

# ZEBULON SOUTH

## PRELIMINARY PLAN

### TOWN OF ZEBULON, WAKE COUNTY, NORTH CAROLINA

#### SITE DATA

<b>PROJECT:</b>	ZEBULON SOUTH
<b>ENGINEER:</b>	TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-866-4509 FAX: 919-859-5663 BETH BLACKMON, PE EMAIL: BETH.BLACKMON@TIMMONS.COM
<b>DEVELOPER:</b>	DEACON DEVELOPMENT GROUP PO BOX 1080 WAKE FOREST, NC 27588 PHONE: 919 608-3542 ANDREW SURIANO ANDREW@DEACONCOMPANIES.COM
<b>PROPERTY LOCATION:</b>	751 S WAKEFIELD ROAD 700 S ARENDELL AVE 0 S WAKEFIELD STREET
<b>PIN:</b>	2705-41-3075, 2704-49-2511, & 2705-51-2202
<b>EXISTING ZONING:</b>	R4 & R2
<b>PROPOSED ZONING:</b>	PD
<b>EXISTING USE:</b>	AGRICULTURAL
<b>TOTAL TRACT AREA:</b>	118.55 ACRES



VICINITY MAP - 1" = 500'

#### OWNERS OF RECORD

PIN: 2704-49-2511 NARRON, HAROLD CORBETT, C FRED 3941 ZEBULON RD ZEBULON, NC 27597	PIN: 2705-51-2202 TEMPLE, JOSEPH WOOD SR HUGHES, HARRISON ALEXANDER PO BOX 548 ZEBULON, NC 27597
PIN: 2705-41-3075 WATSON FAMILY LLC. 6220 FORESTVILLE RD RALEIGH, NC 27604	

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THIS DRAWING PREPARED AT THE  
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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

DATE  
11/09/2023

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 500'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
COVER

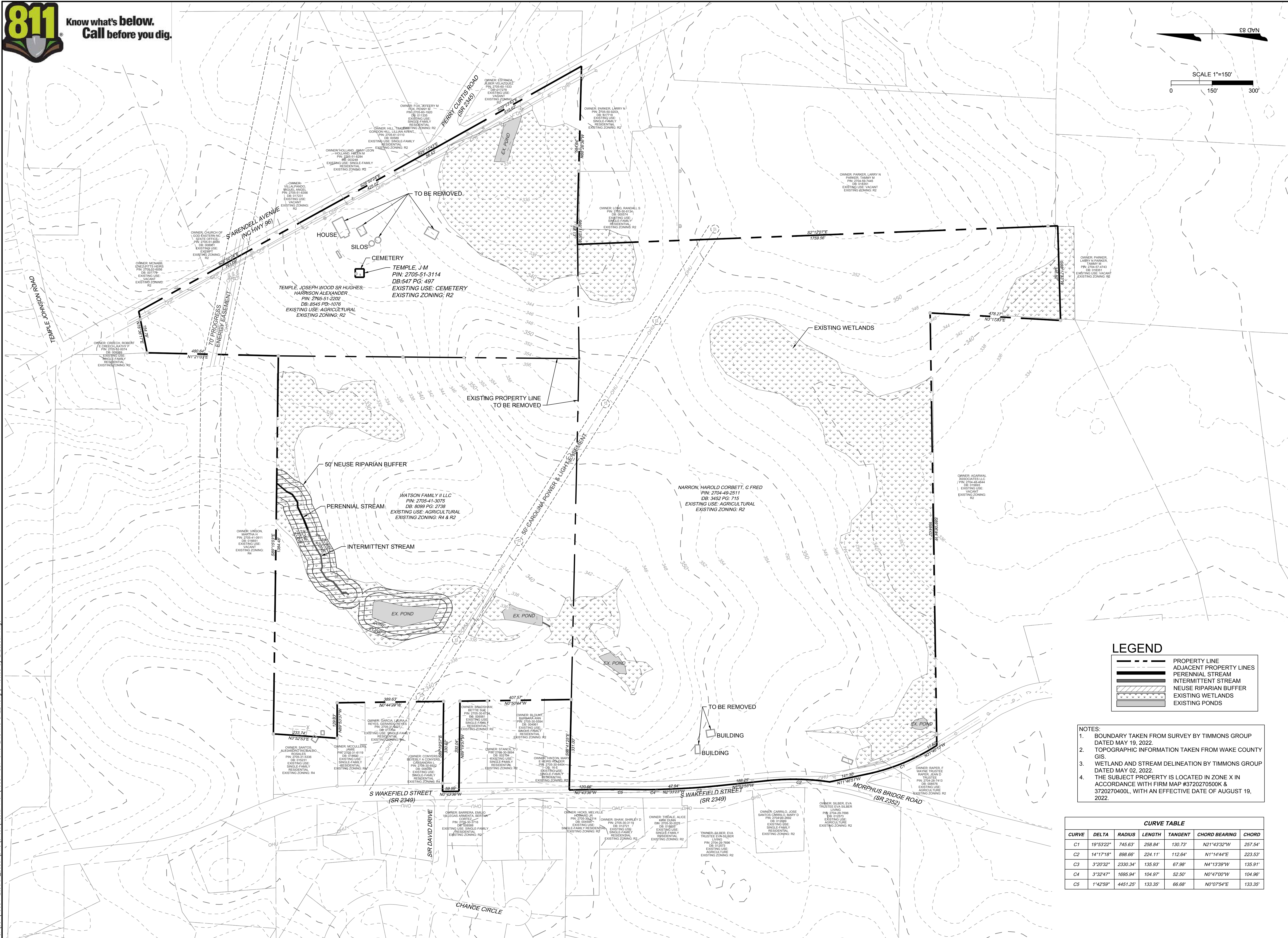
JOB NO.  
49084

SHEET NO.  
CVR





S:\331\49084-Zebulon\DWG\Sheet\Master Plan\_49084-331-C1.0-EXISTING SHEET.dwg | Plotted by Elizabeth Ange



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINES
	PERENNIAL STREAM
	INTERMITTENT STREAM
	NEUSE RIPARIAN BUFFER
	EXISTING WETLANDS
	EXISTING PONDS

**NOTES:**

- BOUNDARY TAKEN FROM SURVEY BY TIMMONS GROUP DATED MAY 19, 2022.
- TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
- WETLAND AND STREAM DELINEATION BY TIMMONS GROUP DATED MAY 02, 2022.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X IN ACCORDANCE WITH FIRM MAP #3720270500K & 3720270400L, WITH AN EFFECTIVE DATE OF AUGUST 19, 2022.

**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	19°53'22"	745.63'	258.84'	130.73'	N21°43'32"W	257.54'
C2	14°17'18"	898.96'	224.11'	112.64'	N1°14'44"E	223.53'
C3	3°20'32"	2330.34'	135.93'	67.98'	N4°13'39"W	135.91'
C4	3°32'47"	1695.94'	104.97'	52.50'	N0°47'00"W	104.96'
C5	1°42'59"	4451.25'	133.35'	66.68'	N0°07'54"E	133.35'

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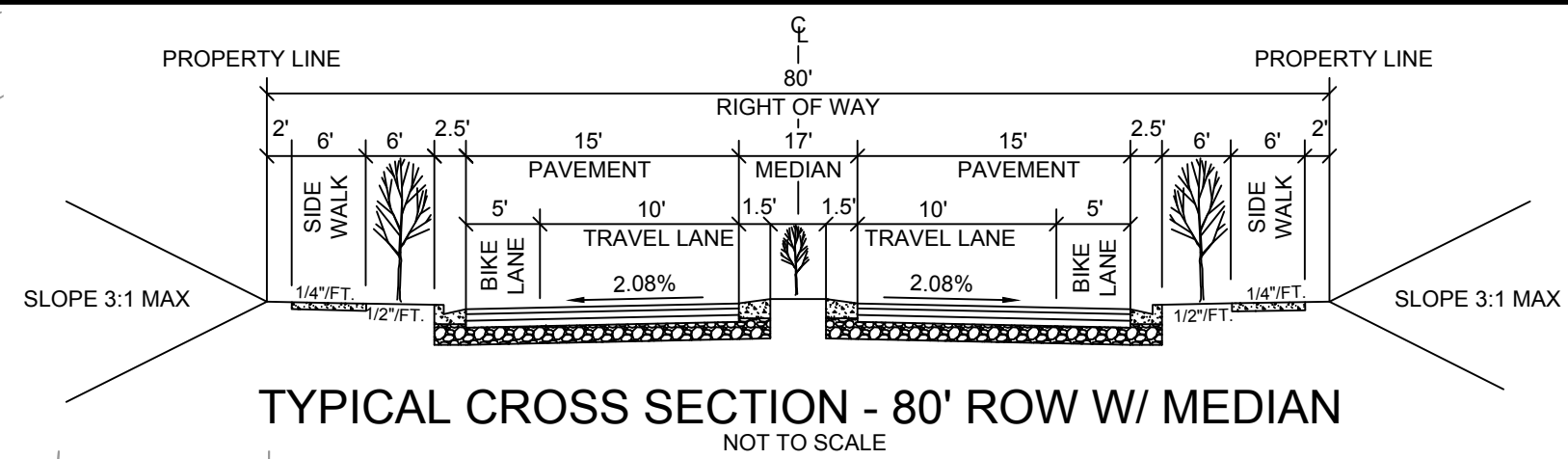
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DATE  
 11/09/2023  
 DRAWN BY  
 331  
 DESIGNED BY  
 E. ANGE  
 CHECKED BY  
 B. BLACKMON  
 SCALE  
 1" = 150'

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652  
**ZEBULON SOUTH**  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**EXISTING CONDITIONS**

JOB NO.  
**49084**  
 SHEET NO.  
**C1.0**

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**SITE DATA**

PIN #s = 2705-41-3075, 2704-49-2511, & 2705-51-2202  
 TOTAL EXISTING TRACT ACREAGE = 118.55 AC  
 TOTAL AREA TO BE DEDICATED = 2.01 AC  
 TRACT ACREAGE TO BE DEVELOPED = 116.97 AC  
 EXISTING ZONING = R2 & R4  
 PROPOSED ZONING = PD  
 PROPOSED NUMBER OF LOTS = 331  
 PROPOSED DENSITY = 2.83 DU/A

10% OPEN SPACE REQUIRED = 11.70 acres  
 OPEN SPACE PROVIDED = 59.19 acres (50.6%)  
 50% ACTIVE OPEN SPACE REQUIRED = 5.85 acres  
 ACTIVE OPEN SPACE PROVIDED = 5.96 acres

GUEST PARKING REQUIRED 0.25 UNITS = 83 spaces  
 GUEST PARKING PROVIDED = 159 spaces  
 MINIMUM OF 2 PARKING SPACES PROVIDED ON EACH LOT,  
 AT LEAST 1 IN GARAGE AND 1 IN DRIVEWAY

MAXIMUM BUILDING HEIGHT = 50'  
 TOTAL LINEAR FEET OF 10' PUBLIC GREENWAY = 3,600'  
 TOTAL LINEAR FEET OF 6' PRIVATE GREENWAY = 1,900'

**LOT DATA**

- 131 - REAR LOAD SINGLE FAMILY ATTACHED**  
 MINIMUM LOT SIZE PROVIDED: 1,260'  
 AVERAGE LOT SIZE PROVIDED: 1,912'  
 MINIMUM LOT WIDTH: 18'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 63 - REAR LOAD SINGLE FAMILY**  
 MINIMUM LOT SIZE PROVIDED: 4,800'  
 AVERAGE LOT SIZE PROVIDED: 5,273'  
 MINIMUM LOT WIDTH: 40'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 84 - FRONT LOAD SINGLE FAMILY LOTS**  
 MINIMUM LOT SIZE PROVIDED: 6,100'  
 AVERAGE LOT SIZE PROVIDED: 6,962'  
 MINIMUM LOT WIDTH: 50'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 41 - FRONT LOAD SINGLE FAMILY LOTS**  
 MINIMUM LOT SIZE PROVIDED: 7,100'  
 AVERAGE LOT SIZE PROVIDED: 7,476'  
 MINIMUM LOT WIDTH: 60'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 16'
- 12 - REAR LOAD SINGLE FAMILY**  
 MINIMUM LOT SIZE PROVIDED: 8,200'  
 AVERAGE LOT SIZE PROVIDED: 8,393'  
 MINIMUM LOT WIDTH: 70'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'

**OPEN SPACE TABLE**

OS #	SF	AC
OS 1	23,165	0.53
OS 2	805,463	18.49
OS 3	7,206	0.17
OS 4	1,027,372	23.59
OS 5	57,640	1.32
OS 6	26,136	0.60
OS 7	8,218	0.19
OS 8	26,634	0.61
OS 9	452,392	10.39
OS 10	26,131	0.60
OS 11	31,737	0.73
OS 12	30,006	0.69
OS 13	901	0.02
OS 14	944	0.02
OS 15	2,095	0.05
OS 16	2,899	0.07
OS 17	913	0.02
OS 18	1,428	0.03
OS 19	1,622	0.04
OS 20	991	0.02
OS 21	1,137	0.03
OS 22	1,400	0.03
OS 23	1,400	0.03
OS 24	1,599	0.04
OS 25	1,293	0.03
OS 26	1,400	0.03
OS 27	1,400	0.03
OS 28	1,137	0.03
OS 29	1,492	0.03
OS 30	1,600	0.04
OS 31	1,600	0.04
OS 32	1,962	0.05
OS 33	1,735	0.04
OS 34	1,600	0.04
OS 35	1,600	0.04
OS 36	1,492	0.03
OS 37	1,600	0.04
OS 38	1,600	0.04
OS 39	1,726	0.04
OS 40	2,060	0.05
OS 41	1,800	0.04
OS 42	1,800	0.04
OS 43	1,800	0.04
OS 44	1,679	0.04
OS 45	966	0.02
OS 46	1,288	0.03
OS 47	1,400	0.03
OS 48	1,677	0.04
<b>TOTAL</b>	<b>2,577,134</b>	<b>59.19</b>

**STREET TABLE**

STREET NAME	ROW	LENGTH (LF)
ROAD A	80	2,762
ROAD B	50	1,876
ROAD C	50	1,950
ROAD D	50	2,260
ROAD E	50	175
ROAD F	50	1,143
ROAD G	50	462
ROAD H	50	976
ROAD I	50	527
ROAD J	50	444
ROAD K	50	134
ALLEY A	20	775
ALLEY B	20	636
ALLEY C	20	458
ALLEY D	20	594
ALLEY E	20	453
ALLEY F	20	486
ALLEY G	20	177
ALLEY H	20	444
ALLEY I	20	262
ALLEY J	20	120
ALLEY K	20	600
<b>TOTAL W/ ALLEYS</b>	<b>17,714</b>	
<b>TOTAL W/O ALLEYS</b>	<b>12,709</b>	

**SETBACK TABLE**

FRONT LOADED SINGLE FAMILY  
 FRONT: 20'  
 REAR: 15'  
 SIDE: 5'  
 CORNER: 10'

REAR LOADED SINGLE FAMILY  
 FRONT: 10' MAX  
 REAR: 20'  
 SIDE: 3'  
 CORNER: 10'

SINGLE FAMILY ATTACHED:  
 FRONT: 10' MAX  
 BUILDING SEPARATION: 10'  
 REAR: 20'

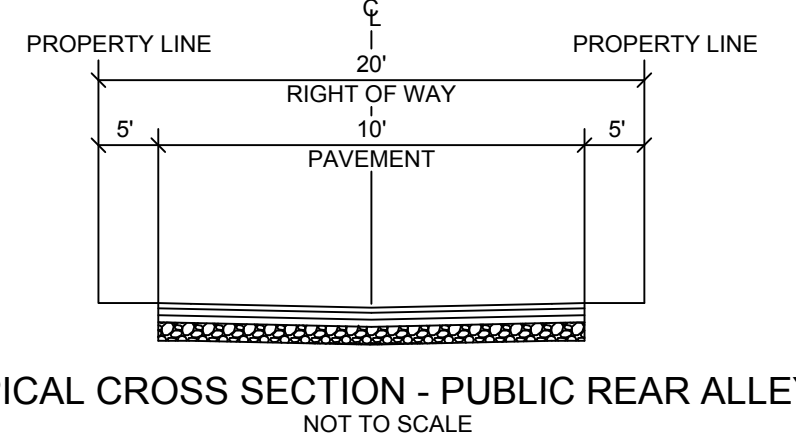
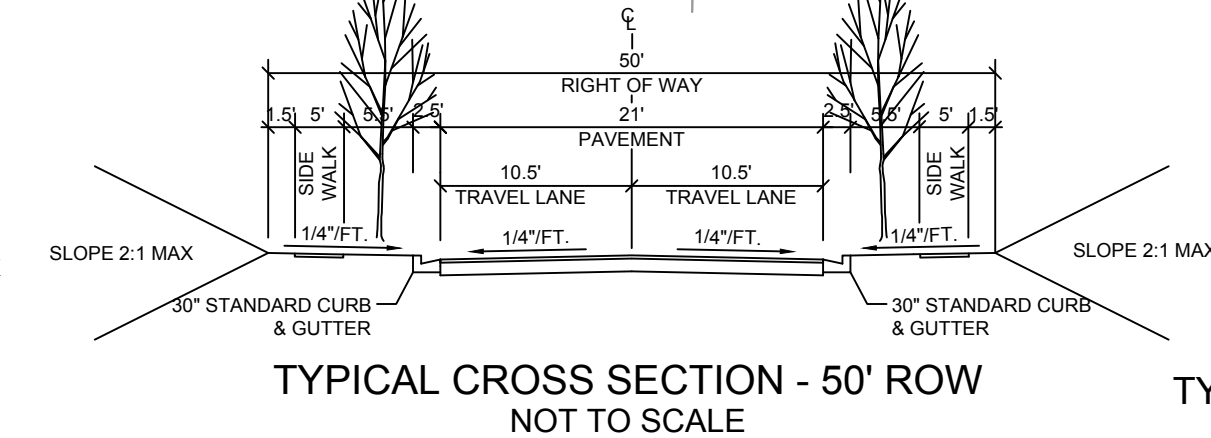
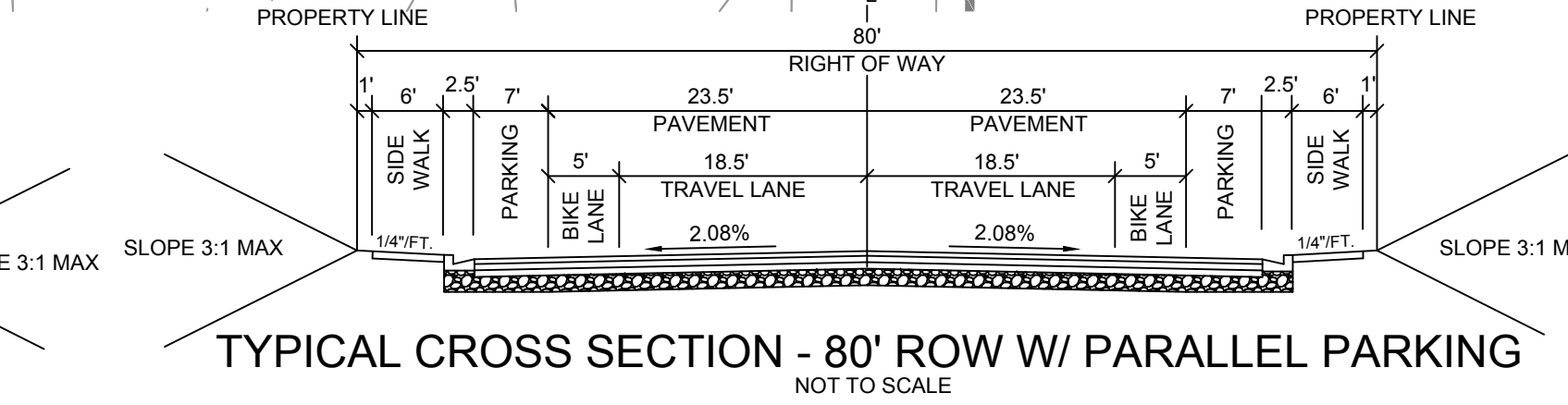
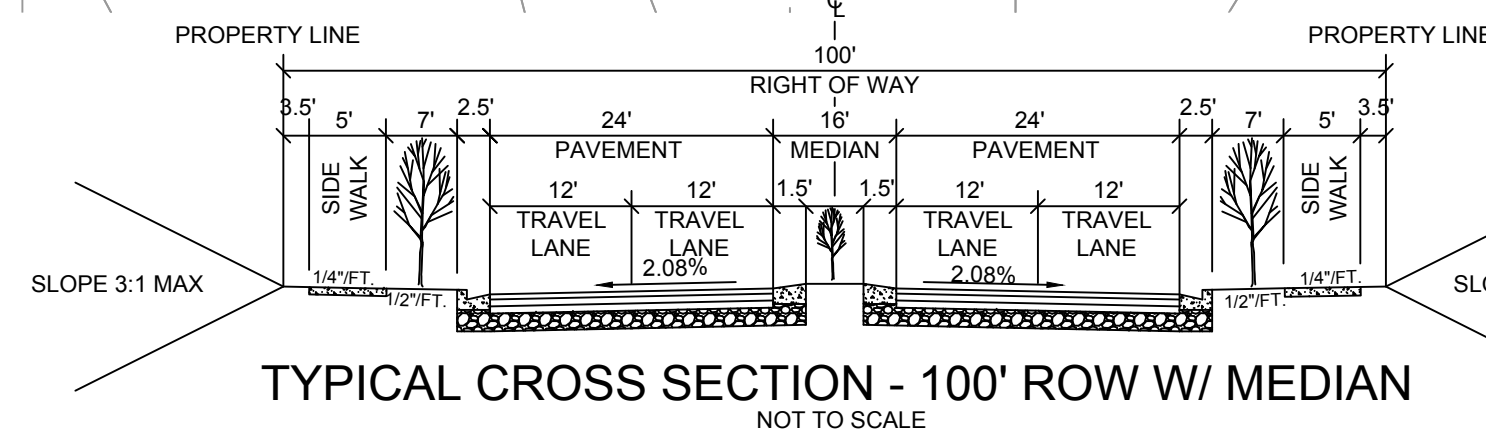
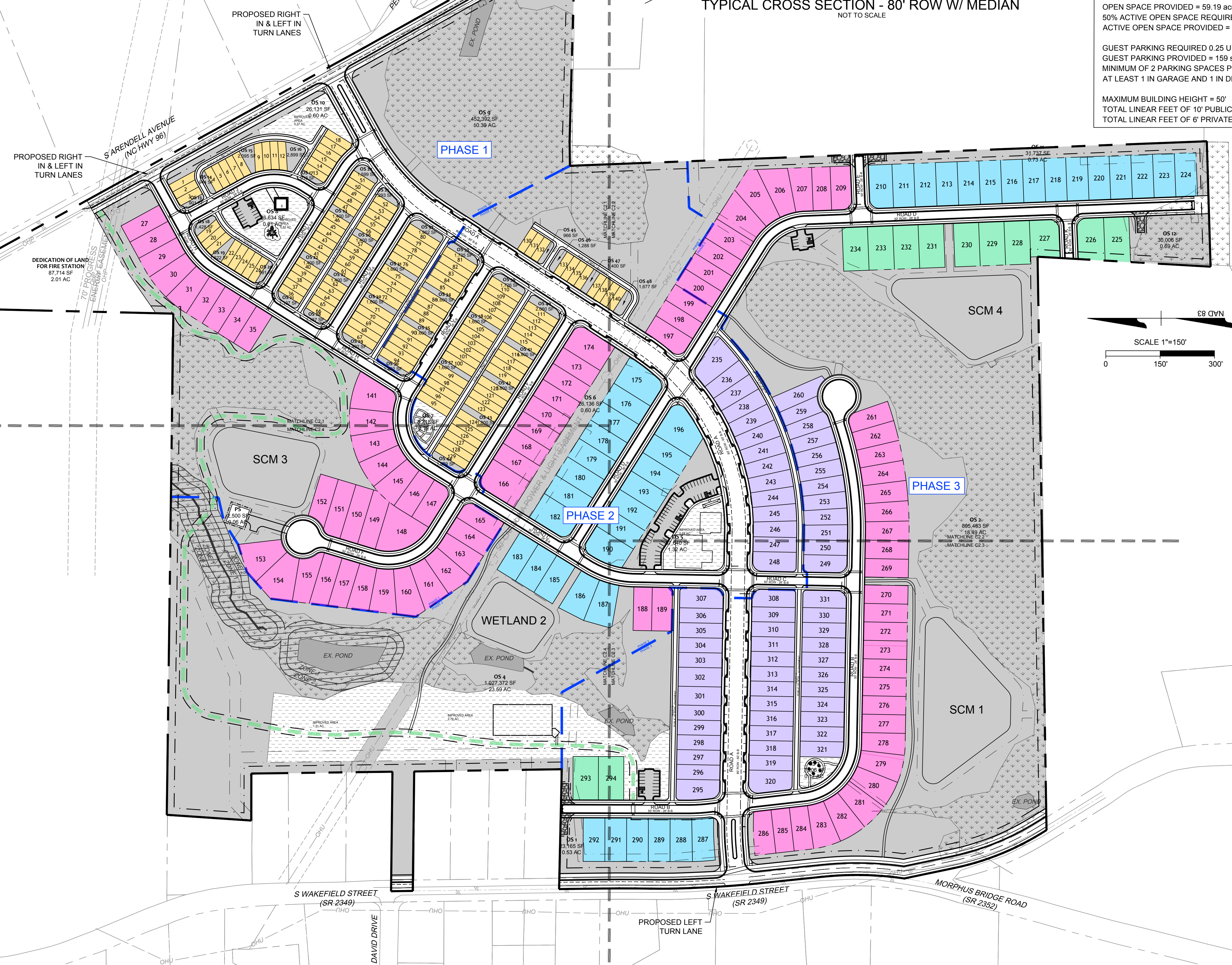
**IMPERVIOUS AREA DATA**

IMPERVIOUS IN TOWNHOME LOTS (131 LOTS W/ 1,300 SF/LOT)	3.91 AC
IMPERVIOUS IN 40' LOTS (63 LOTS W/ 3,000 SF/LOT)	4.34 AC
IMPERVIOUS IN 50' LOTS (84 LOTS W/ 3,750 SF/LOT)	7.23 AC
IMPERVIOUS IN 60' LOTS (41 LOTS W/ 4,600 SF/LOT)	4.33 AC
IMPERVIOUS IN 70' LOTS (12 LOTS W/ 5,000 SF/LOT)	1.38 AC
IMPERVIOUS IN ROADWAY	13.43 AC
CLUBHOUSE AREA	1.00 AC
AMENITY AREAS, GREENWAY, & PUMP STATION	2.00 AC
<b>TOTAL IMPERVIOUS</b>	<b>37.61 AC</b>
<b>PERCENT IMPERVIOUS</b>	<b>32.2%</b>

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PAVED PUBLIC GREENWAY
- PAVED PRIVATE TRAIL

A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO).



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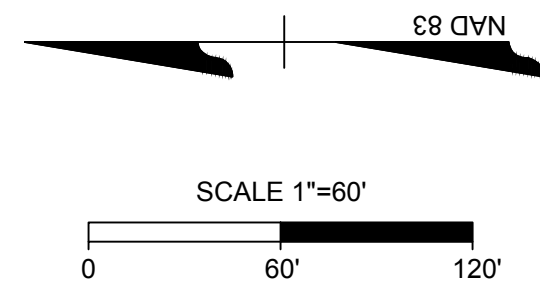
DATE: 11/09/2023  
 DRAWN BY: 331  
 DESIGNED BY: E. ANGE  
 CHECKED BY: B. BLACKMON  
 SCALE: 1" = 150'

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

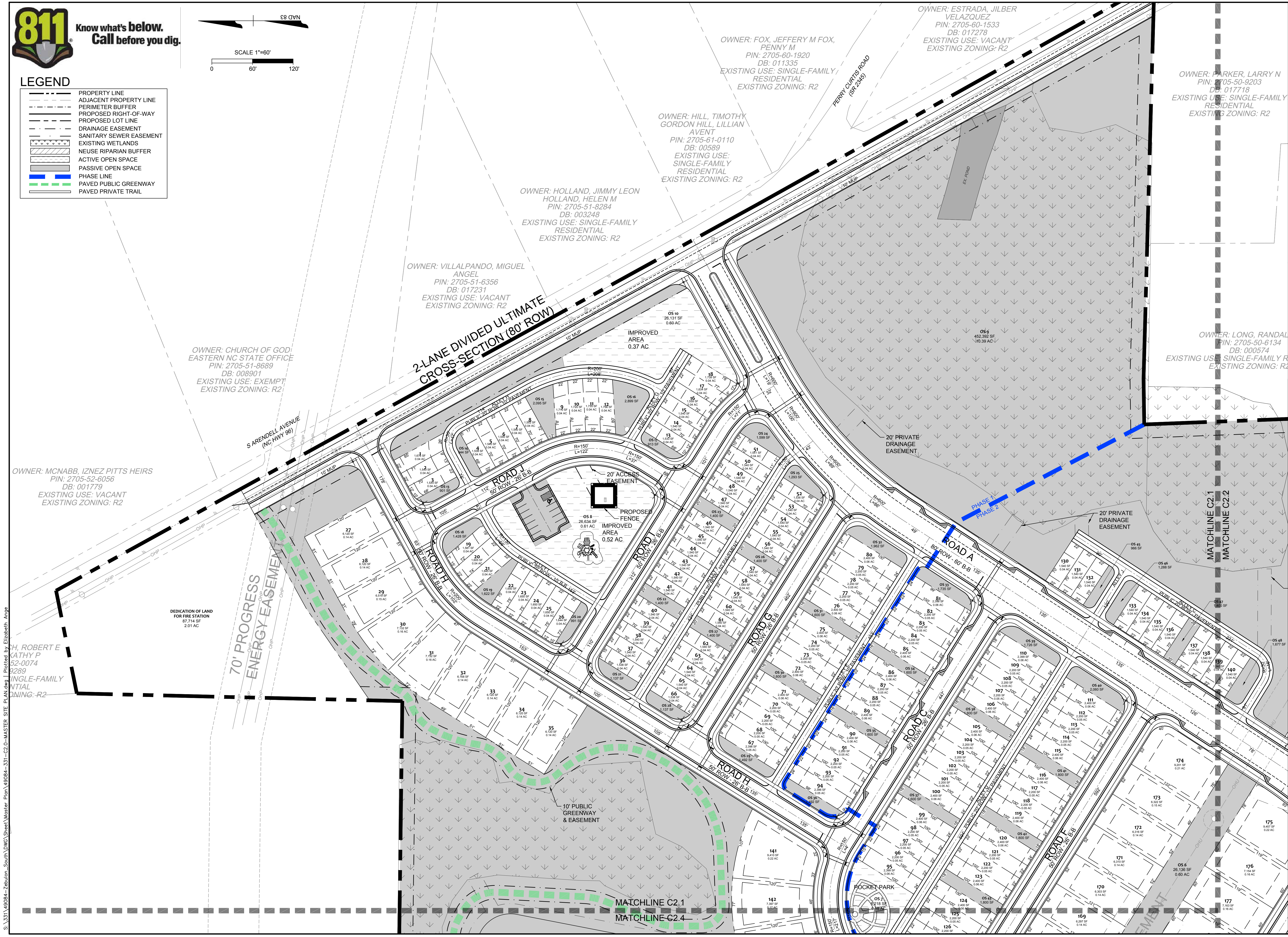
**OVERALL SITE PLAN**

JOB NO. 49084  
 SHEET NO. C2.0



**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - NEUSE RIPARIAN BUFFER
- - - ACTIVE OPEN SPACE
- - - PASSIVE OPEN SPACE
- - - PHASE LINE
- - - PAVED PUBLIC GREENWAY
- - - PAVED PRIVATE TRAIL



OWNER: MCNABB, IZNEZ PITTS HEIRS  
 PIN: 2705-52-6056  
 DB: 001779  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: CHURCH OF GOD  
 EASTERN NC STATE OFFICE  
 PIN: 2705-51-8689  
 DB: 008901  
 EXISTING USE: EXEMPT  
 EXISTING ZONING: R2

OWNER: VILLALPANDO, MIGUEL  
 ANGEL  
 PIN: 2705-51-6356  
 DB: 017231  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: HOLLAND, JIMMY LEON  
 HOLLAND, HELEN M  
 PIN: 2705-51-8284  
 DB: 003248  
 EXISTING USE: SINGLE-FAMILY  
 RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: HILL, TIMOTHY  
 GORDON HILL, LILLIAN  
 AVENT  
 PIN: 2705-61-0110  
 DB: 00589  
 EXISTING USE: SINGLE-FAMILY  
 RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: FOX, JEFFERY M FOX,  
 PENNY M  
 PIN: 2705-60-1920  
 DB: 011335  
 EXISTING USE: SINGLE-FAMILY  
 RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: ESTRADA, JILBER  
 VELAZQUEZ  
 PIN: 2705-60-1533  
 DB: 017278  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: PARKER, LARRY N  
 PIN: 2705-50-9203  
 DB: 017718  
 EXISTING USE: SINGLE-FAMILY  
 RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: LONG, RANDAL  
 PIN: 2705-50-6134  
 DB: 000574  
 EXISTING USE: SINGLE-FAMILY R  
 EXISTING ZONING: R2

PH. ROBERT E  
 KATHY P  
 52-0074  
 9289  
 SINGLE-FAMILY  
 RESIDENTIAL  
 EXISTING ZONING: R2

DEDICATION OF LAND  
 FOR FIRE STATION  
 87,714 SF  
 2.01 AC

MATCHLINE C2.1  
 MATCHLINE C2.4

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SCALE  
 1" = 60'

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 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED SITE PLAN SHEET 1 OF 4  
 JOB NO.  
 49084  
 SHEET NO.  
 C2.1

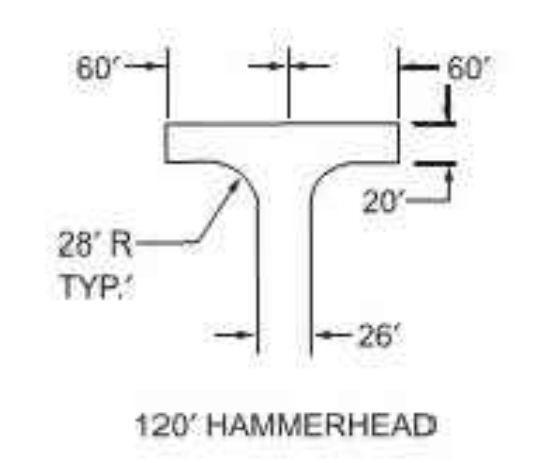
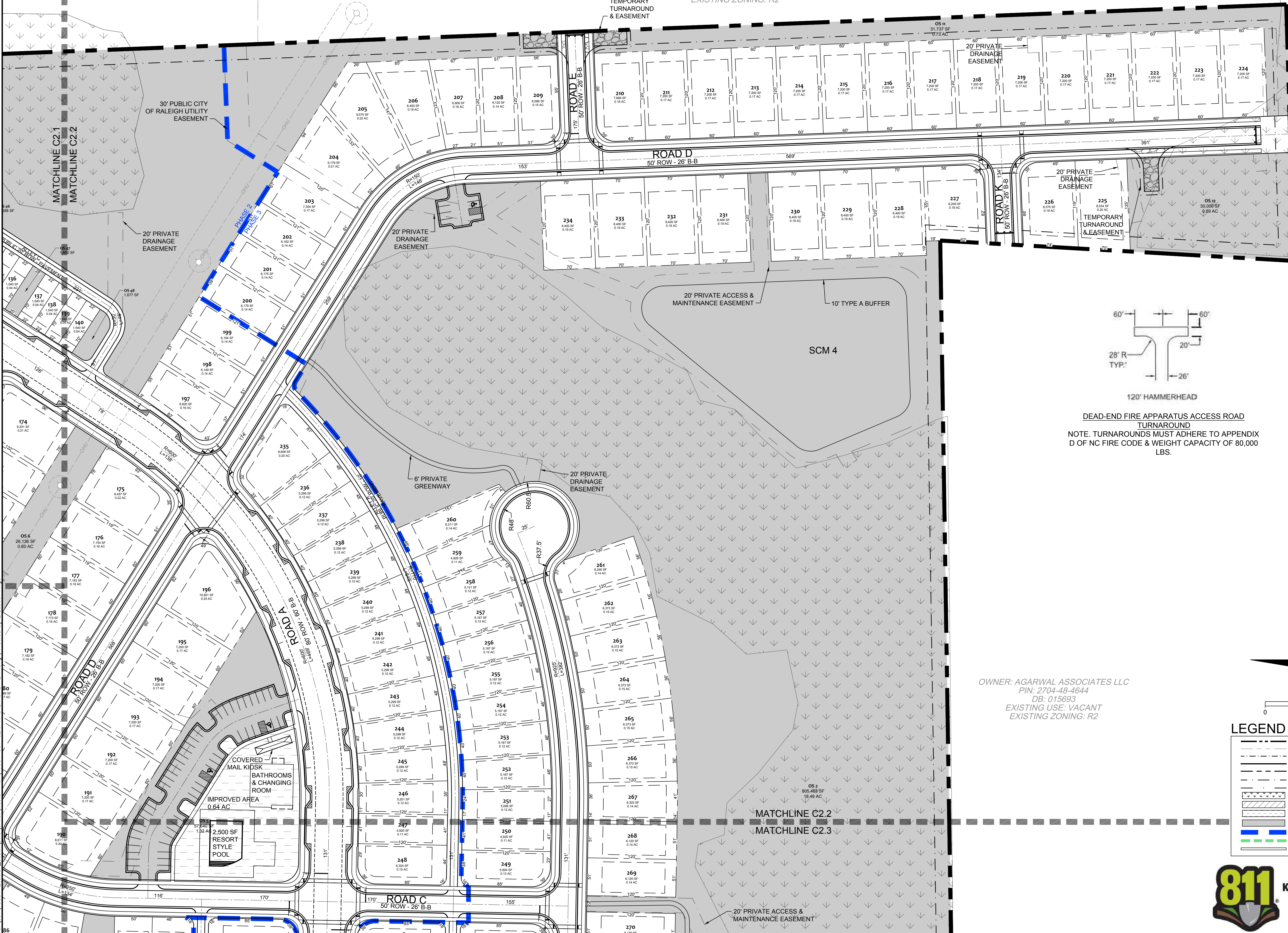
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OWNER: LONG, RANDALL S  
 PIN: 2705-50-6134  
 DB: 000574  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

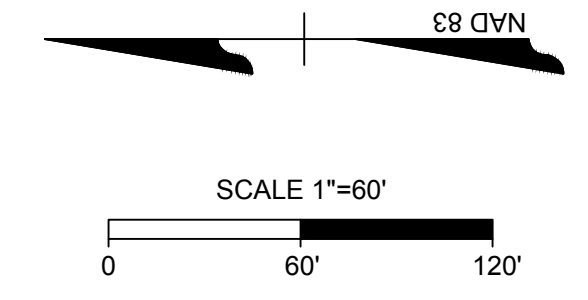
OWNER: PARKER, LARRY N PARKER, TAMMY M  
 PIN: 2704-59-7445  
 DB: 018351  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: PARKER, LARRY N PARKER, TAMMY M  
 PIN: 2704-57-4743  
 DB: 018351  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: AGARWAL ASSOCIATES LLC  
 PIN: 2704-48-4644  
 DB: 015693  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2



DEAD-END FIRE APPARATUS ACCESS ROAD  
 TURNAROUND  
 NOTE: TURNAROUNDS MUST ADHERE TO APPENDIX D OF NC FIRE CODE & WEIGHT CAPACITY OF 80,000 LBS.



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PAVED PRIVATE GREENWAY
	PAVED PRIVATE TRAIL



**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
 DETAILED SITE PLAN SHEET 2 OF 4

DATE	11/09/2023
DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	1" = 60'

YOUR VISION ACHIEVED THROUGH OURS.

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REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

JOB NO. 49084  
 SHEET NO. C2.2

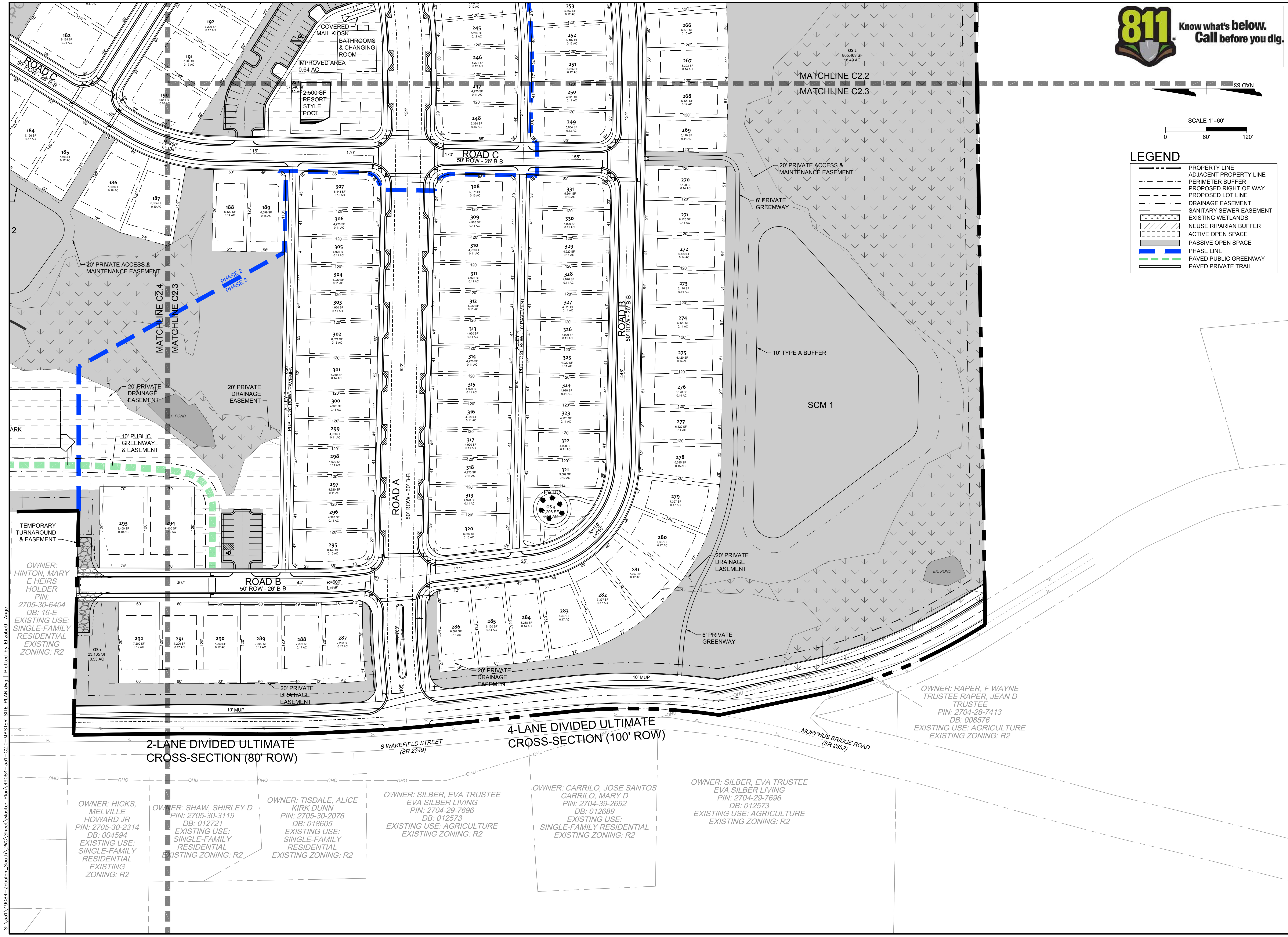
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SCALE 1"=60'  
0 60' 120'

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PAVED PUBLIC GREENWAY
- PAVED PRIVATE TRAIL



OWNER: HINTON, MARY E HEIRS HOLDER  
PIN: 2705-30-6404  
DB: 16-E  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: HICKS, MELVILLE HOWARD JR  
PIN: 2705-30-2314  
DB: 004594  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: SHAW, SHIRLEY D  
PIN: 2705-30-3119  
DB: 012721  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: TISDALE, ALICE KIRK DUNN  
PIN: 2705-30-2076  
DB: 018605  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: SILBER, EVA TRUSTEE EVA SILBER LIVING  
PIN: 2704-29-7696  
DB: 012573  
EXISTING USE: AGRICULTURE  
EXISTING ZONING: R2

OWNER: CARRILO, JOSE SANTOS CARRILO, MARY D  
PIN: 2704-39-2692  
DB: 012689  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: SILBER, EVA TRUSTEE EVA SILBER LIVING  
PIN: 2704-29-7696  
DB: 012573  
EXISTING USE: AGRICULTURE  
EXISTING ZONING: R2

OWNER: RAPER, F WAYNE TRUSTEE RAPER, JEAN D TRUSTEE  
PIN: 2704-28-7413  
DB: 008576  
EXISTING USE: AGRICULTURE  
EXISTING ZONING: R2

# TIMMONS GROUP

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
DETAILED SITE PLAN SHEET 3 OF 4  
NORTH CAROLINA LICENSE NO. C-1652

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DATE	REVISION DESCRIPTION
11/09/2023	

DATE: 11/09/2023  
DRAWN BY: 331  
DESIGNED BY: E. ANGE  
CHECKED BY: B. BLACKMON  
SCALE: 1" = 60'

JOB NO. 49084  
SHEET NO. C2.3

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S:\33149084-Zebulon\_South\DWG\Sheet\Master\Plan\_49084-331-C2.0-MASTER SITE PLAN.dwg | Plotted by Elizabeth Ange



OWNER: VINSON, MARTHA H  
PIN: 2705-41-0911  
DB: 016651  
EXISTING USE: VACANT  
EXISTING ZONING: R4

OWNER: SANTOS, ALEJANDRO WILIBALDO ROSALES  
PIN: 2705-31-5336  
DB: 015231  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: MCCOLLERS, JAMIE  
PIN: 2705-31-6119  
DB: 018030  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: GARCIA, LAURA A REYES, GERARDO REYES  
PIN: 2705-31-6027  
DB: 017794  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

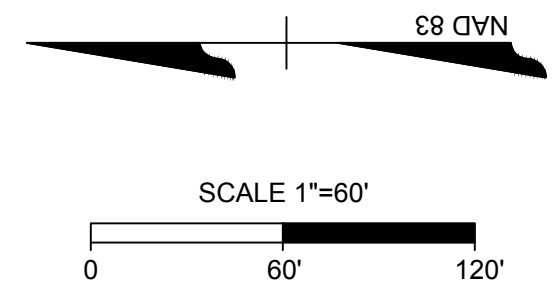
OWNER: CONYERS, BEVERLY A CONYERS, CASSANDRA L  
PIN: 2705-30-6922  
DB: 006099  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: BRADSHAW, BETTIE SUE  
PIN: 2705-30-6724  
DB: 006981  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: STANCIL, L J  
PIN: 2705-30-5694  
DB: 002104  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: BLOUNT, BARBARA ANN  
PIN: 2705-30-5594  
DB: 004961  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: HINTON, MARY E HEIRS HOLDER  
PIN: 2705-30-6404  
DB: 16-E  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PAVED PUBLIC GREENWAY
	PAVED PRIVATE TRAIL



**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
DETAILED SITE PLAN SHEET 4 OF 4

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DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	1" = 60'

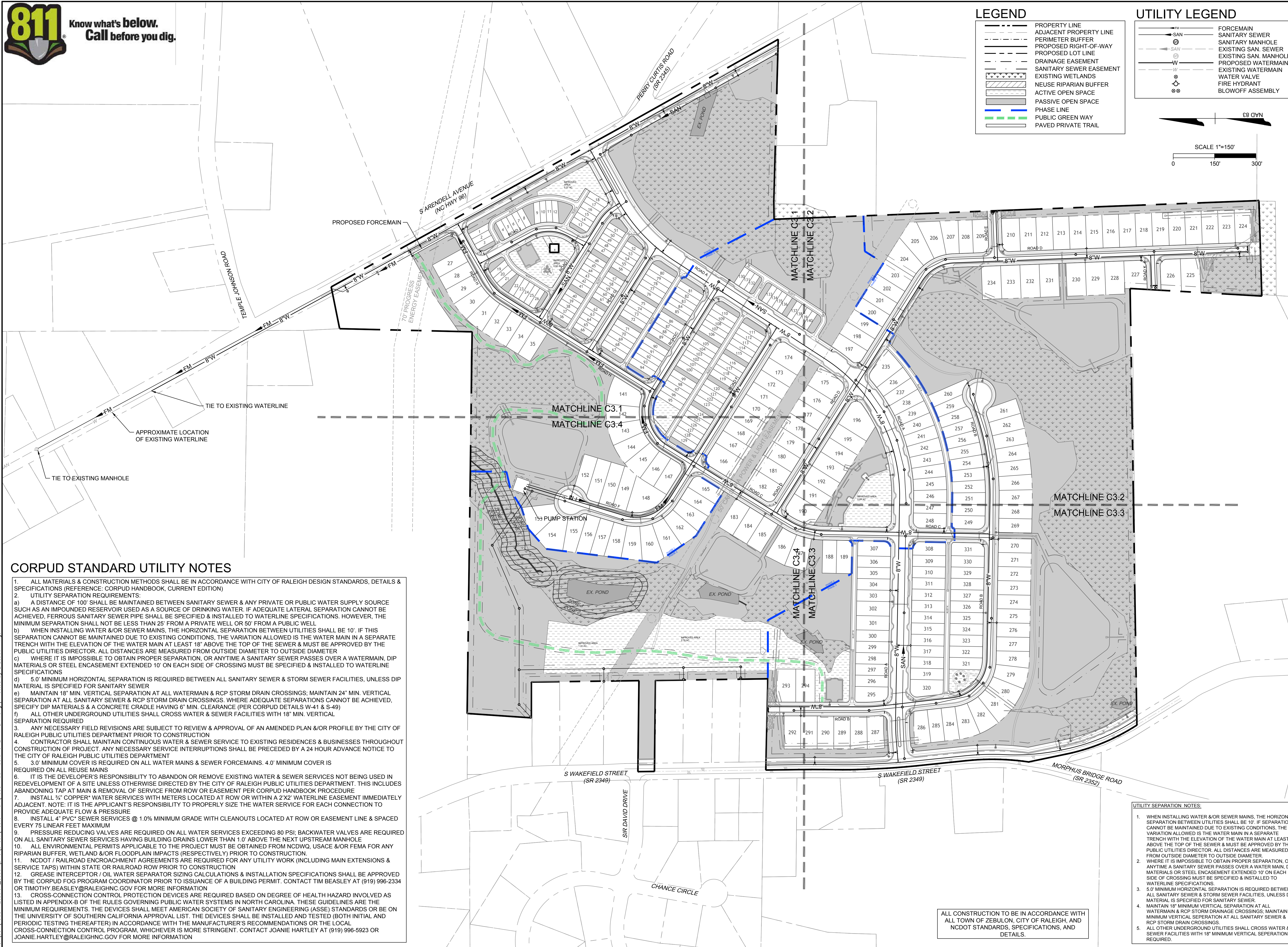
REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

JOB NO. 49084  
SHEET NO. C2.4

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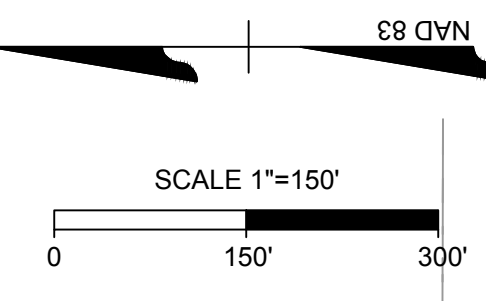


**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - NEUSE RIPARIAN BUFFER
- - - ACTIVE OPEN SPACE
- - - PASSIVE OPEN SPACE
- - - PHASE LINE
- - - PUBLIC GREEN WAY
- - - PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- FM FORCEMAIN
- SS SANITARY SEWER
- SM SANITARY MANHOLE
- ESW EXISTING SAN. SEWER
- EM EXISTING SAN. MANHOLE
- PM PROPOSED WATERMAIN
- EW EXISTING WATERMAIN
- WV WATER VALVE
- FH FIRE HYDRANT
- BA BLOWOFF ASSEMBLY



**CORPUD STANDARD UTILITY NOTES**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

- UTILITY SEPARATION NOTES:**
1. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  2. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  3. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  4. MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAINAGE CROSSINGS; MAINTAIN 24" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS.
  5. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, CITY OF RALEIGH, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

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DATE  
 11/09/2023

DRAWN BY  
 331

DESIGNED BY  
 E. ANGE

CHECKED BY  
 B. BLACKMON

SCALE  
 1" = 150'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

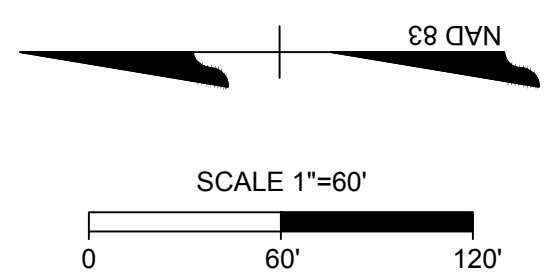
OVERALL UTILITY PLAN

JOB NO.  
 49084

SHEET NO.  
 C3.0

REVISION DESCRIPTION	DATE





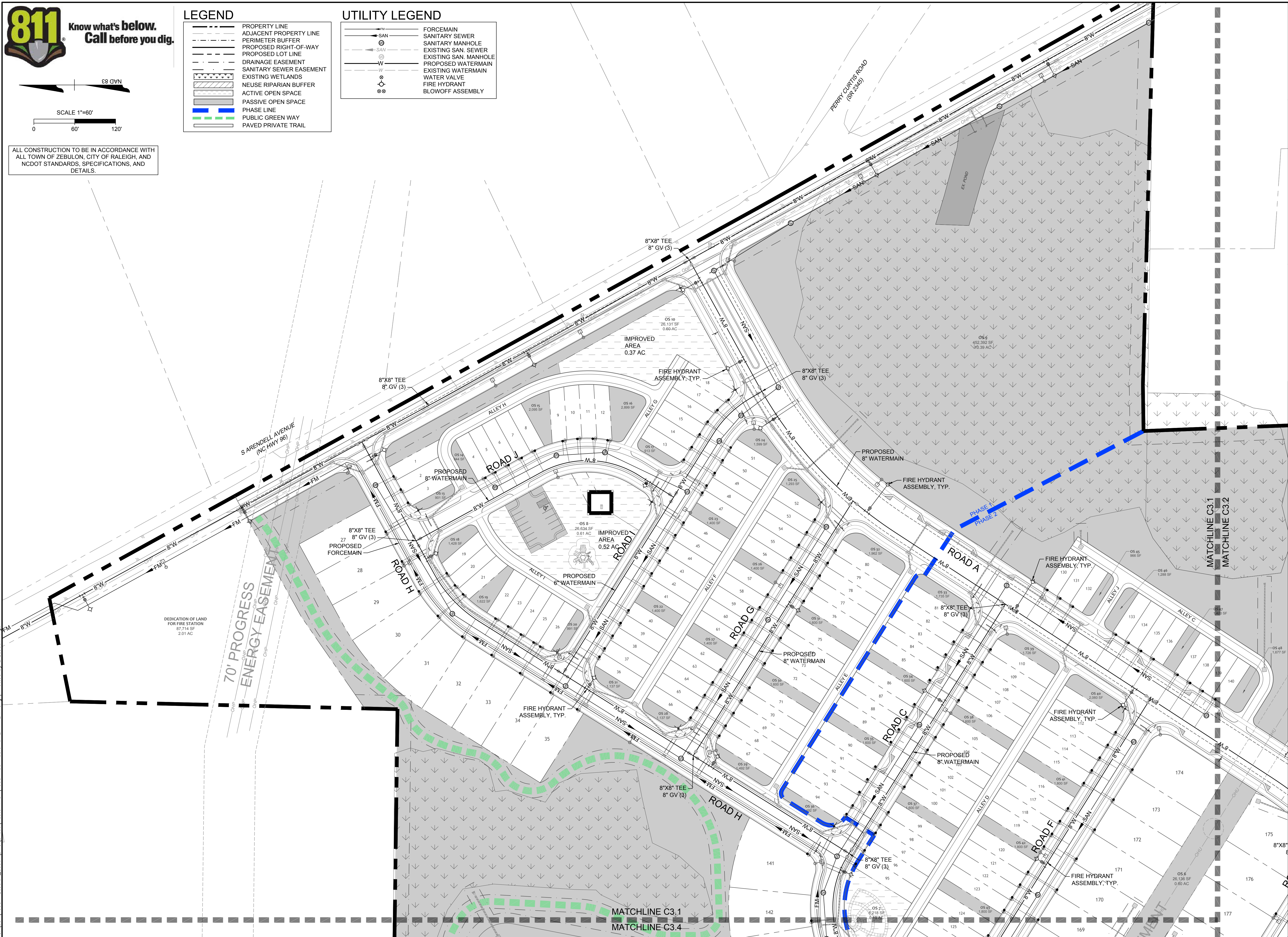
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

**UTILITY LEGEND**

	FORCEMAIN
	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY



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DATE	11/09/2023
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CHECKED BY	B. BLACKMON
SCALE	1" = 60'

**TIMMONS GROUP**

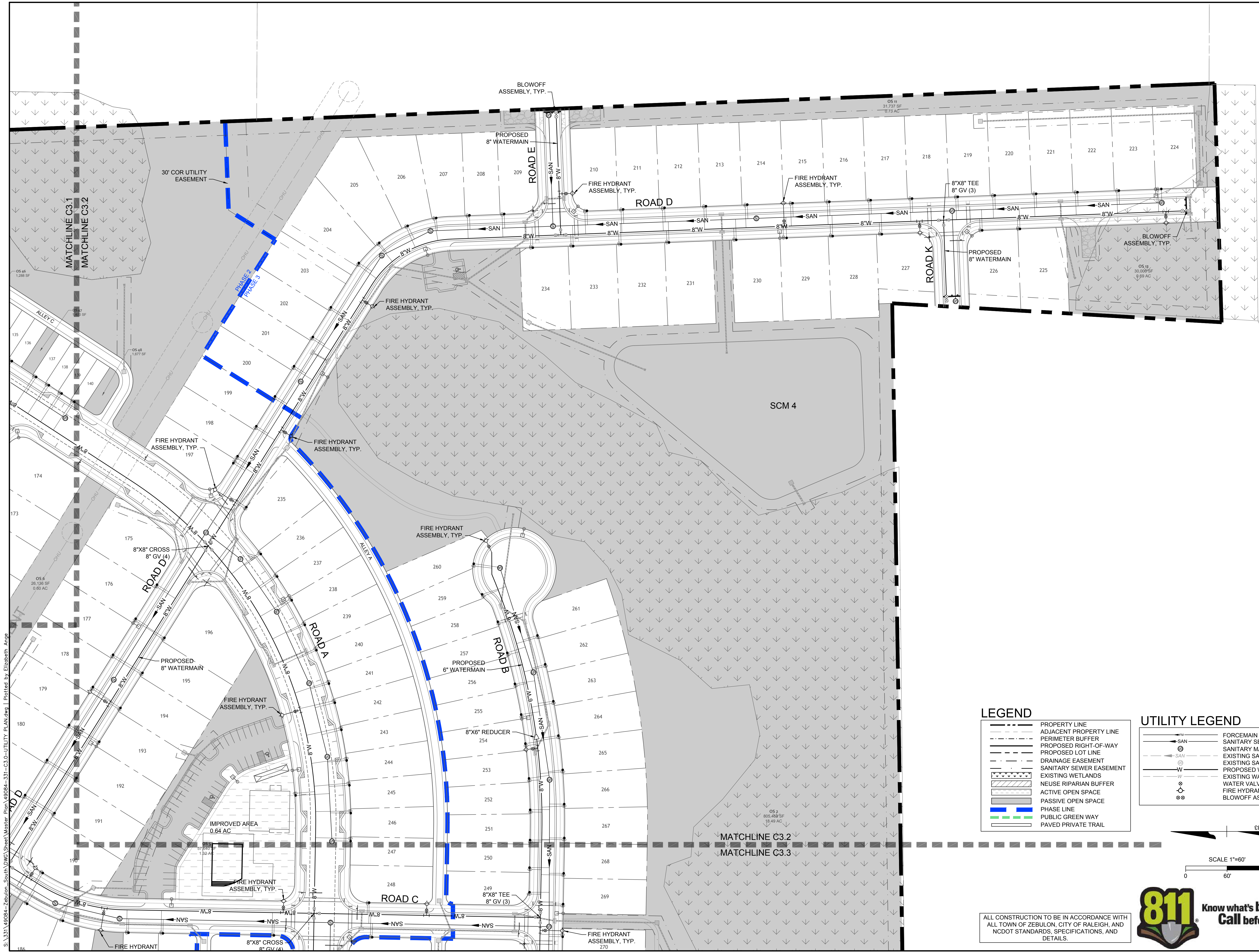
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED UTILITY PLAN SHEET 1 OF 4**

JOB NO.	49084
SHEET NO.	C3.1

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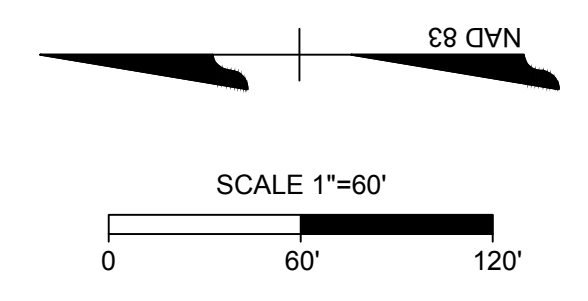


**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- SAN — FORCEMAIN SEWER
- ⊙ SAN — SANITARY SEWER
- ⊙ SAN — SANITARY MANHOLE
- ⊙ SAN — EXISTING SAN. SEWER
- ⊙ SAN — EXISTING SAN. MANHOLE
- W — PROPOSED WATERMAIN
- W — EXISTING WATERMAIN
- ⊙ — WATER VALVE
- ⊙ — FIRE HYDRANT
- ⊙ — BLOWOFF ASSEMBLY



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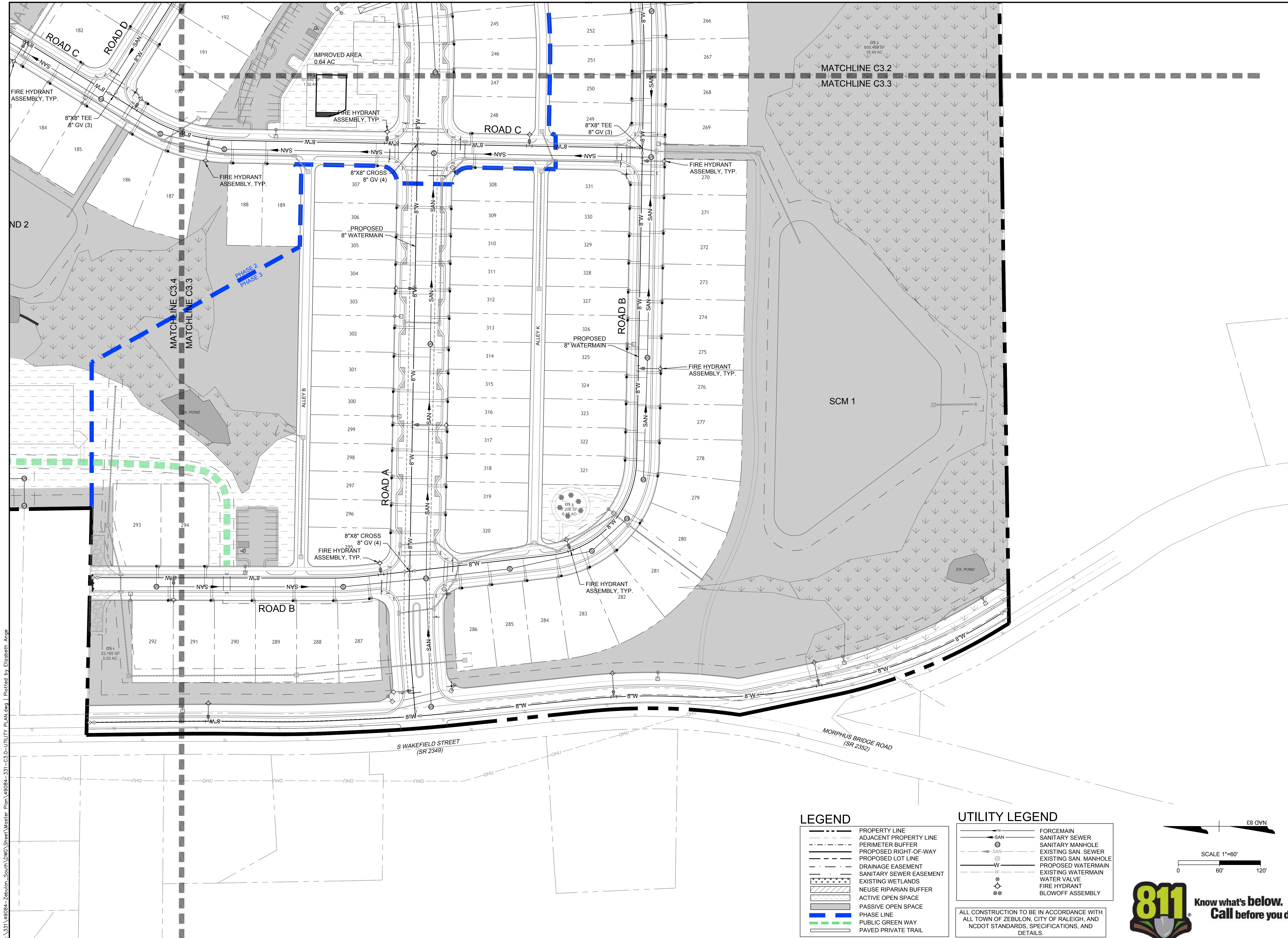
DRAWN BY: 331  
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 NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
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 DETAILED UTILITY PLAN SHEET 2 OF 4

JOB NO.: 49084  
 SHEET NO.: C3.2

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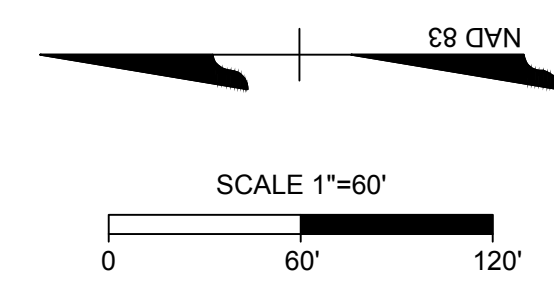
**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- SAN FORCEMAIN
- SANITARY SEWER
- SANITARY MANHOLE
- EXISTING SAN. SEWER
- EXISTING SAN. MANHOLE
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- WATER VALVE
- FIRE HYDRANT
- BLOWOFF ASSEMBLY

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ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
 DETAILED UTILITY PLAN SHEET 3 OF 4

JOB NO.  
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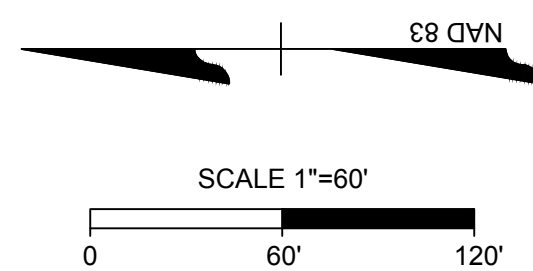
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S:\331\49084-Zebulon\_South DMG Sheet Master Plan 49084-331-C3.C-UTILITY PLAN.dwg | Plotted by Elizabeth Ange



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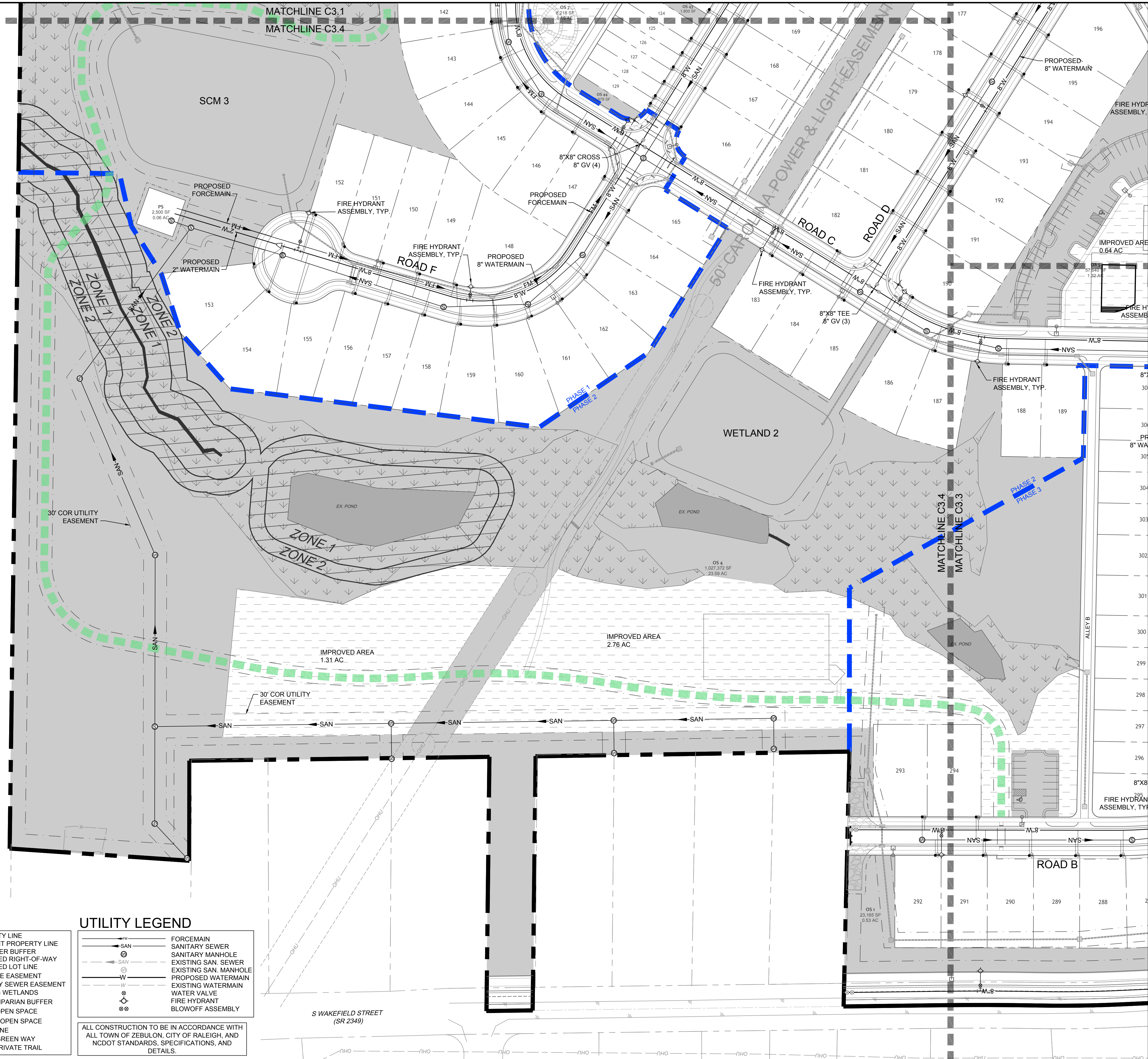
**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- FM --- FORCEMAIN
- SAN --- SANITARY SEWER
- SANITARY MANHOLE
- EXISTING SAN. SEWER
- EXISTING SAN. MANHOLE
- W --- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- WATER VALVE
- FIRE HYDRANT
- BLOWOFF ASSEMBLY

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DETAILED UTILITY PLAN SHEET 4 OF 4

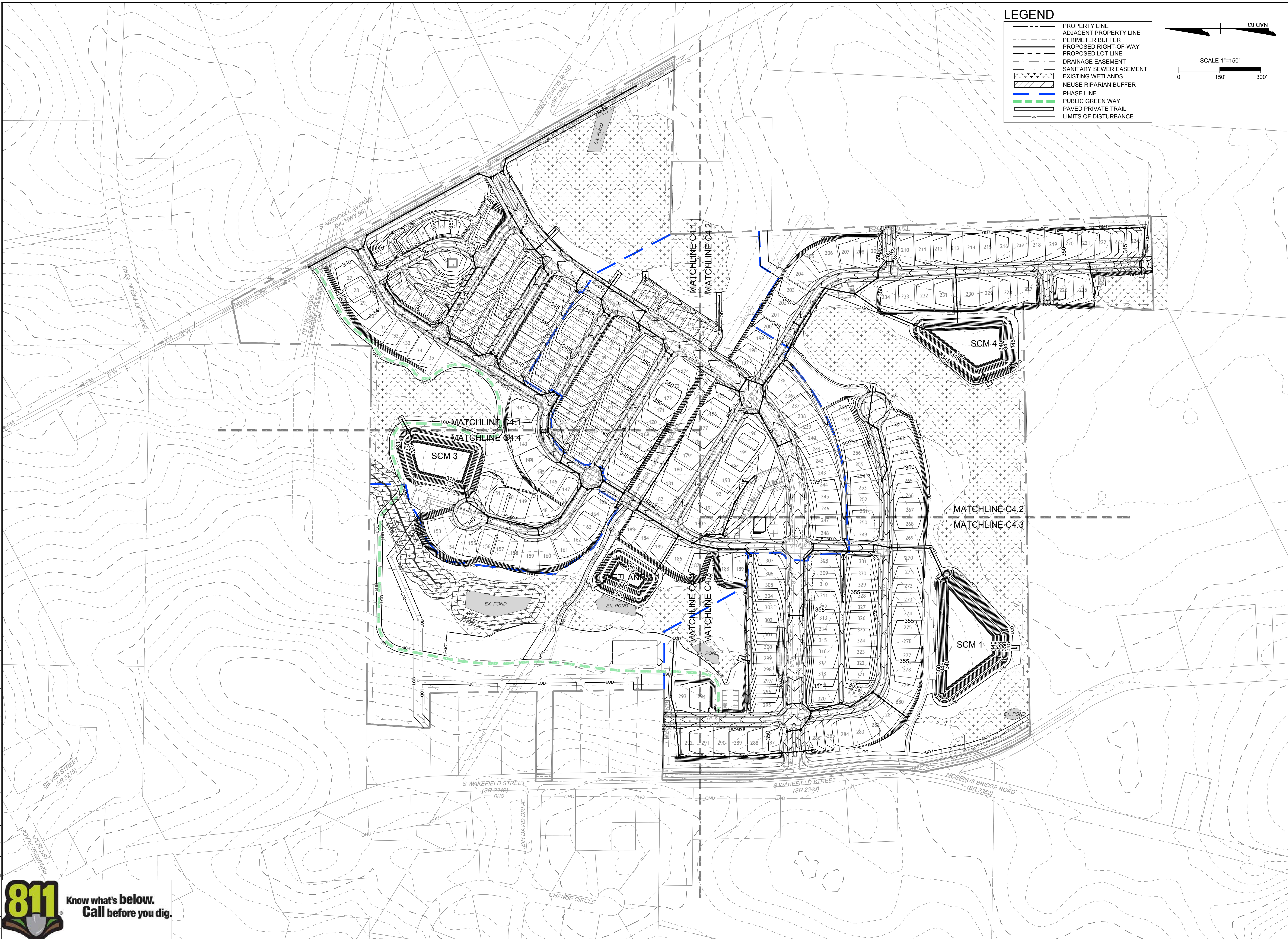
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S:\3149084-Zebulon\_South DMC Sheet Master Plan 49084-331-C4.0-STRM.dwg | Plotted by Elizabeth Ange

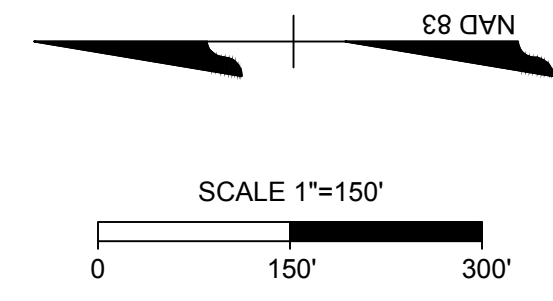


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**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- ▨ NEUSE RIPARIAN BUFFER
- ▨ PHASE LINE
- ▨ PUBLIC GREEN WAY
- ▨ PAVED PRIVATE TRAIL
- LIMITS OF DISTURBANCE



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CHECKED BY  
B. BLACKMON

SCALE  
1" = 150'

REVISION DESCRIPTION

# TIMMONS GROUP

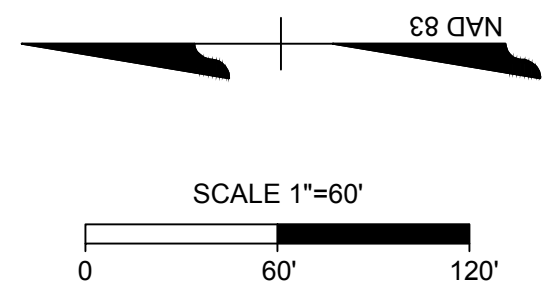
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

## OVERAL GRADING & DRAINAGE PLAN

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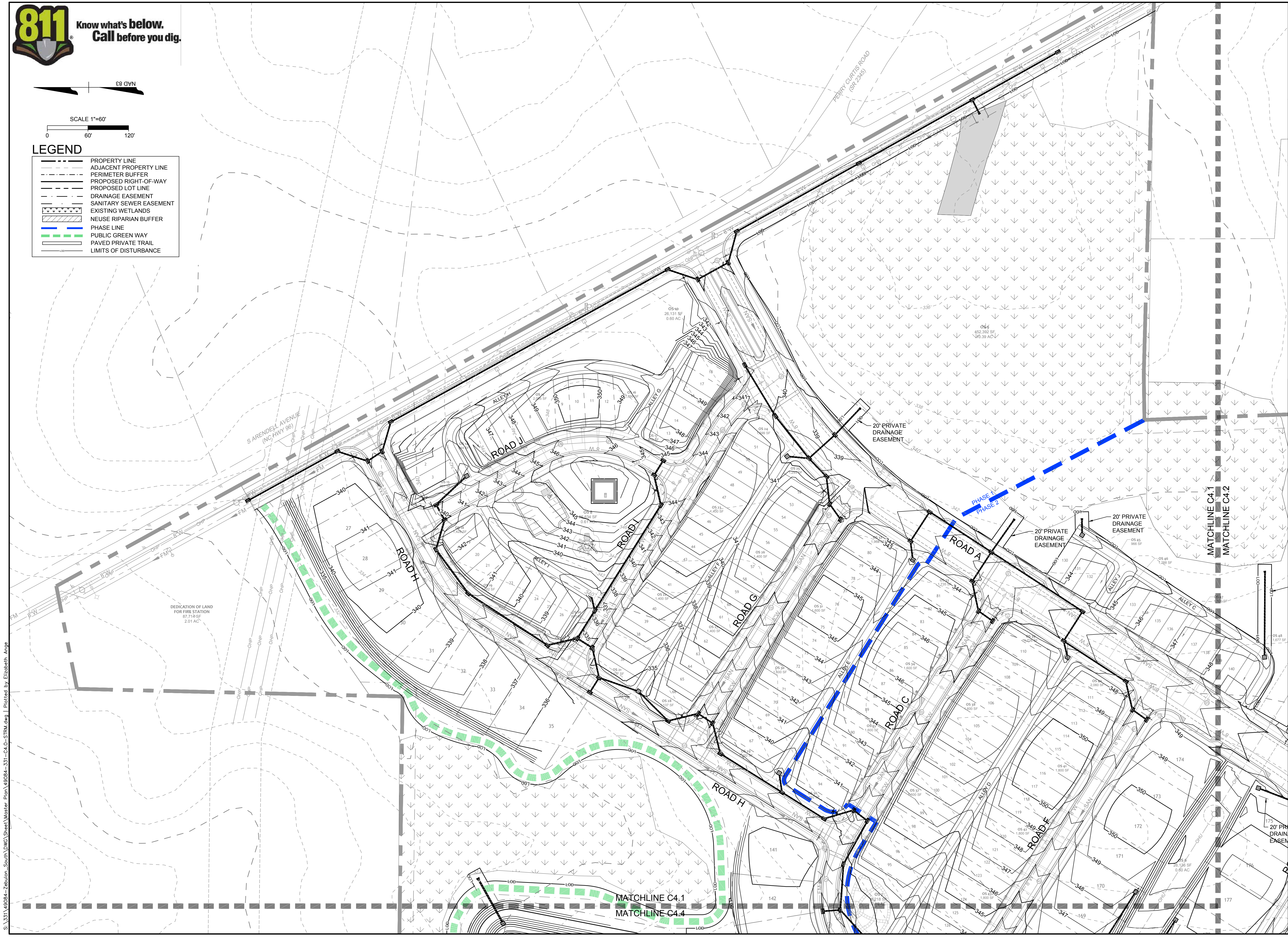
JOB NO.  
49084

SHEET NO.  
C4.0



**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PHASE LINE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL
- LIMITS OF DISTURBANCE



S:\331\49084-Zebulon\_South DMC Street Master Plan\_49084-331-C4.1-STRM.dwg | Plotted by Elizabeth Ange

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DATE	REVISION DESCRIPTION

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

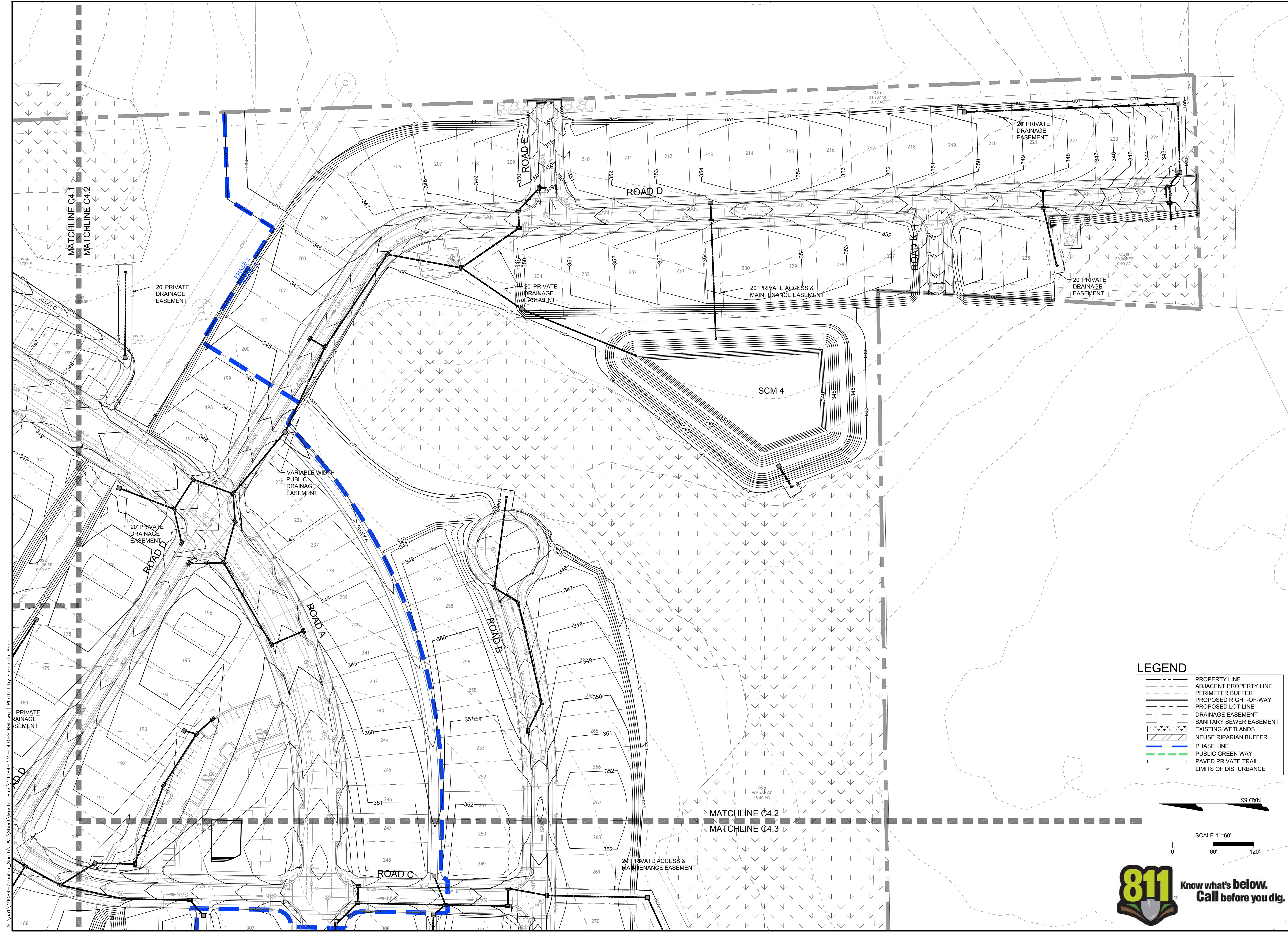
**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED GRADING & DRAINAGE PLAN SHEET 1 OF 4**

JOB NO.  
**49084**

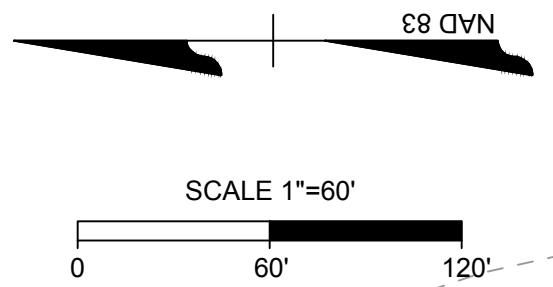
SHEET NO.  
**C4.1**

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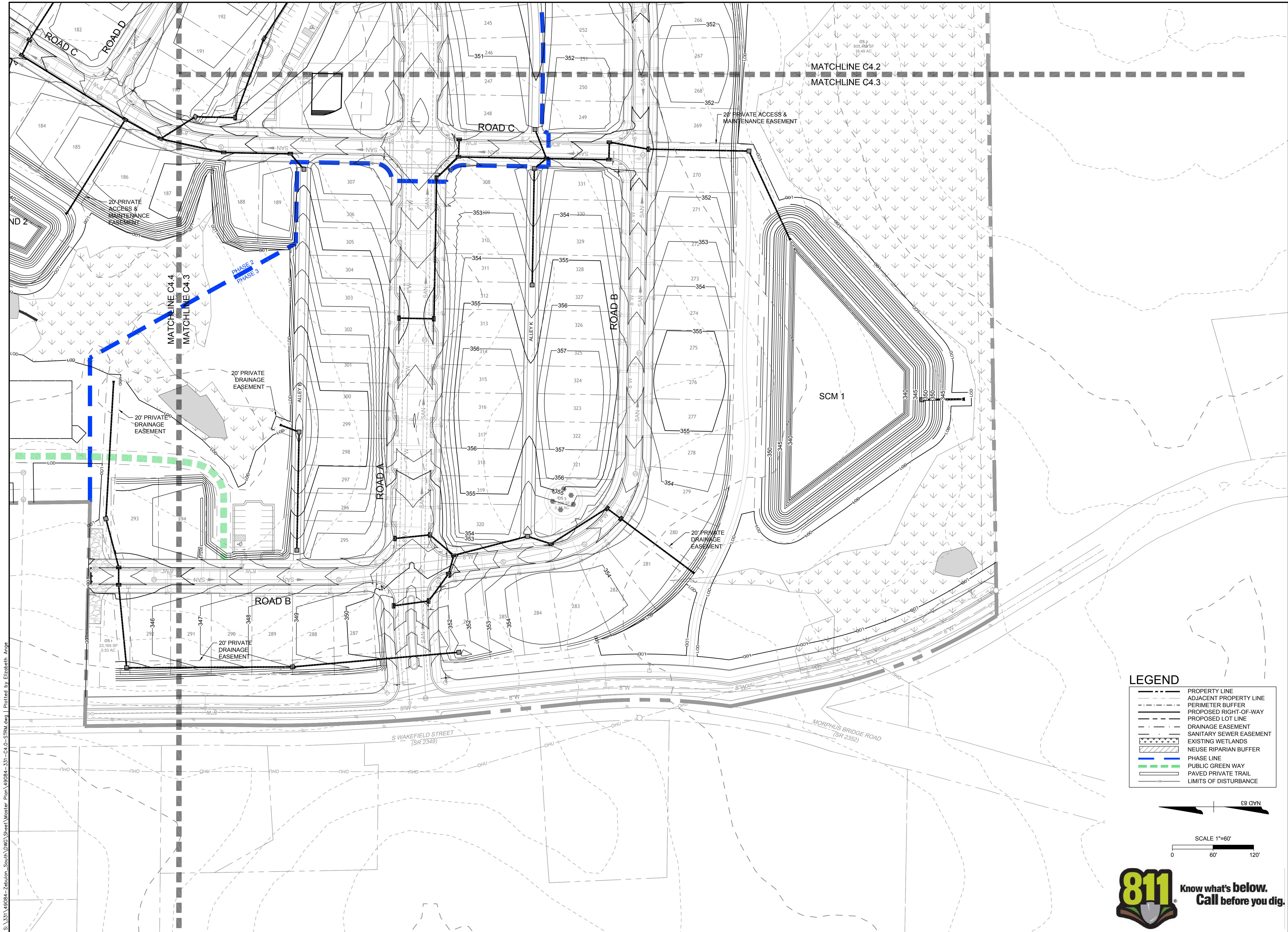
**LEGEND**

[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	PERIMETER BUFFER
[Symbol]	PROPOSED RIGHT-OF-WAY
[Symbol]	PROPOSED LOT LINE
[Symbol]	DRAINAGE EASEMENT
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	EXISTING WETLANDS
[Symbol]	NEUSE RIPARIAN BUFFER
[Symbol]	PHASE LINE
[Symbol]	PUBLIC GREEN WAY
[Symbol]	PAVED PRIVATE TRAIL
[Symbol]	LIMITS OF DISTURBANCE



S:\331\49084-Zebulon\_South DMC Sheet Master Plan 49084-331-C4.0-STRM.dwg | Plotted by Elizabeth Ange

	<p><b>ZEBULON SOUTH</b>          751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA</p>
<p><b>DETAILED GRADING &amp; DRAINAGE PLAN SHEET 2 OF 4</b></p>	
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<p>NORTH CAROLINA LICENSE NO. C-1652</p>	<p>REVISION DESCRIPTION</p>
<p>DATE</p>	<p>DATE</p>
<p>11/09/2023</p>	<p>331</p>
<p>DRAWN BY</p>	<p>DESIGNED BY</p>
<p>E. ANGE</p>	<p>CHECKED BY</p>
<p>B. BLACKMON</p>	<p>SCALE</p>
<p>1" = 60'</p>	<p>JOB NO.</p>
<p>49084</p>	<p>SHEET NO.</p>
<p>C4.2</p>	<p>These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.</p>



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DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 60'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**DETAILED GRADING & DRAINAGE PLAN SHEET 3 OF 4**

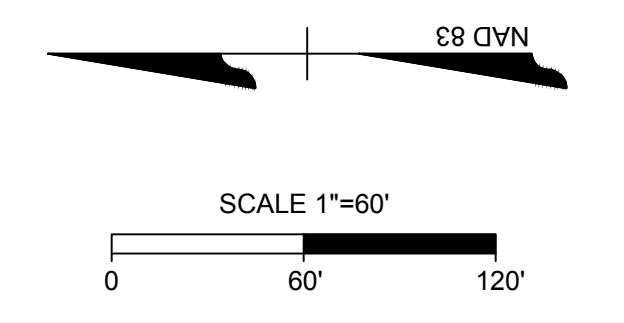
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49084

SHEET NO.  
C4.3

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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL
	LIMITS OF DISTURBANCE

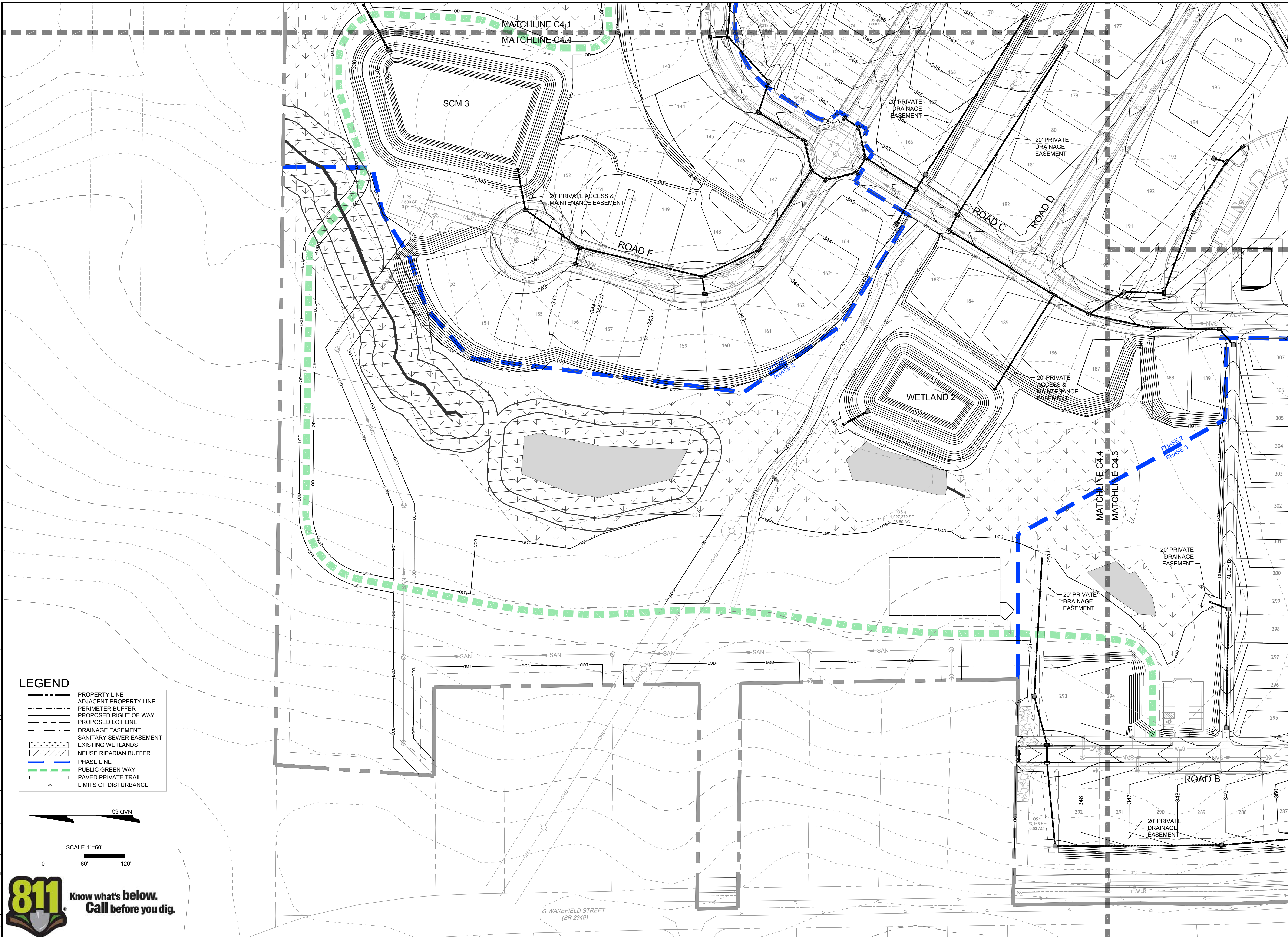
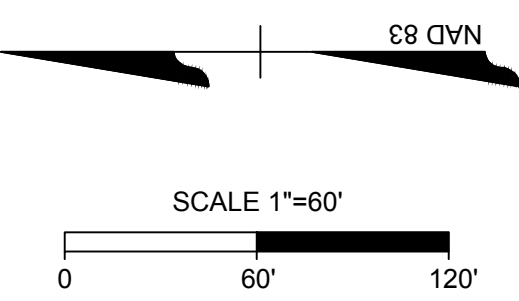




S:\331\49084-Zebulon\_South DMC Sheet Master Plan\_49084-331-C4.C-STRM.dwg | Plotted by Elizabeth Ange

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
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	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL
	LIMITS OF DISTURBANCE



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NORTH CAROLINA LICENSE NO. C-1652

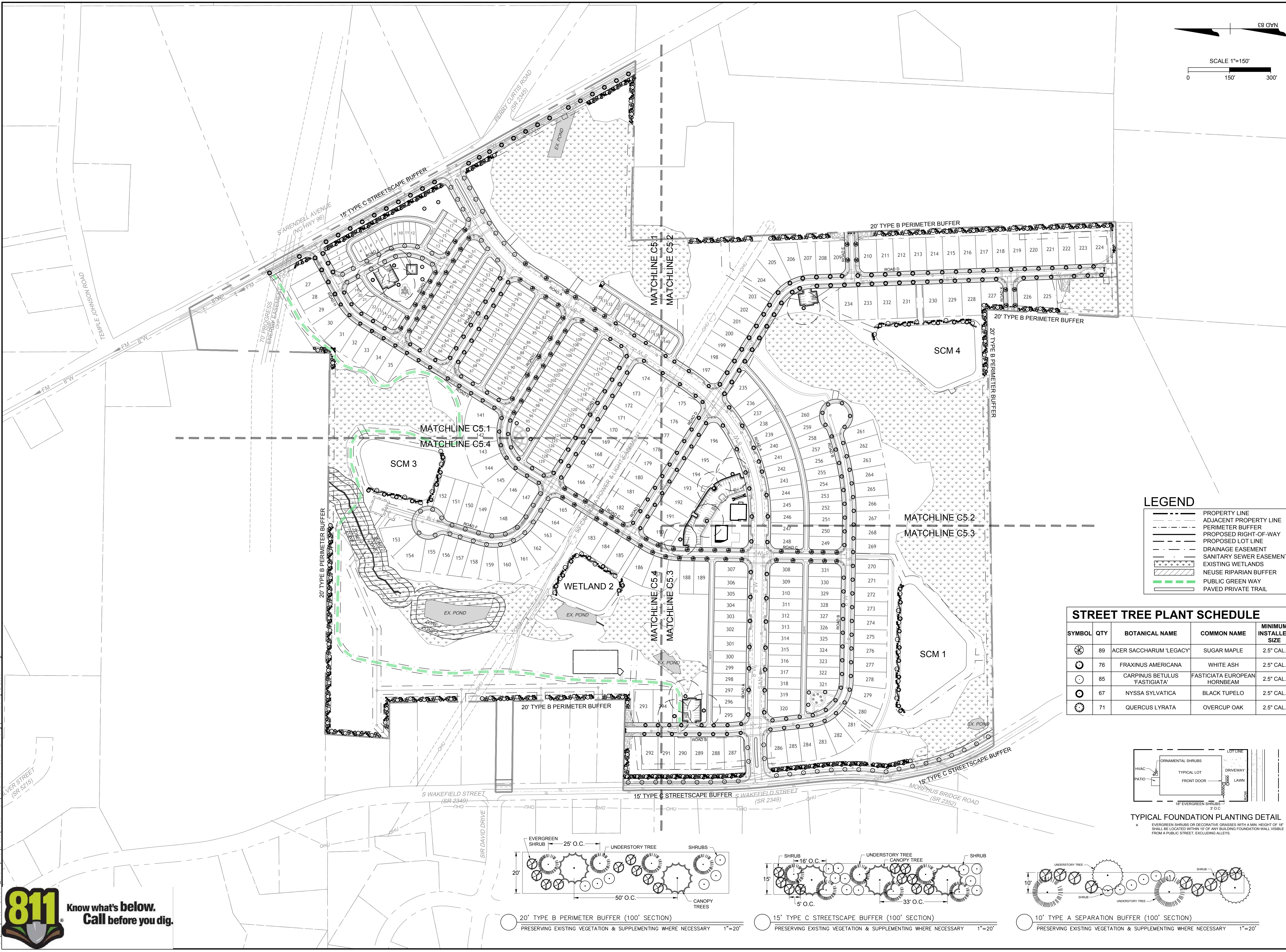
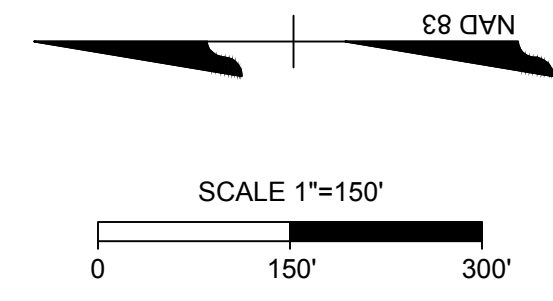
**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED GRADING & DRAINAGE PLAN SHEET 4 OF 4**

JOB NO.  
**49084**

SHEET NO.  
**C4.4**

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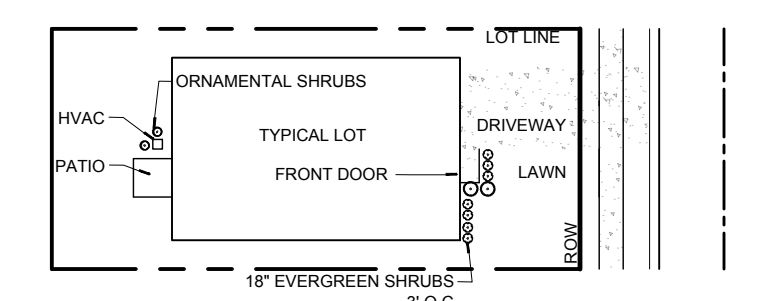


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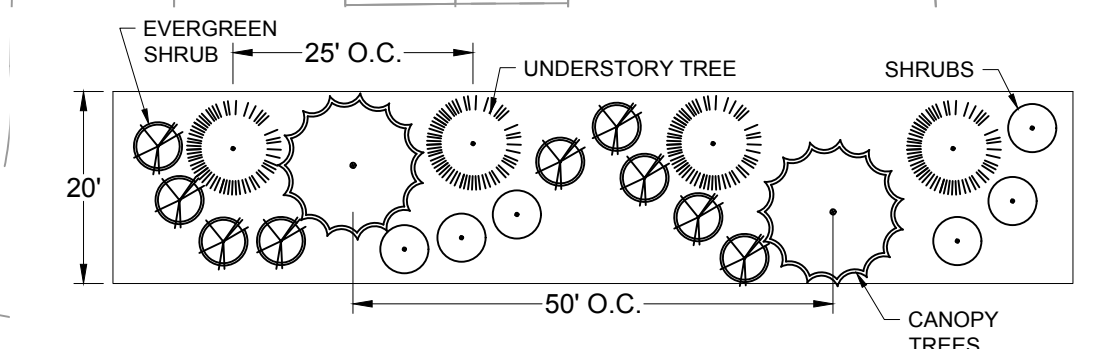
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**STREET TREE PLANT SCHEDULE**

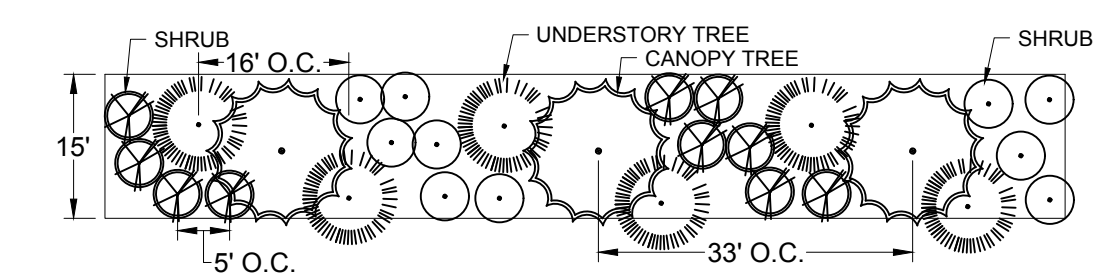
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE
	89	ACER SACCHARUM 'LEGACY'	SUGAR MAPLE	2.5" CAL.
	76	FRAXINUS AMERICANA	WHITE ASH	2.5" CAL.
	85	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATA EUROPEAN HORNBEAM	2.5" CAL.
	67	NYSSA SYLVATICA	BLACK TUPELO	2.5" CAL.
	71	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL.



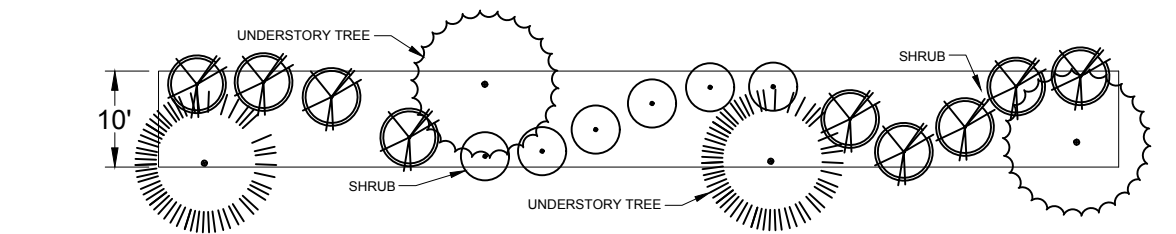
**TYPICAL FOUNDATION PLANTING DETAIL**  
 EVERGREEN SHRUBS OR DECORATIVE GRASSES WITH A MIN. HEIGHT OF 18" SHALL BE LOCATED WITHIN 10' OF ANY BUILDING FOUNDATION WALL VISIBLE FROM A PUBLIC STREET, EXCLUDING ALLEYS.



20' TYPE B PERIMETER BUFFER (100' SECTION)  
 PRESERVING EXISTING VEGETATION & SUPPLEMENTING WHERE NECESSARY 1"=20'



15' TYPE C STREETSCAPE BUFFER (100' SECTION)  
 PRESERVING EXISTING VEGETATION & SUPPLEMENTING WHERE NECESSARY 1"=20'



10' TYPE A SEPARATION BUFFER (100' SECTION)  
 PRESERVING EXISTING VEGETATION & SUPPLEMENTING WHERE NECESSARY 1"=20'

S:\31\49084-Zebulon\_South DMC Sheet Master Plan 49084-331-C5-C-PLNT.dwg | Plotted by Elizabeth Ange



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH

751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

OVERALL LANDSCAPE PLAN

JOB NO. 49084

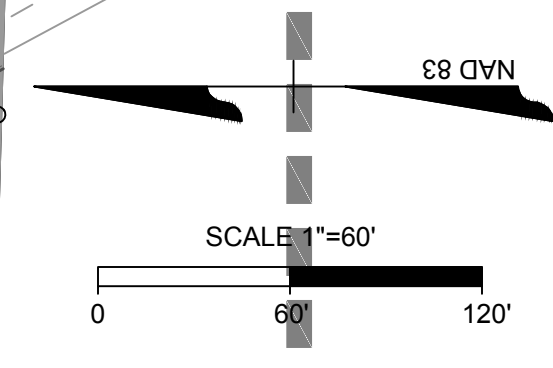
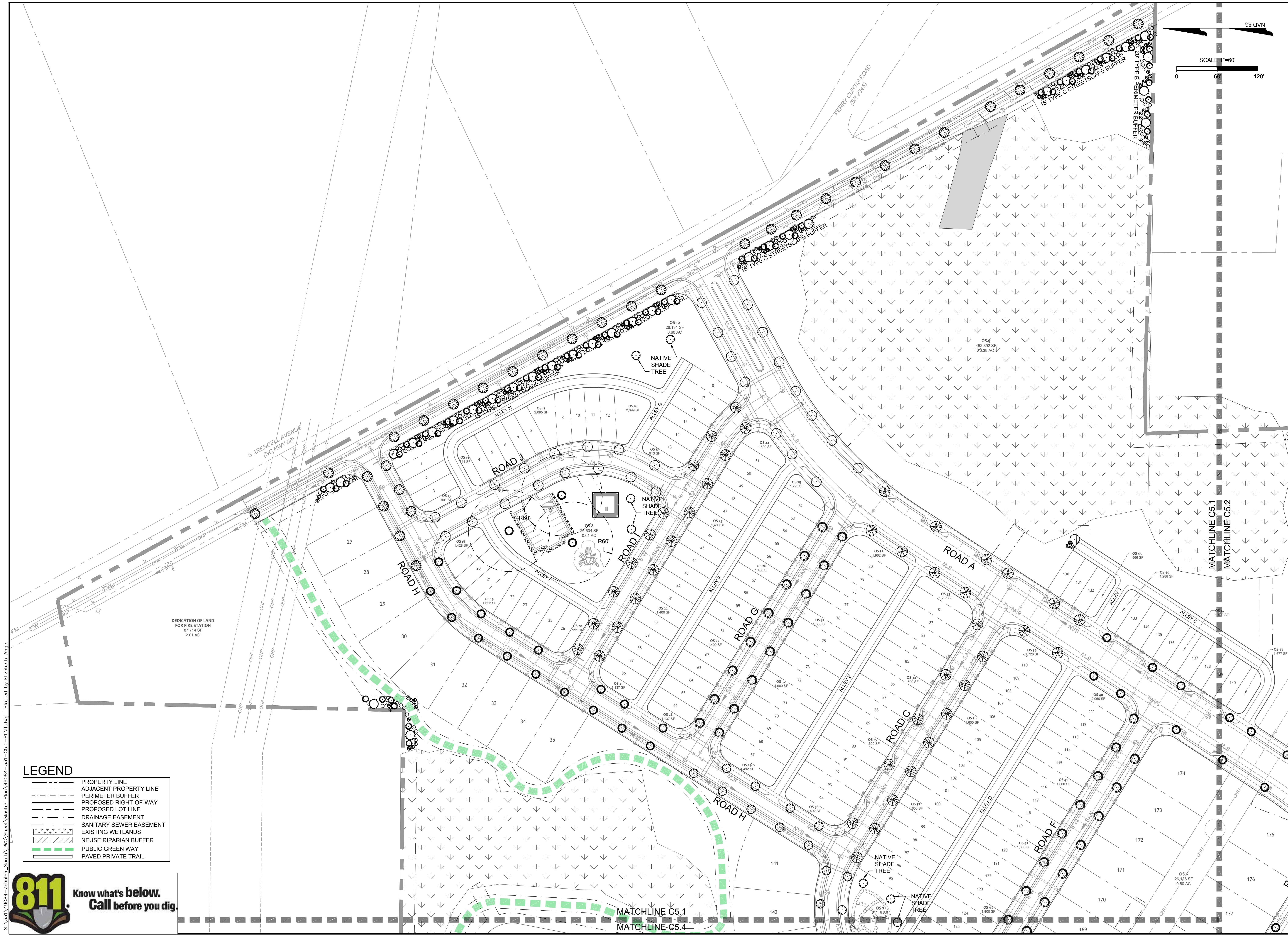
SHEET NO. C5.0

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DATE	REVISION DESCRIPTION
11/09/2023	
331	
E. ANGE	
B. BLACKMON	
SCALE 1" = 150'	

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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

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DATE	REVISION DESCRIPTION
11/09/2023	331

DESIGNED BY  
**E. ANGE**

CHECKED BY  
**B. BLACKMON**

SCALE  
**1" = 60'**

**TIMMONS GROUP**

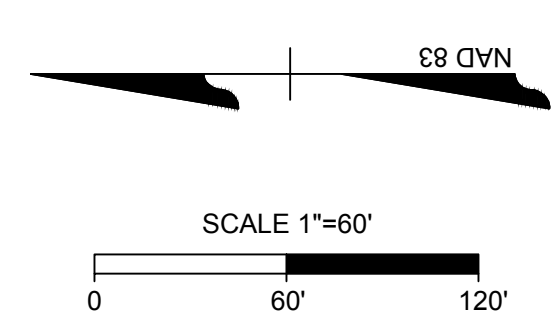
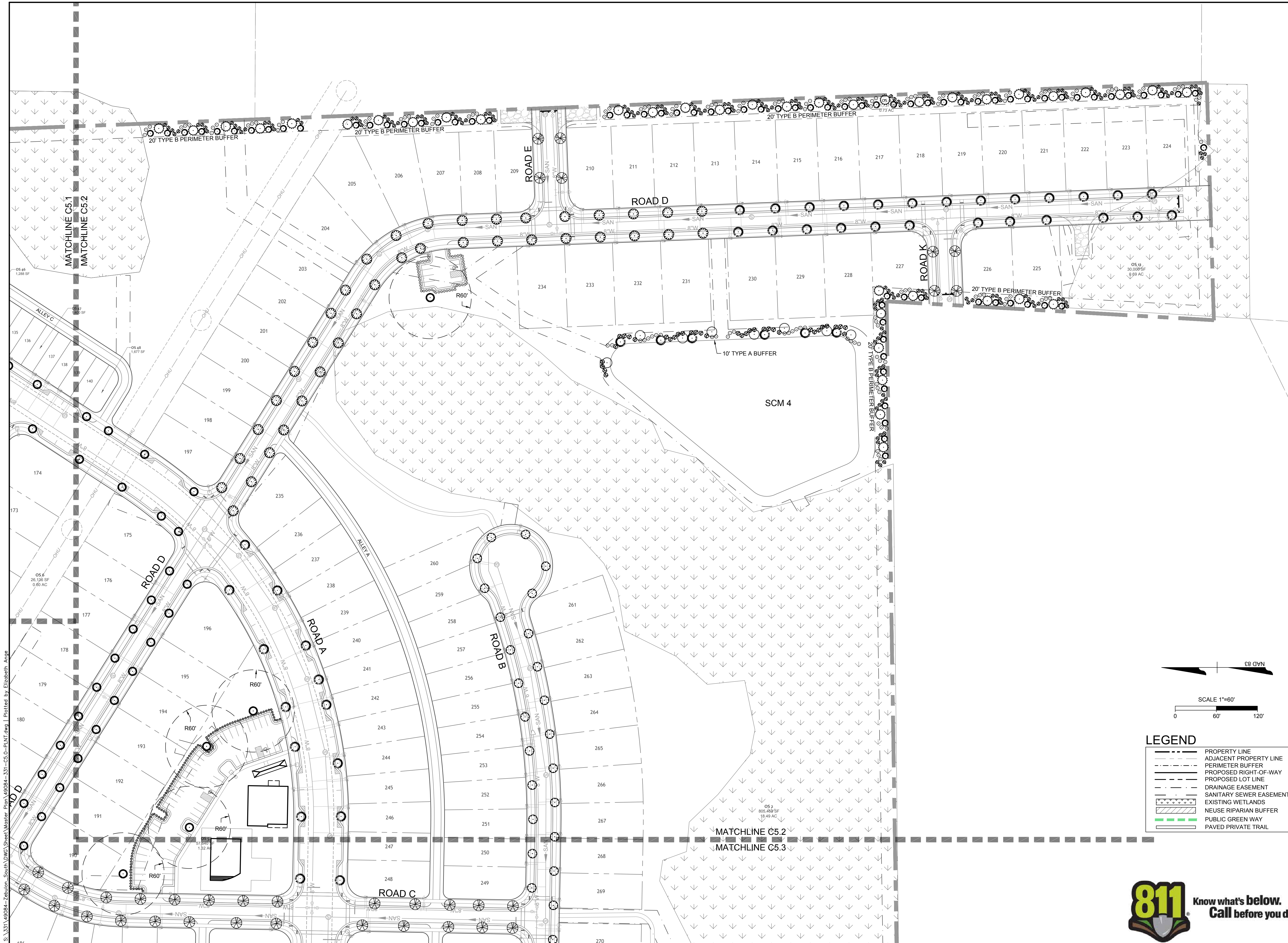
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED LANDSCAPE PLAN SHEET 1 OF 4**

JOB NO.	49084
SHEET NO.	C5.1

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	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



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DATE

11/09/2023

DRAWN BY

331

DESIGNED BY

E. ANGE

CHECKED BY

B. BLACKMON

SCALE

1" = 60'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH

751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

JOB NO.

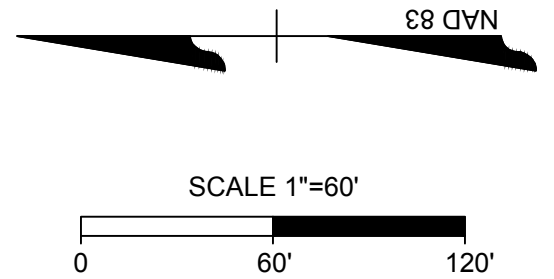
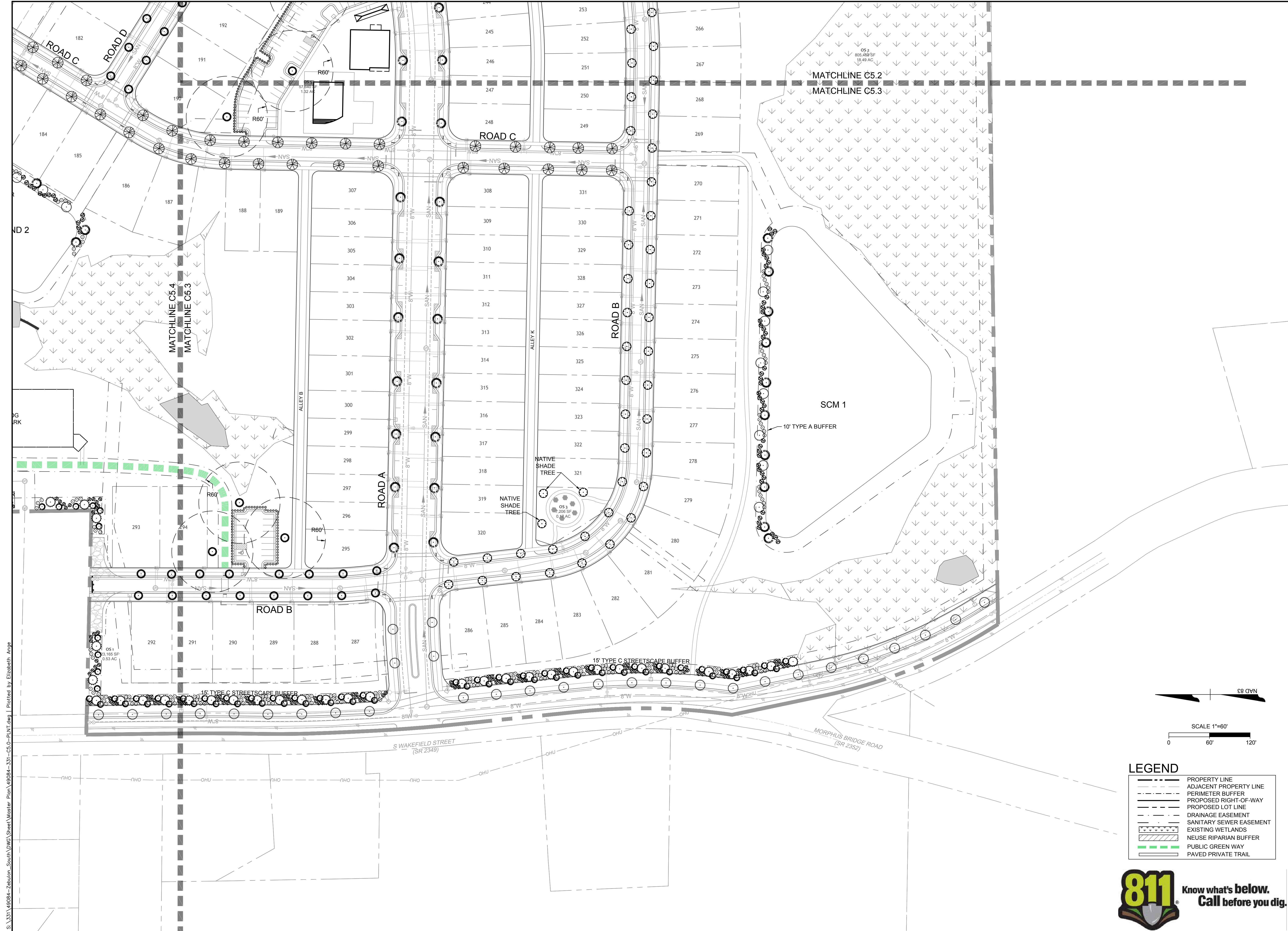
49084

SHEET NO.

C5.2

DETAILED LANDSCAPE PLAN SHEET 2 OF 4

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**LEGEND**

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	PERIMETER BUFFER
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	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



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REVISION DESCRIPTION	
DATE	
11/09/2023	
DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	1" = 60'

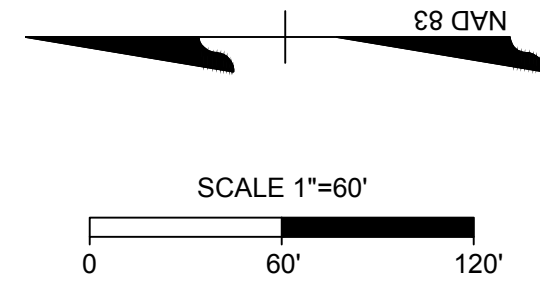
**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652  
 ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
 DETAILED LANDSCAPE PLAN SHEET 3 OF 4

JOB NO.  
**49084**  
 SHEET NO.  
**C5.3**

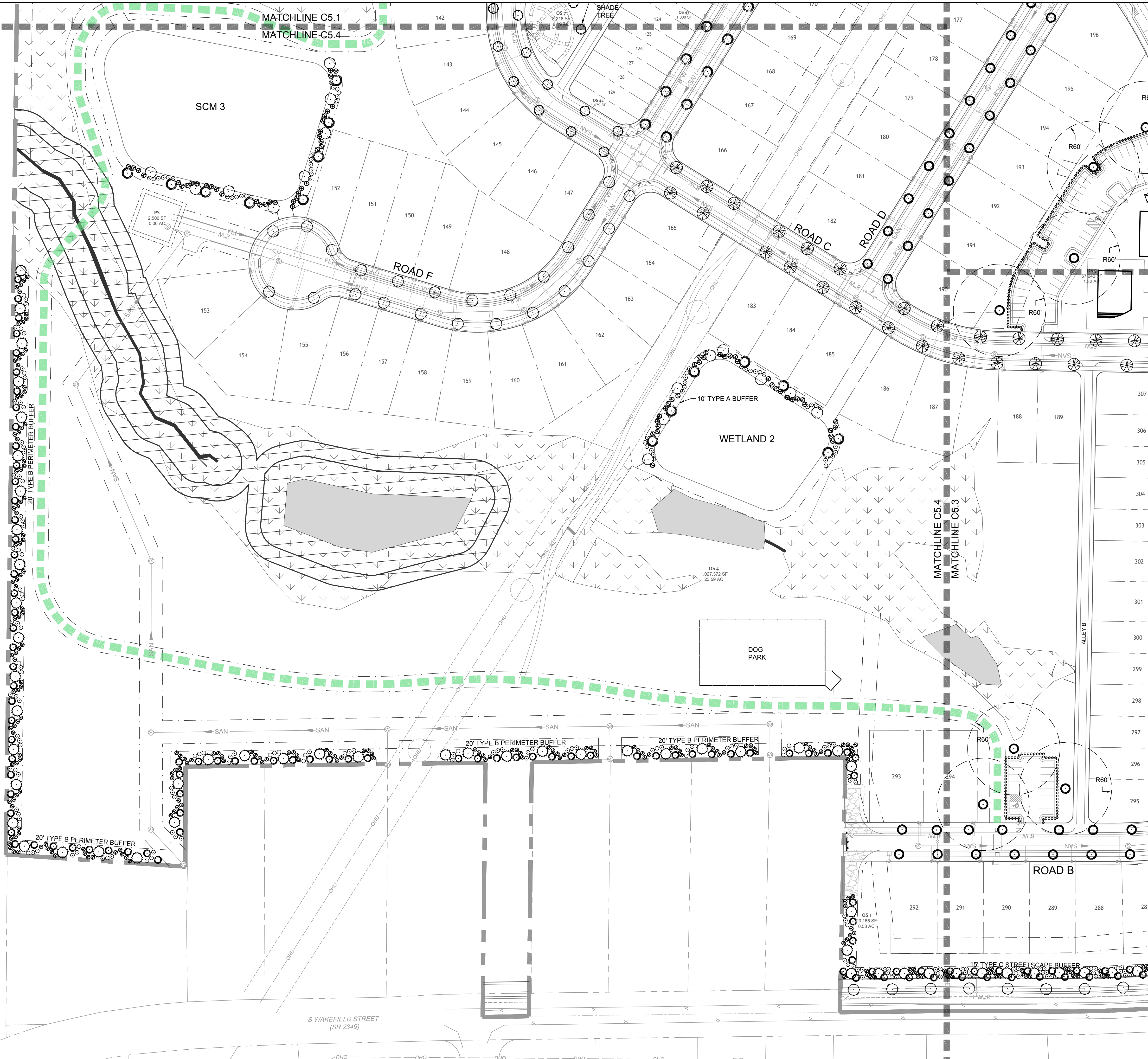
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**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL



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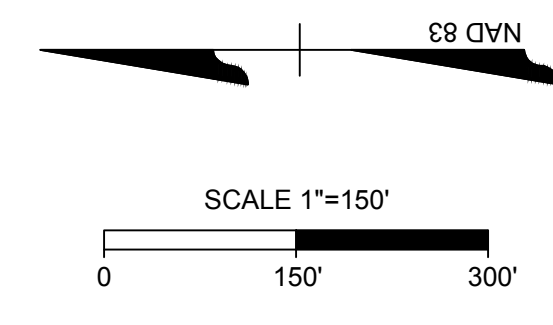
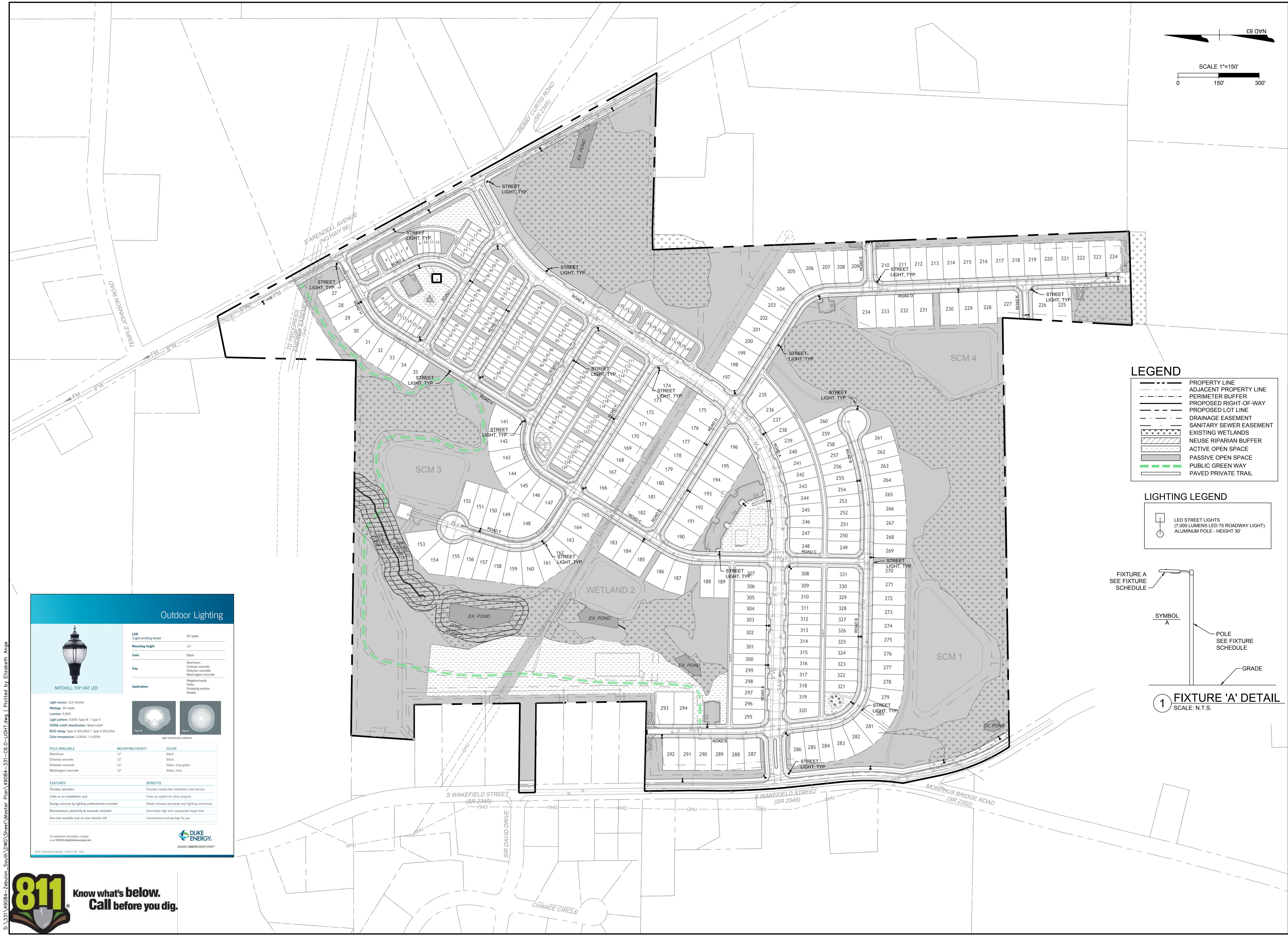
DATE	REVISION DESCRIPTION
11/09/2023	

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**DETAILED LANDSCAPE PLAN SHEET 4 OF 4**

JOB NO. <b>49084</b>	DATE 11/09/2023
SHEET NO. <b>C5.4</b>	DRAWN BY 331
	DESIGNED BY E. ANGE
	CHECKED BY B. BLACKMON
	SCALE 1" = 60'

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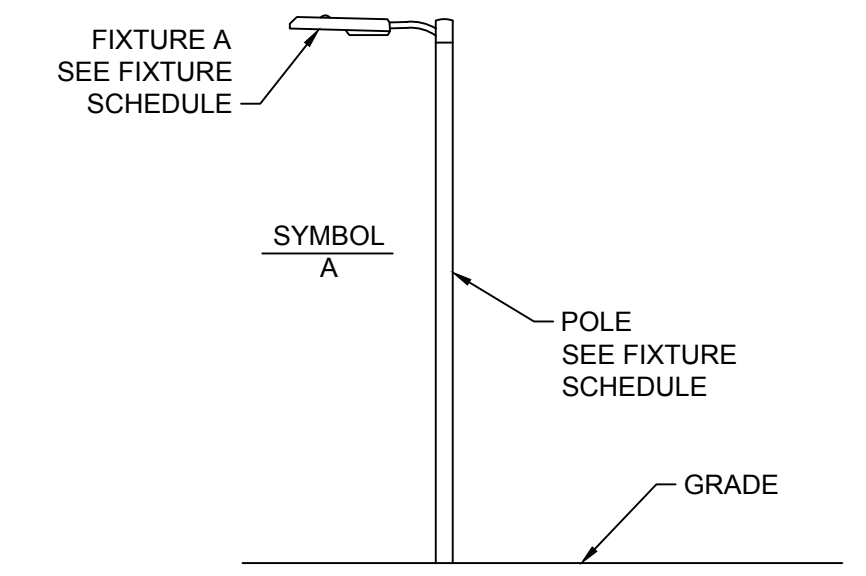


**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**LIGHTING LEGEND**

- LED STREET LIGHTS  
(7,000 LUMENS LED 75 ROADWAY LIGHT)  
ALUMINUM POLE - HEIGHT 30'



**1** FIXTURE 'A' DETAIL  
SCALE: N.T.S.

**Outdoor Lighting**

**MITCHELL TOP HAT LED**

LED (Light emitting diode)	50 watts
Mounting height	12'
Color	Black
Pole	Aluminum Colonial concrete Victorian concrete Washington concrete
Applications	Neighborhoods Parks Shopping centers Streets

Light source: LED (white)  
Wattage: 50 watts  
Lumens: 5,463  
Light pattern: ESNA Type III | Type V  
IESNA cutoff classification: Semi-cutoff  
BUG rating: Type III B2USG3 | Type V B3USG3  
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12'	Black
Colonial concrete	12'	Black
Victorian concrete	12'	Black, Gray-green
Washington concrete	12'	Black, Gray

FEATURES	BENEFITS
Turnkey operation	Provides hands-free installation and service
Little to no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at [www.dukeenergy.com](http://www.dukeenergy.com)

S:\331\49084-Zebulon\DWG\Sheet\Master Plan\_49084-331-C6.C-LIGHT.dwg | Plotted by Elizabeth Ange

**811** Know what's below.  
Call before you dig.

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**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

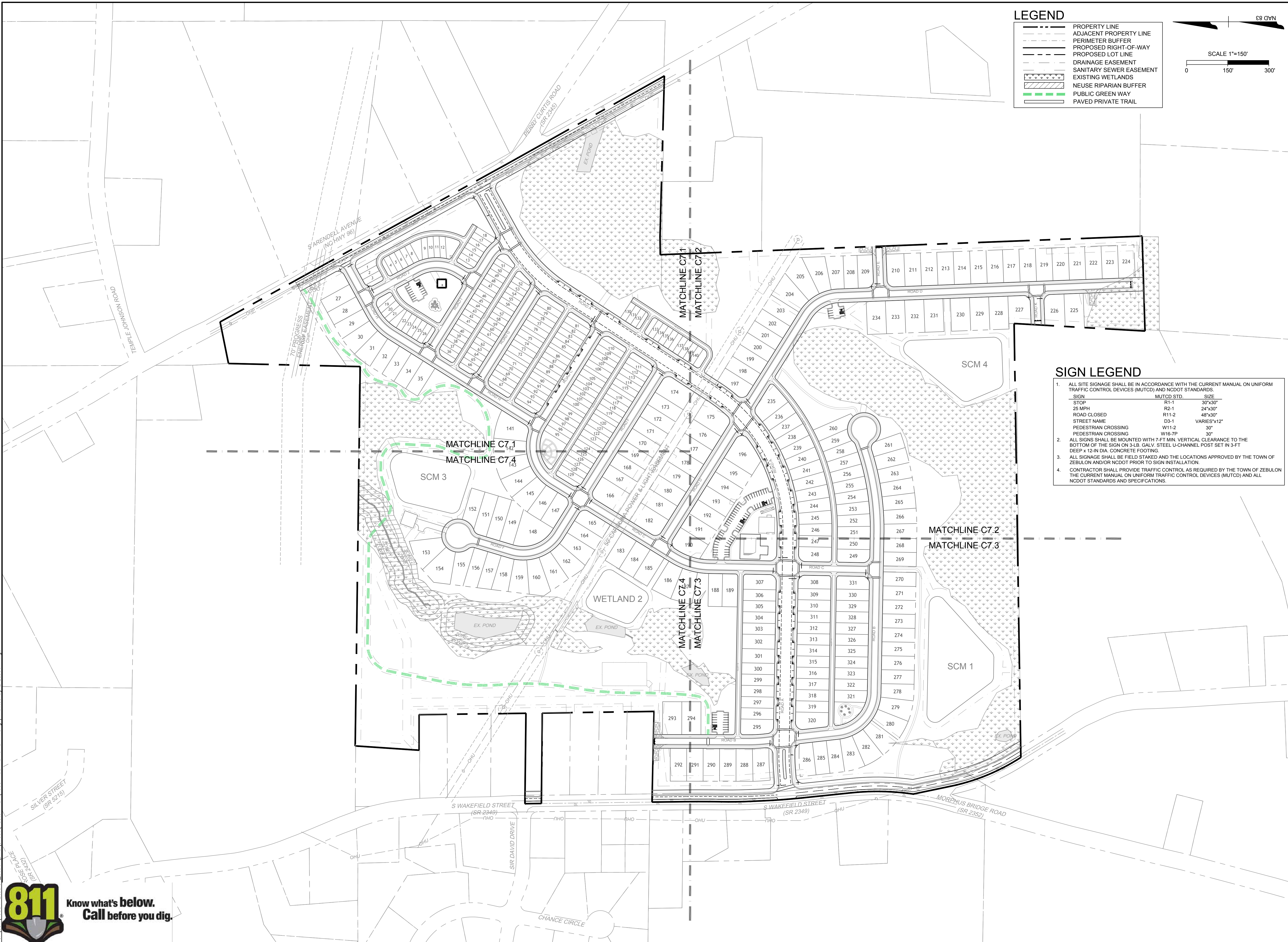
**LIGHTING PLAN**

REVISION DESCRIPTION	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
	11/09/2023	331	E. ANGE	B. BLACKMON	1" = 150'

JOB NO. 49084  
SHEET NO. C6.0

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**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

SCALE 1"=150'

0 150' 300'

88 QAN

**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF ZEBULON AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF ZEBULON THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.

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DATE  
11/09/2023

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 150'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**OVERALL SIGNS & MARKINGS PLAN**

REVISION DESCRIPTION

DATE

DRAWN BY

SCALE

CHECKED BY

DESIGNED BY

DATE

JOB NO.

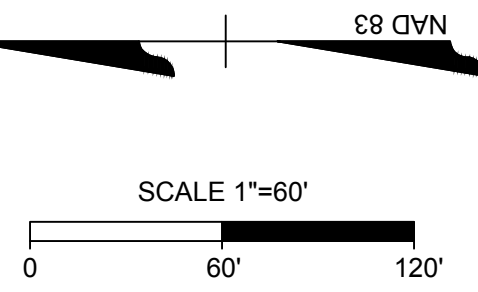
49084

SHEET NO.

C7.0

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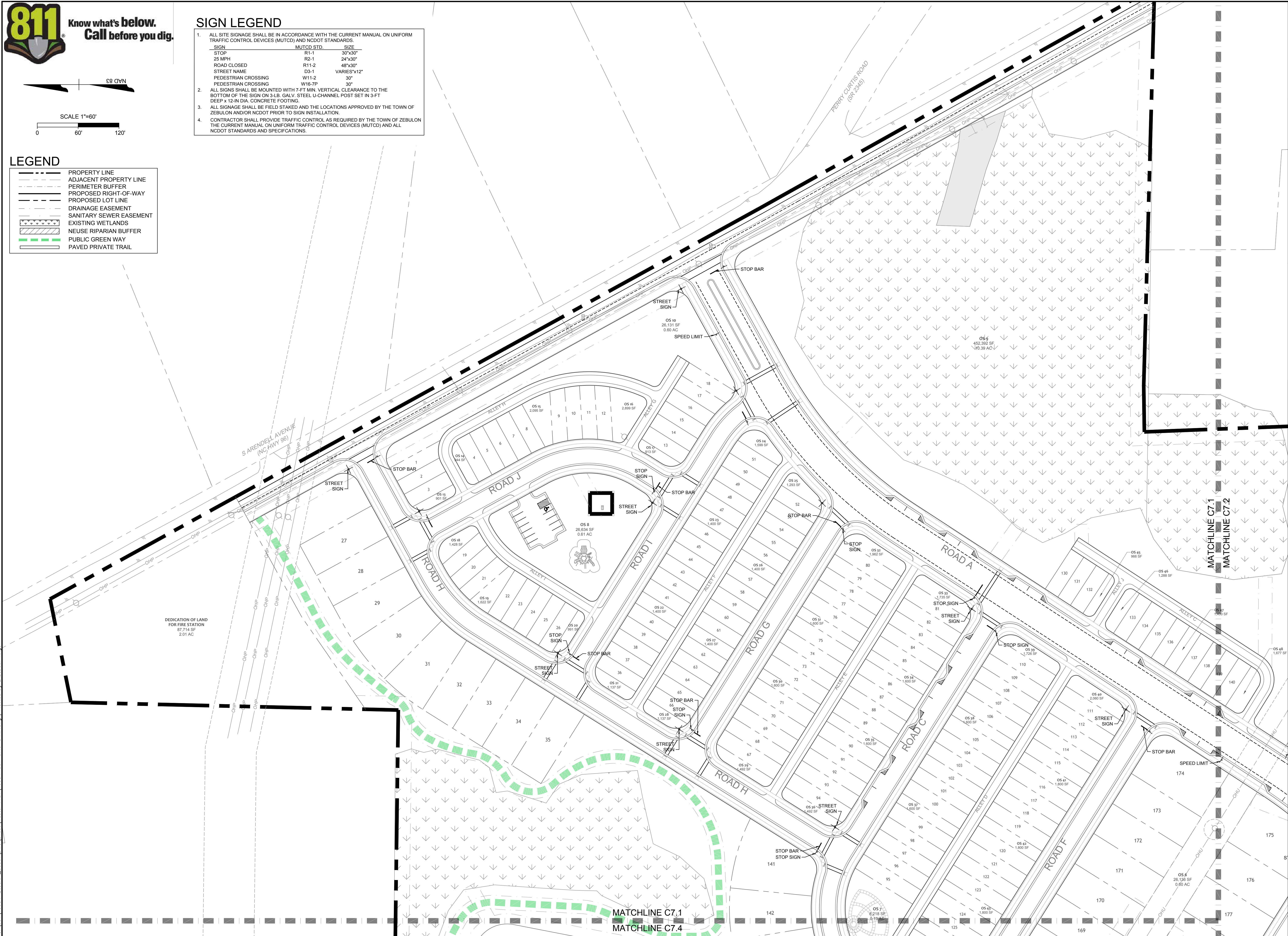
**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	O3-1	VARIES*12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHEMEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF ZEBULON AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF ZEBULON THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL



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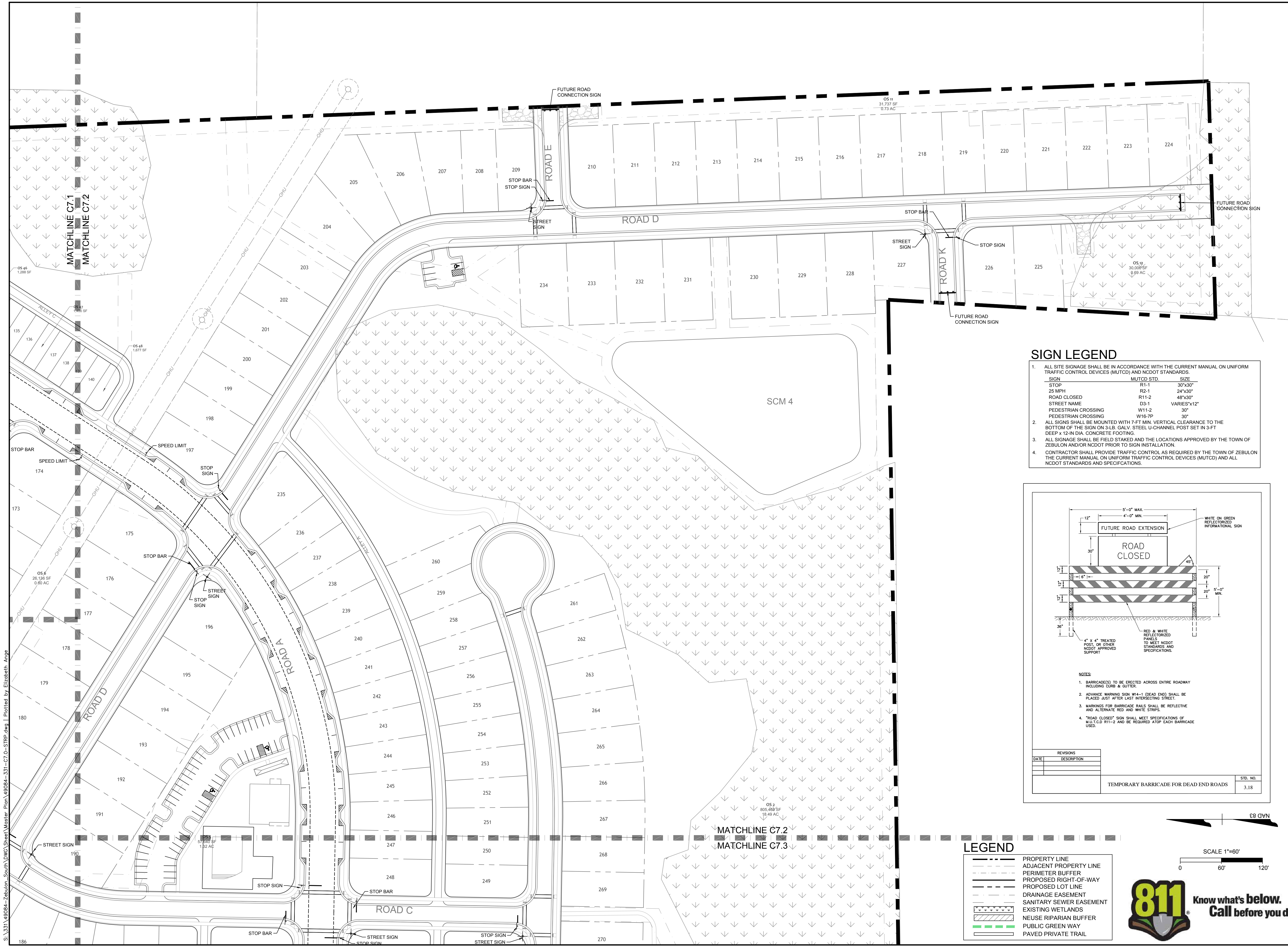
DATE  
 11/09/2023  
 DRAWN BY  
 331  
 DESIGNED BY  
 E. ANGE  
 CHECKED BY  
 B. BLACKMON  
 SCALE  
 1" = 60'

**TIMMONS GROUP**  
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 ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
 DETAILED SIGNS & MARKINGS PLAN SHEET 1 OF 4

JOB NO.  
**49084**  
 SHEET NO.  
**C7.1**

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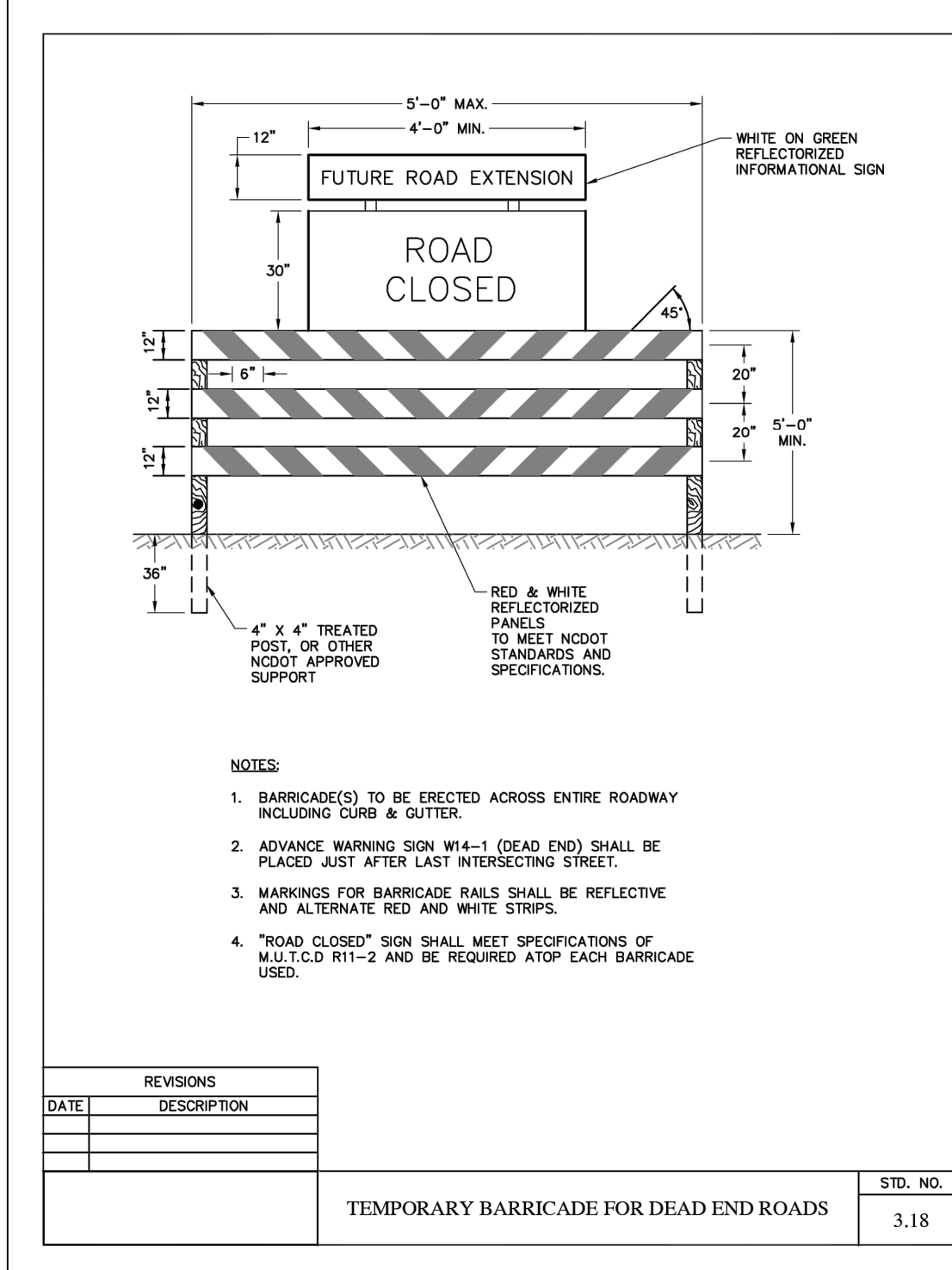
S:\331\49084-Zebulon\_South\DWG\Sheet\Master Plan\49084-331-C7.0-STRIP.dwg | Plotted by Elizabeth Ange



### SIGN LEGEND

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON S.L.B. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF ZEBULON AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF ZEBULON THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.



### LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

811 Know what's below. Call before you dig.

SCALE 1"=60'

68 QVN

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 DESIGNED BY: E. ANGE  
 CHECKED BY: B. BLACKMON  
 SCALE: 1" = 60'

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ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

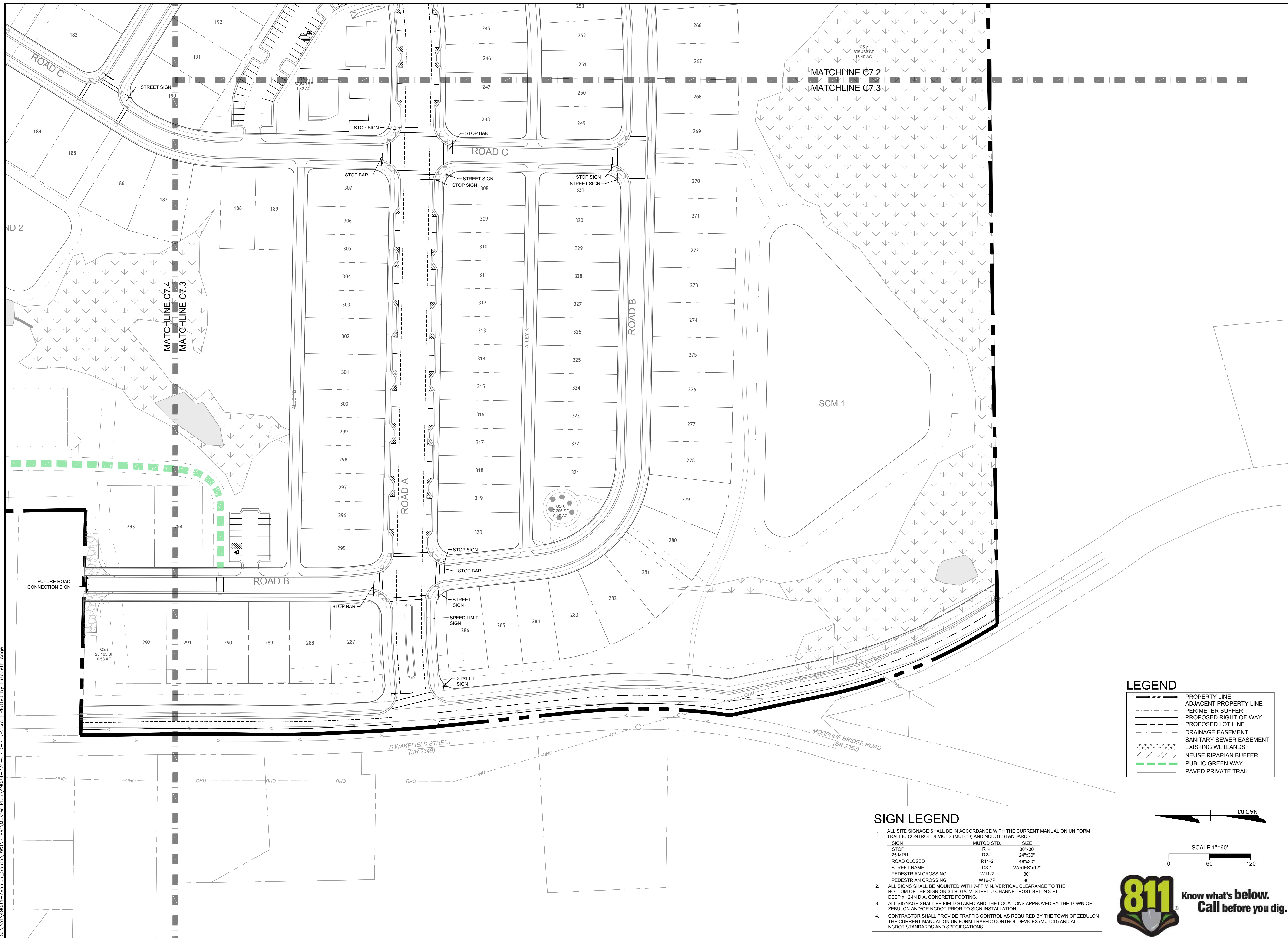
## DETAILED SIGNS & MARKINGS PLAN SHEET 2 OF 4

JOB NO. 49084  
 SHEET NO. C7.2

REVISION DESCRIPTION

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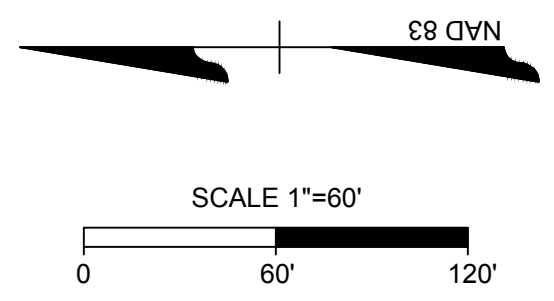
**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

**SIGN LEGEND**

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- ALL SIGNS SHALL BE MOUNTED WITH 7 FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
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SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"



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DESIGNED BY  
**E. ANGE**

CHECKED BY  
**B. BLACKMON**

SCALE  
**1" = 60'**

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED SIGNS & MARKINGS PLAN SHEET 3 OF 4

REVISION DESCRIPTION

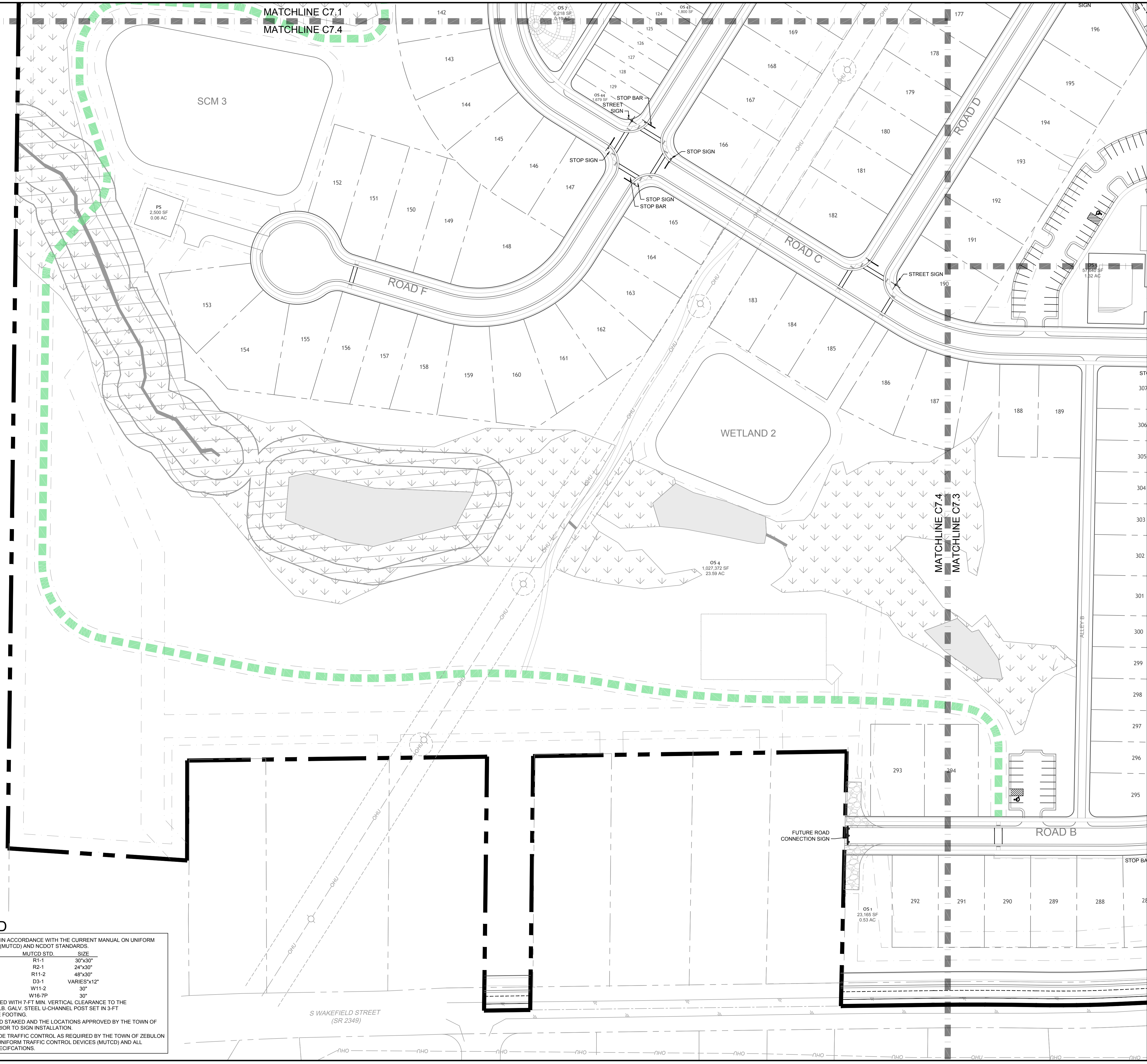
DATE	DESCRIPTION
11/09/2023 <td></td>	

JOB NO.  
**49084**

SHEET NO.  
**C7.3**

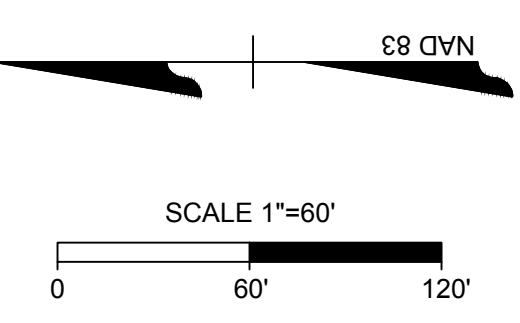
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"

- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED SIGNS & MARKINGS PLAN SHEET 4 OF 4**

JOB NO. 49084  
SHEET NO. C7.4

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DATE	REVISION DESCRIPTION
11/09/2023	331
E. ANGE	DESIGNED BY
B. BLACKMON	CHECKED BY
1" = 60'	SCALE

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DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	N/A

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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**SINGLE FAMILY CONCEPTUAL ELEVATIONS**

JOB NO. 49084  
 SHEET NO. C8.1

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FRONT DOOR EXAMPLES

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 DESIGNED BY  
E. ANGE  
 CHECKED BY  
B. BLACKMON  
 SCALE  
N/A

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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

TOWNHOMES CONCEPTUAL ELEVATIONS

JOB NO.  
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 SHEET NO.  
C8.2

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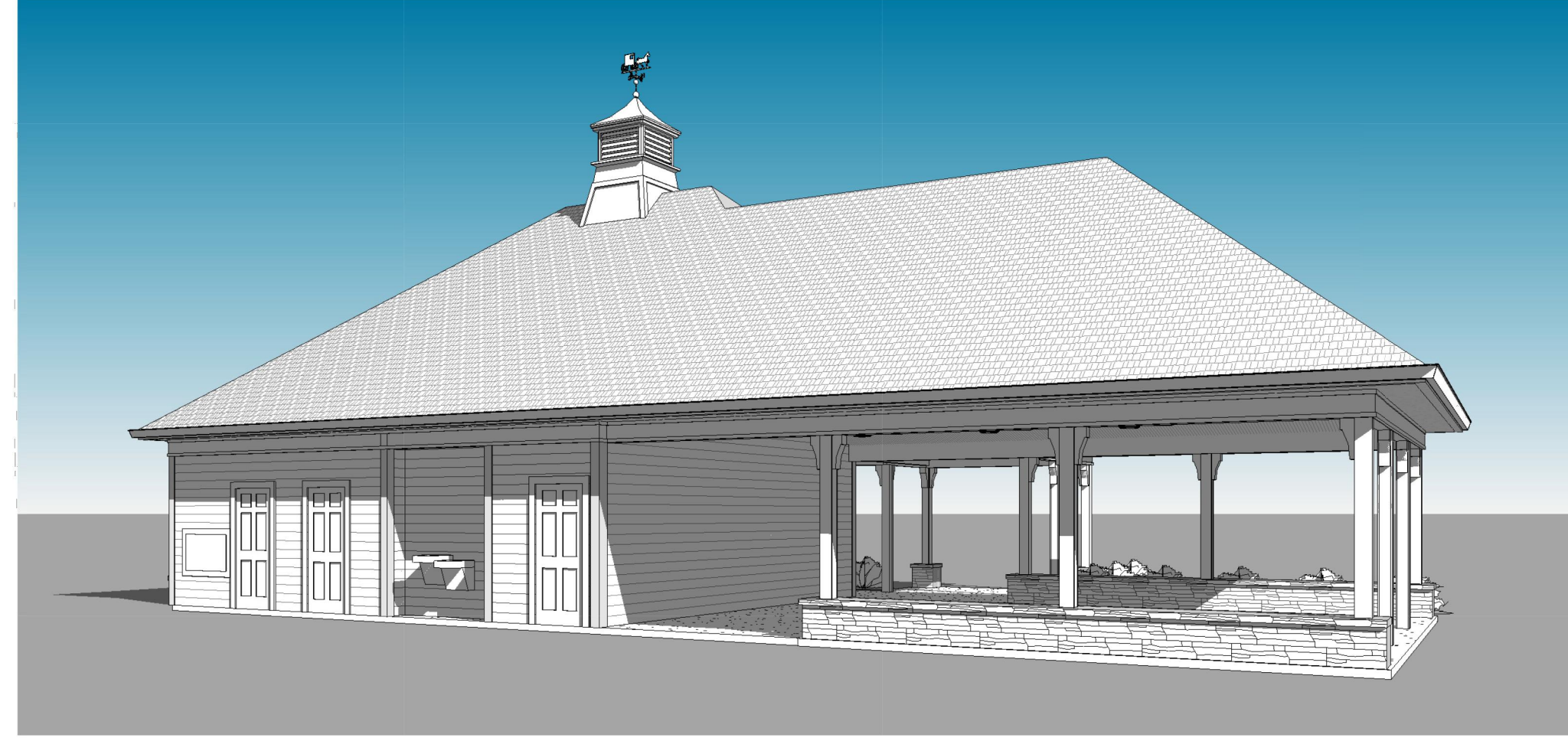
AMENITY PERSPECTIVES - PULTE GROUP

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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

CONCEPTUAL AMENITY

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11/09/2023	

JOB NO.  
**49084**

SHEET NO.  
**C8.3**

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