

# ZEBULON SOUTH PRELIMINARY PLAN

## TOWN OF ZEBULON, WAKE COUNTY, NORTH CAROLINA

### SITE DATA

<b>PROJECT:</b>	ZEBULON SOUTH
<b>ENGINEER:</b>	TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-866-4509 FAX: 919-859-5663 BETH BLACKMON, PE EMAIL: BETH.BLACKMON@TIMMONS.COM
<b>DEVELOPER:</b>	DEACON DEVELOPMENT GROUP PO BOX 1080 WAKE FOREST, NC 27588 PHONE: 919 808-3542 ANDREW SURIANO ANDREW@DEACONCOMPANIES.COM
<b>PROPERTY LOCATION:</b>	751 S WAKEFIELD ROAD 700 S ARENDELL AVE 0 S WAKEFIELD STREET 0 S ARENDELL AVE
<b>PIN:</b>	2705-41-3075, 2704-49-2511, & 2705-51-2202, 2705-51-3114
<b>EXISTING ZONING:</b>	R4 & R2
<b>PROPOSED ZONING:</b>	PD
<b>EXISTING USE:</b>	AGRICULTURAL
<b>TOTAL TRACT AREA:</b>	118.62 ACRES



VICINITY MAP - 1" = 500'

Sheet Number	Sheet Title
CVR	COVER
C1.0	EXISTING CONDITIONS
C2.0	OVERALL SITE PLAN
C2.1	DETAILED SITE PLAN SHEET 1 OF 4
C2.2	DETAILED SITE PLAN SHEET 2 OF 4
C2.3	DETAILED SITE PLAN SHEET 3 OF 4
C2.4	DETAILED SITE PLAN SHEET 4 OF 4
C3.0	OVERALL UTILITY PLAN
C3.1	DETAILED UTILITY PLAN SHEET 1 OF 4
C3.2	DETAILED UTILITY PLAN SHEET 2 OF 4
C3.3	DETAILED UTILITY PLAN SHEET 3 OF 4
C3.4	DETAILED UTILITY PLAN SHEET 4 OF 4
C4.0	OVERALL GRADING & DRAINAGE PLAN
C4.1	DETAILED GRADING & DRAINAGE PLAN SHEET 1 OF 4
C4.2	DETAILED GRADING & DRAINAGE PLAN SHEET 2 OF 4
C4.3	DETAILED GRADING & DRAINAGE PLAN SHEET 3 OF 4
C4.4	DETAILED GRADING & DRAINAGE PLAN SHEET 4 OF 4
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C5.2	DETAILED LANDSCAPE PLAN SHEET 2 OF 4
C5.3	DETAILED LANDSCAPE PLAN SHEET 3 OF 4
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C6.0	LIGHTING PLAN
C7.0	OVERALL SIGNS & MARKINGS PLAN
C7.1	DETAILED SIGNS & MARKINGS PLAN SHEET 1 OF 4
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C7.3	DETAILED SIGNS & MARKINGS PLAN SHEET 3 OF 4
C7.4	DETAILED SIGNS & MARKINGS PLAN SHEET 4 OF 4
C8.1	SINGLE FAMILY CONCEPTUAL ELEVATIONS
C8.2	TOWNHOME CONCEPTUAL ELEVATIONS
C8.3	CONCEPTUAL AMENITY

### OWNERS OF RECORD

PIN: 2704-49-2511 NARRON, HAROLD CORBETT, C FRED 3941 ZEBULON RD ZEBULON, NC 27597	PIN: 2705-51-2202 TEMPLE, JOSEPH WOOD SR HUGHES, HARRISON ALEXANDER PO BOX 548 ZEBULON, NC 27597
PIN: 2705-41-3075 WATSON FAMILY LLC 6220 FORESTVILLE RD RALEIGH, NC 27604	PIN: 2705-51-3114 TEMPLE, J M 1424 S HOLLYBROOK RD WENDELL NC 27591-9584

THIS DRAWING PREPARED AT THE  
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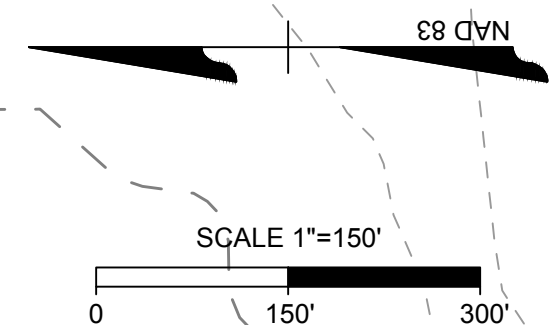
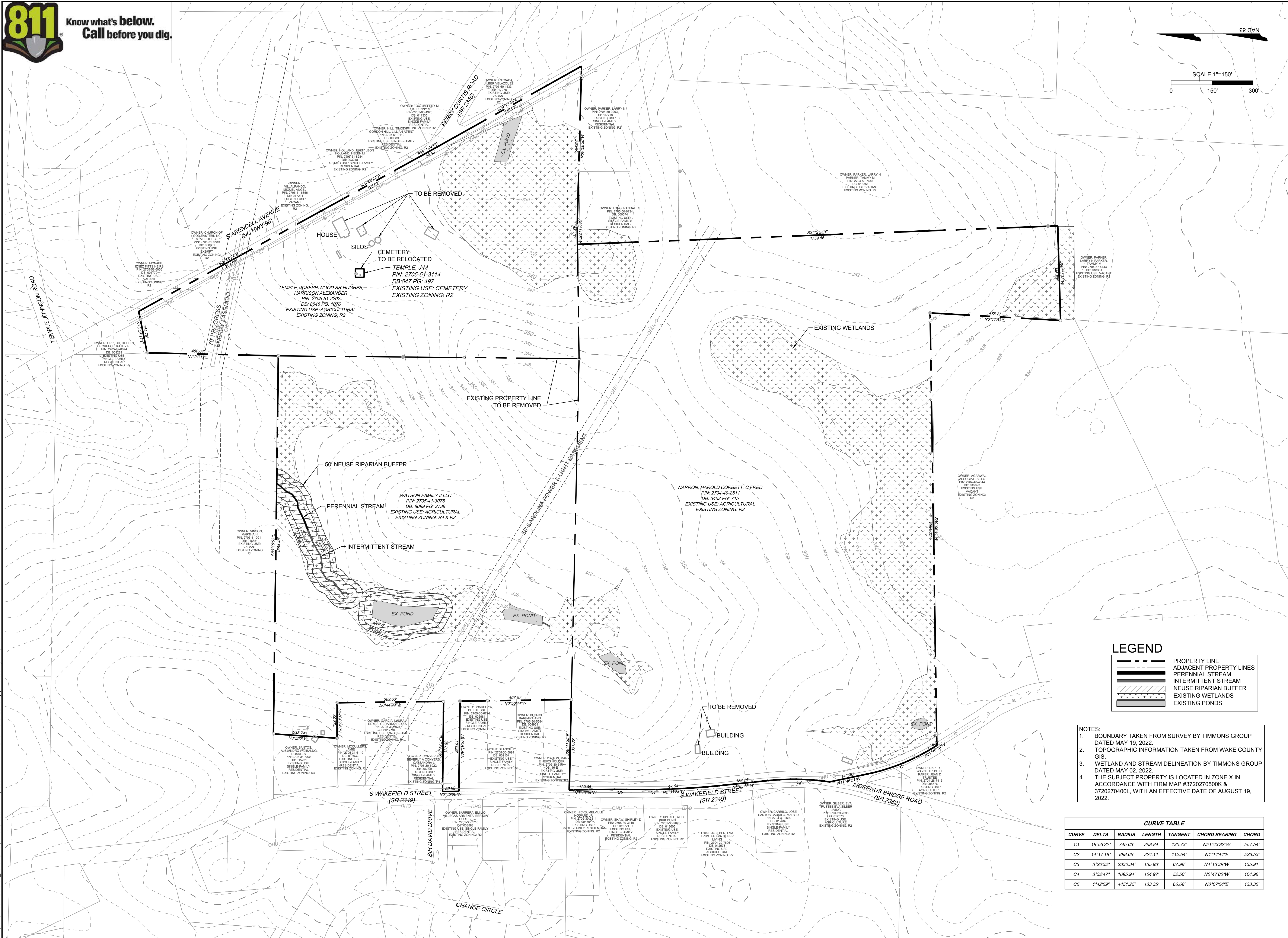
DATE: 01/15/2024  
DRAWN BY: 331  
DESIGNED BY: E. ANGE  
CHECKED BY: B. BLACKMON  
SCALE: 1" = 500'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
COVER

JOB NO. 49084  
SHEET NO. CVR



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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINES
	PERENNIAL STREAM
	INTERMITTENT STREAM
	NEUSE RIPARIAN BUFFER
	EXISTING WETLANDS
	EXISTING PONDS

- NOTES:**
- BOUNDARY TAKEN FROM SURVEY BY TIMMONS GROUP DATED MAY 19, 2022.
  - TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
  - WETLAND AND STREAM DELINEATION BY TIMMONS GROUP DATED MAY 02, 2022.
  - THE SUBJECT PROPERTY IS LOCATED IN ZONE X IN ACCORDANCE WITH FIRM MAP #3720270500K & 3720270400L, WITH AN EFFECTIVE DATE OF AUGUST 19, 2022.

**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	19°53'22"	745.63'	258.84'	130.73'	N21°43'32"W	257.54'
C2	14°17'18"	898.96'	224.11'	112.64'	N11°44'44"E	223.53'
C3	3°20'32"	2330.34'	135.93'	67.98'	N4°13'39"W	135.91'
C4	3°32'47"	1695.94'	104.97'	52.50'	N0°47'00"W	104.96'
C5	1°42'59"	4451.25'	133.35'	66.68'	N0°07'54"E	133.35'

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DATE  
01/15/2024

DRAWN BY  
331

DESIGNED BY  
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SCALE  
1" = 150'

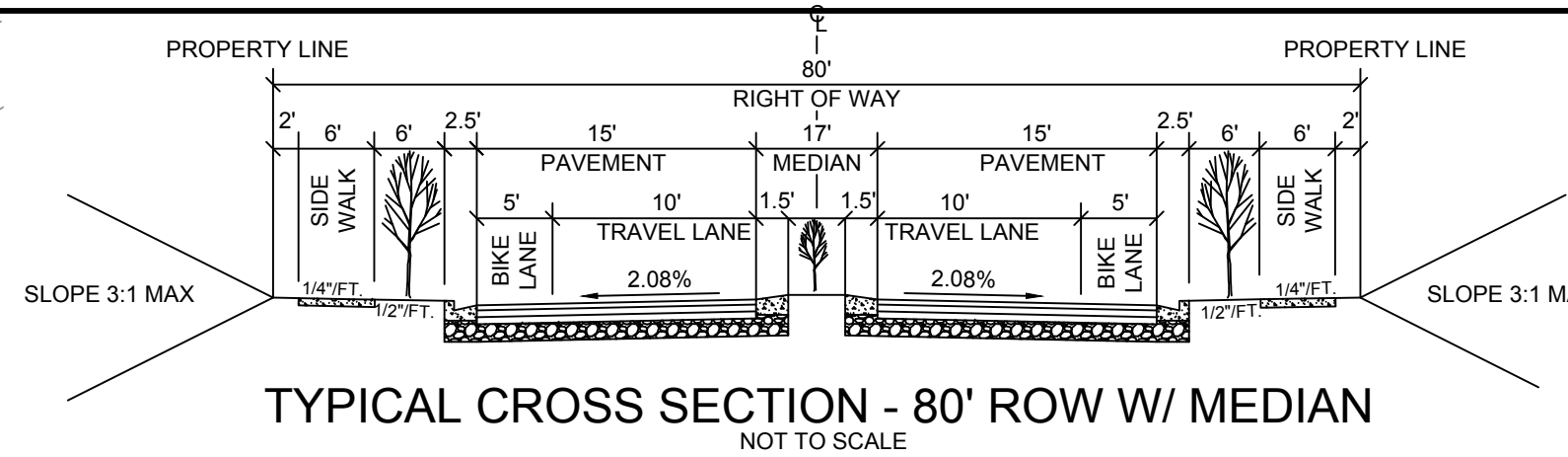
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
EXISTING CONDITIONS

JOB NO.  
**49084**

SHEET NO.  
**C1.0**

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**SITE DATA**  
 PINs = 2705-41-3075, 2704-49-2511, &705-51-2202 & 2705-51-3114  
 TOTAL EXISTING TRACT ACREAGE = 118.62 AC  
 TOTAL AREA TO BE DEDICATED = 2.48 AC  
 TRACT ACREAGE TO BE DEVELOPED = 116.14 AC  
 EXISTING ZONING = R2 & R4  
 PROPOSED ZONING = PD  
 PROPOSED NUMBER OF LOTS = 320  
 PROPOSED DENSITY = 2.75 DU/A  
 10% OPEN SPACE REQUIRED = 11.61 acres  
 OPEN SPACE PROVIDED = 61.36 acres (52.83%)  
 50% ACTIVE OPEN SPACE REQUIRED = 5.81 acres  
 ACTIVE OPEN SPACE PROVIDED = 6.27 acres  
 GUEST PARKING REQUIRED 0.25 UNITS = 80 spaces  
 GUEST PARKING PROVIDED = 174 spaces  
 MINIMUM OF 2 PARKING SPACES PROVIDED ON EACH LOT, AT LEAST 1 IN GARAGE AND 1 IN DRIVEWAY  
 MAXIMUM BUILDING HEIGHT = 50'  
 TOTAL LINEAR FEET OF 10' PUBLIC GREENWAY = 3,415'  
 TOTAL LINEAR FEET OF 6' PRIVATE GREENWAY = 2,040'

**LOT DATA**

- 134 - REAR LOAD SINGLE FAMILY ATTACHED  
 MINIMUM LOT SIZE PROVIDED: 1,523'  
 AVERAGE LOT SIZE PROVIDED: 1,880'  
 MINIMUM LOT WIDTH: 18'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 64 - REAR LOAD SINGLE FAMILY  
 MINIMUM LOT SIZE PROVIDED: 4,920'  
 AVERAGE LOT SIZE PROVIDED: 5,410'  
 MINIMUM LOT WIDTH: 40'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 72 - FRONT LOAD SINGLE FAMILY LOTS  
 MINIMUM LOT SIZE PROVIDED: 6,114'  
 AVERAGE LOT SIZE PROVIDED: 6,963'  
 MINIMUM LOT WIDTH: 50'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'
- 36 - FRONT LOAD SINGLE FAMILY LOTS  
 MINIMUM LOT SIZE PROVIDED: 7,046'  
 AVERAGE LOT SIZE PROVIDED: 7,192'  
 MINIMUM LOT WIDTH: 60'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 16'
- 14 - REAR LOAD SINGLE FAMILY  
 MINIMUM LOT SIZE PROVIDED: 8,343'  
 AVERAGE LOT SIZE PROVIDED: 9,878'  
 MINIMUM LOT WIDTH: 70'  
 DRIVEWAY LENGTH: 20'  
 MINIMUM DRIVEWAY WIDTH: 10'

**OPEN SPACE TABLE**

OS #	Area (SF)	Area (AC)
OS 1	20,245	0.47
OS 2	866,263	19.89
OS 3	12,359	0.28
OS 4	1,137,133	26.10
OS 5	17,843	0.41
OS 6	20,187	0.46
OS 7	25,580	0.59
OS 8	19,375	0.44
OS 9	440,438	10.11
OS 10	30,626	0.70
OS 11	30,006	0.69
OS 12	1,019	0.02
OS 13	1,250	0.03
OS 14	1,631	0.04
OS 15	1,245	0.03
OS 16	902	0.02
OS 17	948	0.02
OS 18	1,859	0.04
OS 19	2,221	0.05
OS 20	1,258	0.03
OS 21	1,233	0.03
OS 22	2,551	0.06
OS 23	1,400	0.03
OS 24	1,400	0.03
OS 25	901	0.02
OS 26	901	0.02
OS 27	1,400	0.03
OS 28	1,400	0.03
OS 29	1,519	0.03
OS 30	1,351	0.03
OS 31	1,574	0.04
OS 32	1,600	0.04
OS 33	1,351	0.03
OS 34	1,351	0.03
OS 35	1,600	0.04
OS 36	1,600	0.04
OS 37	1,326	0.03
OS 38	1,351	0.03
OS 39	1,574	0.04
OS 40	1,600	0.04
OS 41	1,351	0.03
OS 42	1,351	0.03
OS 43	1,600	0.04
OS 44	1,600	0.04
OS 45	1,326	0.03
OS 46	1,235	0.03
OS 47	2,054	0.05
OS 48	1,035	0.02
<b>TOTAL</b>	<b>2,672,929</b>	<b>61.36</b>

**STREET TABLE**

STREET NAME	ROW	LENGTH (LF)
ROAD A	70	2,775
ROAD B	50	2,023
ROAD C	50	320
ROAD D	50	2,112
ROAD E	50	175
ROAD F	50	1,060
ROAD G	50	464
ROAD H	50	464
ROAD I	50	537
ROAD J	50	439
ROAD K	50	134
ROAD L	50	1,314
ROAD M	50	698
ALLEY A	20	1,125
ALLEY B	20	967
ALLEY C	20	464
ALLEY D	20	464
ALLEY E	20	464
ALLEY F	20	563
ALLEY G	20	248
ALLEY H	20	533
ALLEY I	20	123
ALLEY J	20	116
ALLEY K	20	165
ALLEY L	20	165
<b>TOTAL W/ ALLEYS</b>		<b>17,912</b>
<b>TOTAL W/O ALLEYS</b>		<b>12,515</b>

**SETBACK TABLE**

FRONT LOADED SINGLE FAMILY  
 FRONT: 20'  
 REAR: 15'  
 SIDE: 5'  
 CORNER: 10'

REAR LOADED SINGLE FAMILY  
 FRONT: 10' MAX  
 REAR: 20'  
 SIDE: 3'  
 CORNER: 10'

SINGLE FAMILY ATTACHED:  
 FRONT: 10' MAX  
 BUILDING SEPARATION: 10'  
 REAR: 20'

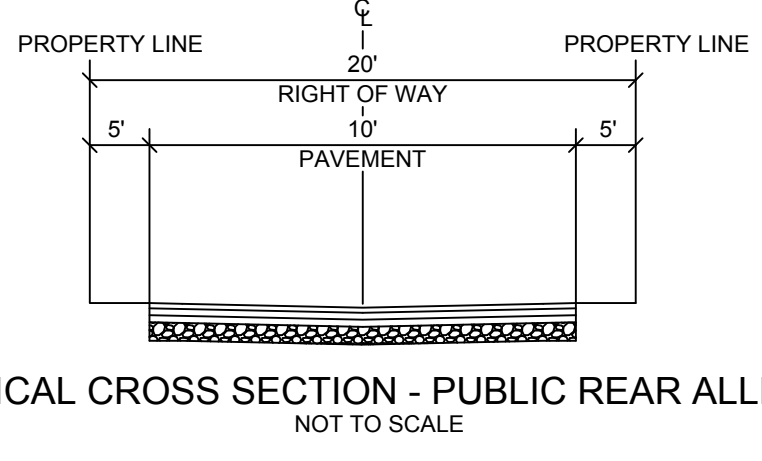
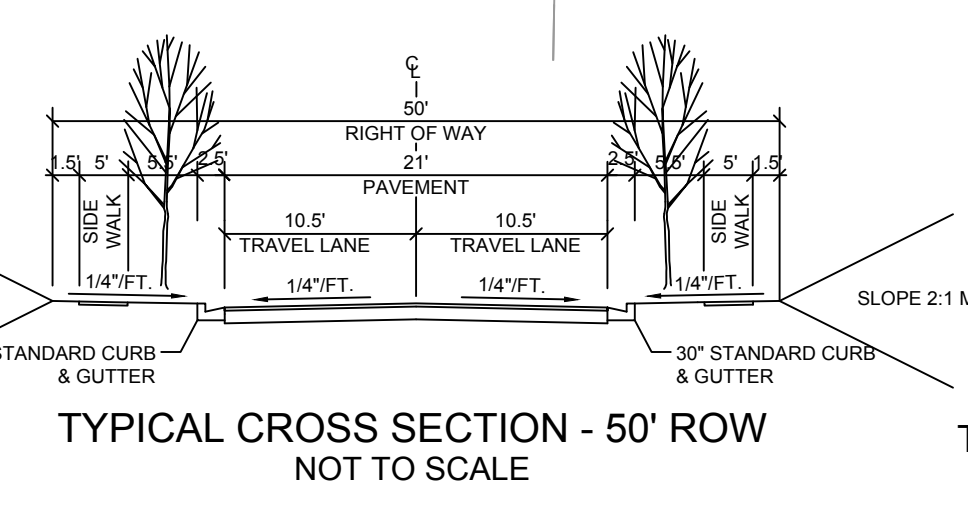
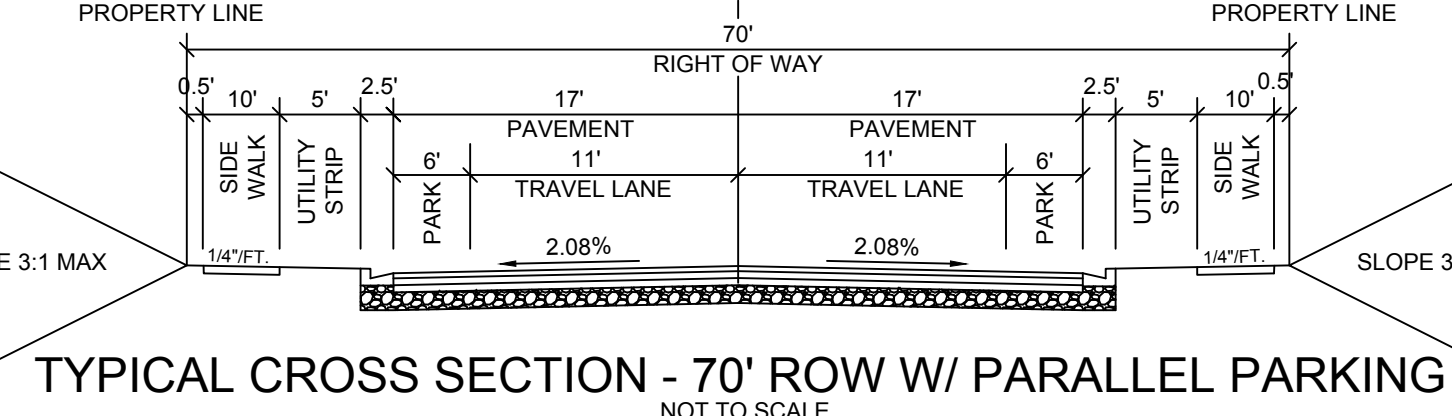
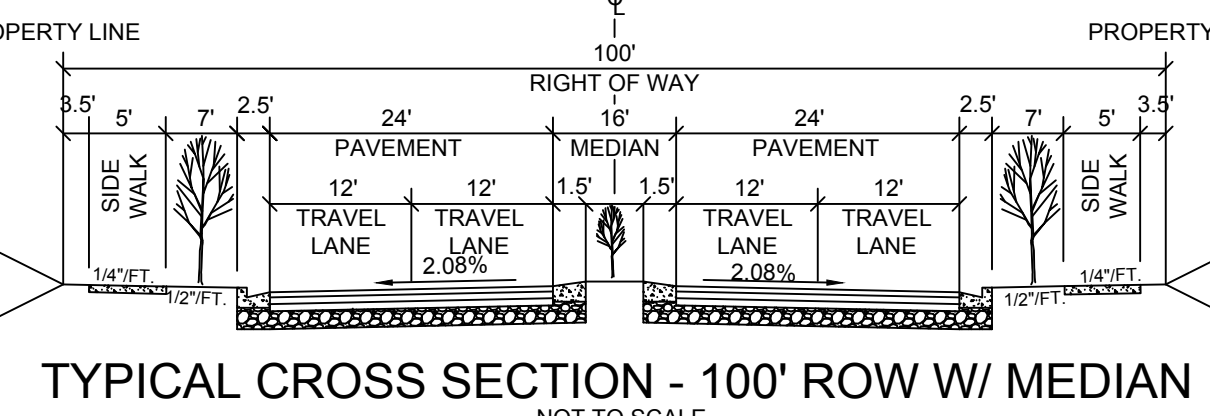
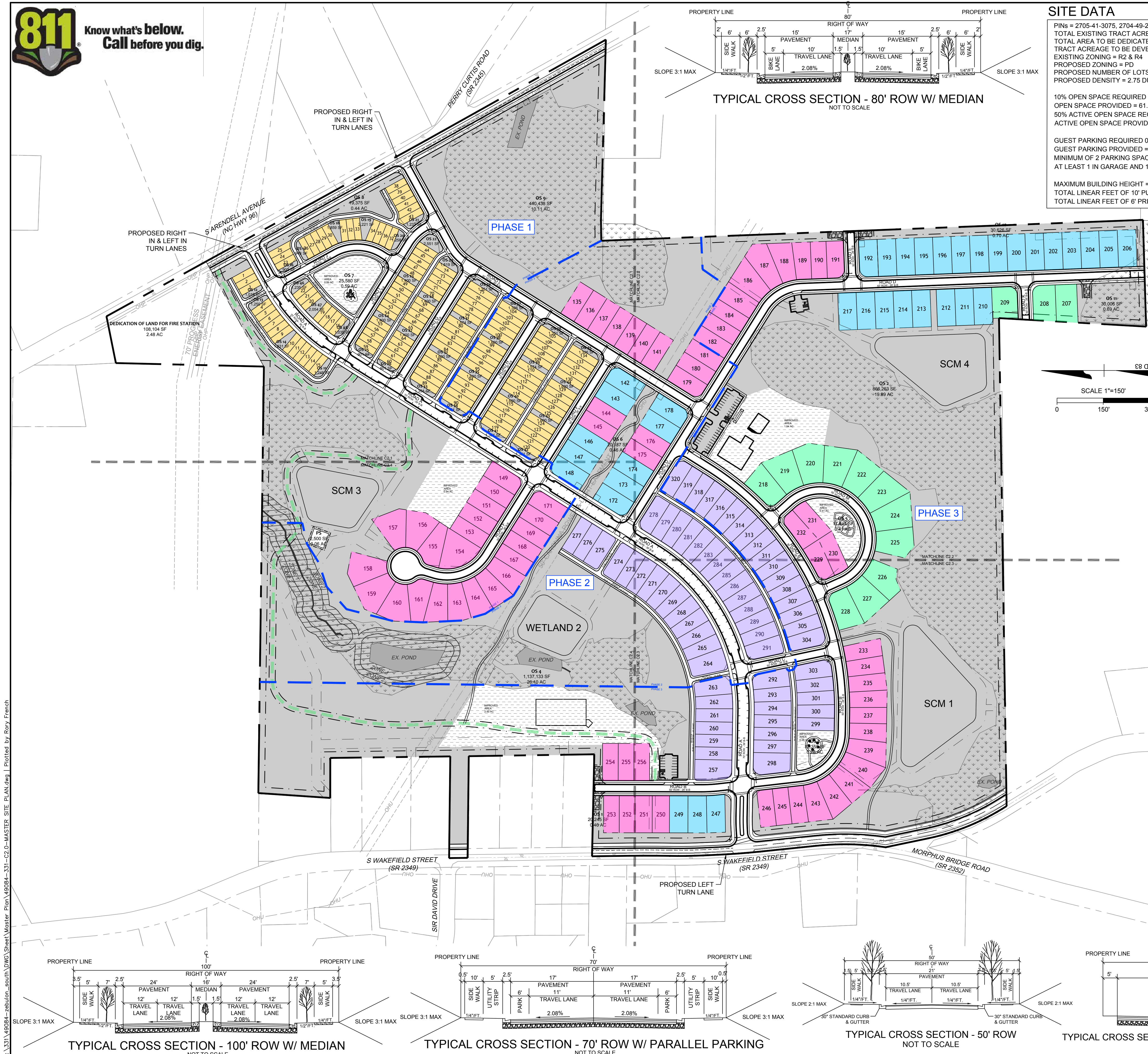
**IMPERVIOUS AREA DATA**

IMPERVIOUS IN TOWNHOME LOTS (134 LOTS W/ 1,300 SF/LOT)	4.00 AC
IMPERVIOUS IN 40' LOTS (64 LOTS W/ 3,000 SF/LOT)	4.41 AC
IMPERVIOUS IN 50' LOTS (72 LOTS W/ 3,750 SF/LOT)	6.20 AC
IMPERVIOUS IN 60' LOTS (36 LOTS W/ 4,600 SF/LOT)	3.80 AC
IMPERVIOUS IN 70' LOTS (14 LOTS W/ 5,000 SF/LOT)	1.61 AC
IMPERVIOUS IN ROADWAY	13.05 AC
CLUBHOUSE AREA	2.00 AC
AMENITY AREAS, GREENWAY, & PUMP STATION	3.00 AC
<b>TOTAL IMPERVIOUS</b>	<b>38.06 AC</b>
<b>PERCENT IMPERVIOUS</b>	<b>32.7%</b>

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PHASE LINE
- PAVED PUBLIC GREENWAY
- PAVED PRIVATE TRAIL

A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO).



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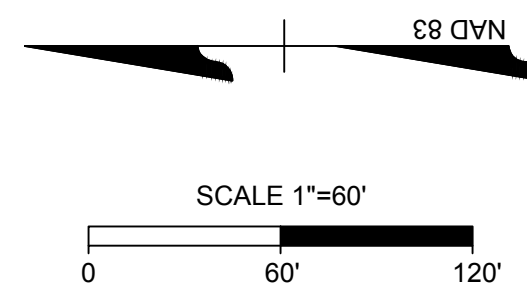
ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**OVERALL SITE PLAN**

DATE: 01/15/2024  
 DRAWN BY: 331  
 DESIGNED BY: E. ANGE  
 CHECKED BY: B. BLACKMON  
 SCALE: 1" = 150'

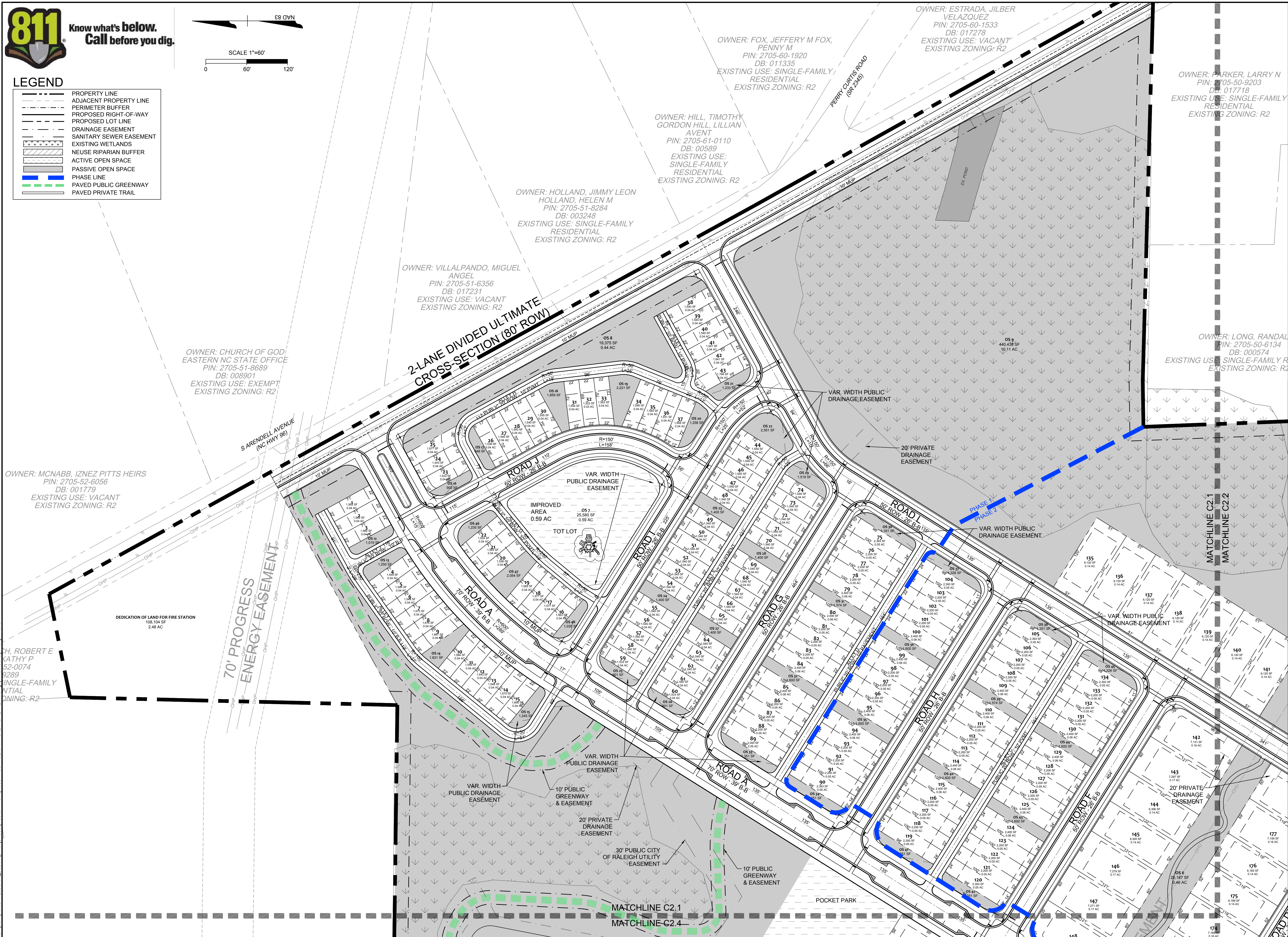
JOB NO. 49084  
 SHEET NO. C2.0

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**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
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- PROPOSED LOT LINE
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- PASSIVE OPEN SPACE
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- PAVED PRIVATE TRAIL



OWNER: MCNABB, IZNEZ PITTS HEIRS  
PIN: 2705-52-6056  
DB: 001779  
EXISTING USE: VACANT  
EXISTING ZONING: R2

OWNER: CHURCH OF GOD  
EASTERN NC STATE OFFICE  
PIN: 2705-51-8689  
DB: 008901  
EXISTING USE: EXEMPT  
EXISTING ZONING: R2

OWNER: VILLALPANDO, MIGUEL  
ANGEL  
PIN: 2705-51-6356  
DB: 017231  
EXISTING USE: VACANT  
EXISTING ZONING: R2

OWNER: HOLLAND, JIMMY LEON  
HOLLAND, HELEN M  
PIN: 2705-51-8284  
DB: 003248  
EXISTING USE: SINGLE-FAMILY  
RESIDENTIAL  
EXISTING ZONING: R2

OWNER: HILL, TIMOTHY  
GORDON HILL, LILLIAN  
AVENT  
PIN: 2705-61-0110  
DB: 00589  
EXISTING USE: SINGLE-FAMILY  
RESIDENTIAL  
EXISTING ZONING: R2

OWNER: FOX, JEFFERY M FOX,  
PENNY M  
PIN: 2705-60-1920  
DB: 011335  
EXISTING USE: SINGLE-FAMILY  
RESIDENTIAL  
EXISTING ZONING: R2

OWNER: ESTRADA, JILBER  
VELAZQUEZ  
PIN: 2705-60-1533  
DB: 017278  
EXISTING USE: VACANT  
EXISTING ZONING: R2

OWNER: PARKER, LARRY N  
PIN: 2705-50-9203  
DB: 017718  
EXISTING USE: SINGLE-FAMILY  
RESIDENTIAL  
EXISTING ZONING: R2

OWNER: LONG, RANDAL  
PIN: 2705-50-6134  
DB: 000574  
EXISTING USE: SINGLE-FAMILY R  
EXISTING ZONING: R2

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SCALE  
1" = 60'

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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
DETAILED SITE PLAN SHEET 1 OF 4

JOB NO.  
49084  
SHEET NO.  
C2.1

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OWNER: LONG, RANDALL S  
 PIN: 2705-50-6134  
 DB: 000574  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: PARKER, LARRY N PARKER, TAMMY M  
 PIN: 2704-59-7445  
 DB: 018351  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

OWNER: PARKER, LARRY N PARKER, TAMMY M  
 PIN: 2704-57-4743  
 DB: 018351  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2

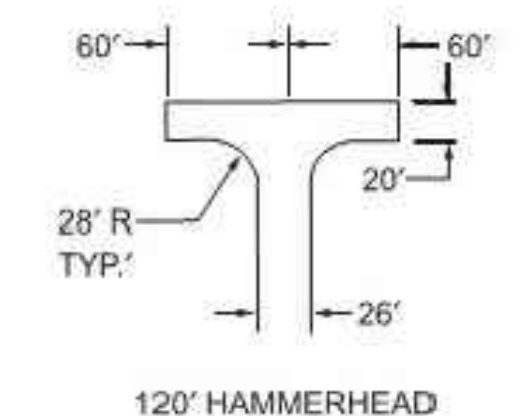
20' PRIVATE DRAINAGE EASEMENT

TEMPORARY TURNAROUND & EASEMENT

20' PRIVATE DRAINAGE EASEMENT

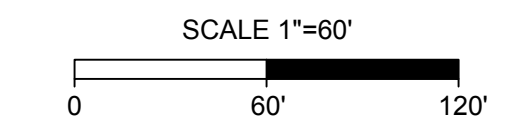
20' PRIVATE ACCESS & MAINTENANCE EASEMENT

SCM 4



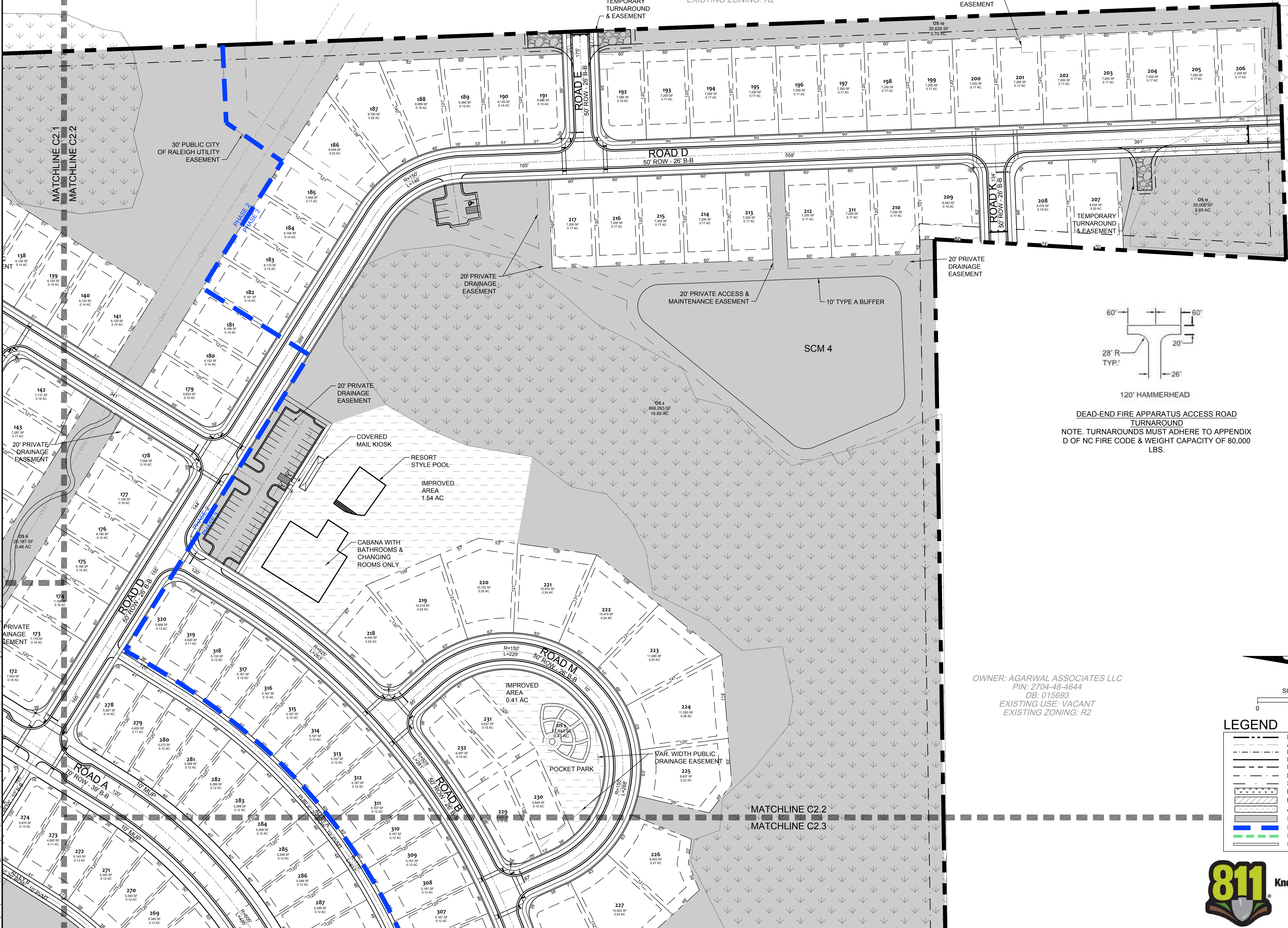
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND  
 NOTE: TURNAROUNDS MUST ADHERE TO APPENDIX D OF NC FIRE CODE & WEIGHT CAPACITY OF 80,000 LBS.

OWNER: AGARWAL ASSOCIATES LLC  
 PIN: 2704-48-4644  
 DB: 015693  
 EXISTING USE: VACANT  
 EXISTING ZONING: R2



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PAVED PUBLIC GREENWAY
	PAVED PRIVATE TRAIL



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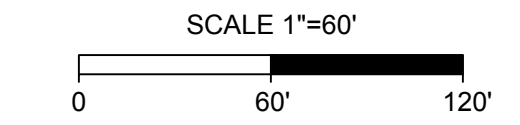
**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
 DETAILED SITE PLAN SHEET 2 OF 4

JOB NO. 49084  
 SHEET NO. C2.2

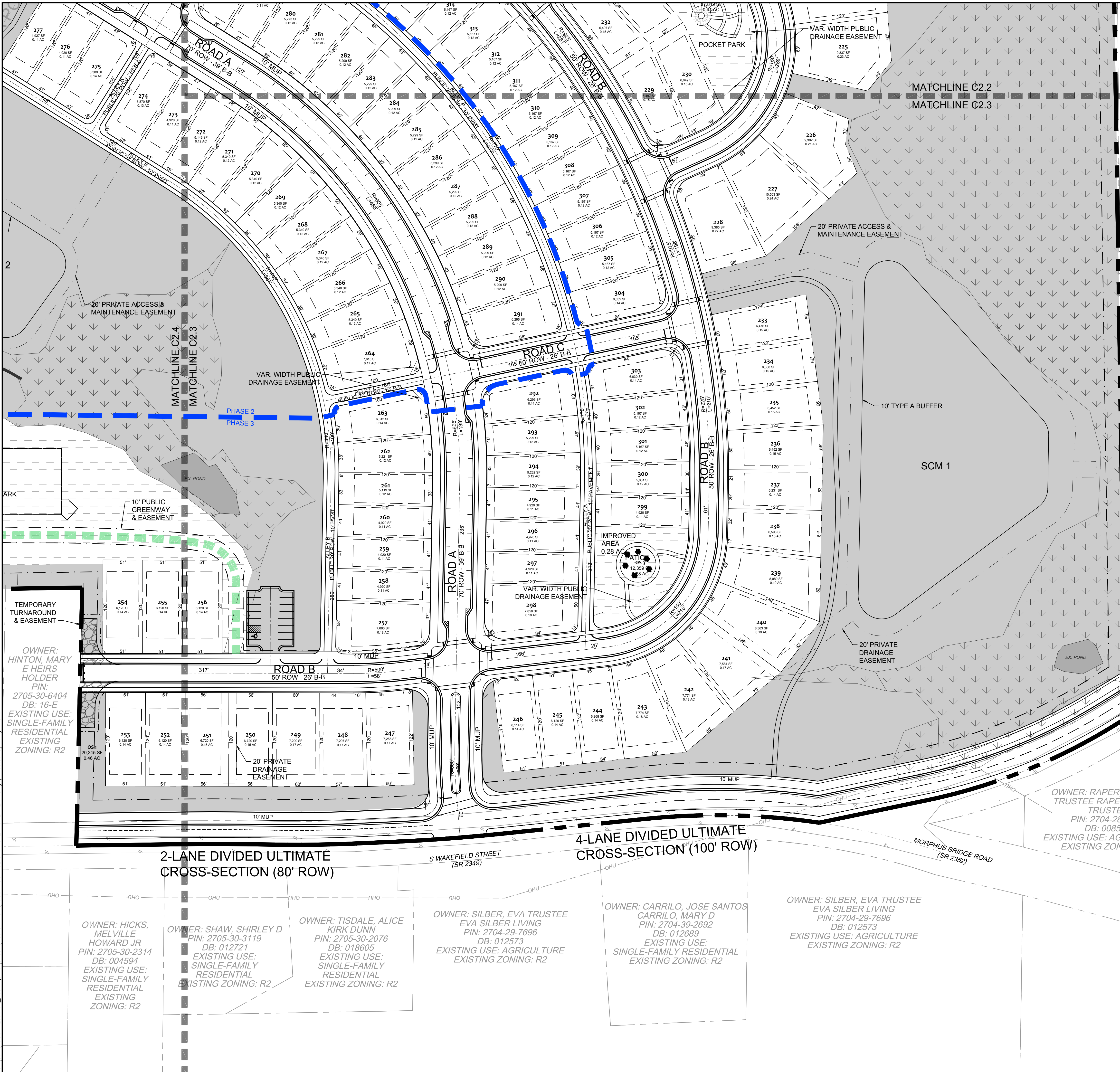
REVISION DESCRIPTION

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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PAVED PUBLIC GREENWAY
	PAVED PRIVATE TRAIL



OWNER: HINTON, MARY E HEIRS HOLDER  
 PIN: 2705-30-6404  
 DB: 16-E  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: HICKS, MELVILLE HOWARD JR  
 PIN: 2705-30-2314  
 DB: 004594  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: SHAW, SHIRLEY D  
 PIN: 2705-30-3119  
 DB: 012721  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: TISDALE, ALICE KIRK DUNN  
 PIN: 2705-30-2076  
 DB: 018805  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: SILBER, EVA TRUSTEE EVA SILBER LIVING  
 PIN: 2704-29-7696  
 DB: 012573  
 EXISTING USE: AGRICULTURE  
 EXISTING ZONING: R2

OWNER: CARRILO, JOSE SANTOS CARRILO, MARY D  
 PIN: 2704-39-2692  
 DB: 012689  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 EXISTING ZONING: R2

OWNER: SILBER, EVA TRUSTEE EVA SILBER LIVING  
 PIN: 2704-29-7696  
 DB: 012573  
 EXISTING USE: AGRICULTURE  
 EXISTING ZONING: R2

OWNER: RAPER, F WAYNE TRUSTEE RAPER, JEAN D TRUSTEE  
 PIN: 2704-28-7413  
 DB: 008576  
 EXISTING USE: AGRICULTURE  
 EXISTING ZONING: R2

2-LANE DIVIDED ULTIMATE CROSS-SECTION (80' ROW)

4-LANE DIVIDED ULTIMATE CROSS-SECTION (100' ROW)

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**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED SITE PLAN SHEET 3 OF 4

JOB NO. 49084  
 SHEET NO. C2.3

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s:\331\49084-zebulon\_south\DWG\Sheet\Master Plan\49084-331-C2.0-MASTER SITE PLAN.dwg | Plotted by Rory French



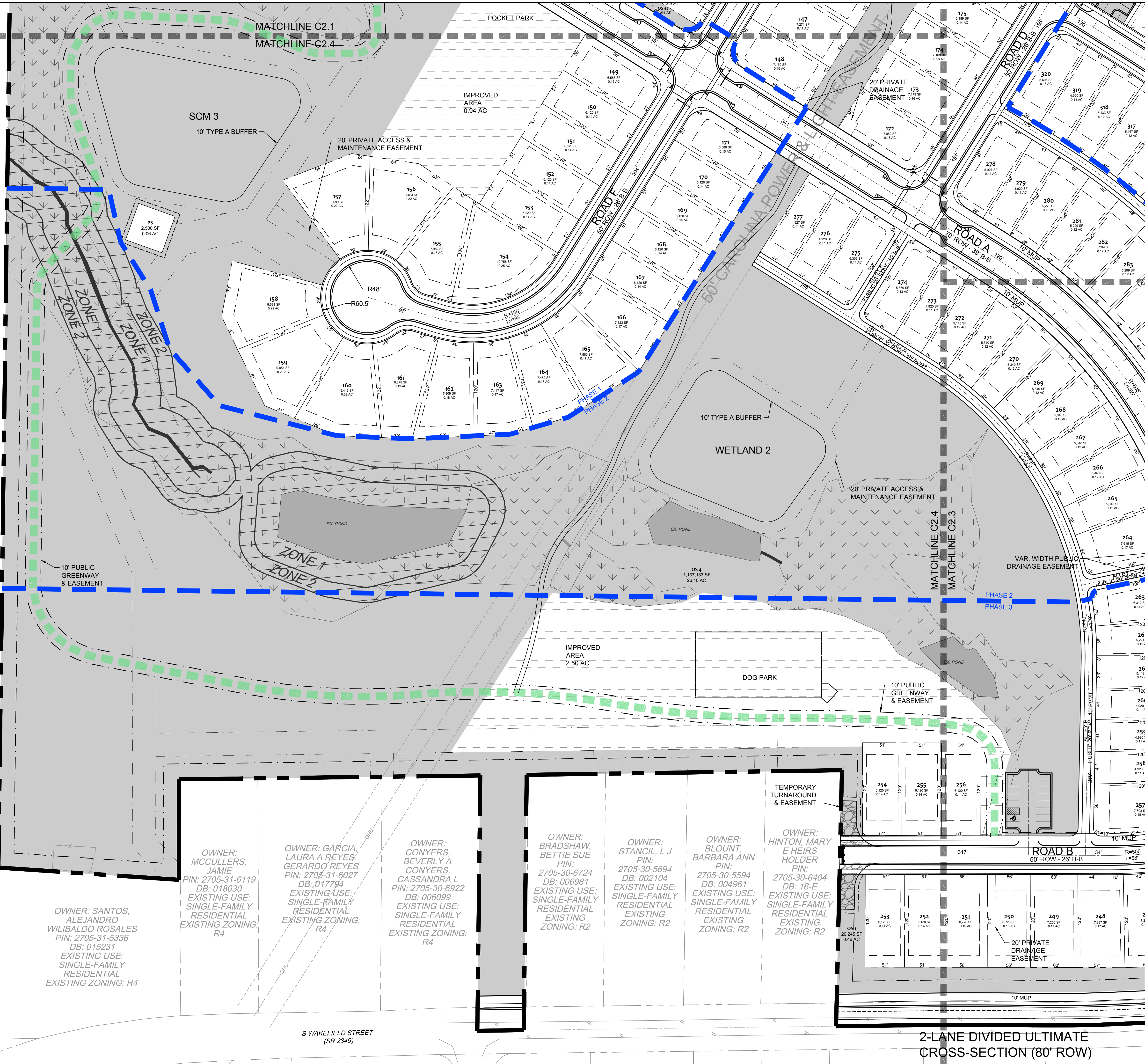
SCALE 1"=60'  
0 60' 120'

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PAVED PUBLIC GREENWAY
	PAVED PRIVATE TRAIL



OWNER: VINSON, MARTHA H  
PIN: 2705-41-0911  
DB: 016651  
EXISTING USE: VACANT  
EXISTING ZONING: R4



OWNER: SANTOS, ALEJANDRO WILIBALDO ROSALES  
PIN: 2705-31-5336  
DB: 015231  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: MCCULLERS, JAMIE  
PIN: 2705-31-6119  
DB: 018030  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: GARCIA, LAURA A REYES, GERARDO REYES  
PIN: 2705-31-6027  
DB: 017794  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: CONYERS, BEVERLY A CONYERS, CASSANDRA L  
PIN: 2705-30-6922  
DB: 006099  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R4

OWNER: BRADSHAW, BETTIE SUE  
PIN: 2705-30-6724  
DB: 006981  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: STANCIL, L J  
PIN: 2705-30-5694  
DB: 002104  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: BLOUNT, BARBARA ANN  
PIN: 2705-30-5594  
DB: 004961  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: HINTON, MARY E HEIRS HOLDER  
PIN: 2705-30-6404  
DB: 16-E  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

TEMPORARY TURNAROUND & EASEMENT

OWNER: 254, 255, 256  
PIN: 2705-30-6724  
DB: 006981  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: 253, 252, 251  
PIN: 2705-30-6724  
DB: 006981  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

OWNER: 250, 249, 248  
PIN: 2705-30-6724  
DB: 006981  
EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: R2

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CHECKED BY  
B. BLACKMON  
SCALE  
1" = 60'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
DETAILED SITE PLAN SHEET 4 OF 4

JOB NO.  
49084  
SHEET NO.  
C2.4

REVISION DESCRIPTION  
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SCALE  
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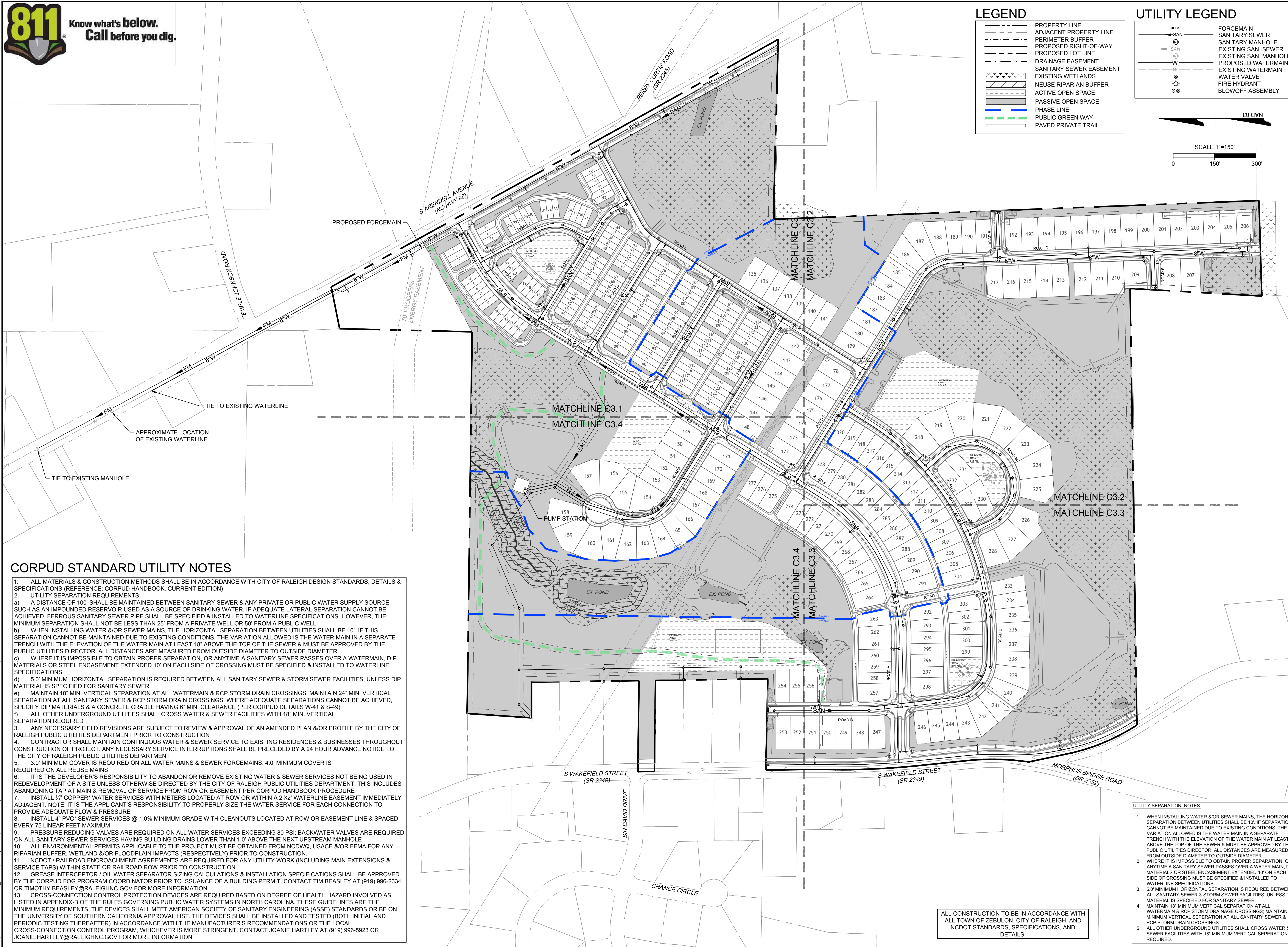
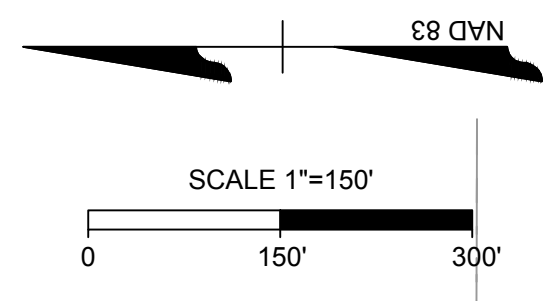


**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - NEUSE RIPARIAN BUFFER
- - - ACTIVE OPEN SPACE
- - - PASSIVE OPEN SPACE
- - - PHASE LINE
- - - PUBLIC GREEN WAY
- - - PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- FORCEMAIN
- SANITARY SEWER
- SANITARY MANHOLE
- EXISTING SAN. SEWER
- EXISTING SAN. MANHOLE
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- WATER VALVE
- FIRE HYDRANT
- BLOWOFF ASSEMBLY



**CORPUD STANDARD UTILITY NOTES**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

- UTILITY SEPARATION NOTES:**
1. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  2. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  3. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  4. MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAINAGE CROSSINGS; MAINTAIN 24" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS.
  5. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, CITY OF RALEIGH, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

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DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 150'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

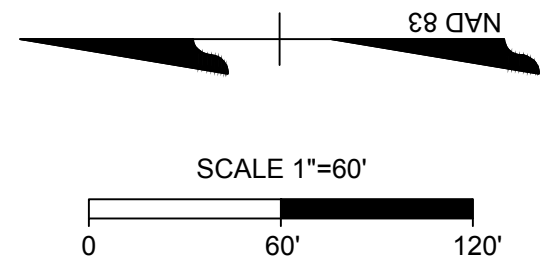
OVERALL UTILITY PLAN

JOB NO.  
49084

SHEET NO.  
C3.0

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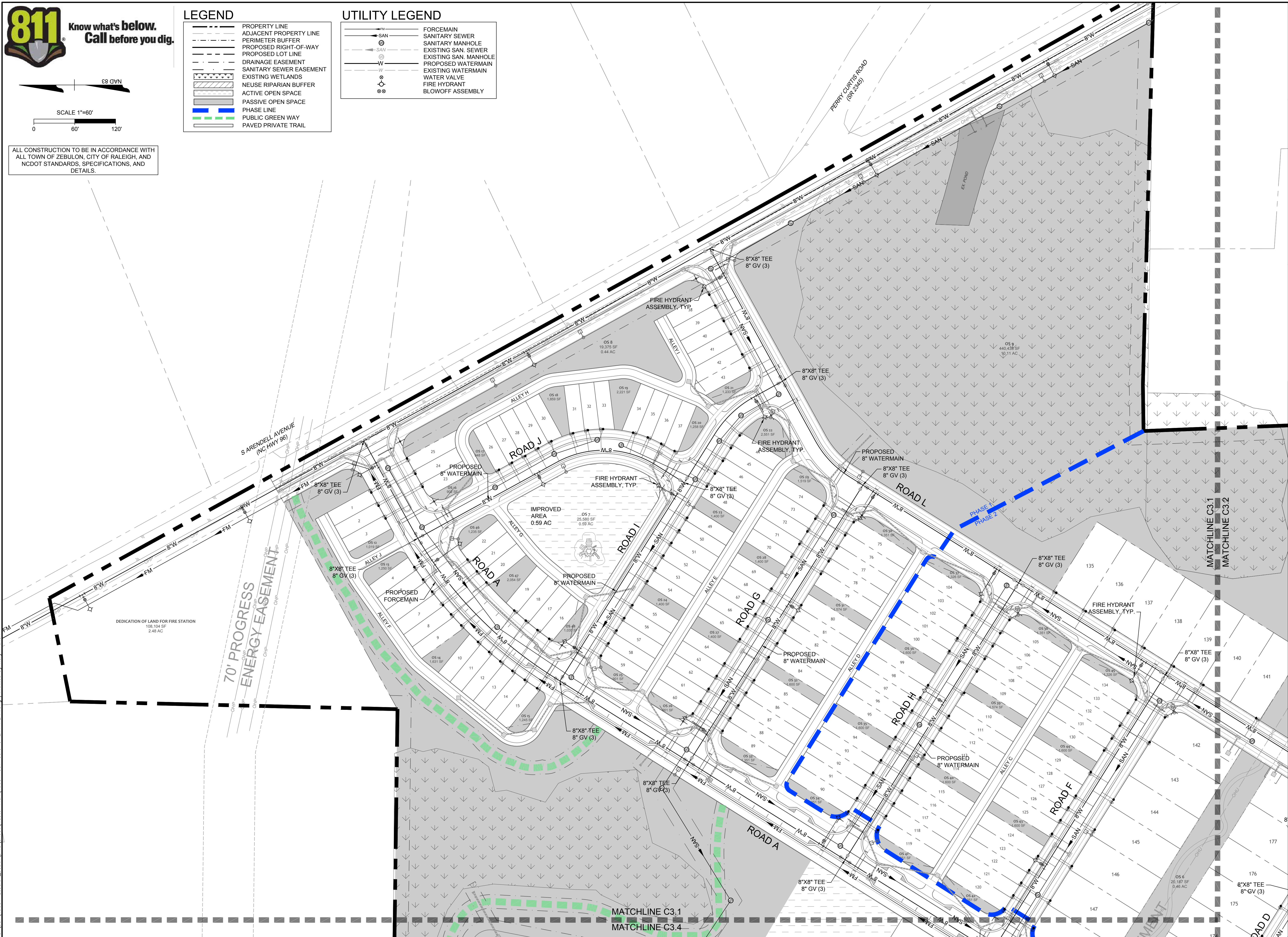
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

**UTILITY LEGEND**

	FORCEMAIN
	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY



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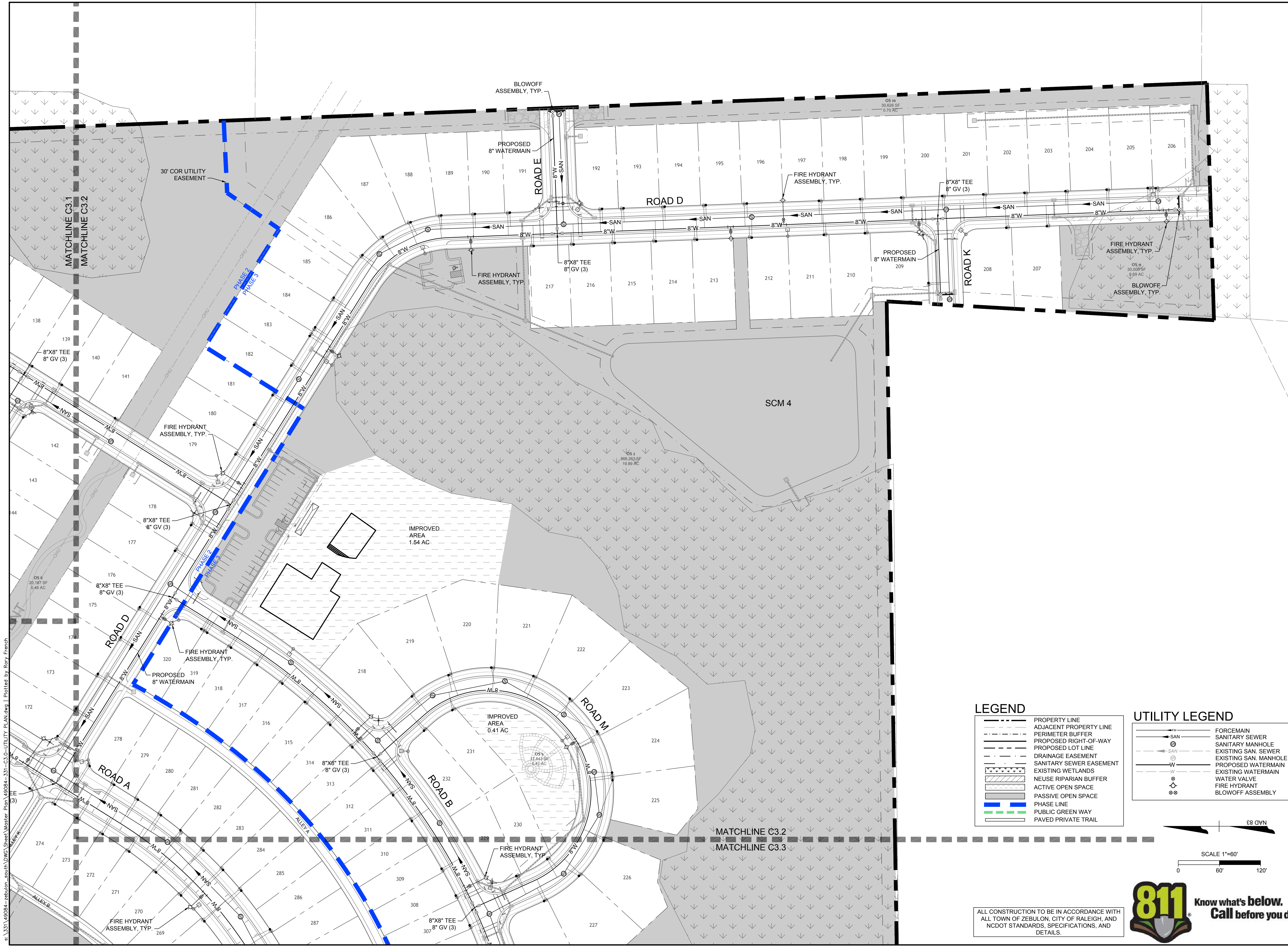
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ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**DETAILED UTILITY PLAN SHEET 1 OF 4**

JOB NO.  
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SHEET NO.  
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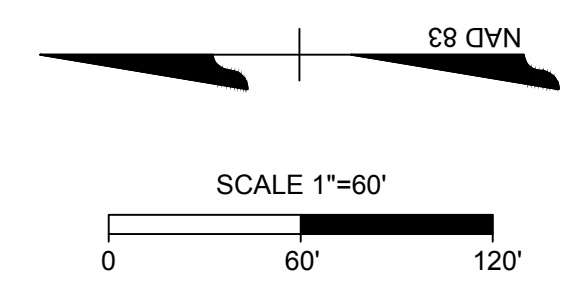


**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- ▨ EXISTING WETLANDS
- ▨ NEUSE RIPARIAN BUFFER
- ▨ ACTIVE OPEN SPACE
- ▨ PASSIVE OPEN SPACE
- ▨ PHASE LINE
- ▨ PUBLIC GREEN WAY
- ▨ PAVED PRIVATE TRAIL

**UTILITY LEGEND**

- SAN — FORCEMAIN SEWER
- SAN — SANITARY SEWER
- SAN — EXISTING SAN. SEWER
- SAN — EXISTING SAN. MANHOLE
- W — PROPOSED WATERMAIN
- W — EXISTING WATERMAIN
- W — WATER VALVE
- W — FIRE HYDRANT
- W — BLOWOFF ASSEMBLY



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SCALE  
 1" = 60'

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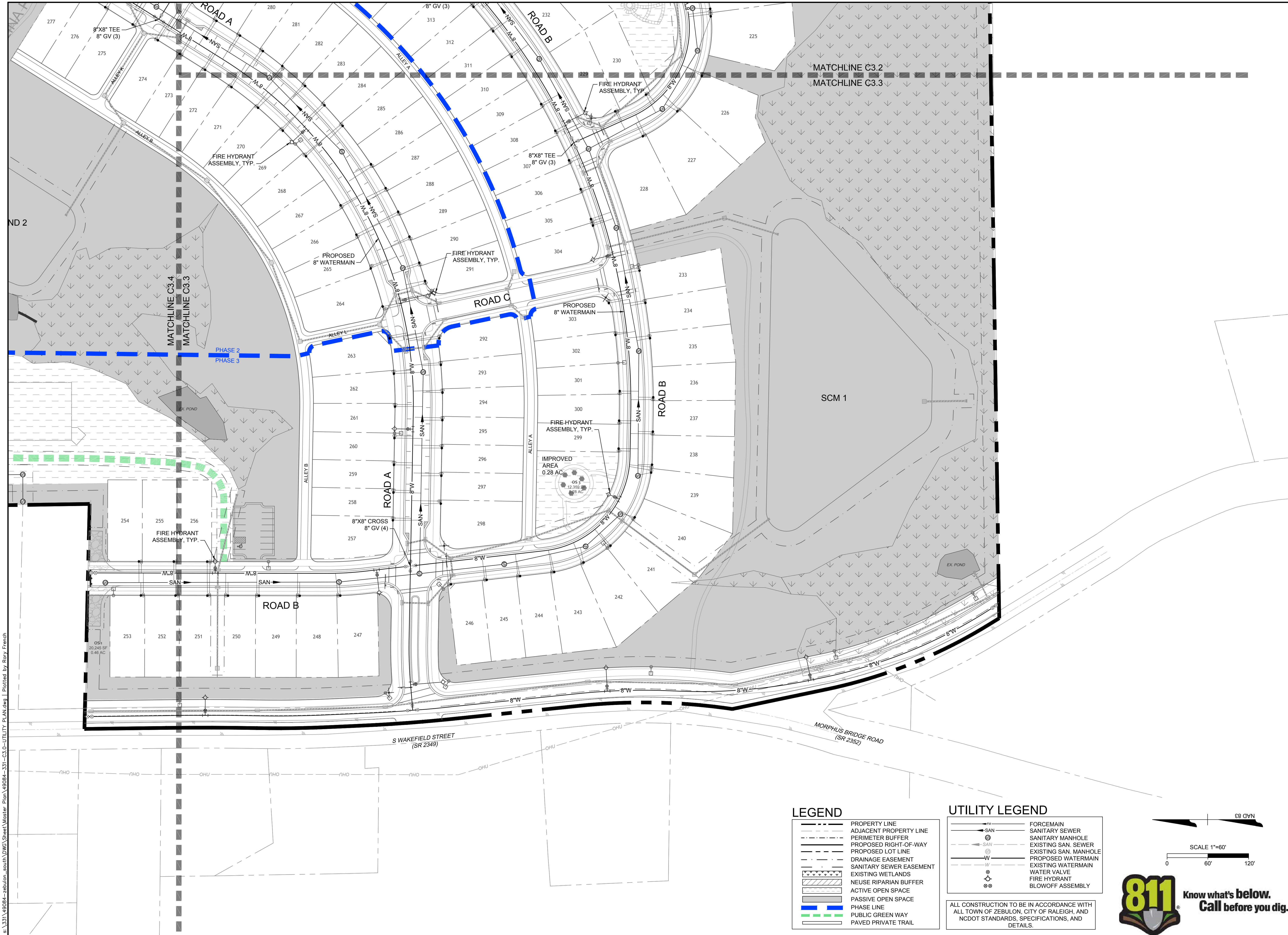
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**DETAILED UTILITY PLAN SHEET 2 OF 4**

REVISION DESCRIPTION	DATE

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 SHEET NO.  
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 CHECKED BY  
**B. BLACKMON**  
 SCALE  
**1" = 60'**

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**ZEBULON SOUTH**  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
**DETAILED UTILITY PLAN SHEET 3 OF 4**

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JOB NO.  
**49084**  
 SHEET NO.  
**C3.3**

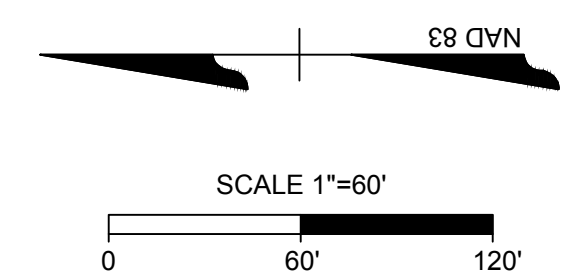
**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

**UTILITY LEGEND**

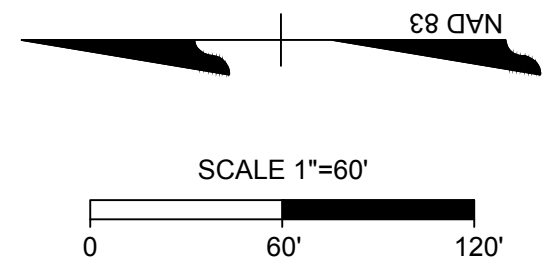
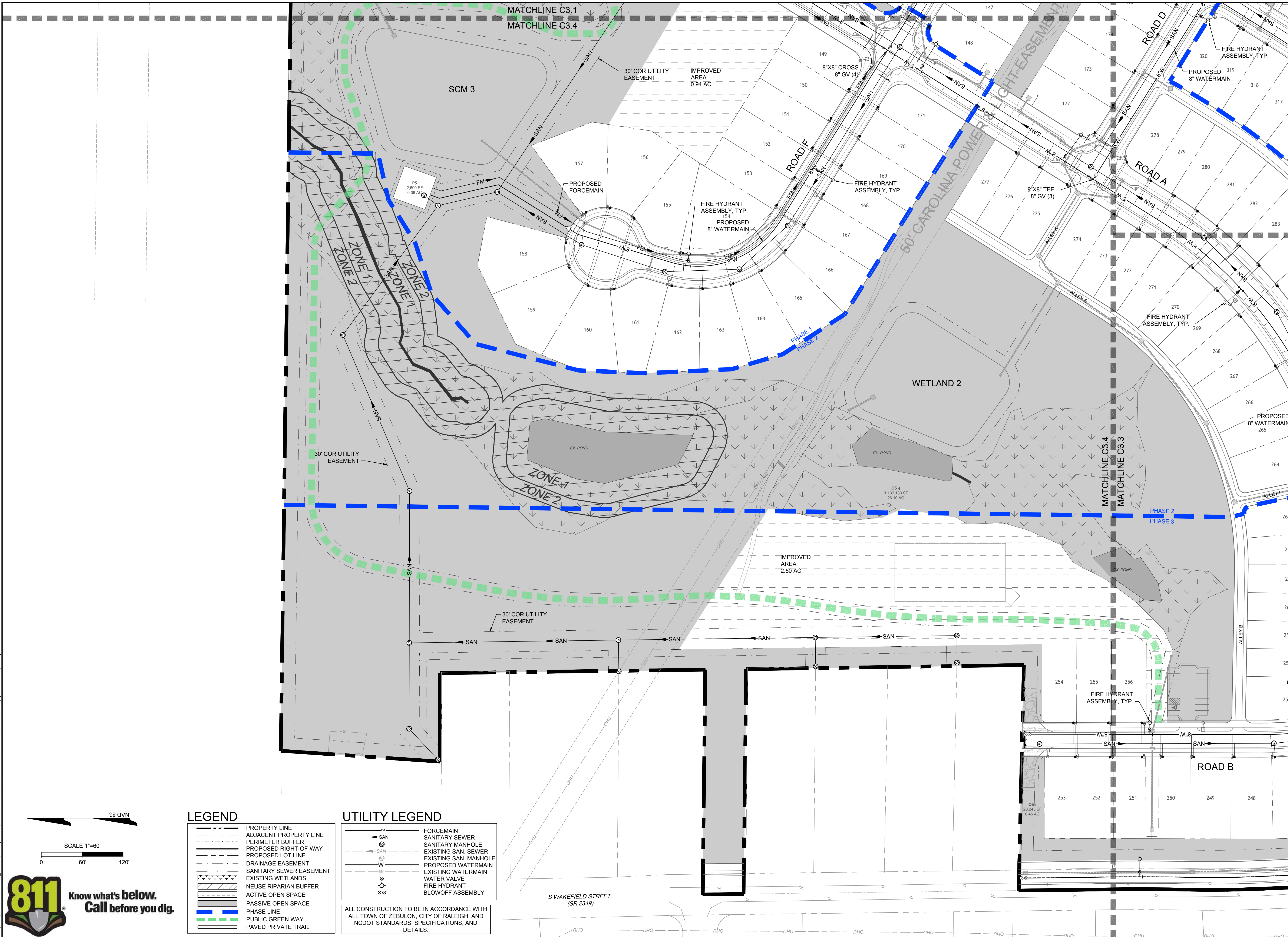
	FORCEMAIN
	SANITARY SEWER
	SANITARY MANHOLE
	EXISTING SAN. SEWER
	EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN
	EXISTING WATERMAIN
	WATER VALVE
	FIRE HYDRANT
	BLOWOFF ASSEMBLY

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, CITY OF RALEIGH, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

**UTILITY LEGEND**

	FORCE MAIN		SANITARY SEWER
	SANITARY SEWER		SANITARY MANHOLE
	EXISTING SAN. SEWER		EXISTING SAN. MANHOLE
	PROPOSED WATERMAIN		WATER VALVE
	EXISTING WATERMAIN		FIRE HYDRANT
	WATER VALVE		BLOWOFF ASSEMBLY
	FIRE HYDRANT		
	BLOWOFF ASSEMBLY		

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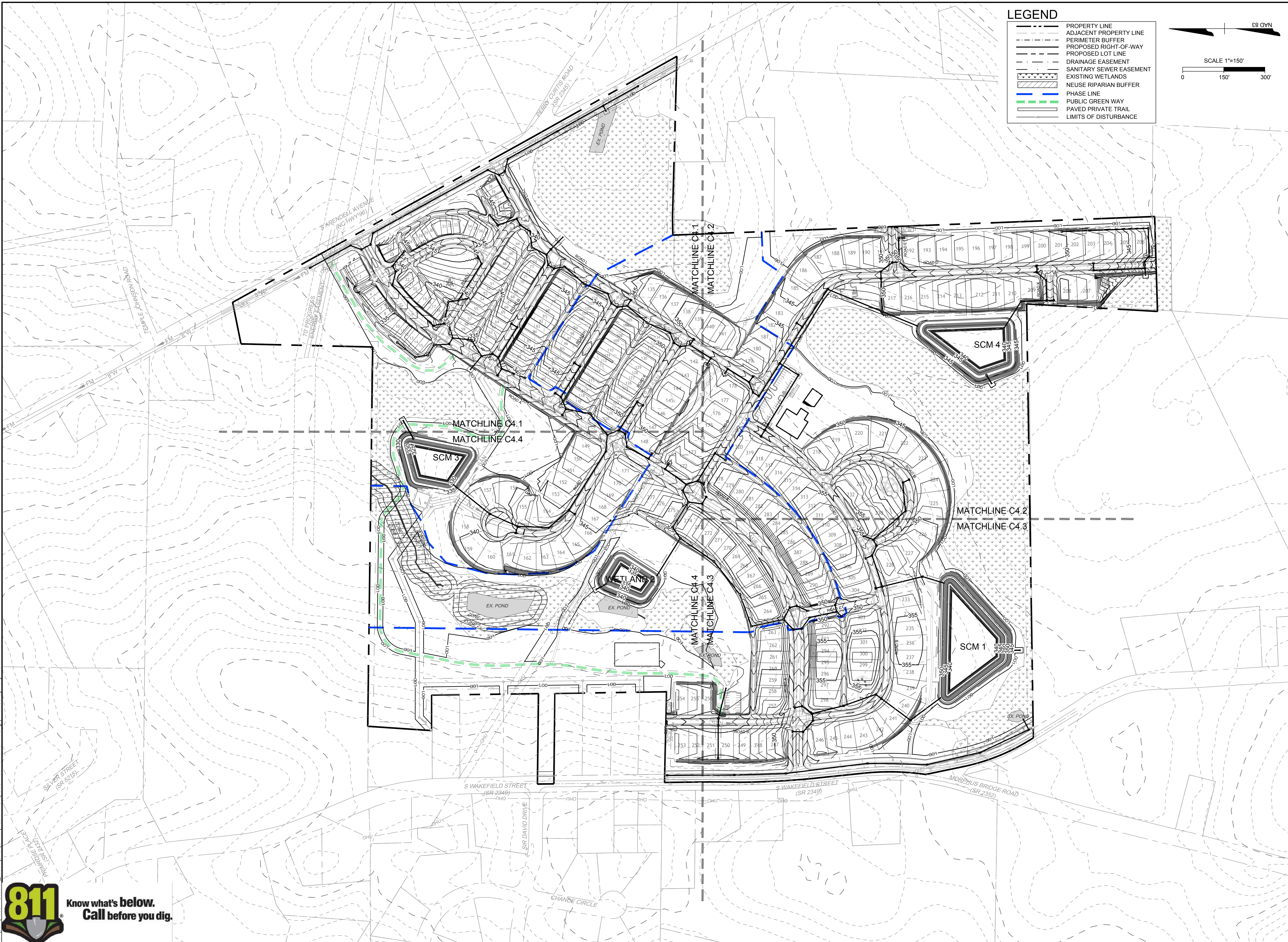
ZEBULON SOUTH  
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**DETAILED UTILITY PLAN SHEET 4 OF 4**  
 JOB NO.  
 49084  
 SHEET NO.  
 C3.4

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s:\31\49084-zebulon\Sheet\Master Plan\49084-331-C4.0-STRM.dwg | Plotted by Rory French

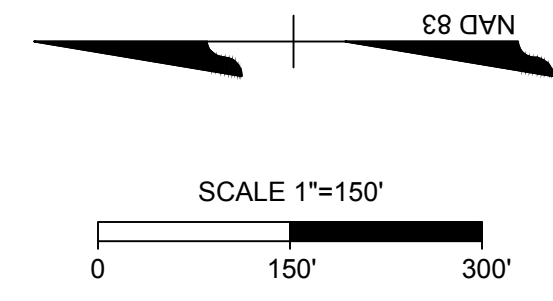


Know what's below.  
Call before you dig.



**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- - - EXISTING WETLANDS
- - - NEUSE RIPARIAN BUFFER
- PHASE LINE
- - - PUBLIC GREEN WAY
- - - PAVED PRIVATE TRAIL
- - - LIMITS OF DISTURBANCE



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DATE	REVISION DESCRIPTION
01/15/2024	

DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	1" = 150'

**TIMMONS GROUP** . . . . .

NORTH CAROLINA LICENSE NO. C-1652

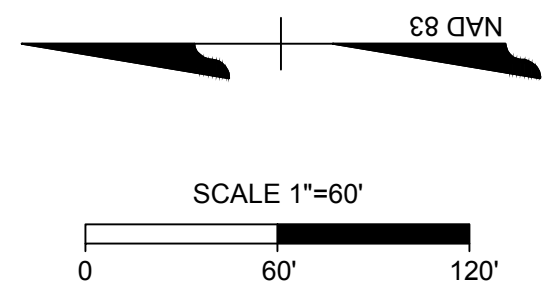
**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**OVERAL GRADING & DRAINAGE PLAN**

JOB NO.  
49084

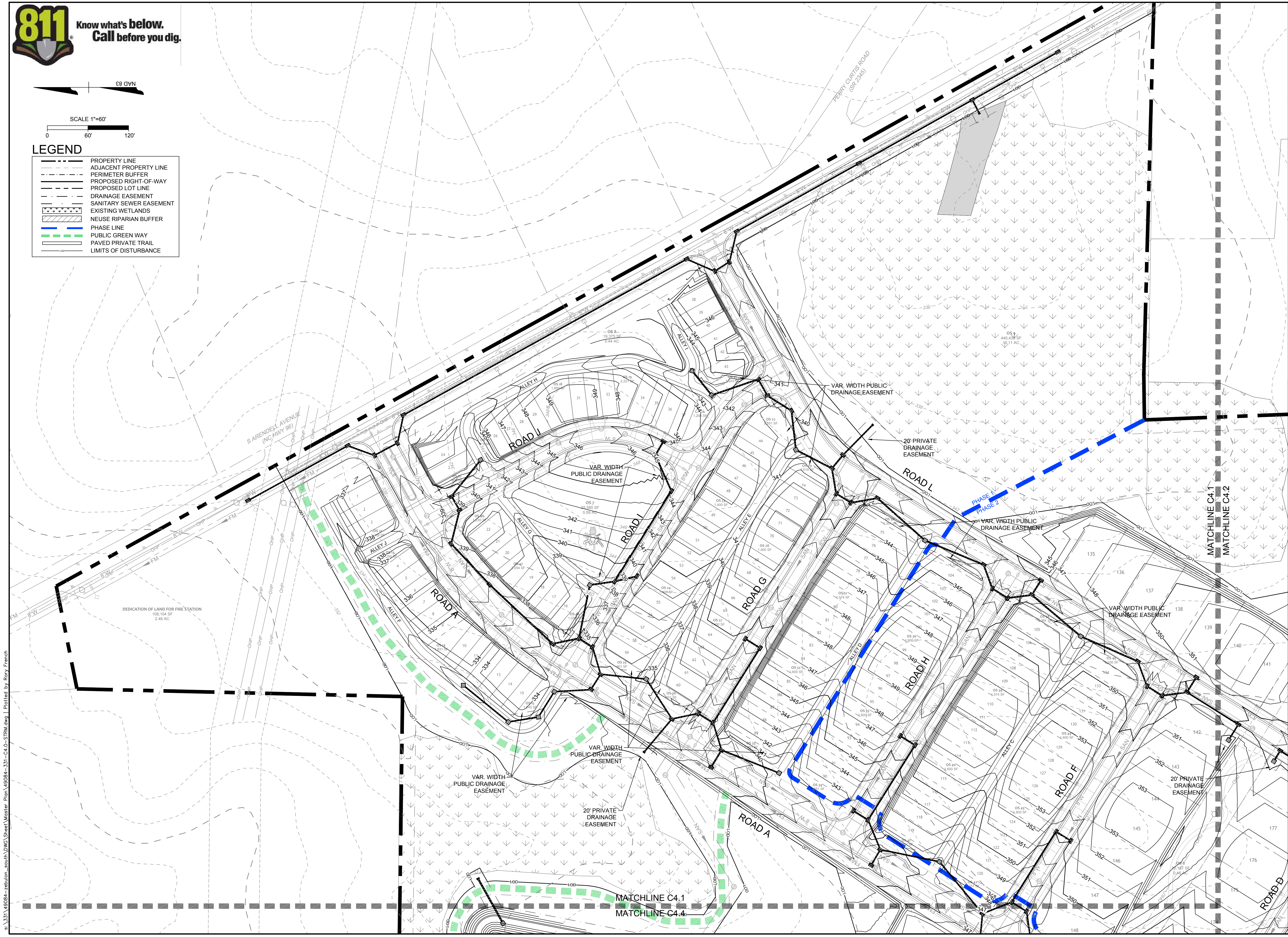
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**LEGEND**

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- ADJACENT PROPERTY LINE
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- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
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- PUBLIC GREEN WAY
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- LIMITS OF DISTURBANCE



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01/15/2024

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 60'

REVISION DESCRIPTION

NO.	DESCRIPTION

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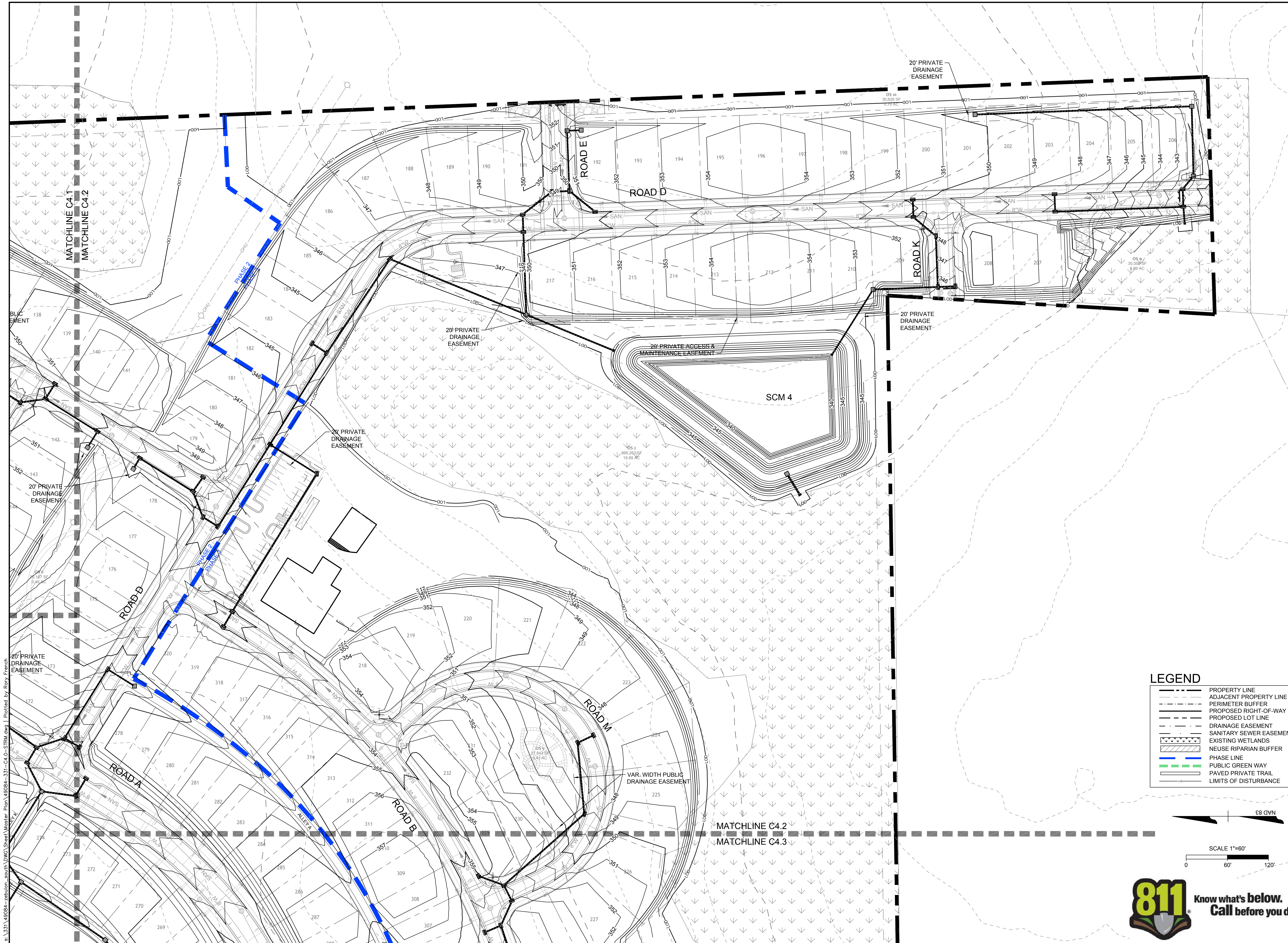
**ZEBULON SOUTH**

**DETAILED GRADING & DRAINAGE PLAN SHEET 1 OF 4**

JOB NO.  
**49084**

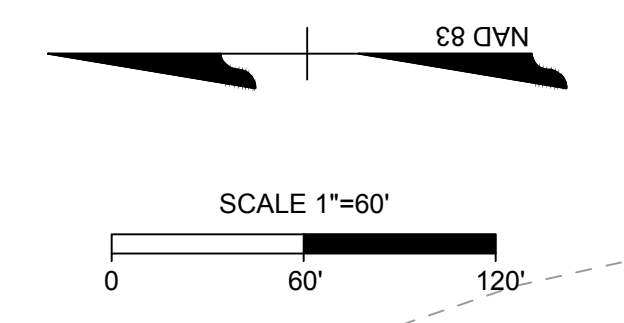
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL
	LIMITS OF DISTURBANCE



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SCALE  
1" = 60'

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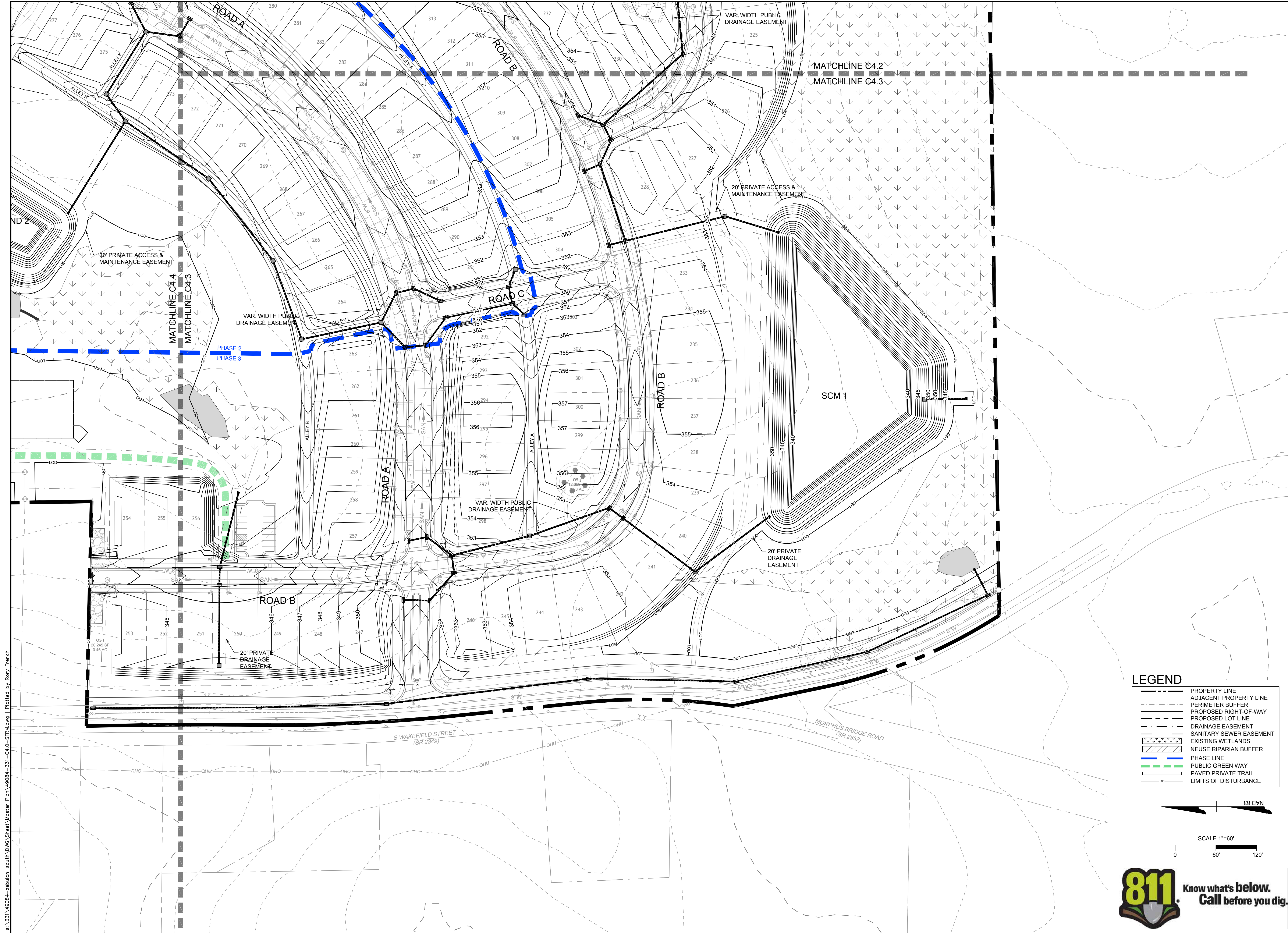
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751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED GRADING & DRAINAGE PLAN SHEET 2 OF 4

JOB NO.  
49084

SHEET NO.  
C4.2

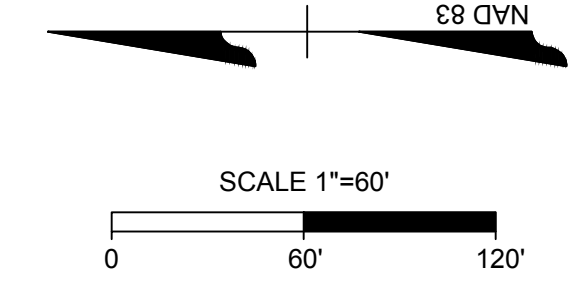
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PHASE LINE
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL
	LIMITS OF DISTURBANCE



**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED GRADING & DRAINAGE PLAN SHEET 3 OF 4**

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		B. BLACKMON
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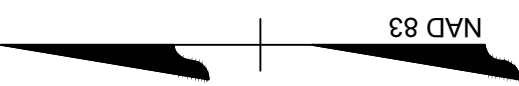
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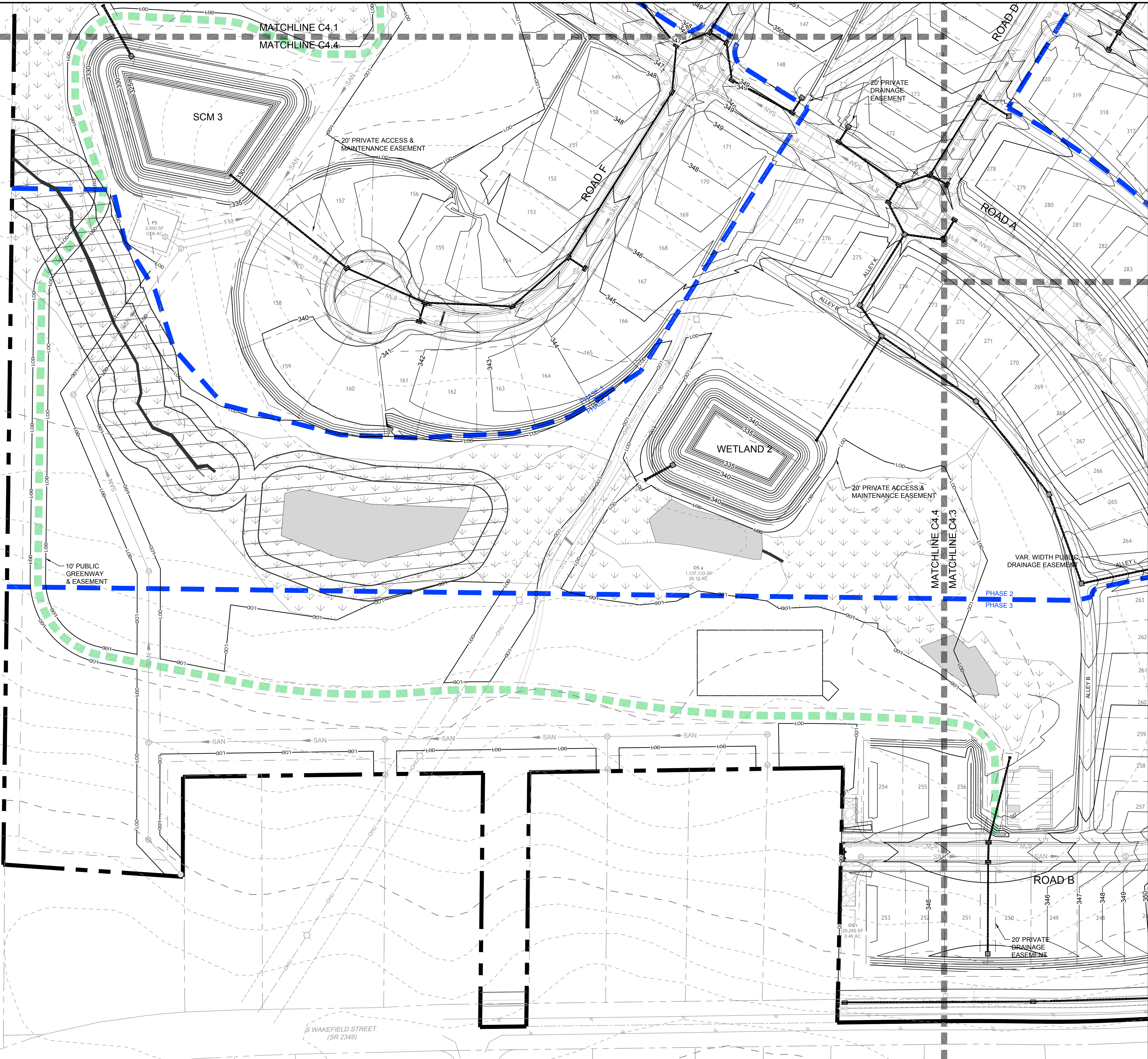
s:\331\49084-rebilon\sheet\DWG\Sheet Master Plan 49084-331-C4.0-STRM.dwg | Plotted by Rory French

**LEGEND**

(Dashed line)	PROPERTY LINE
(Dotted line)	ADJACENT PROPERTY LINE
(Thick dashed line)	PERIMETER BUFFER
(Thin dashed line)	PROPOSED RIGHT-OF-WAY
(Thin solid line)	PROPOSED LOT LINE
(Dashed line with arrows)	DRAINAGE EASEMENT
(Dashed line with arrows)	SANITARY SEWER EASEMENT
(Hatched pattern)	EXISTING WETLANDS
(Hatched pattern)	NEUSE RIPARIAN BUFFER
(Blue dashed line)	PHASE LINE
(Green dashed line)	PUBLIC GREENWAY
(Thin solid line)	PAVED PRIVATE TRAIL
(Thin solid line)	LIMITS OF DISTURBANCE



SCALE 1"=60'



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DESIGNED BY
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CHECKED BY
B. BLACKMON
SCALE
1" = 60'

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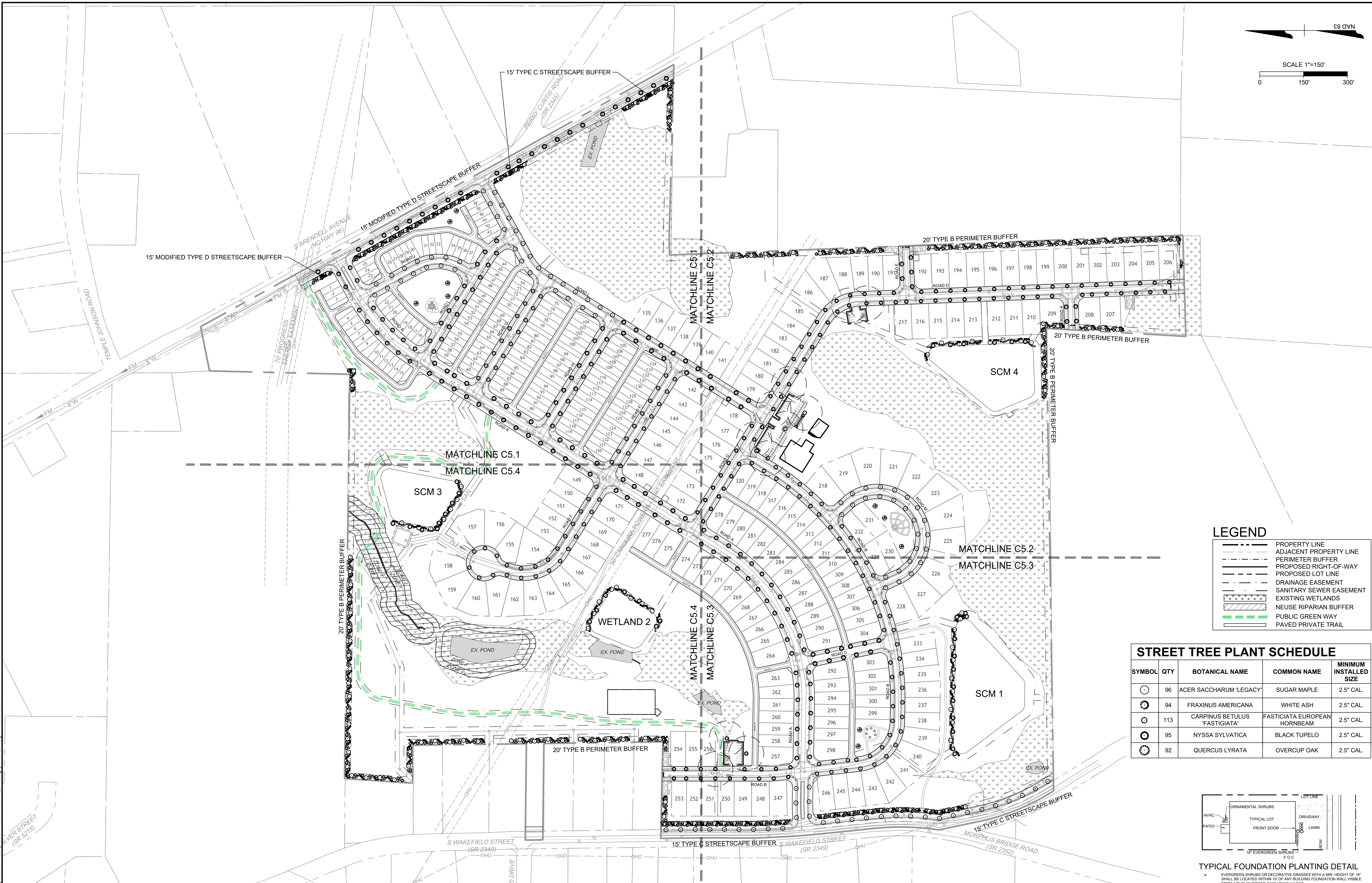
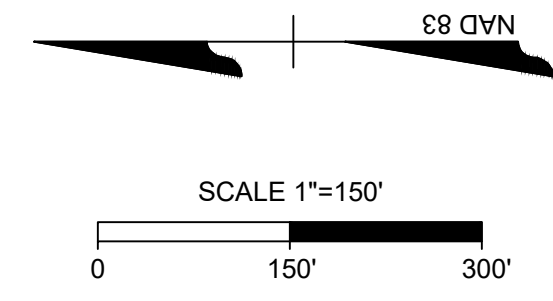
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## DETAILED GRADING & DRAINAGE PLAN SHEET 4 OF 4

JOB NO.
49084
SHEET NO.
C4.4

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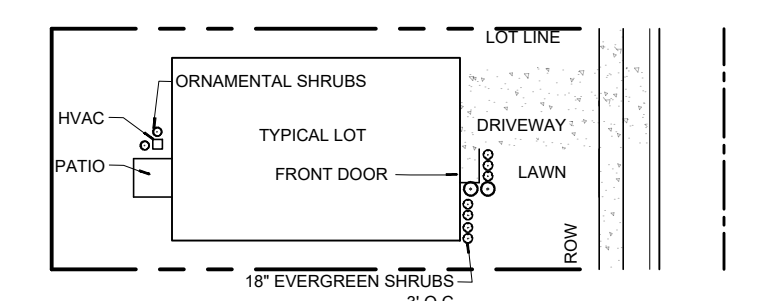


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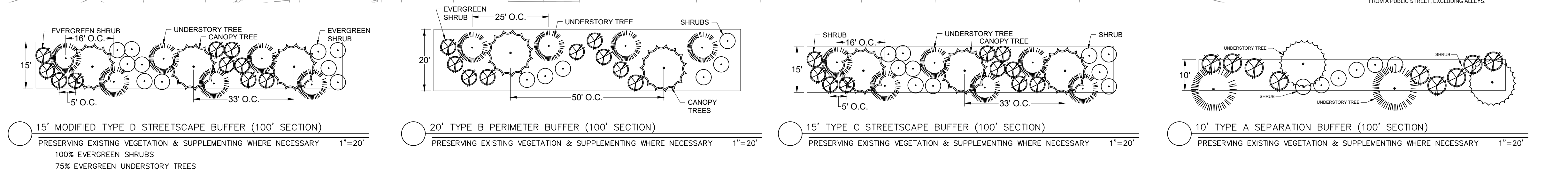
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**STREET TREE PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE
	96	ACER SACCHARUM 'LEGACY'	SUGAR MAPLE	2.5" CAL.
	94	FRAXINUS AMERICANA	WHITE ASH	2.5" CAL.
	113	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATA EUROPEAN HORNBEAM	2.5" CAL.
	95	NYSSA SYLVATICA	BLACK TUPELO	2.5" CAL.
	92	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL.



**TYPICAL FOUNDATION PLANTING DETAIL**  
 EVERGREEN SHRUBS OR DECORATIVE GRASSES WITH A MIN. HEIGHT OF 18" SHALL BE LOCATED WITHIN 10' OF ANY BUILDING FOUNDATION WALL VISIBLE FROM A PUBLIC STREET, EXCLUDING ALLEYS.



S:\31\49084-Zebulon\_South DMC Street Master Plan 49084-331-C5.dwg | Plotted by Allison Stone



**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

OVERALL LANDSCAPE PLAN

JOB NO. 49084  
 SHEET NO. C5.0

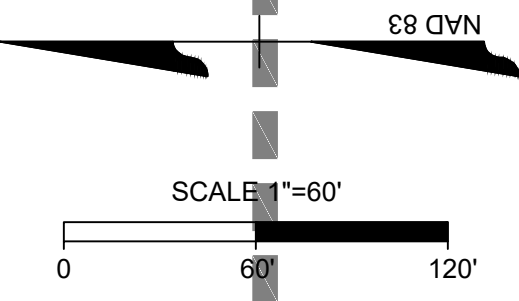
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	E. ANGE
	B. BLACKMON
	SCALE 1" = 150'

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MODIFIED TYPE D STREETSCAPE BUFFER  
FOR S ARENDELL AVE.  
100% EVERGREEN SHRUBS  
75% EVERGREEN UNDERSTORY TREES



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

DEDICATION OF LAND FOR FIRE STATION  
108,104 SF  
2.48 AC

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DATE	01/15/2024
DRAWN BY	331
DESIGNED BY	E. ANGE
CHECKED BY	B. BLACKMON
SCALE	1" = 60'

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
DETAILED LANDSCAPE PLAN SHEET 1 OF 4

JOB NO.	49084
SHEET NO.	C5.1

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REVISION DESCRIPTION

DATE

01/15/2024

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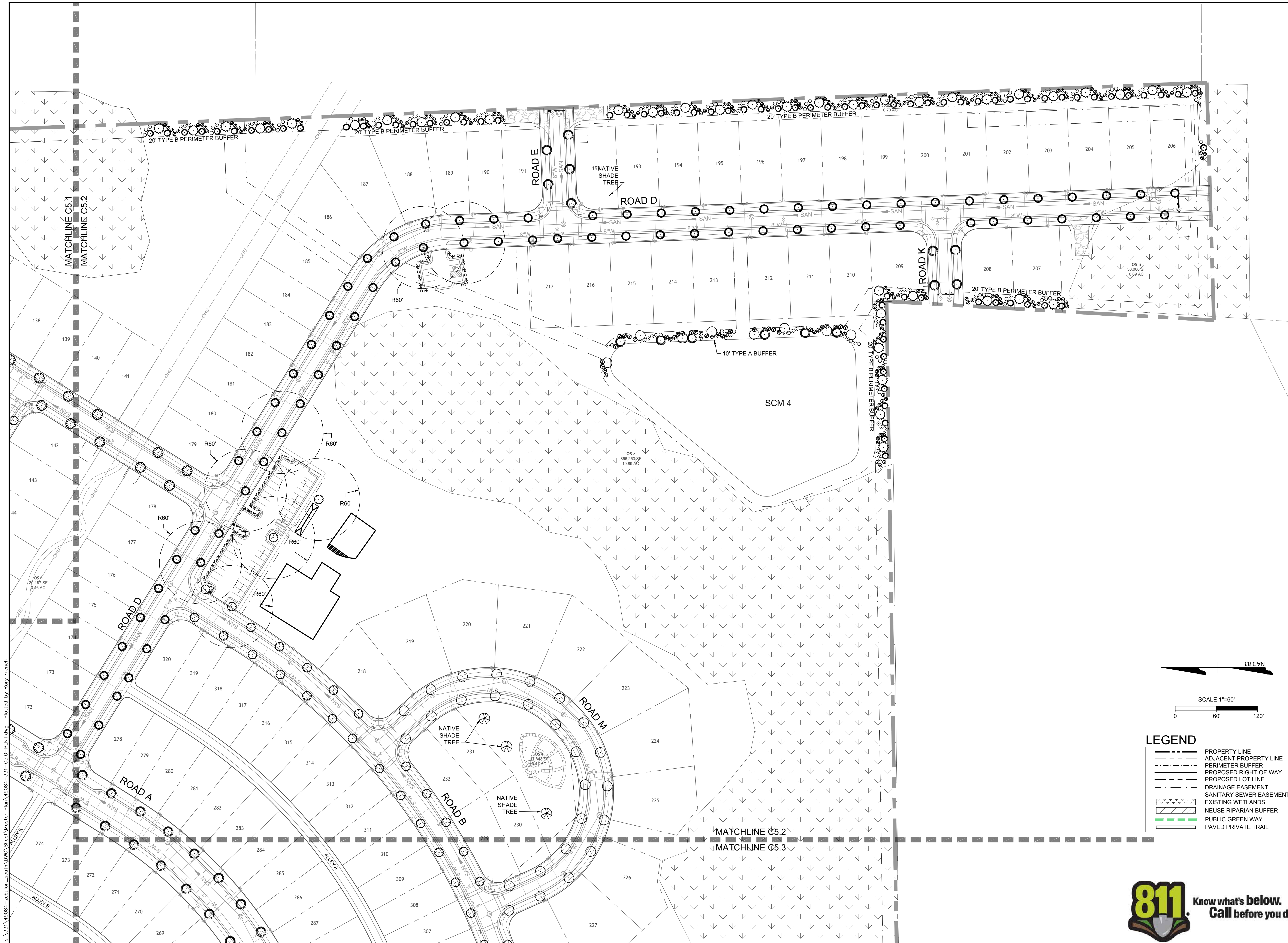
E. ANGE

CHECKED BY

B. BLACKMON

SCALE

1" = 60'



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL

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DATE  
**01/15/2024**

DRAWN BY  
**331**

DESIGNED BY  
**E. ANGE**

CHECKED BY  
**B. BLACKMON**

SCALE  
**1" = 60'**

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**ZEBULON SOUTH**  
**DETAILED LANDSCAPE PLAN SHEET 2 OF 4**

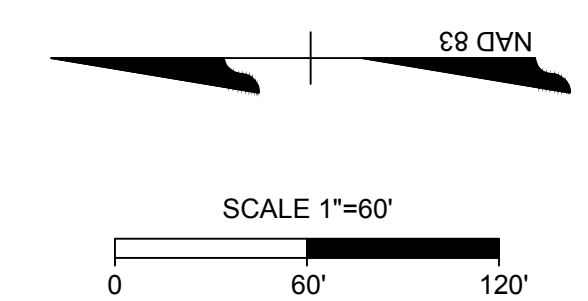
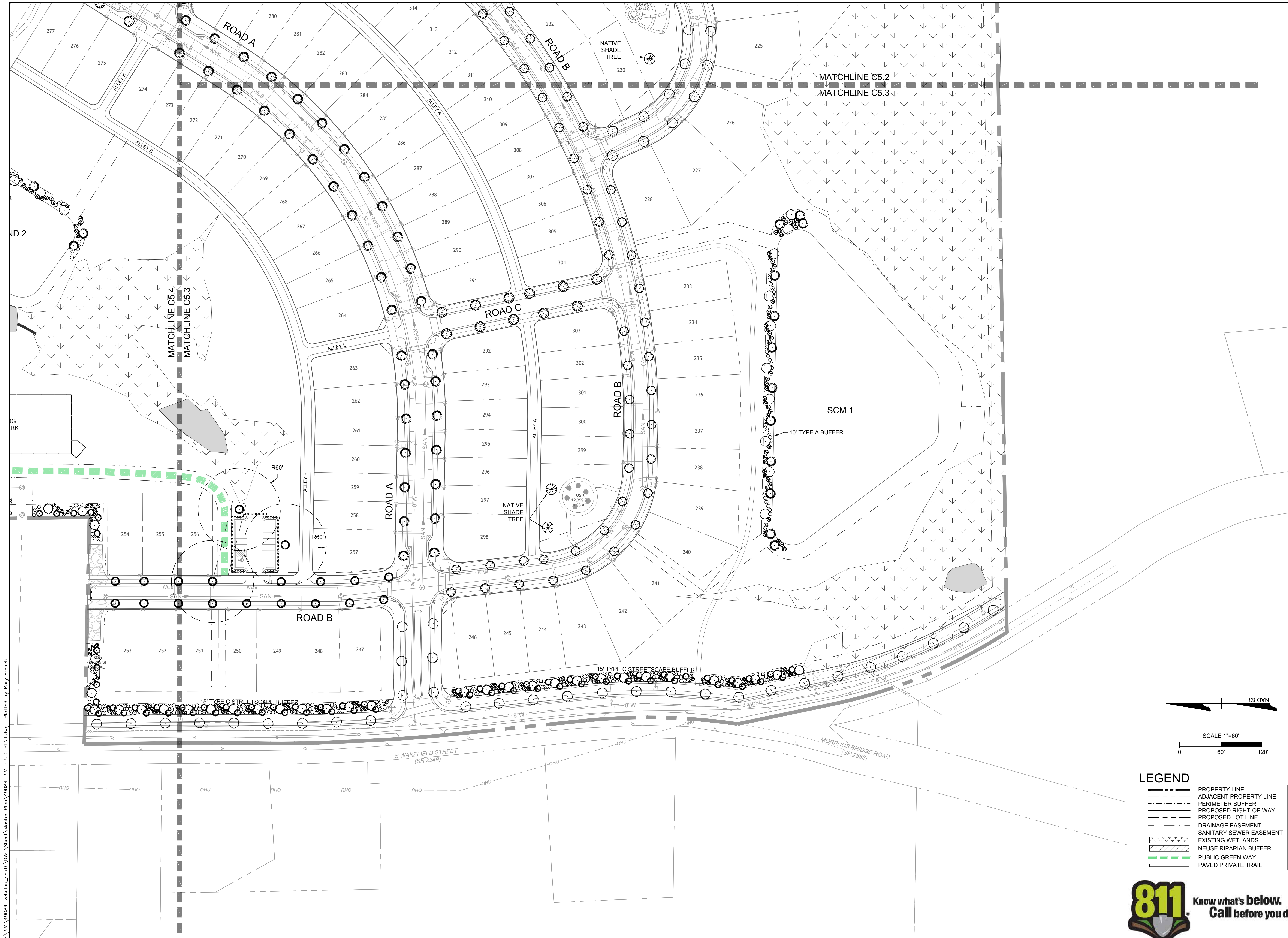
JOB NO.  
**49084**

SHEET NO.  
**C5.2**



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**LEGEND**

	PROPERTY LINE
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	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



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**DETAILED LANDSCAPE PLAN SHEET 3 OF 4**

NORTH CAROLINA LICENSE NO. C-1652

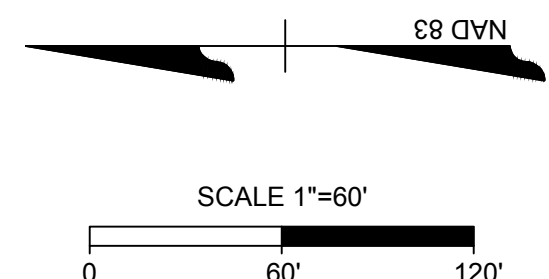
REVISION DESCRIPTION	DATE
	01/15/2024

JOB NO. 49084	SHEET NO. C5.3
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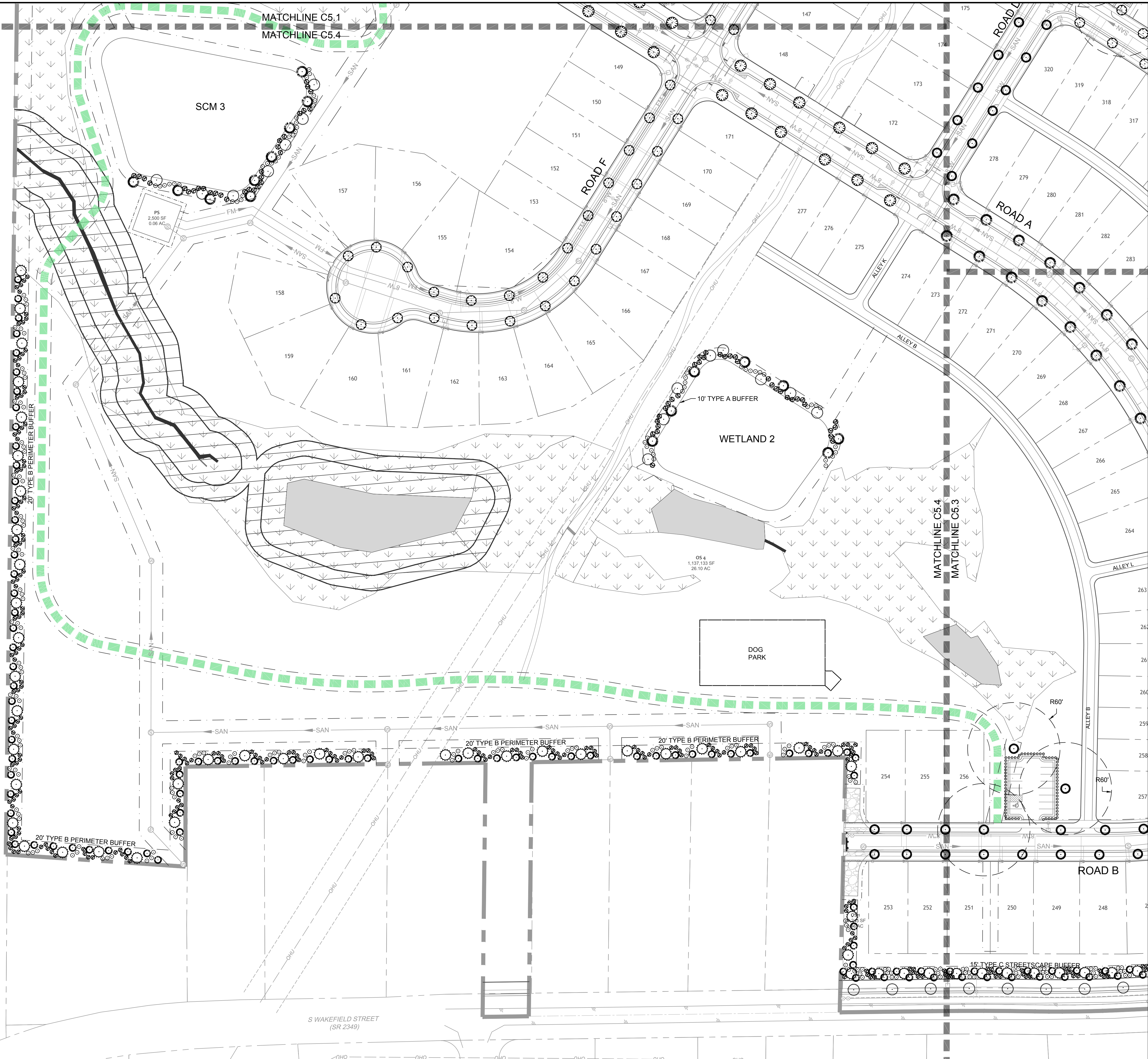
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



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DATE  
01/15/2024

DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 60'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

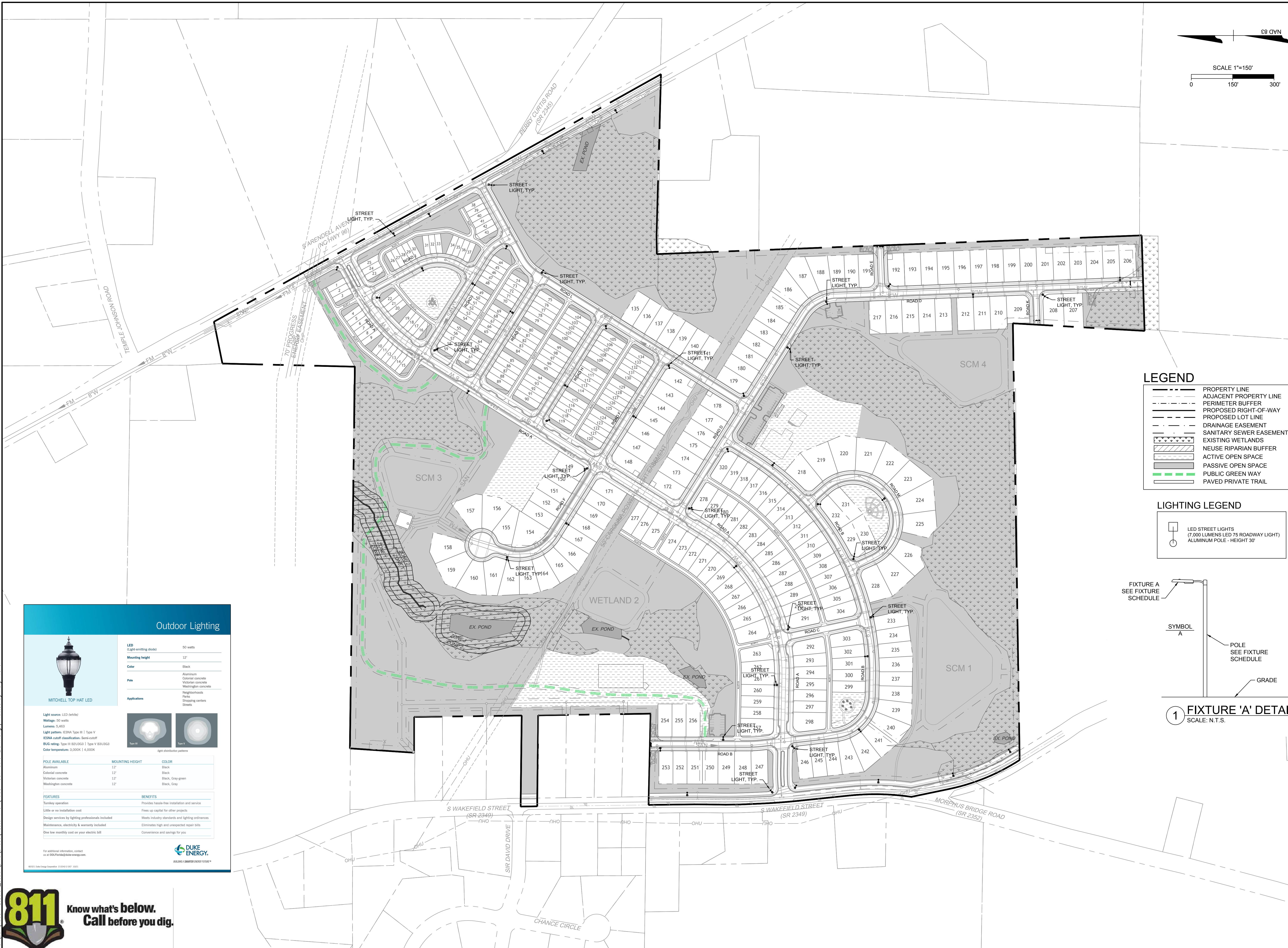
**DETAILED LANDSCAPE PLAN SHEET 4 OF 4**

JOB NO.  
49084

SHEET NO.  
C5.4

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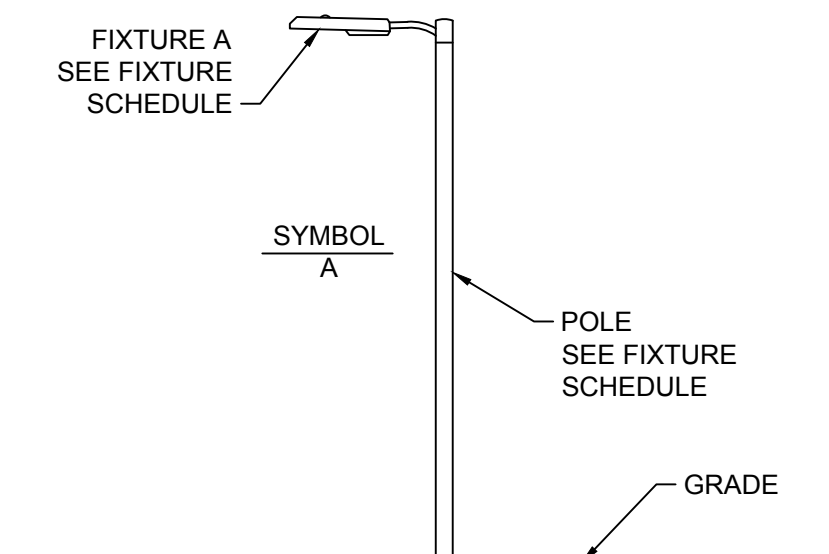


**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

**LIGHTING LEGEND**

- LED STREET LIGHTS (7,000 LUMENS LED 75 ROADWAY LIGHT)
- ALUMINUM POLE - HEIGHT 30'



1 FIXTURE 'A' DETAIL  
SCALE: N.T.S.

**Outdoor Lighting**

**MITCHELL TOP HAT LED**

Light source: LED (white)  
Wattage: 50 watts  
Lumens: 5,463  
Light pattern: ESNA Type III | Type V  
IESNA cutoff classification: Semi-cutoff  
BUG rating: Type III B2USG3 | Type V B2USG3  
Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12'	Black
Colored concrete	12'	Black
Victorian concrete	12'	Black, Gray-green
Washington concrete	12'	Black, Gray

**FEATURES**

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

**BENEFITS**

- Provides hands-free installation and service
- Frees up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, contact us at 811 or [www.dukeenergy.com](http://www.dukeenergy.com)

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DESIGNED BY: E. ANGE  
CHECKED BY: B. BLACKMON  
SCALE: 1" = 150'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ZEBULON SOUTH**  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**LIGHTING PLAN**

JOB NO. 49084  
SHEET NO. C6.0

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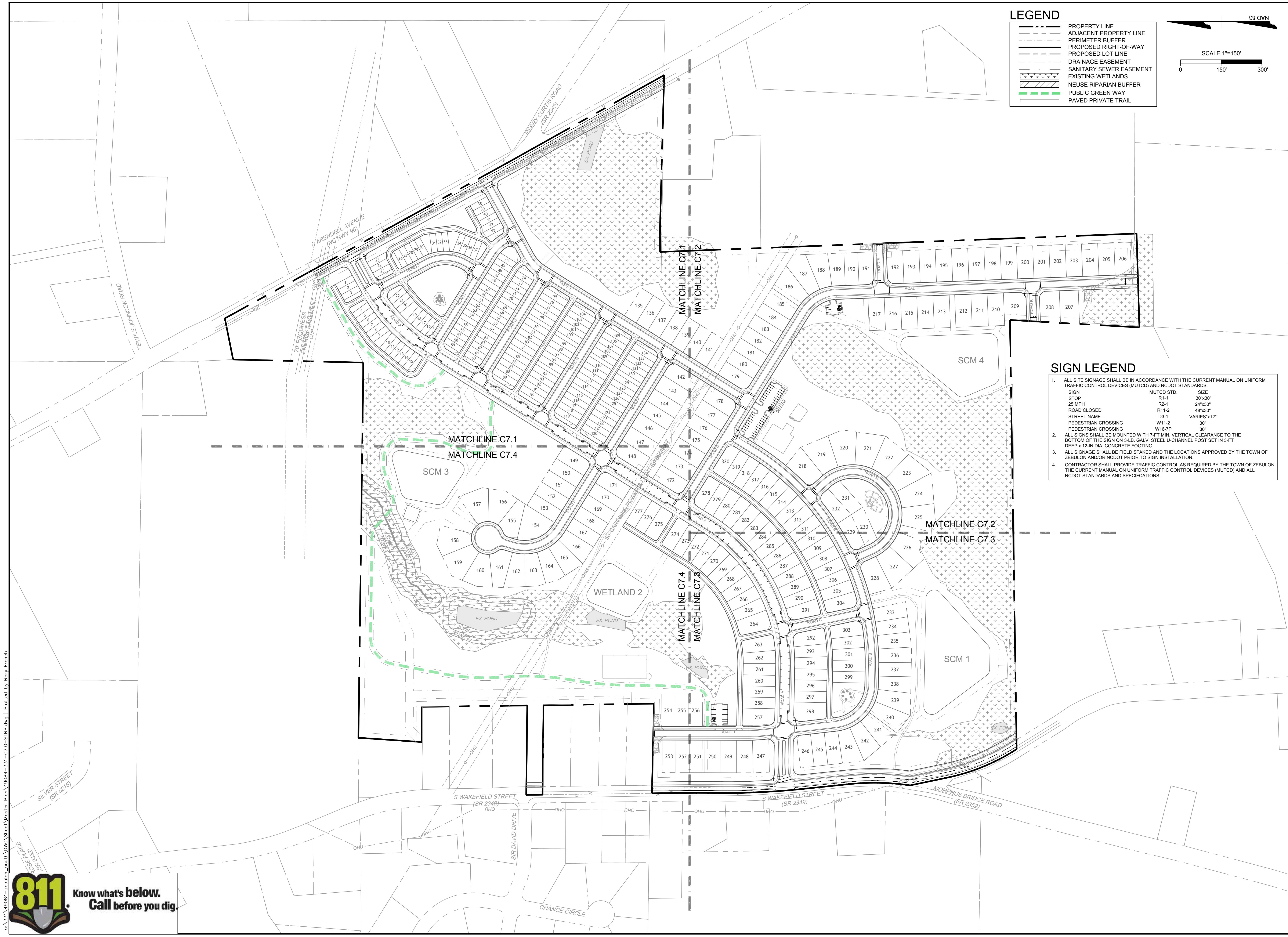
**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - DRAINAGE EASEMENT
- - - SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

SCALE 1"=150'

0 150' 300'

83 QAN



**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF ZEBULON AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF ZEBULON THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.

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DRAWN BY  
331

DESIGNED BY  
E. ANGE

CHECKED BY  
B. BLACKMON

SCALE  
1" = 150'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

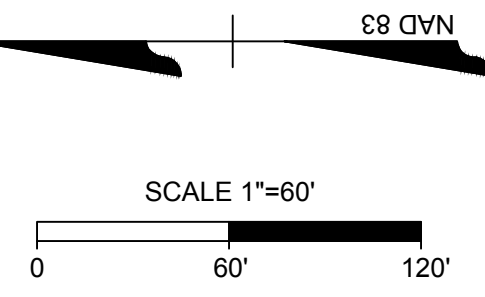
OVERALL SIGNS & MARKINGS PLAN

JOB NO.  
49084

SHEET NO.  
C7.0

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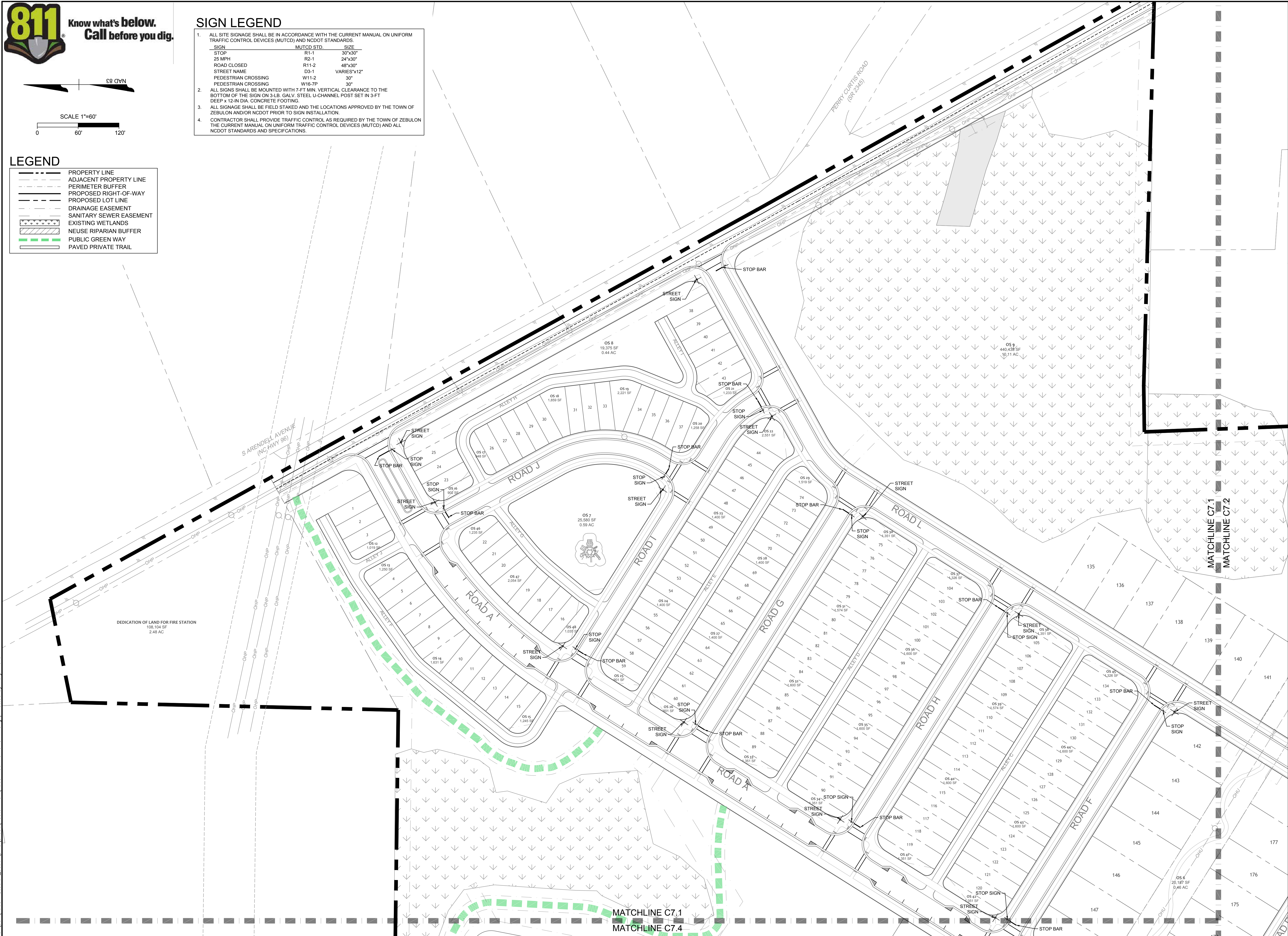
**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	O3-1	VARIES*12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHEMEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
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**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL



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 331

DESIGNED BY  
 E. ANGE

CHECKED BY  
 B. BLACKMON

SCALE  
 1" = 60'

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ZEBULON SOUTH  
 751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

**DETAILED SIGNS & MARKINGS PLAN SHEET 1 OF 4**

REVISION DESCRIPTION

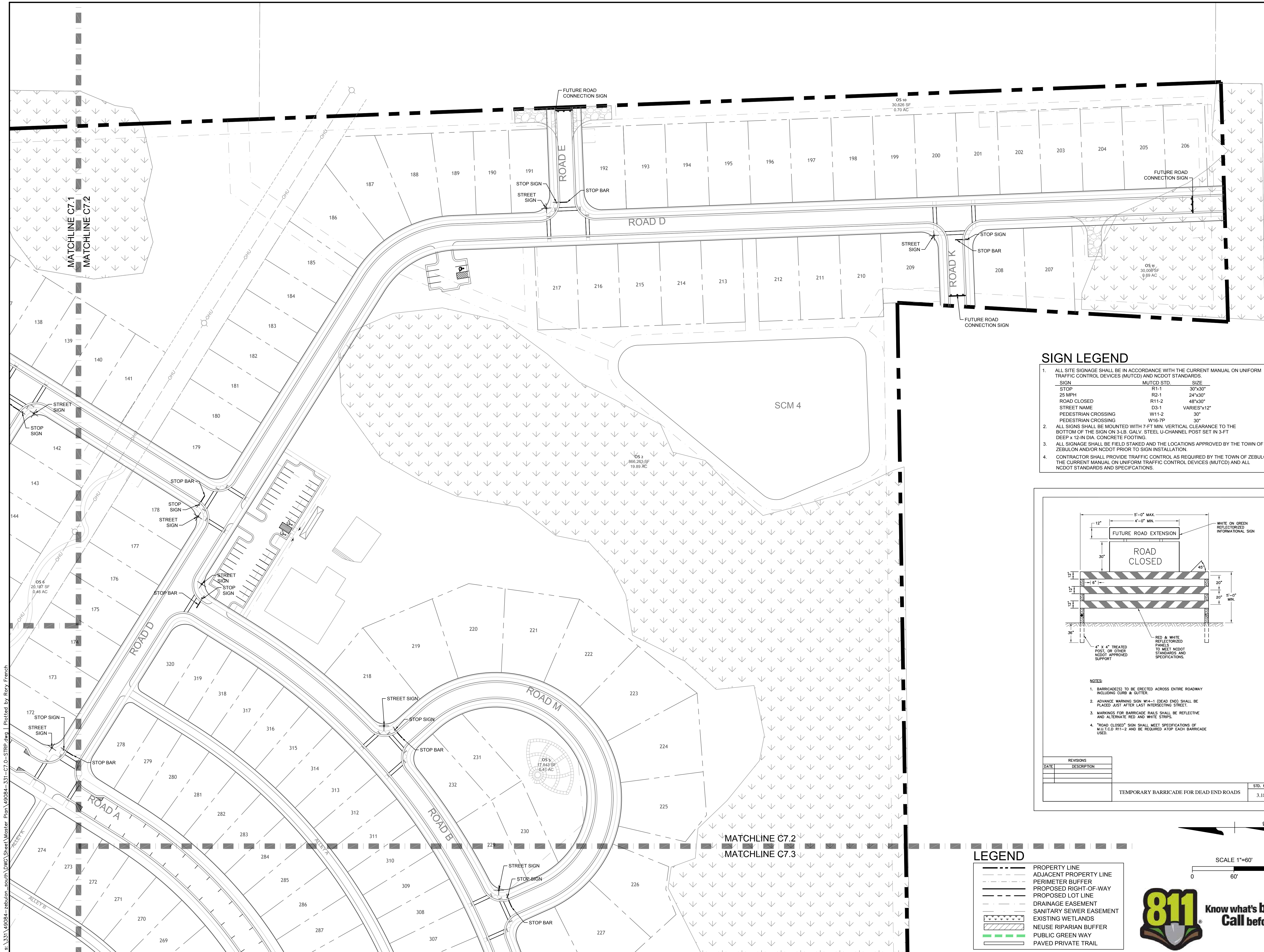
NO.	DATE	DESCRIPTION

JOB NO.  
**49084**

SHEET NO.  
**C7.1**

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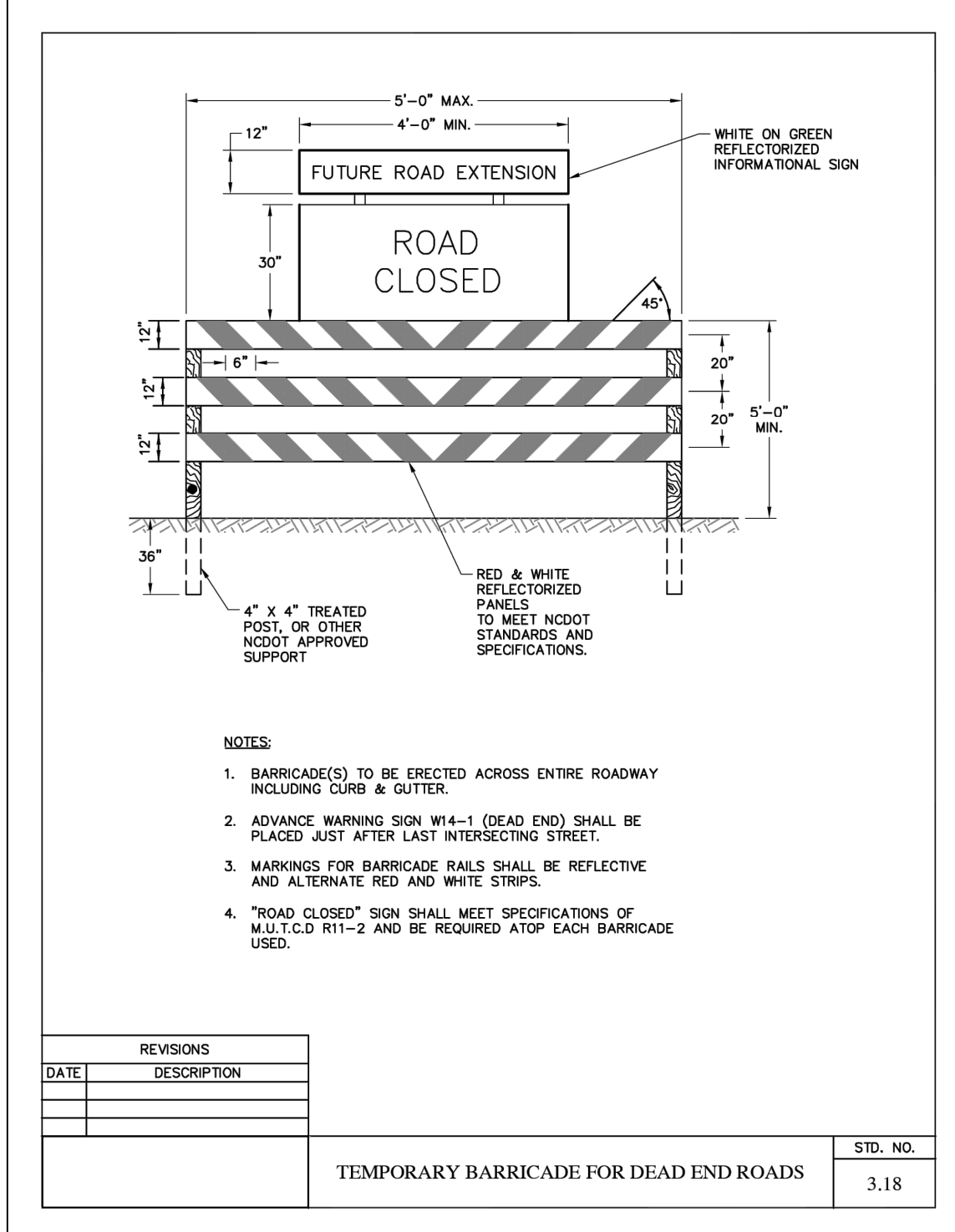
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### SIGN LEGEND

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON S.L.B. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
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SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIES"x12"
PEDESTRIAN CROSSING	W11-2	30"
PEDESTRIAN CROSSING	W16-7P	30"



### LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PUBLIC GREEN WAY
- PAVED PRIVATE TRAIL

811 Know what's below. Call before you dig.

SCALE 1"=60'

0 60' 120'

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DESIGNED BY: E. ANGE  
CHECKED BY: B. BLACKMON  
SCALE: 1" = 60'

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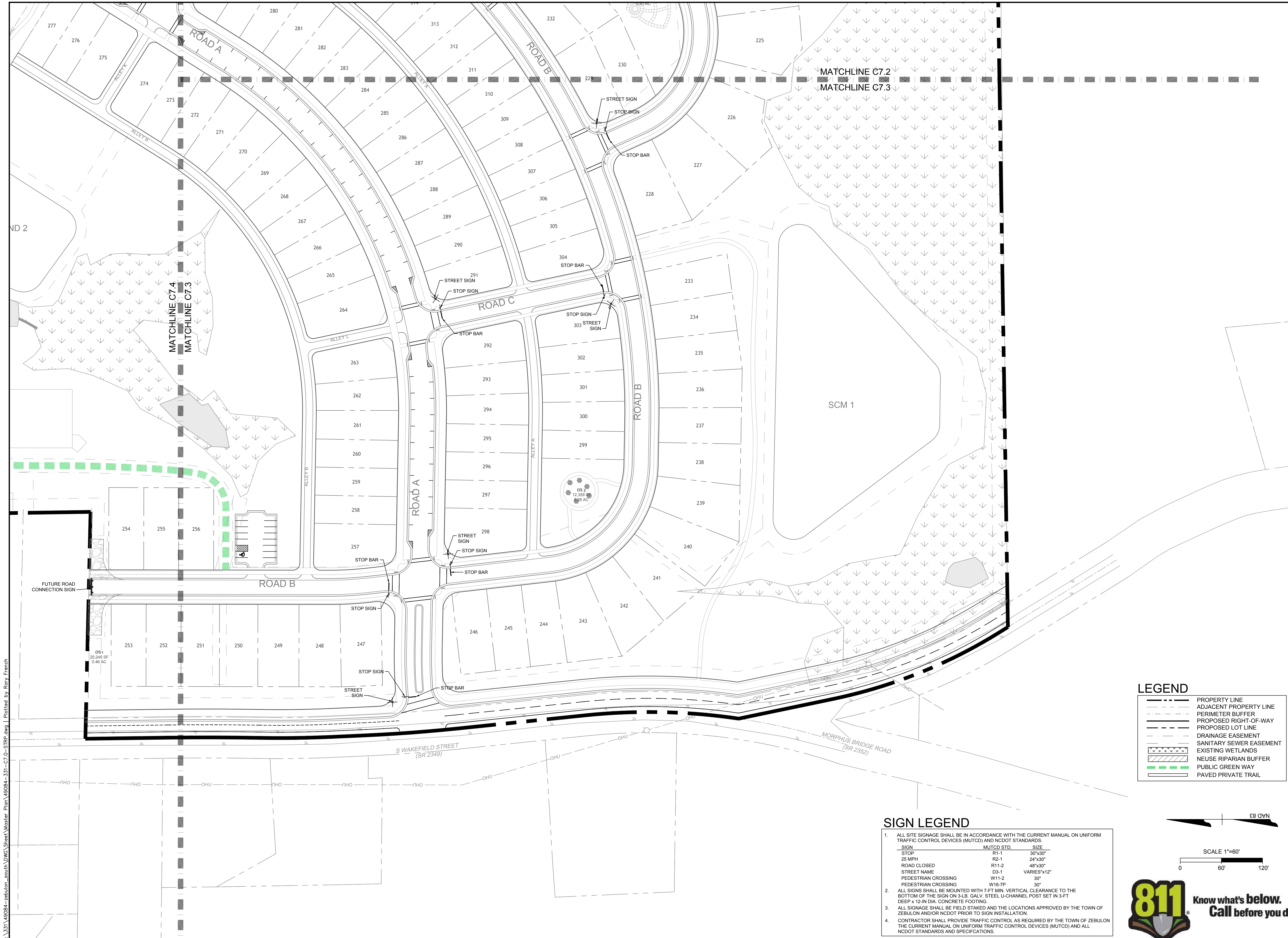
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED SIGNS & MARKINGS PLAN SHEET 2 OF 4

JOB NO. 49084  
SHEET NO. C7.2

REVISION DESCRIPTION

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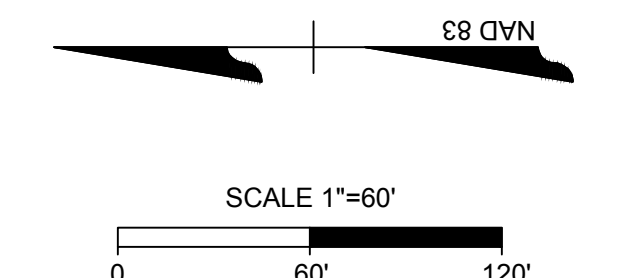
**LEGEND**

[Dashed line]	PROPERTY LINE
[Dotted line]	ADJACENT PROPERTY LINE
[Dashed line]	PERIMETER BUFFER
[Dashed line]	PROPOSED RIGHT-OF-WAY
[Dashed line]	PROPOSED LOT LINE
[Dashed line]	DRAINAGE EASEMENT
[Dashed line]	SANITARY SEWER EASEMENT
[Dashed line]	EXISTING WETLANDS
[Hatched area]	NEUSE RIPARIAN BUFFER
[Green dashed line]	PUBLIC GREEN WAY
[Green dashed line]	PAVED PRIVATE TRAIL

**SIGN LEGEND**

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
25 MPH	R2-1	24"x30"
ROAD CLOSED	R11-2	48"x30"
STREET NAME	D3-1	VARIABLES"x12"
PEDESTRIAN CROSSING	W11-2	30"
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- ALL SIGNS SHALL BE MOUNTED WITH 7 FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
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ZEBULON SOUTH  
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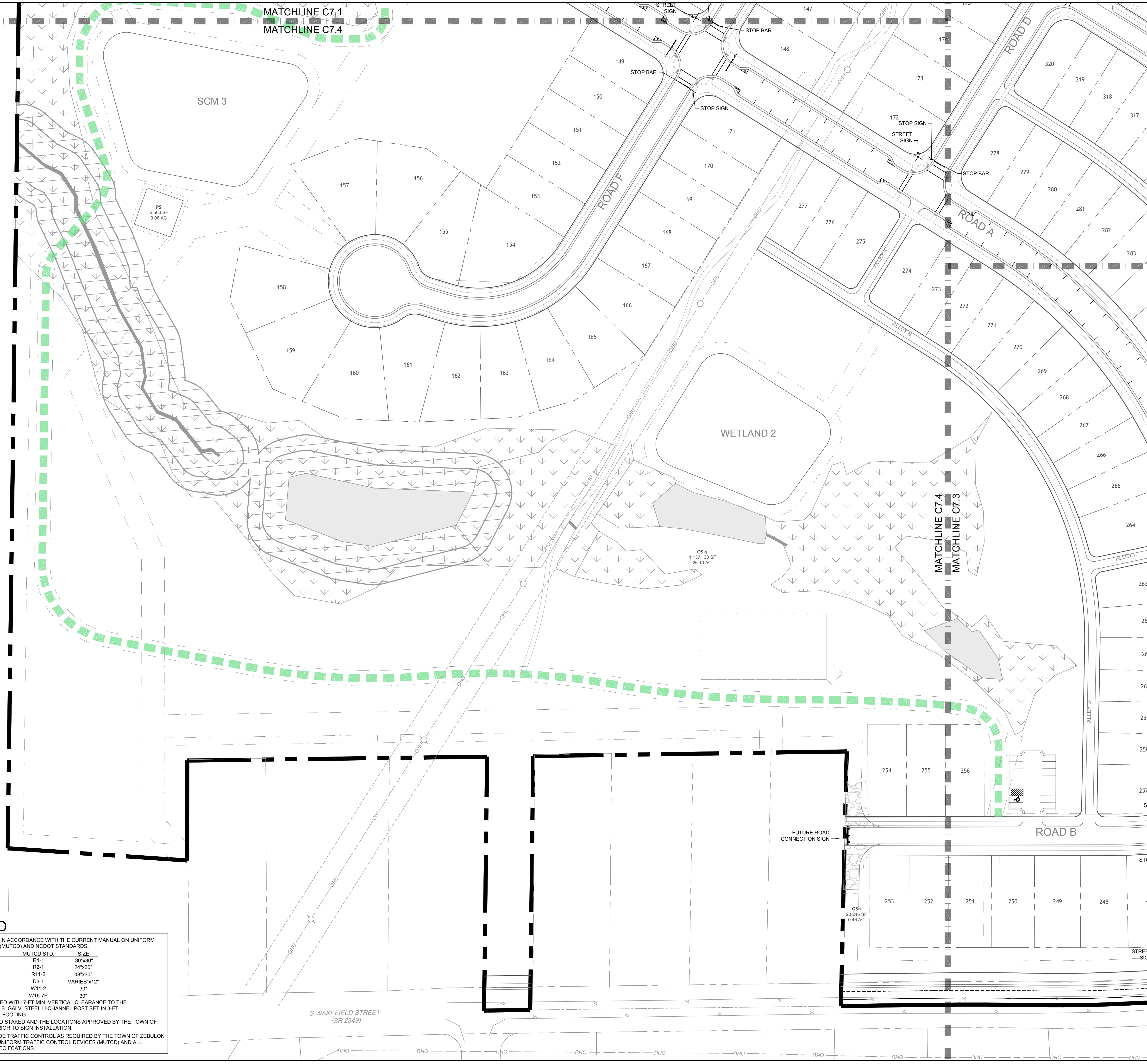
DETAILED SIGNS & MARKINGS PLAN SHEET 3 OF 4

JOB NO. 49084  
SHEET NO. C7.3

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DATE	DESCRIPTION				
01/15/2024					
<p>DRAWN BY: 331 DESIGNED BY: E. ANGE CHECKED BY: B. BLACKMON SCALE: 1" = 60'</p>					

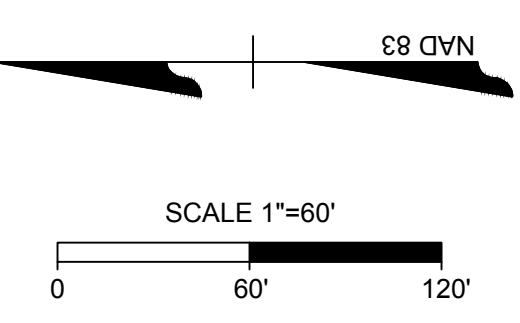
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**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PUBLIC GREEN WAY
	PAVED PRIVATE TRAIL



**SIGN LEGEND**

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SIGN	MUTCD STD.	SIZE
STOP	R1-1	30"x30"
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ZEBULON SOUTH

751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

DETAILED SIGNS & MARKINGS PLAN SHEET 4 OF 4

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CHECKED BY B. BLACKMON	SCALE 1" = 60'
JOB NO. 49084	SHEET NO. C7.4

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331
DESIGNED BY
E. ANGE
CHECKED BY
B. BLACKMON
SCALE
N/A

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NORTH CAROLINA LICENSE NO. C-1652  
ZEBULON SOUTH  
751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA  
SINGLE FAMILY CONCEPTUAL ELEVATIONS

JOB NO.  
49084  
SHEET NO.  
C8.1

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FRONT DOOR EXAMPLES

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SCALE  
N/A

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NORTH CAROLINA LICENSE NO. C-1652

ZEBULON SOUTH  
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TOWNHOMES CONCEPTUAL ELEVATIONS

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49084

SHEET NO.  
C8.2

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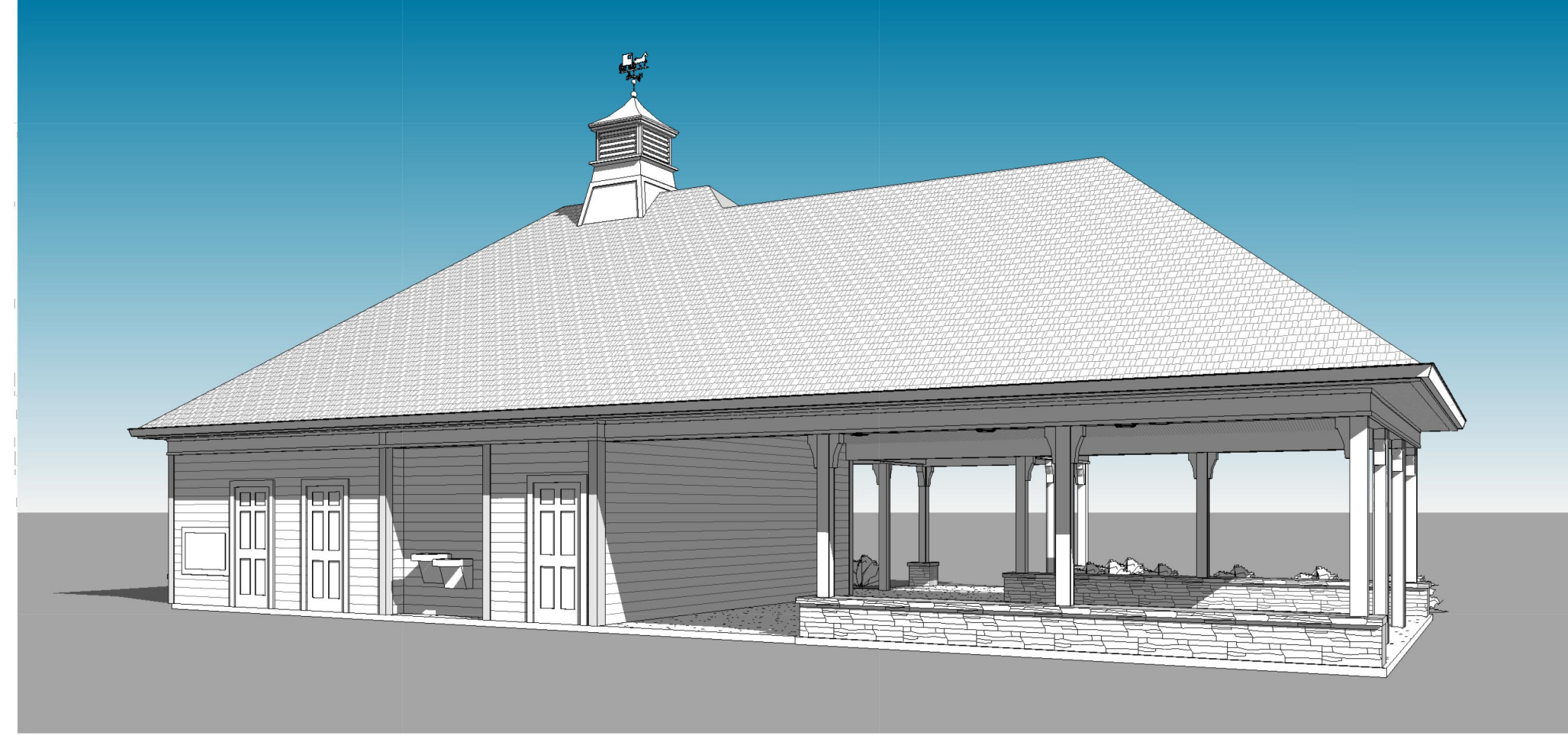
AMENITY PERSPECTIVES - PULTE GROUP

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ZEBULON SOUTH

751 S WAKEFIELD STREET, ZEBULON, WAKE COUNTY, NORTH CAROLINA

CONCEPTUAL AMENITY

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SHEET NO.  
C8.3