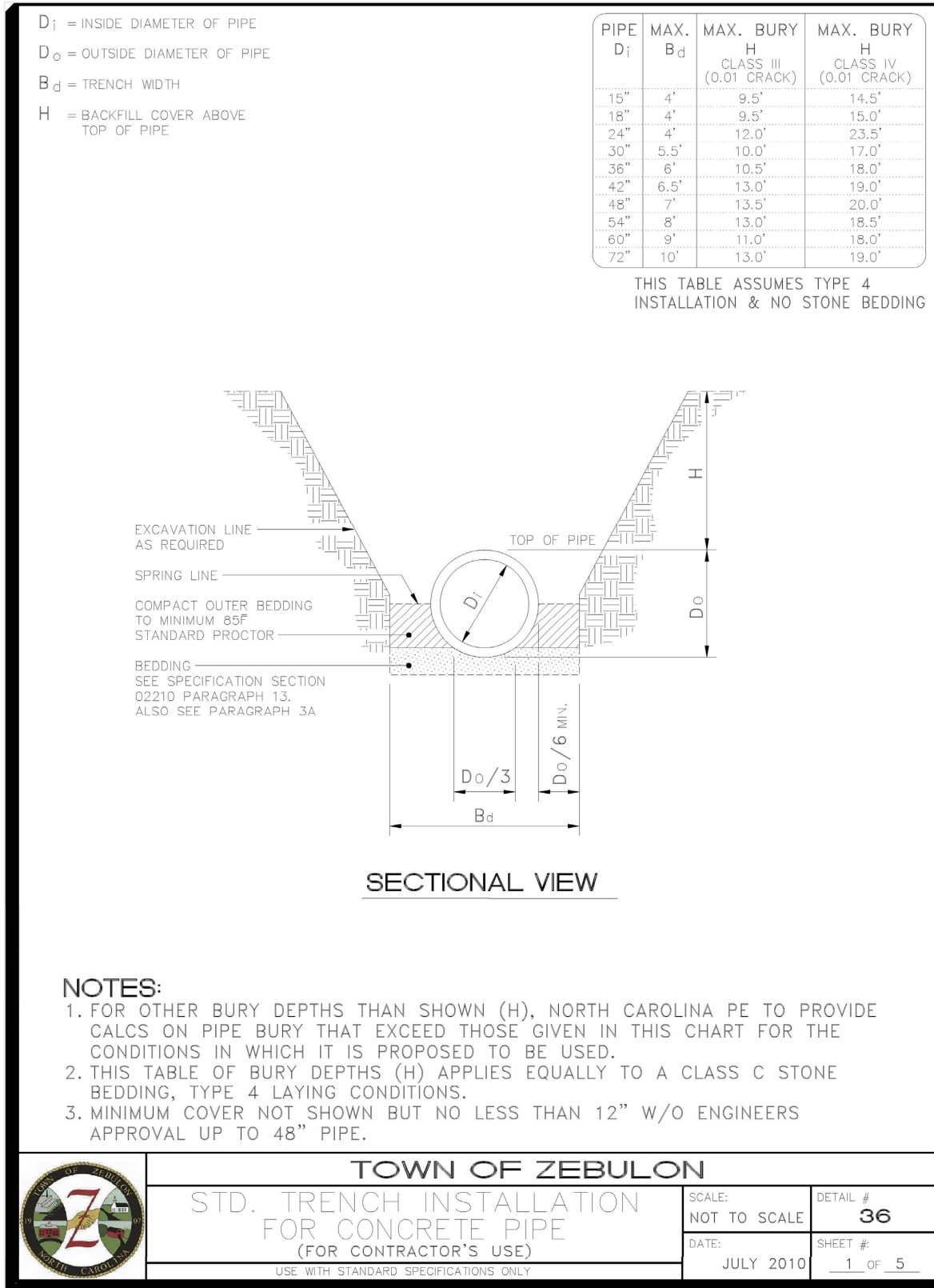
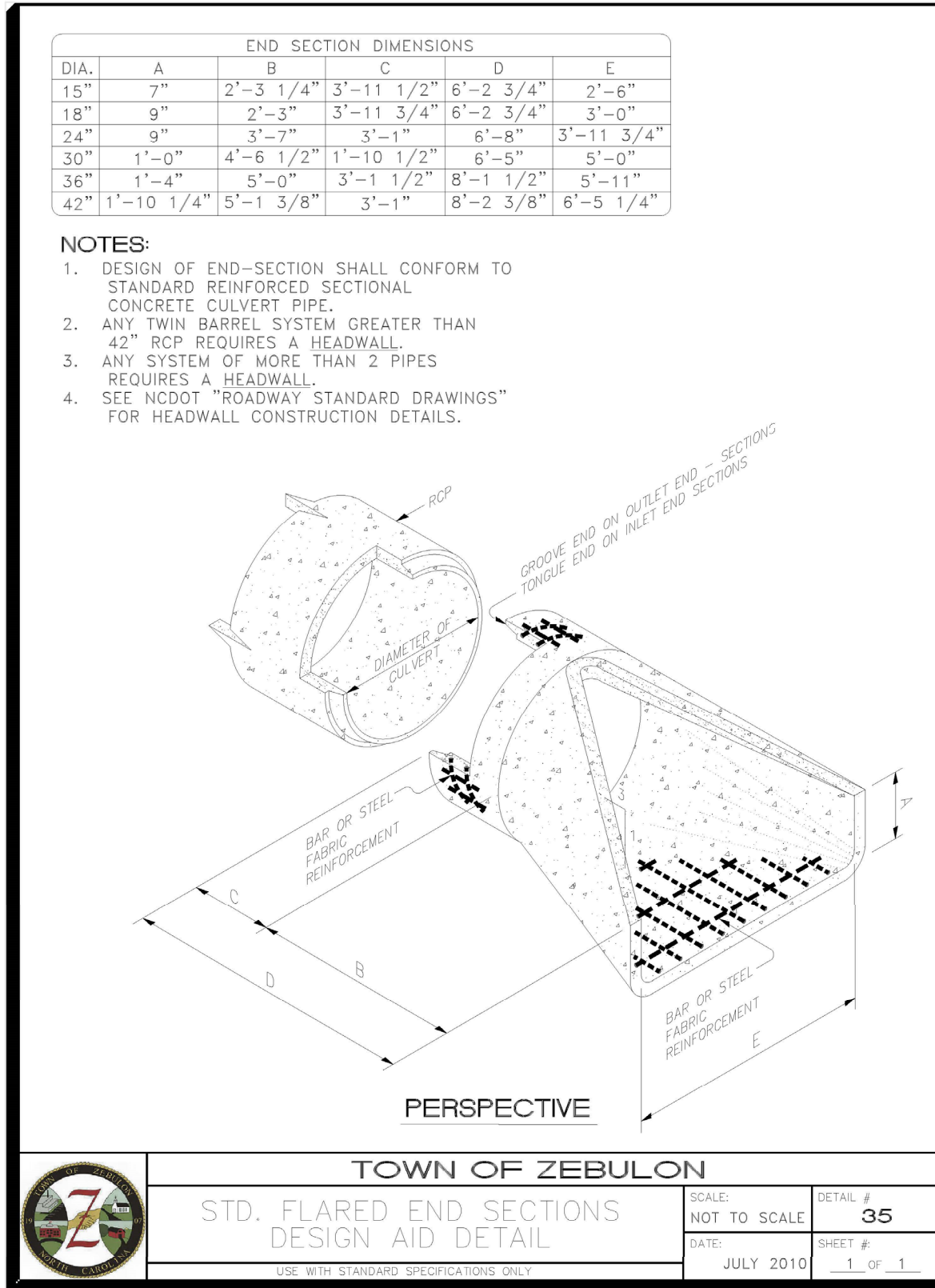
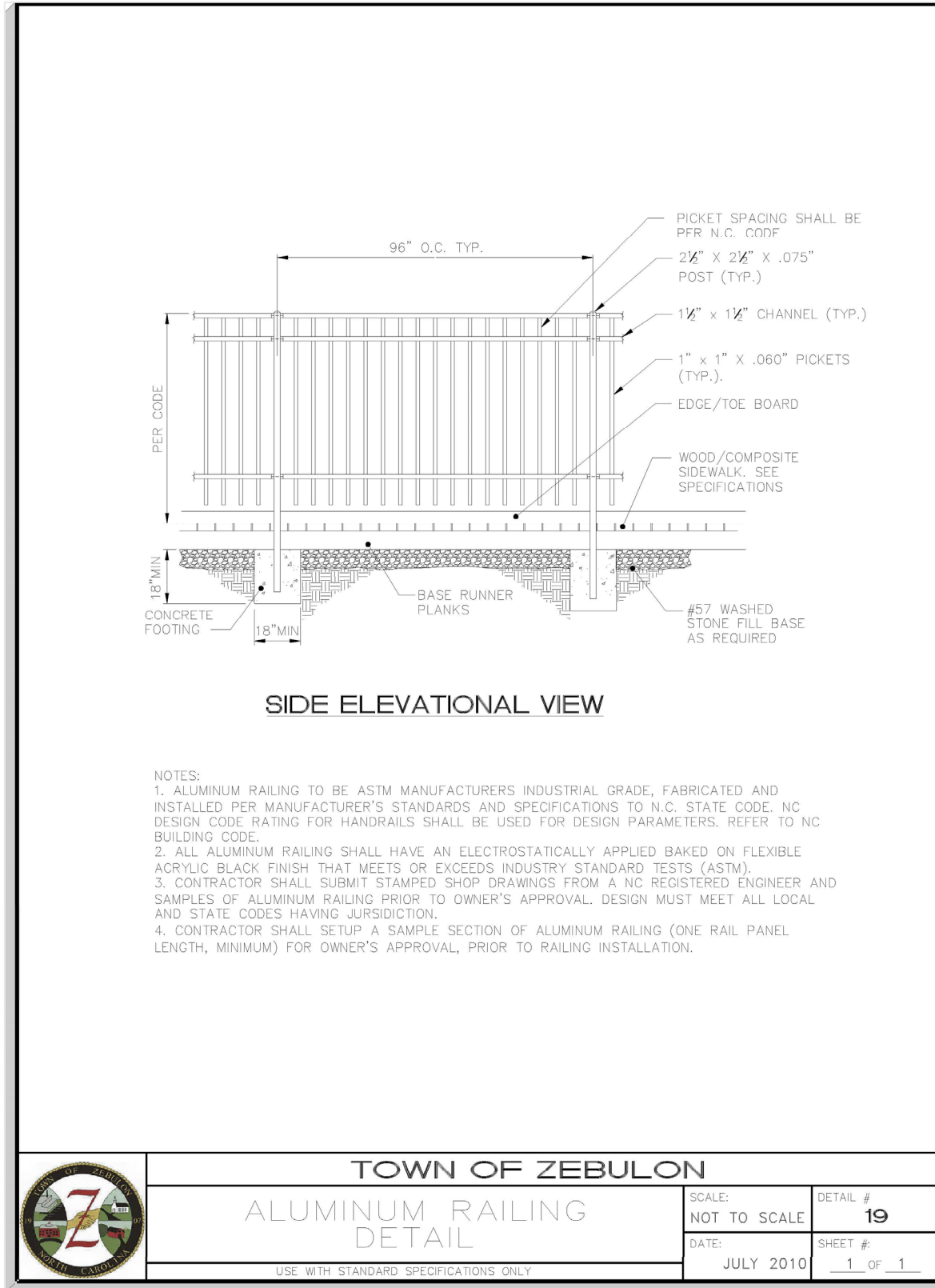
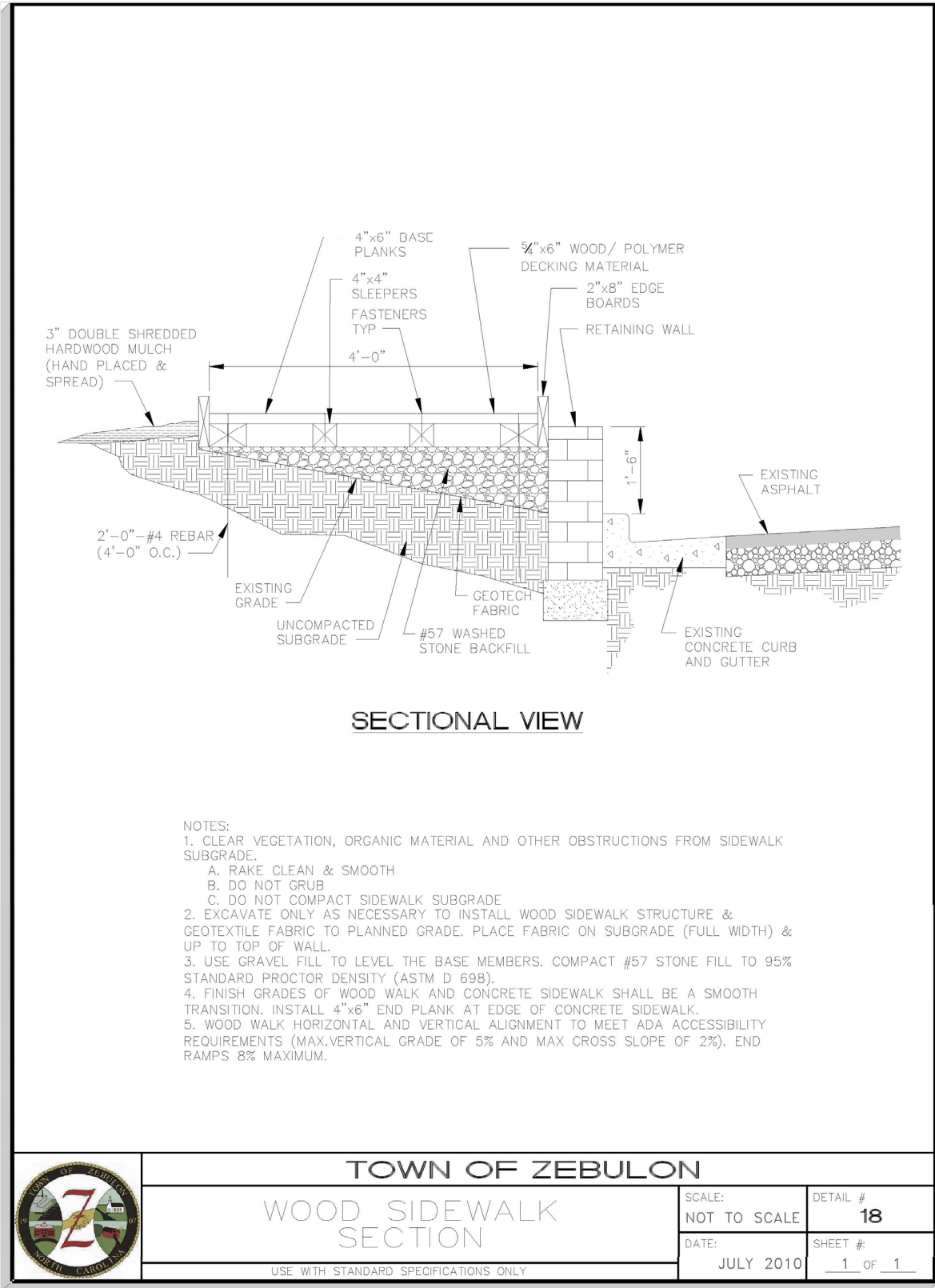
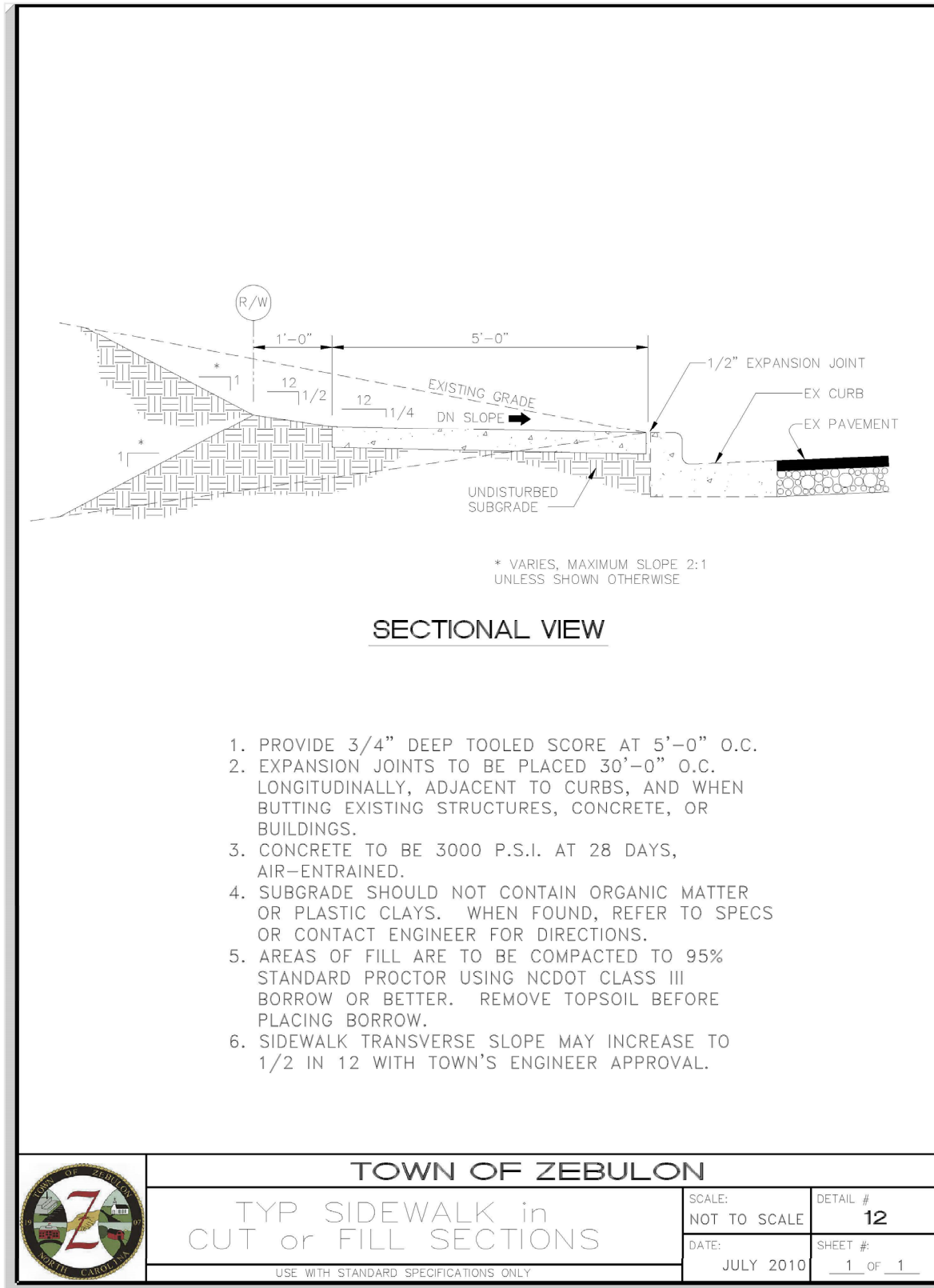
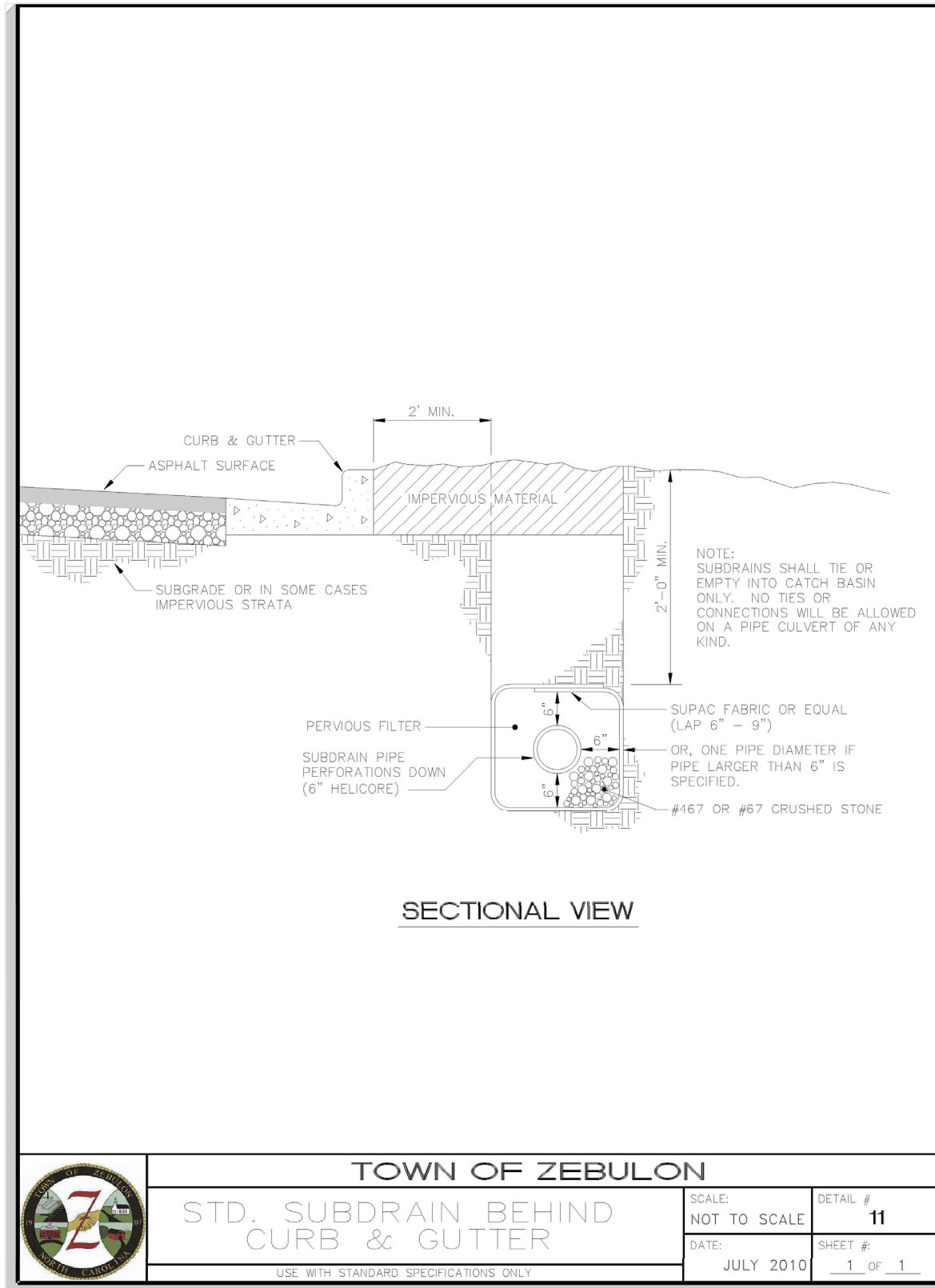
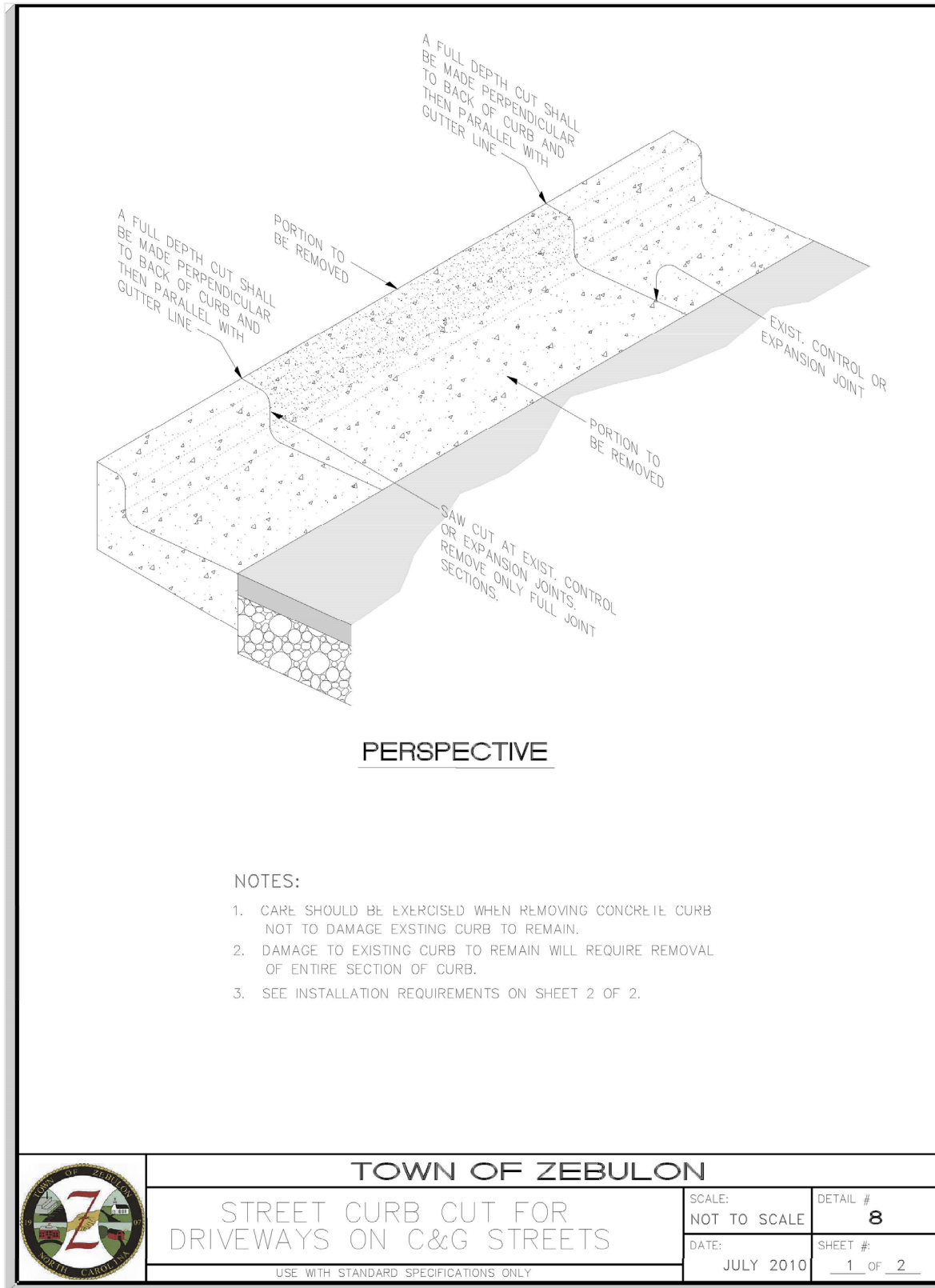
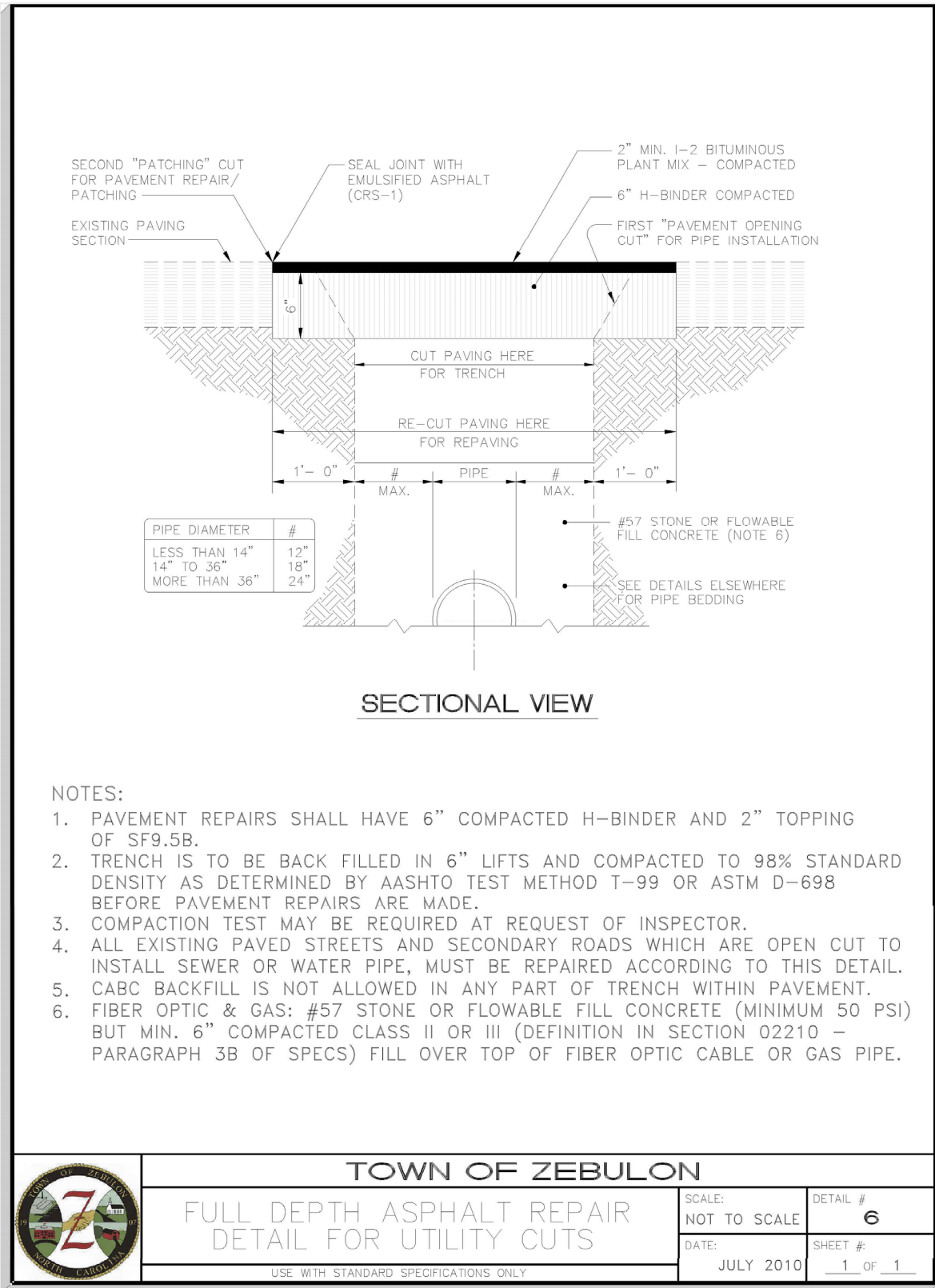
DESIGN BY: JPE

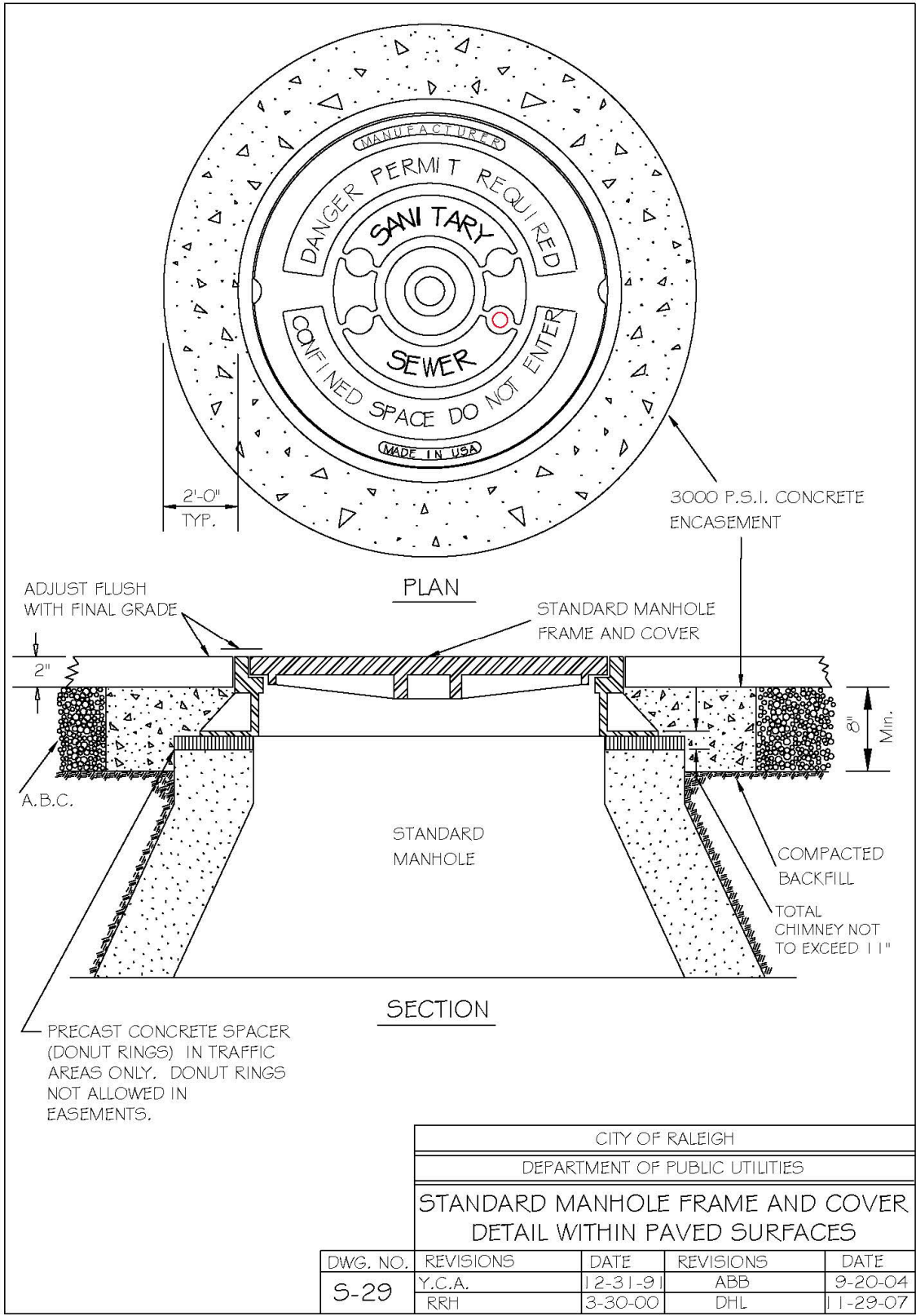
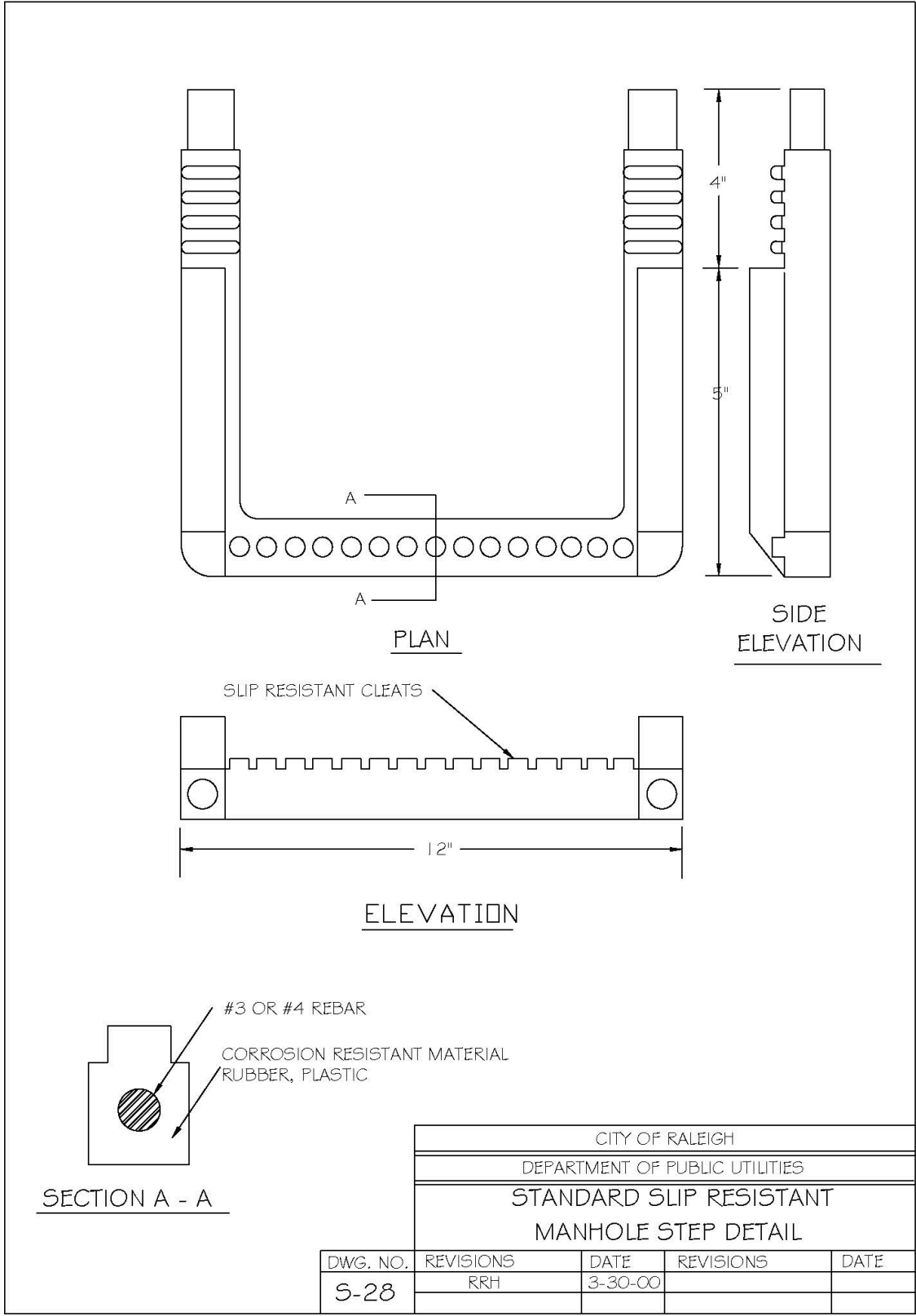
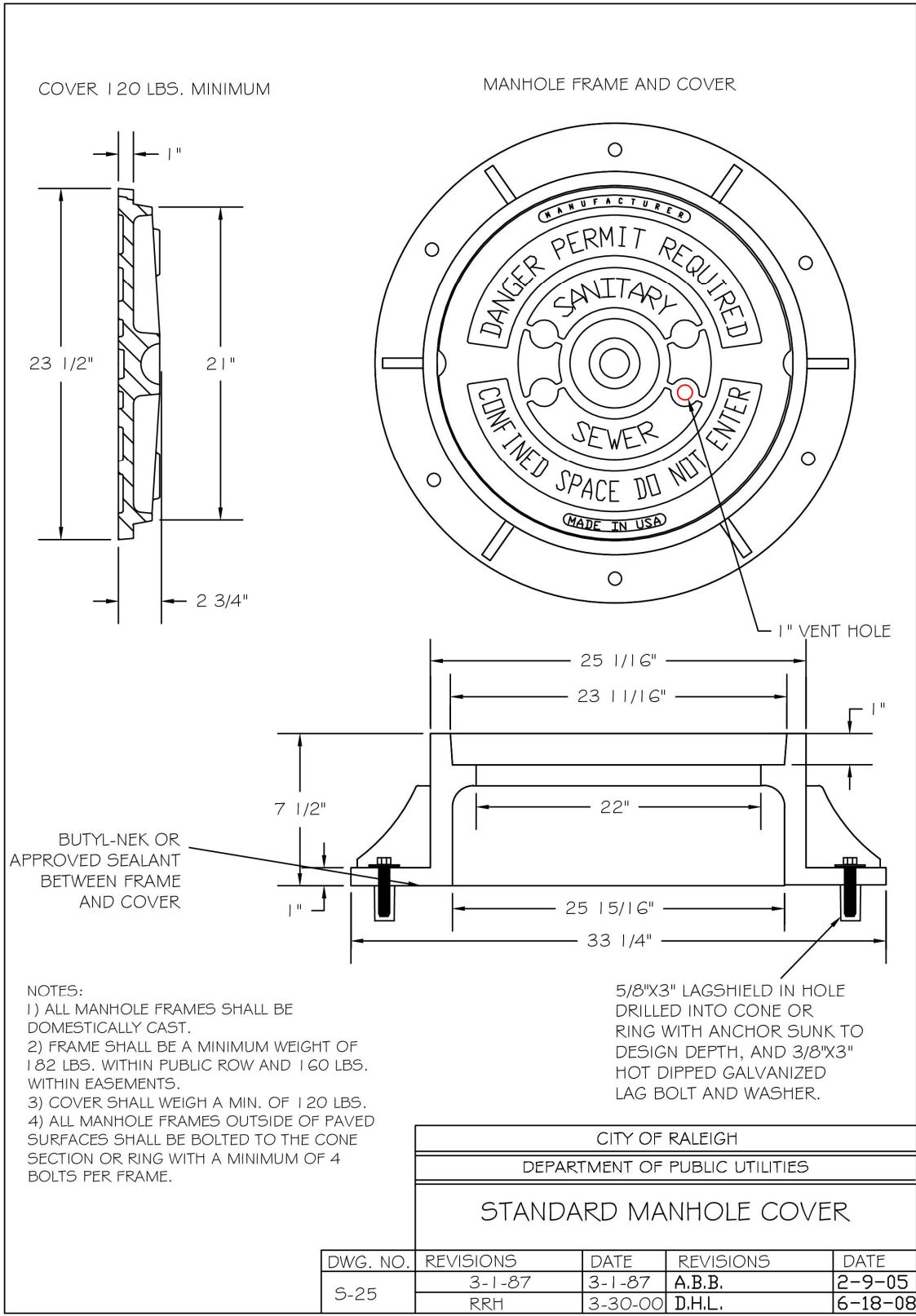
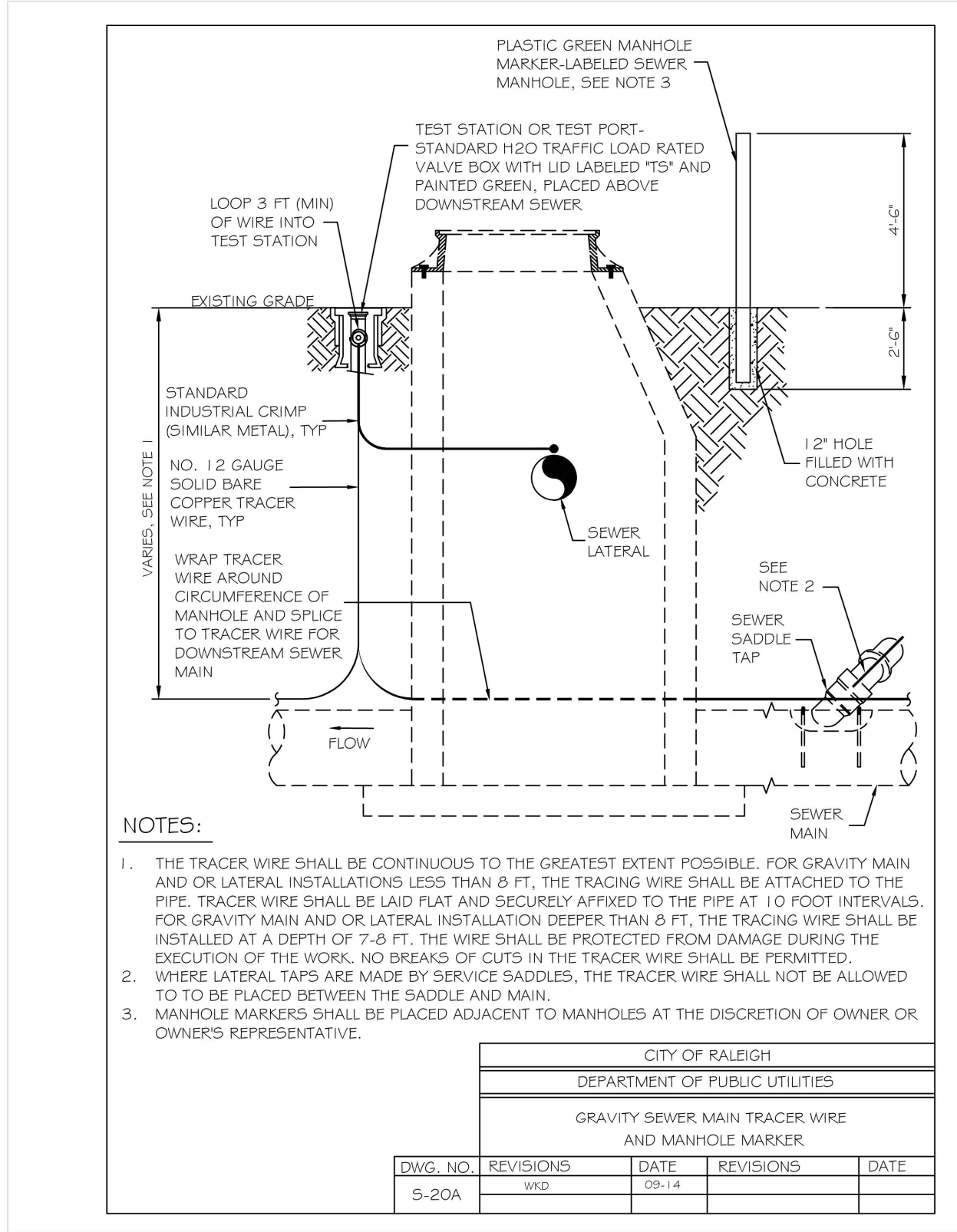
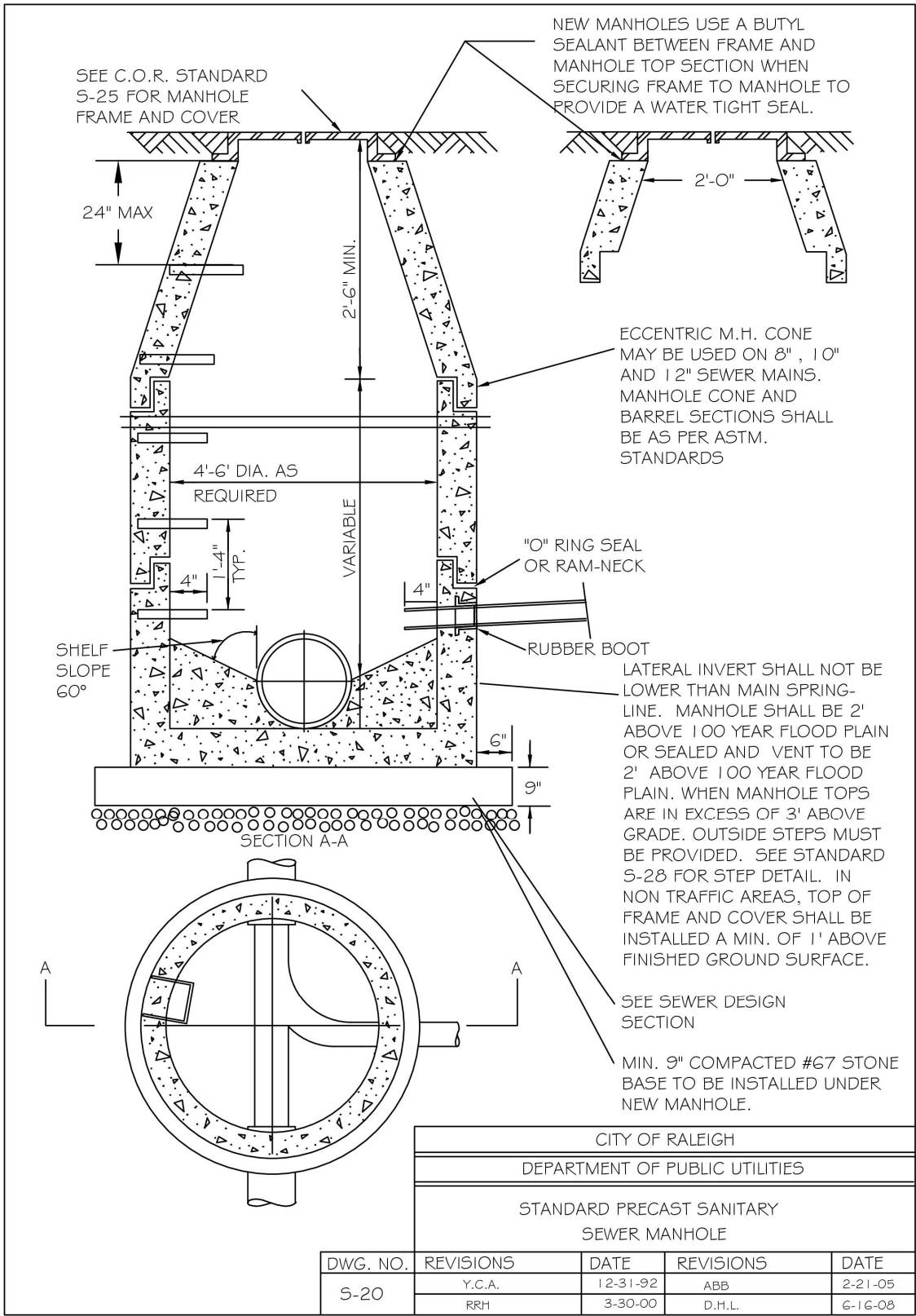
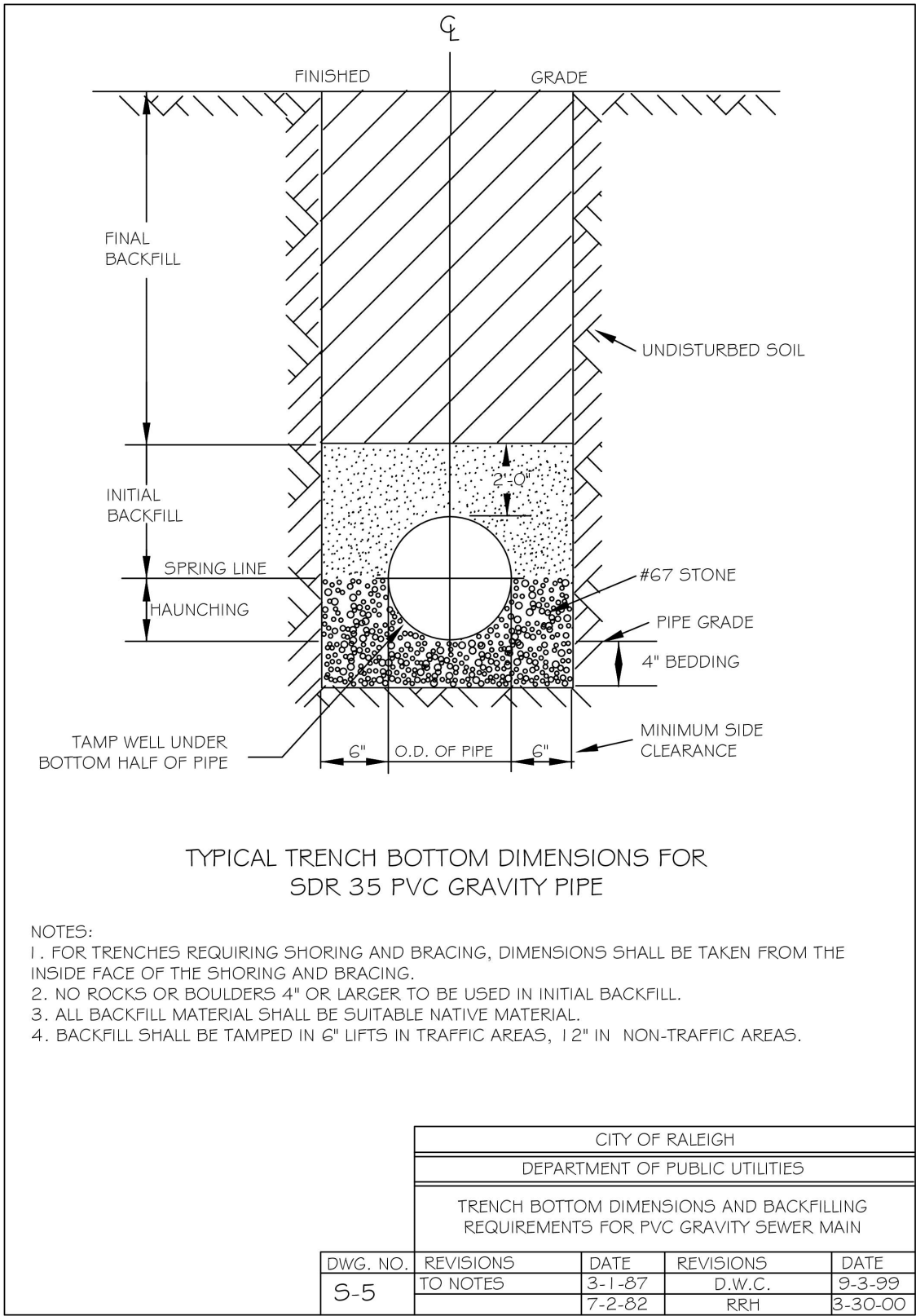
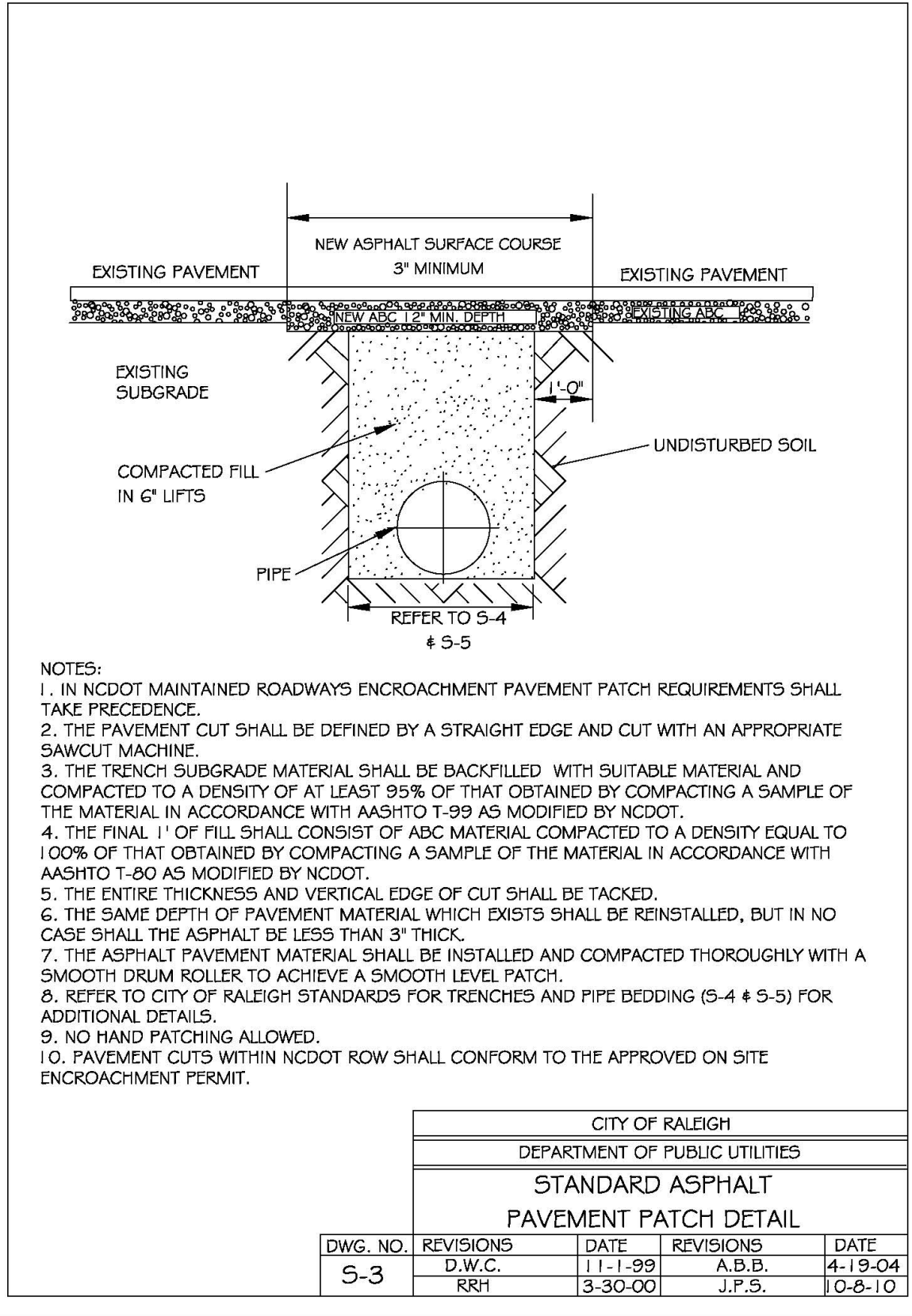
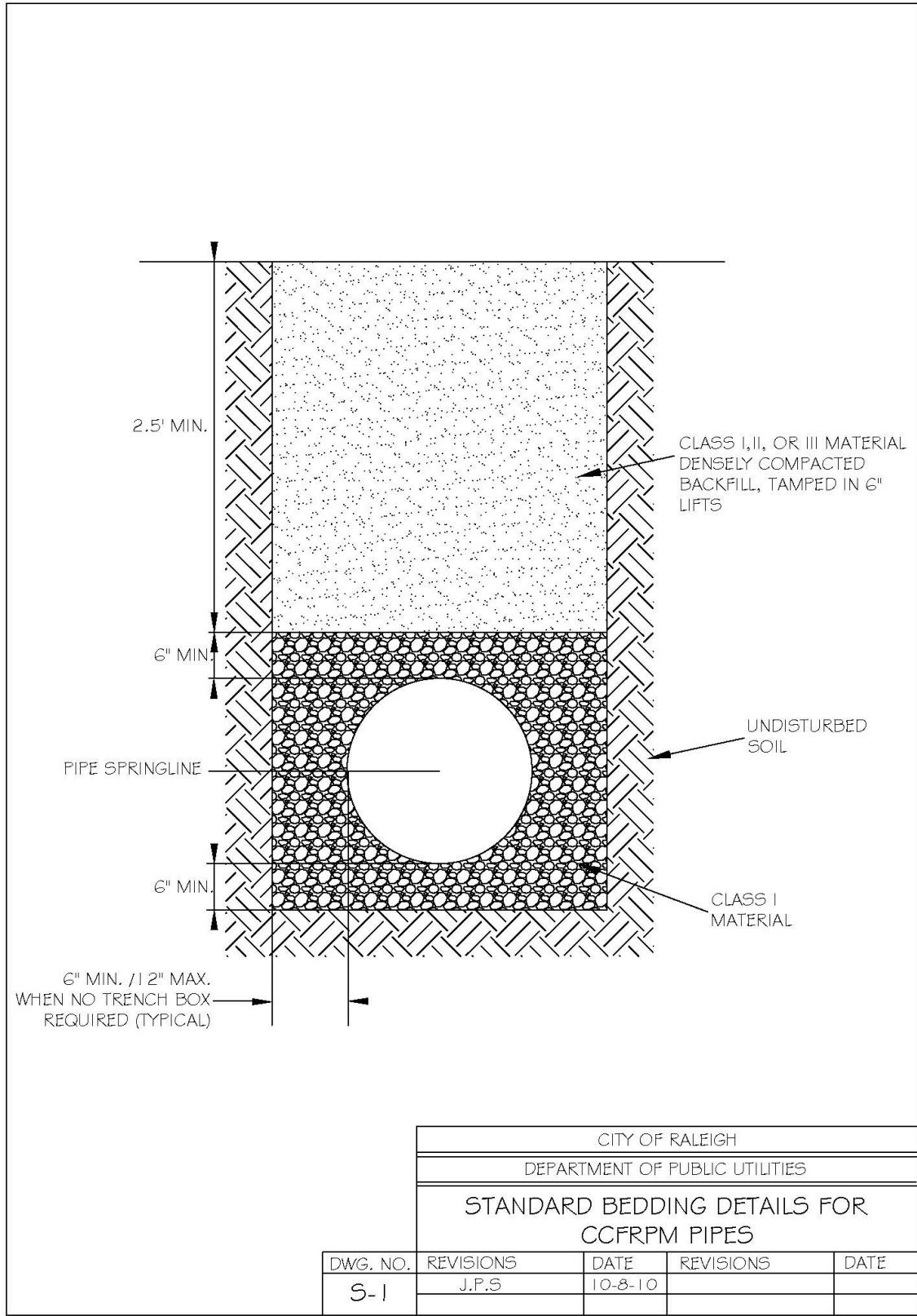
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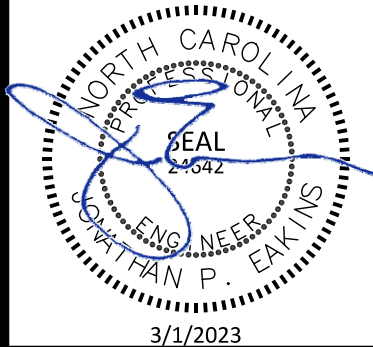
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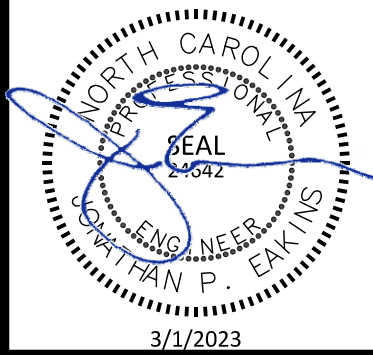
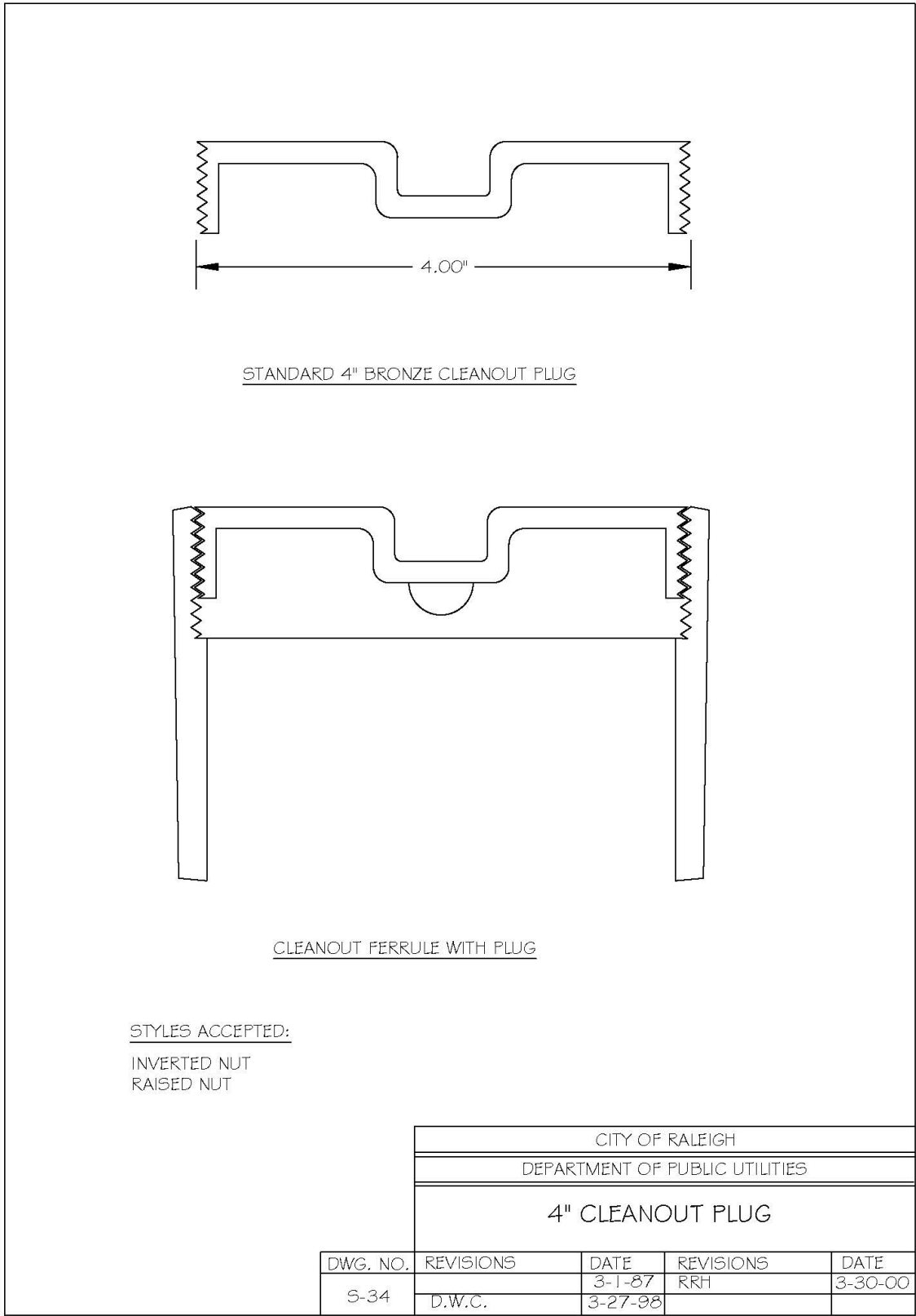
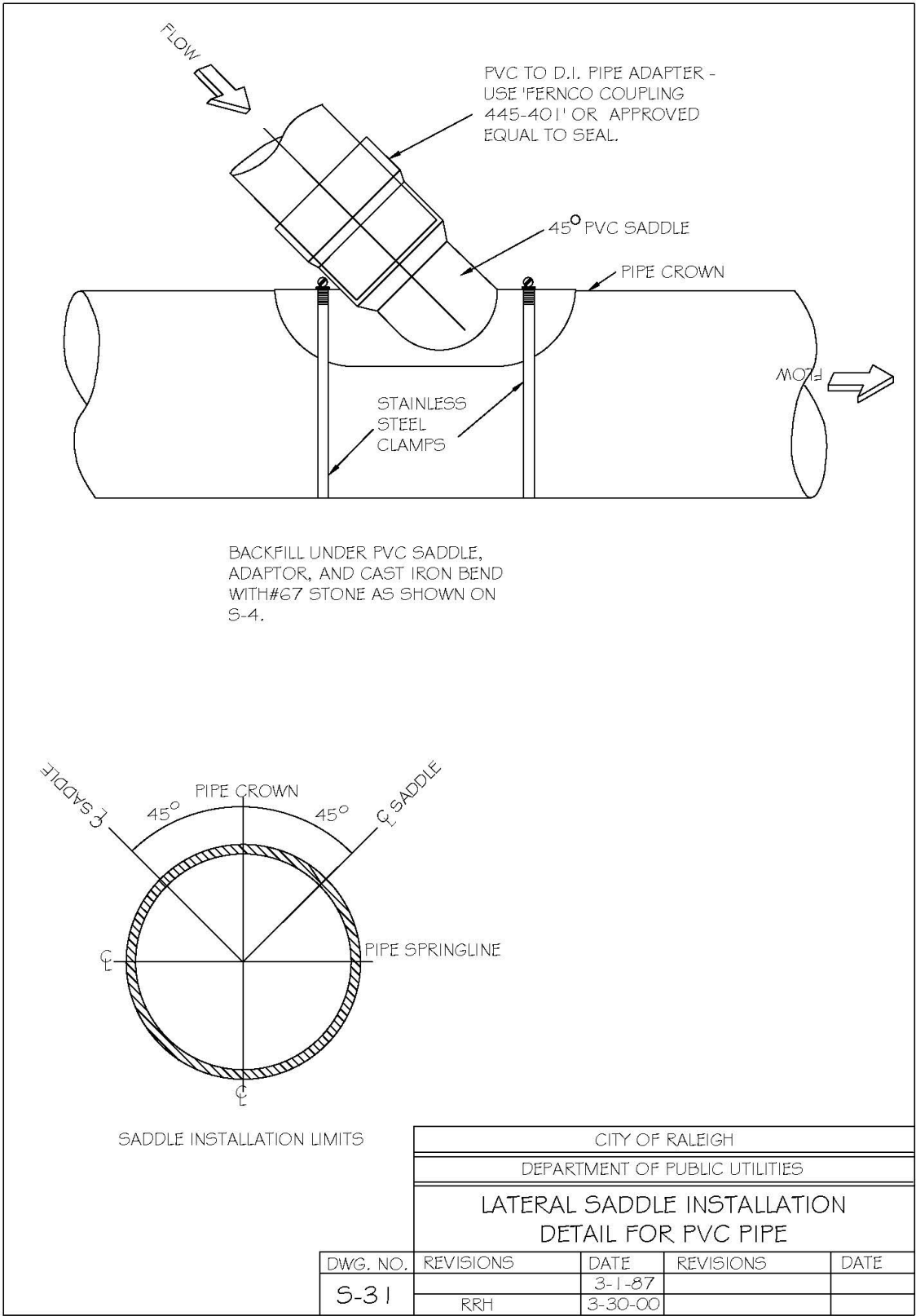
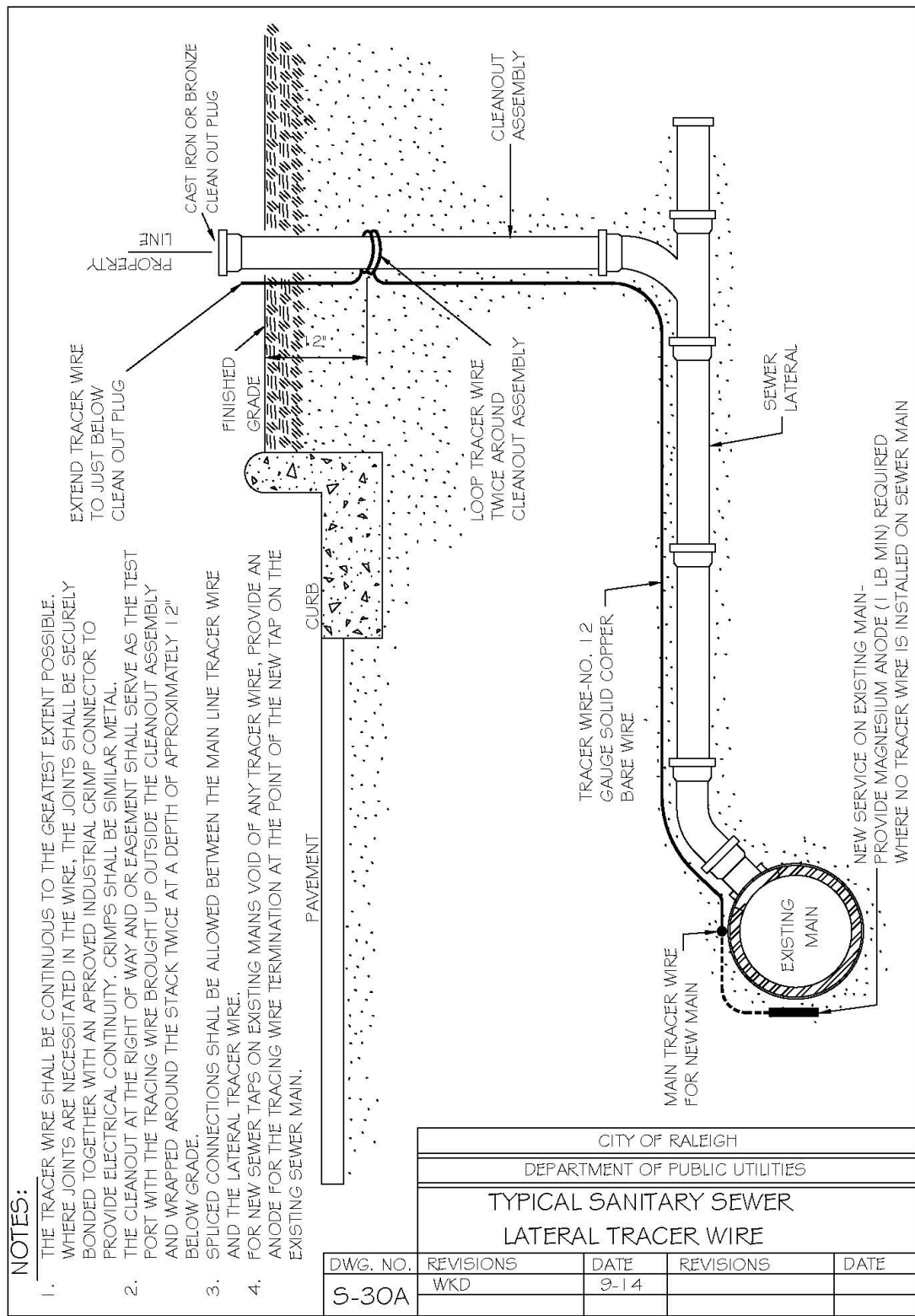
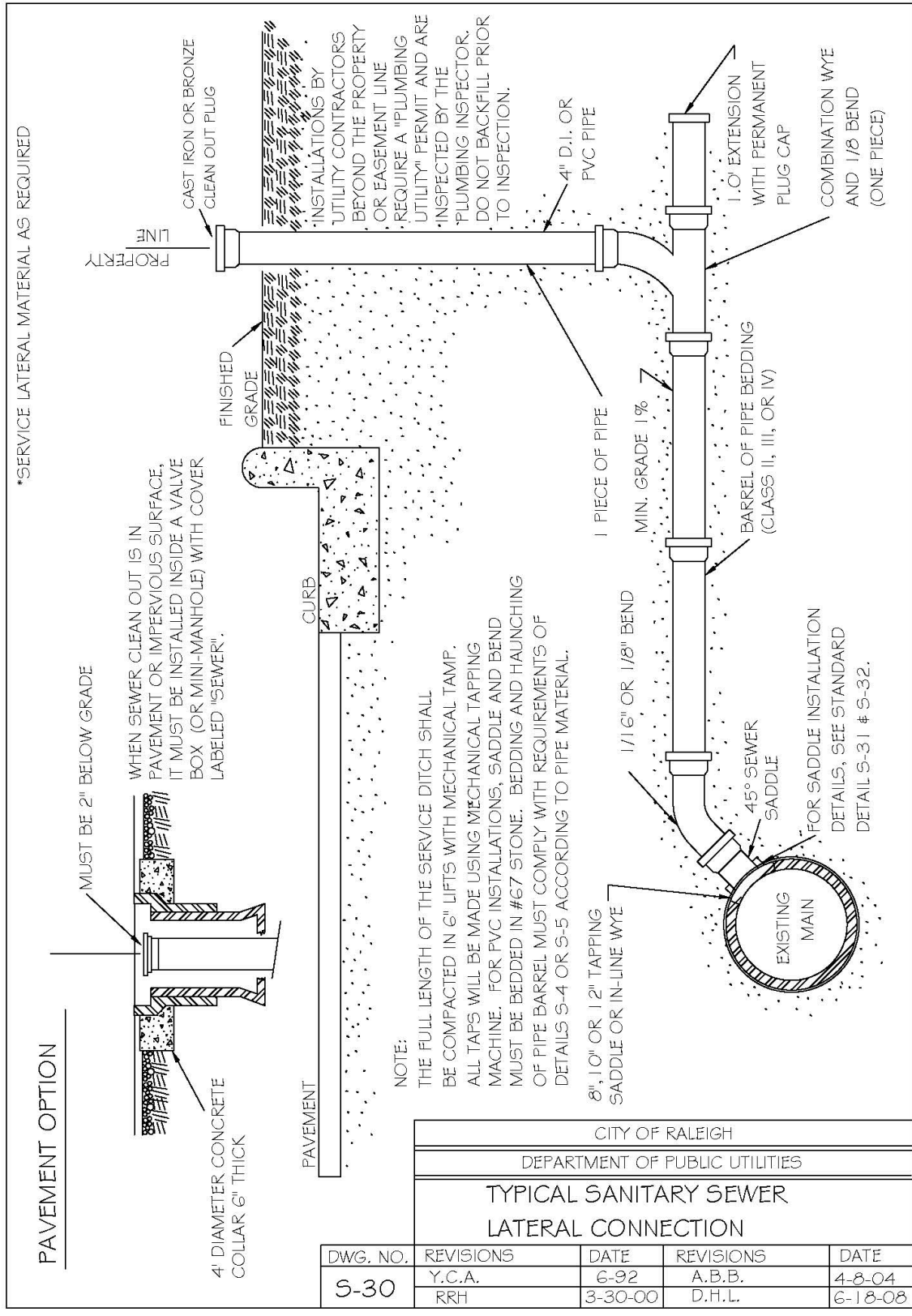
SHEET NO: C6.1





REVISIONS





PROJECT NO:	---
DESIGN BY:	JPE
DRAWN BY:	JPE
SCALE:	NTS
DATE:	2023-03-01
SHEET NO:	D3.1

401 GANNON AVENUE
SITE PLAN DRAWINGS

ZEBULON, NC

SANITARY SEWER DETAILS

OWNER/DEVELOPER:

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