

ZEBULON UNITED METHODIST CHURCH

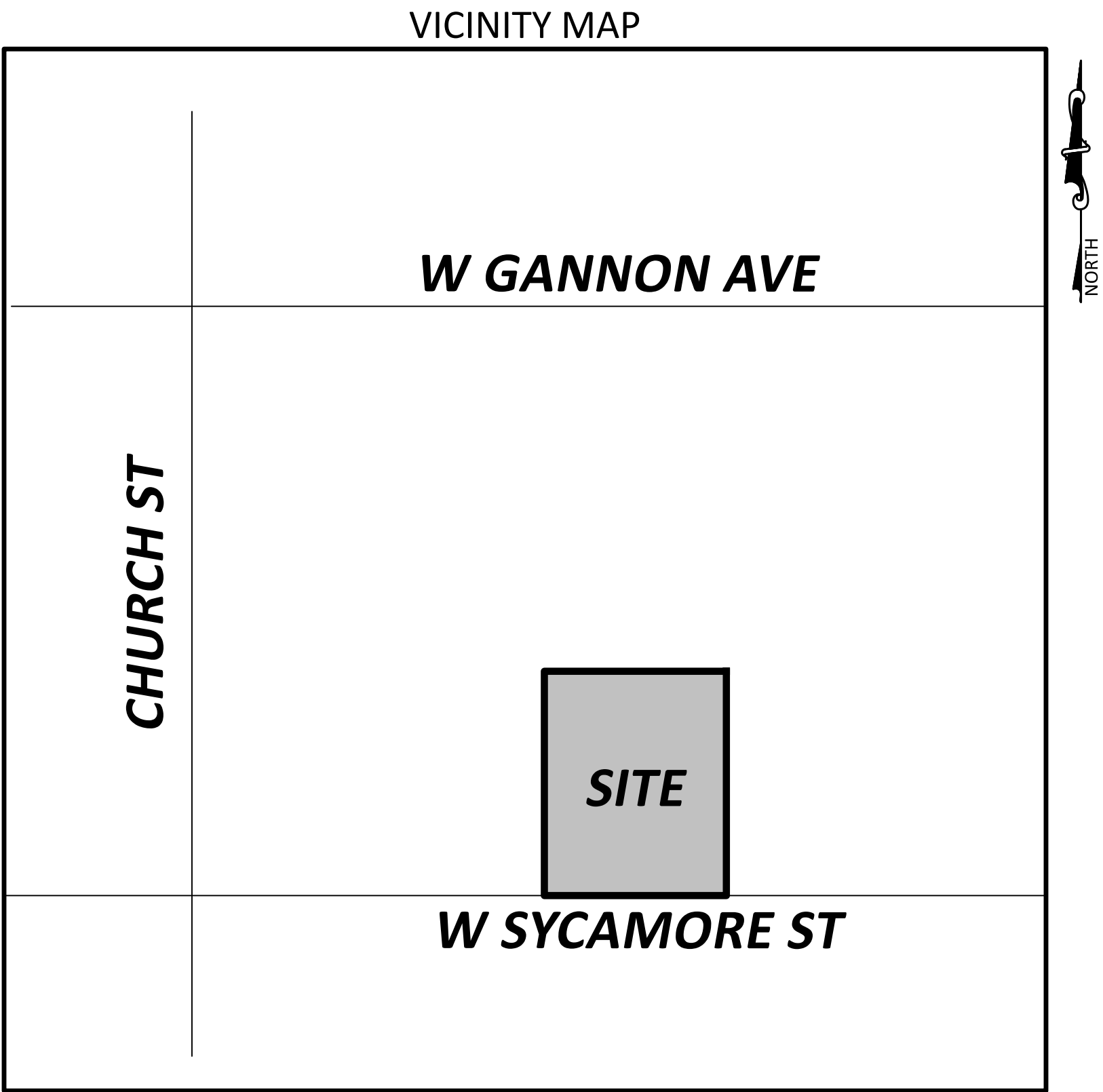
COVERED PAVILION ADDITION CONSTRUCTION DRAWINGS

114 W. SYCAMORE STREET
ZEBULON, NC

JUNE 7, 2024
SEPTEMBER 30, 2024
JANUARY 17, 2025

OWNER/DEVELOPER
ZEBULON UNITED METHODIST CHURCH
(RANDY SINK - TRUSTEE)
121 WEST GANNON AVENUE
ZEBULON, NC 27597

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SHEET NO.	SHEET NAME
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D1.0	DETAILS
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PLANS PREPARED BY OTHERS	
1 OF 1	PAVILION ELEVATIONS



SCALE: NOT TO SCALE

ENGINEER	DEVELOPER	EXISTING SITE DATA
THE NAU COMPANY P.O. BOX 810 ROLESVILLE, NC 27571 CONTACT: JEREMY J. BECKETT, PE PHONE: (919) 395-2775 EMAIL: jbeckett@thenauco.com	ZEBULON UNITED METHODIST CHURCH 121 WEST GANNON AVENUE ZEBULON, NC 27597 CONTACT: RANDY SINK PHONE: (336) 972-9482 EMAIL: rhsink@gmail.com	PARCEL PIN(S) 2705-25-9154 SITE ADDRESS 114 W. SYCAMORE STREET, ZEBULON, NC ZONING DTP PROPOSED PARCEL AREA 0.61 ACRES (26,608 SF) EXISTING USE CHURCH RIVER BASIN NEUSE

PROPOSED SITE DATA	
ZONING	DTP
PROPOSED NET SITE AREA	0.61 ACRES (26,608 SF)
PROPOSED USE	CHURCH PAVILION
BUILDING FOOTPRINT AREA:	
EXISTING (PRIMARY)	14,898 SF
PROPOSED (DETACHED)	3,200 SF
RATIO (35% MAX.)	3,200/14,898 = 21.48%
BUILDING HEIGHT:	
EXISTING CHURCH (PRIMARY)	56 FT
PROPOSED PAVILION (DETACHED)	24 FT
PARKING SPACES REQUIRED	N/A (EXISTING CHURCH PARKING)
PARKING SPACES PROVIDED	N/A (EXISTING CHURCH PARKING)
BUILDING SETBACKS:	
FRONT	0'
SIDE	5'
REAR	15'
EXISTING IMPERVIOUS AREA	7,398 SF
PROPOSED IMPERVIOUS AREA	10,598 SF
DISTURBED AREA	7,500 SF (0.17 AC)

EROSION AND SEDIMENT CONTROL NOTE
PER WAKE COUNTY UDO 10-13-1(A), LAND DISTURBANCES LESS THAN ONE ACRE THAT ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT ARE EXEMPT FROM REQUIRING AN EROSION AND SEDIMENTATION CONTROL PLAN OR PERMIT. THEREFORE, THIS PROJECT IS EXEMPT FROM OBTAINING AN EROSION AND SEDIMENTATION CONTROL PERMIT FROM WAKE COUNTY.

STORMWATER MANAGEMENT NOTE
PER TOWN OF ZEBULON LDO 1.2.1(E), DEVELOPMENT THAT CUMULATIVELY DISTURBS LESS THAN 20,000 SQUARE FEET AND IS NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IS EXEMPT FROM THE PROVISIONS OF THE STORMWATER ORDINANCE. THEREFORE, THIS PROJECT IS EXEMPT FROM PROVIDING ANY STORMWATER MANAGEMENT DEVICES OR OBTAINING A STORMWATER PERMIT FROM WAKE COUNTY.



REVISIONS			
REV NO.	DESCRIPTION	DETAILS	REVISION DATE
1	TRC COMMENTS	REVISE TREE/SILT FENCE AND LANDSCAPING, ADD INLET PROTECTION AND SILT FENCE OUTLETS, PROVIDE HEIGHT/AREA RATIOS OF EXISTING PRIMARY STRUCTURE AND PROPOSED ACCESSORY STRUCTURE, PROVIDE ARCHITECTURAL ELEVATIONS.	09/30/2024
2	TRC COMMENTS	REVISED PLANS TO REFLECT RECOMBINATION SURVEY INFORMATION.	01/17/2025



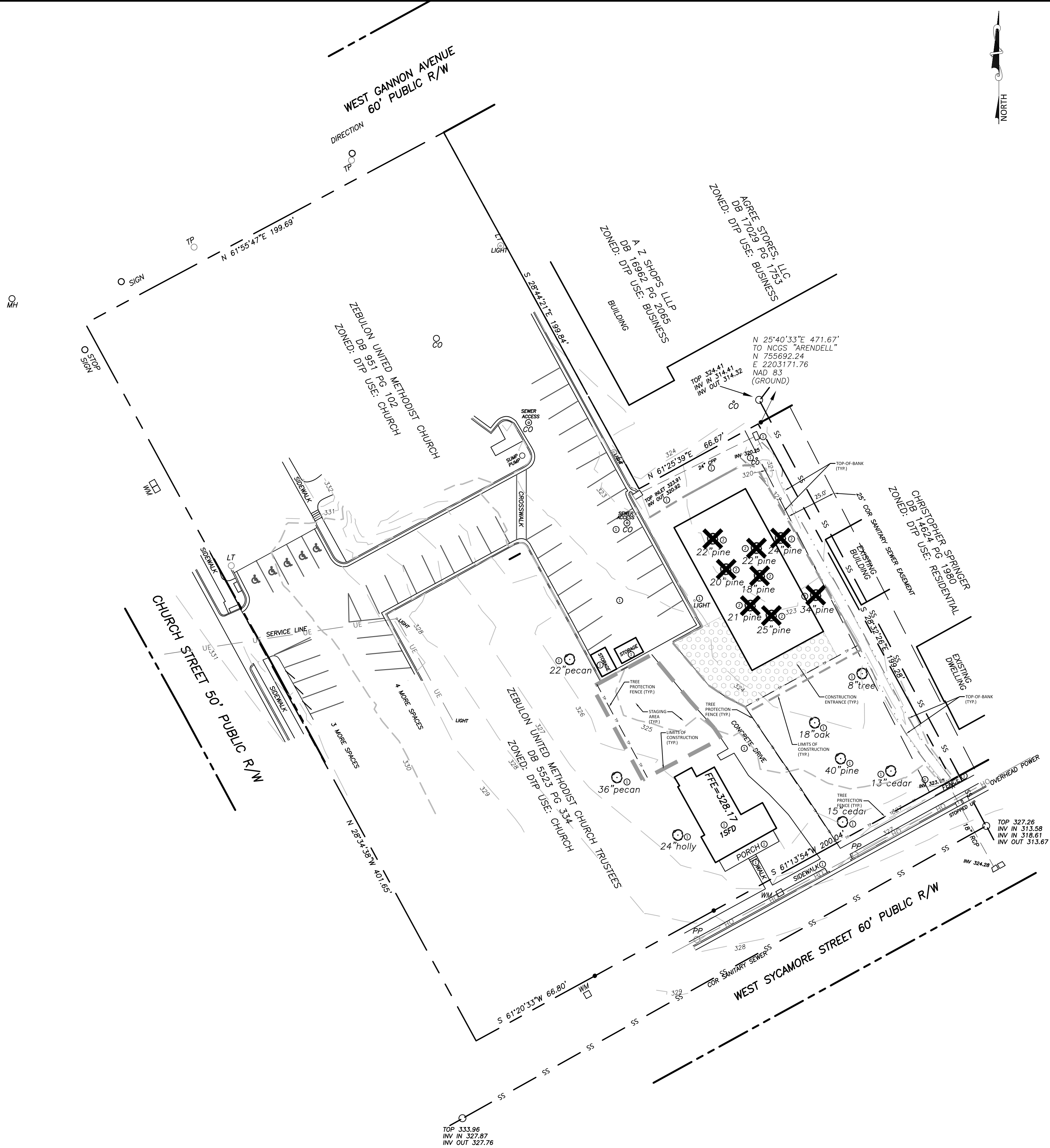
Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.

The Nau Company
Consulting Civil Engineers

PO Box 810 Rolesville, NC 27571
919-435-6395
NCBELS License P-0751

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS NOTES

- EXISTING CONDITIONS TAKEN FROM AN ALTA SURVEY PREPARED BY: WILLIAMS-PEARCE AND ASSOC., PROFESSIONAL LAND SURVEYORS, P.A.
- TOPOGRAPHY FOR SITE TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: WILLIAMS-PEARCE AND ASSOC., PROFESSIONAL LAND SURVEYORS, P.A.
- THE SURVEYOR DID NOT EXAMINE OR CONSIDER SUBSURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
- SURVEY PERFORMED WITHOUT BENEFIT OF TITLE EXAMINATION BY A LICENSED ATTORNEY. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE NAU COMPANY, PLLC.

DEMOLITION KEYNOTES

- ITEM TO REMAIN
- REMOVE EXISTING ITEM, COORDINATE DEMOLITION WORK WITH RESPECTIVE JURISDICTIONAL AUTHORITY AND/OR UTILITY COMPANY.
- RELOCATE EXISTING ITEM, COORDINATE RELOCATION WORK WITH RESPECTIVE JURISDICTIONAL AUTHORITY AND/OR UTILITY COMPANY.



TREE
DEMOLITION

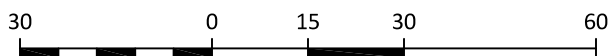
STAGING AND DEMOLITION NOTES

- ALL TREES LABELED TO REMAIN SHALL BE ENCOMPASSED WITHIN TREE PROTECTION FENCING.
- THERE ARE NO STOCKPILES REQUIRED FOR THIS PROJECT.
- CONSTRUCTION AND EMERGENCY ACCESS WILL BE FROM WEST SYCAMORE STREET.
- TRAFFIC MANAGEMENT IS NOT NECESSARY FOR THE PROPOSED DEVELOPMENT.
- NO EXISTING SIDEWALK CLOSURES WILL BE NECESSARY FOR THIS PROJECT.

EXISTING CONDITIONS LEGEND

EXISTING PROPERTY BOUNDARY	
EXISTING RIGHT-OF-WAY	
EXISTING PROPERTY LINE	
EXISTING EASEMENT	
EXISTING SETBACK	
EXISTING PROPERTY BUFFER	
EXISTING ROAD CENTERLINE	
EXISTING CURB & GUTTER	
EXISTING SIDEWALK	
EXISTING MAJOR (5') CONTOUR	
EXISTING MINOR (1') CONTOUR	
EX. SANITARY SEWER PIPE	
EXISTING WATER PIPE	
EXISTING STORM SEWER PIPE	
OVERHEAD UTILITIES	
UNDERGROUND ELECTRIC	
UNDERGROUND TELEPHONE	
GAS LINE	
FENCE LINE	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
WATER VALVE	
WATER METER	
FIRE HYDRANT	
STORM DRAINAGE MANHOLE	
YARD INLET	
TELEPHONE PEDESTAL	
TELEPHONE MANHOLE	
ELECTRIC BOX	
LIGHT POLE	
POWER POLE	
EXISTING IRON PIPE	

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PER CURRENT NCDOT STANDARDS AND SPECIFICATIONS.



SCALE: 1"=30'
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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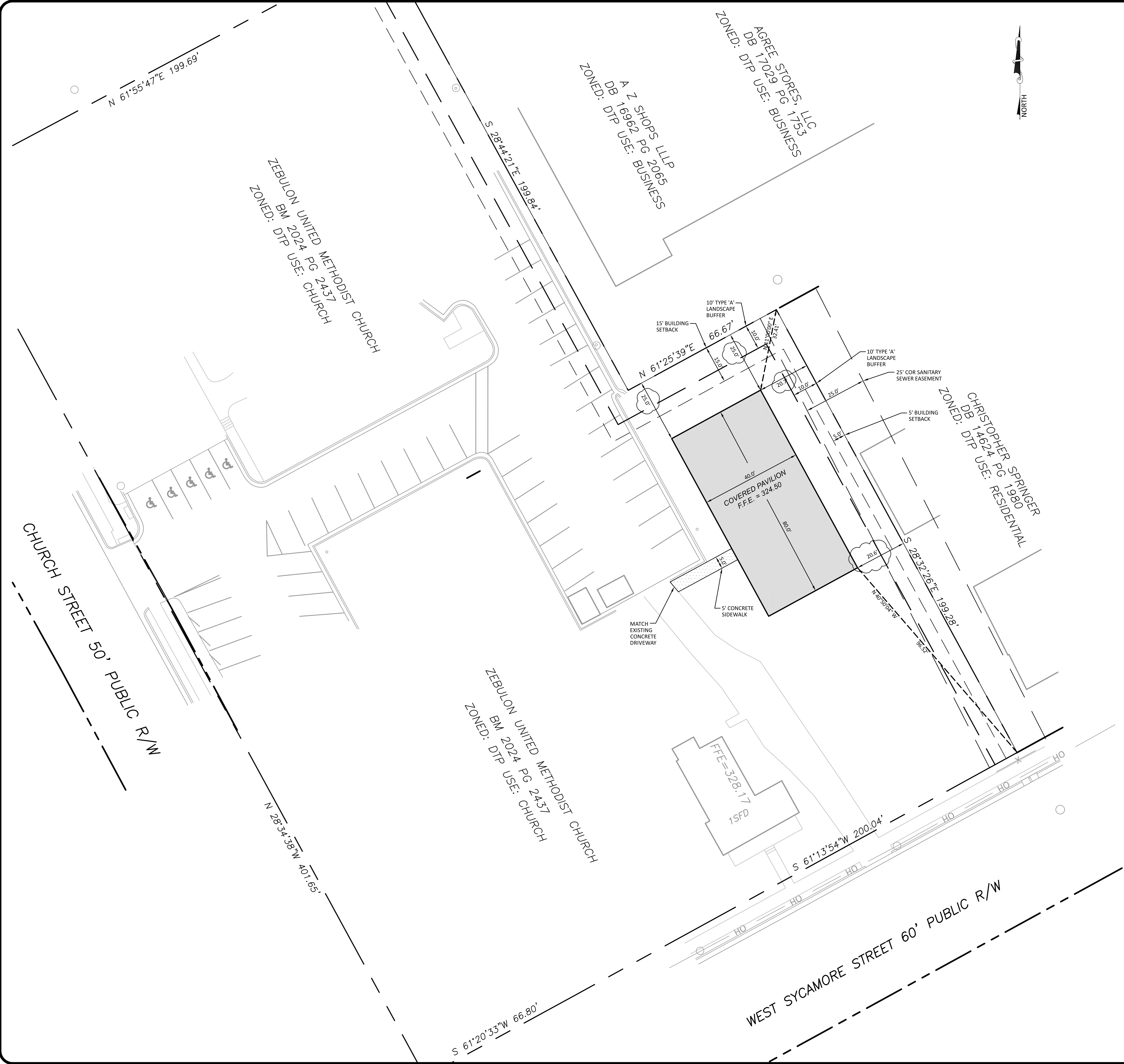
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REVISED	TOWN COMMENTS	TOWN COMMENTS	TOWN COMMENTS	TOWN COMMENTS	TOWN COMMENTS
1	2024-09-30				
2	2025-01-17				

ZEBULON UNITED METHODIST CHURCH
COVERED PAVILION ADDITION
114 W. SYCAMORE STREET
ZEBULON, NC
EXISTING CONDITIONS/
STAGING/DEMOLITION PLAN



PROJECT NO: ---
DESIGN BY: JJB
DRAWN BY: JJB
SCALE: 1"=30'
DATE: 2024-04-25
SHEET NO: **C1.0**



EXISTING CONDITIONS NOTES

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- TOPOGRAPHY FOR SITE TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: WILLIAMS-PEARCE AND ASSOC., PROFESSIONAL LAND SURVEYORS, P.A.
- THE SURVEYOR DID NOT EXAMINE OR CONSIDER SUBSURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
- SURVEY PERFORMED WITHOUT BENEFIT OF TITLE EXAMINATION BY A LICENSED ATTORNEY. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE NAU COMPANY, PLLC.

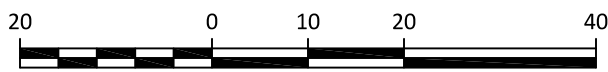
GENERAL NOTES

- THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS AND SURVEYOR SHALL CONFIRM THAT THE MOST CURRENT SET OF PLANS AND/OR PLAN SHEET(S) ARE BEING USED FOR CONSTRUCTION AND SHALL KEEP A COPY OF SAID PLANS ON-SITE OR OTHERWISE AVAILABLE FOR REVIEW BY THE OWNER, THE OWNER'S REPRESENTATIVE(S) AND THE PERMITTING AUTHORITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE WITH REPRESENTATIVES OF THE PERMITTING AUTHORITIES AND A REPRESENTATIVE OF THE OWNER.
- THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- THE CONTRACTOR SHALL CONFIRM THAT ALL CONSTRUCTION AND CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL DETERMINE AND BE RESPONSIBLE FOR THE MEANS AND METHODS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE PERMITTING AUTHORITY TO PROVIDE THE REQUIRED COORDINATION, DOCUMENTATION AND INSPECTIONS FOR THE RELOCATION OF, OR CONNECTION TO ANY EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTIONS REQUIRED TO PREPARE AS-BUILT CERTIFICATIONS.
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ANY OFFSITE EASEMENTS.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY RIGHT OF WAY, EASEMENTS AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL CONFIRM THE SIZE, LOCATION, CONDITION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- DEPARTURES FROM THE APPROVED CONSTRUCTION DRAWINGS, MUNICIPAL SPECIFICATIONS OR ISSUED PERMITS THAT ARE DEEMED NECESSARY SHALL COORDINATED WITH THE APPROPRIATE PERMITTING AUTHORITY. CHANGES MADE WITHOUT THE APPROPRIATE APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- THE STAKING SURVEYOR AND/OR THEIR SUBCONTRACTOR SHALL INDEPENDENTLY VERIFY THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- THE CONTRACTOR SHALL NOTE THAT THE PLANS DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING ETC. THAT MAY BE REQUIRED FOR CONSTRUCTION.
- ALL GRADING, DIMENSIONS, SLOPES TO BUILDING ACCESS/EGRESS POINTS, HANDICAP RAMPS/PARKING SPACES, STRIPING, SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE STATE BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADA CONFORMANCE PRIOR TO ANY CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ANY/ALL BUILDING DIMENSIONS AND CONFIRM THAT ANY/ALL BUILDING ALIGNMENTS CONFORM TO THE APPROVED CIVIL PLANS PRIOR TO ANY CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL CONFIRM ALL SOIL COMPACTION AND PAVEMENT SECTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER AND VERIFY THAT ALL BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. IN THE ABSENCE OF A GEOTECHNICAL REPORT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL SOIL COMPACTION, BUILDING FOUNDATION SOILS AND PAVEMENT SECTIONS REVIEWED, TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER.

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- PROPERTY LINE
- EASEMENT
- SETBACK
- SPILL CURB
- CONCRETE
- HANDICAP RAMP
- HANDICAP STALL
- SIGN
- BOLLARD
- EXISTING FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- FINISH FLOOR ELEVATION

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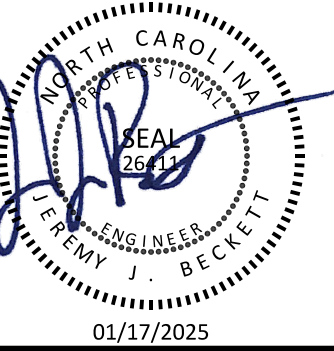
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REVISED		TOWN COMMENTS	
1	2024-09-30		
2	2025-01-17		

ZEBULON UNITED METHODIST CHURCH
COVERED PAVILION ADDITION
114 W. SYCAMORE STREET
ZEBULON, NC
SITE PLAN



PROJECT NO: ---
DESIGN BY: JJB
DRAWN BY: JJB
SCALE: 1"=20'
DATE: 2024-04-25
SHEET NO: **C2.0**



1. PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERSEDE CONTOUR INFORMATION.
2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE 1/2% MIN. IN LANDSCAPE AREAS, 1% MIN. IN CONCRETE AREAS. SPALLS SHALL BE REMOVED FROM ALL AREAS. THE CONTRACTOR SHALL MAINTAIN THE CONTRACTOR SHALL MAINTAIN THIS MINIMUM DRAINAGE CRITERIA DURING ALL CONSTRUCTION ACTIVITIES.
3. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
4. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 72 HOURS PRIOR TO ANY DIGGING.
5. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
6. ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.
7. ALL GRASS SWALES/SLOPES/SLOPES SHALL BE GRADED TO BE 2% OR STEEPER UNLESS SPECIFICALLY NOTED ON THE PLANS.
8. SLOPES STEEPER THAN 3:1V/H SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.
9. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURBS. NO LONGITUDINAL CURB SLOPES LESS THAN 1% SHALL BE INSTALLED IN CATCHING CURBS.
10. THE CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF ALL BUILDING ROOF LEADERS WITH ARCHITECTURAL PLANS PRIOR TO ANY CONSTRUCTION AND CONNECT THEM TO ON-SITE STORM DRAINAGE SYSTEM. IF NOT SPECIFICALLY NOTED OTHERWISE, ROOF LEADERS SHALL BE 8" SCH. 40 PVC LAD A 1% MINIMUM SLOPE TO DAWGHT.
11. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS ADJACENT TO ALL PROPOSED SITE IMPROVEMENTS PRIOR TO ANY CONSTRUCTION TO ENSURE POSITIVE DRAINAGE CAN BE MAINTAINED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
12. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL MEASURES NECESSARY, INCLUDING GRADING ADDITIONAL SWALES AS NEEDED, TO ENSURE POSITIVE DRAINAGE AWAY FROM AND AROUND ALL BUILDINGS.
13. ALL RUNOFF SHALL BE DIRECTED TOWARD DRAINAGE SWALES, DITCHES, CATCH BASINS, AND STORM WATER BODIES.
14. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE INFORMATION PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO BIDDING THIS PROJECT.
15. THE CONTRACTOR SHALL CONDUCT ALL GRADING AND OTHER CONSTRUCTION IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER.
16. CONTRACTOR SHALL CONFIRM ALL SOIL COMPACTION AND PAVEMENT SECTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER AND VERIFY THAT ALL BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. IN THE ABSENCE OF A GEOTECHNICAL REPORT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE GEOTECHNICAL INVESTIGATION AND SOIL COMPACTION AND PAVEMENT SECTIONS REVIEWED, TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER.
17. MAXIMUM SLOPE IN ANY DIRECTION FOR AN ADA PARKING SPACE IS 2%. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION MEETS ADA STANDARDS.
18. SIDEWALK SLOPES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION. LONGITUDINAL SLOPE SHALL BE 5% MAXIMUM SLOPE IN ANY DIRECTION.
19. MAXIMUM CONTRACTOR SHALL INSURE THAT ALL SIDEWALK SLOPES MEET ADA STANDARDS.
20. SLOPES WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION.
21. CONTRACTOR SHALL INSURE THAT ALL HANDICAP PARKING SPACE SLOPES MEET ADA STANDARDS.
22. ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% DOWN SLOPE PER ADA STANDARDS.
23. ALL RAMP SLOPES SHALL NOT EXCEED 8% SLOPE FOR ANY DIRECTION.
24. ALL PROPOSED STORM PIPING SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED OTHERWISE.

1. EXCAVATION AND EARTH MOVING OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE OWNERS GEOTECHNICAL ENGINEER.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL AND STATE STANDARDS AND SPECIFICATIONS.
3. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL ABOVE GROUND FEATURES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION. ALL EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND VERIFIED PRIOR TO COMMENCING ACTIVITY ON SITE.
4. STABILIZE DISTURBED AREAS WITH TEMPORARY VEGETATION. DENUED AREAS MUST BE SEEDED WITHIN FOURTEEN (14) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
5. ALL EXISTING AND NEW DRAINAGE DIVERSIONS SHALL BE INSTALLED WITH POSITIVE DRAINAGE AND SHALL OPPOSE EXISTING GRADE WHEN NECESSARY TO PROVIDE A MINIMUM OF 1.0% LONGITUDINAL SLOPE.
6. ALL PAVED AREAS SHALL BE KEPT CLEAN AND ENSURE NO EARTH MATERIALS AND DEBRIS COLLECT ON THE ROADWAYS. THE SITE SHALL BE MAINTAINED AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
7. INSPECT AND PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT.
8. INSTALL ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT RUNOFF.

1. WHENEVER LAND-DISTURBING ACTIVITIES DISTURB LESS THAN ONE ACRE AND SUCH DISTURBANCE IS NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING WITHOUT LIMITATION A SUBDIVISION, AN EROSION AND SEDIMENTATION CONTROL PLAN AND PERMIT IS NOT REQUIRED. HOWEVER, THE PERMITTEE SHALL BE RESPONSIBLE FOR THE USE OF BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND SEDIMENTATION CONTROL DEVICES AND PRACTICES THAT ARE SUFFICIENT TO RETAIN THE SEDIMENT GENERATED BY THE LAND DISTURBING ACTIVITY WITHIN THE BOUNDARIES OF THE TRACT AND TO PREVENT THE DEVEGETATION OF SAID TRACT;
2. MUST INSTANTLY CONSTRUCT AN EROSION, TEN FOOT IN WIDTH AND 30 FOOT IN LENGTH OR EQUIVALENT, AT THE ACCESS POINT(S) FOR CONSTRUCTION VEHICLES; AND
3. MUST INSTALL Silt FENCES ON THE LOW SIDES OF THE LOT PRIOR TO THE INITIAL FLOOD INSPECTION CONDUCTED BY THE COUNTY ENGINEER.
4. AREAS WITHIN 25 FEET OF THE EDGE OF PAVEMENT OR GRAVEL OF THE ROAD MUST BE STABILIZED BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL UNCOVERED AREAS THAT RESULT FROM LAND DISTURBING ACTIVITIES, AND ARE SUBJECT TO EROSION AND SEDIMENTATION, ARE BEING CAUSING THE MOVEMENT OF SEDIMENT OFFSITE FROM THE TRACT, MUST BE PROVIDED WITH A GROUND COVER OR OTHER PROTECTIVE MEASURES, STRUCTURES OR DEVICES SUFFICIENT TO RESTRAIN ACCELERATED EROSION AND CONTROL OFF-SITE SEDIMENTATION. THE PROPERTY OWNER OR AGENT MUST BE GIVEN NOTICE OF RESPONSIBILITY FOR COMPLIANCE AT THE TIME OF THE PERMIT APPLICATION.
6. IF A DISTURBANCE OF LESS THAN ONE ACRE UPON A LOT OR LOTS OFFSITE FROM THE TRACT, WHILE A PERMIT IS NOT REQUIRED FOR LAND DISTURBANCES OF LESS THAN ONE ACRE THAT ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE, THE COUNTY RETAINS THE RIGHT TO TAKE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION OFFSITE FROM THE TRACT IS OBSERVED DURING AN INSPECTION. ENFORCEMENT ACTIONS AND PENALTIES ARE DESCRIBED IN PART 4 OF THIS ARTICLE.
7. NOTWITHSTANDING THE PROVISIONS OF SUBSECTION (B)(1) HEREIN, A PERMIT IS NOT REQUIRED FOR LAND DISTURBANCES OF LESS THAN ONE ACRE UPON A LOT OR LOTS OFFSITE FROM THE TRACT WHICH A CERTIFICATE OF OCCUPANCY FOR A SINGLE-FAMILY DWELLING PREVIOUSLY HAS BEEN ISSUED.

1. PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT EROSION CONTROL DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITH 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
2. REFER TO AND MAINTAIN THE NCDENMLR EROSION CONTROL SELF INSPECTION FORM AS LAND DISTURBING ACTIVITIES ARE UNDERWAY. FORM LINK HERE: <http://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms>
3. EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE AND LAND DISTURBING ACTIVITIES OCCUR. THE COC CAN BE OBTAINED BY FILLING OUT THE EROSION CONTROL PLAN (E&S) PERMIT AND COC NCDEN FORM 5001. THE NOI FORM MAY ONLY BE FILLED OUT ONCE THE PLANS HAVE BEEN APPROVED. A COPY OF THE E&S PERMIT, THE COC, AND A HARD COPY OF THE PLAN MUST BE KEPT ON SITE, PERFECTLY IN A PERMITS BOX, AND ACCESSIBLE DURING INSPECTION.
4. THE FOLLOWING ITEMS SHALL BE KEPT ON SITE AT ALL TIMES: AN INSTALLED RAIN GUAGE, AN APPROVED COPY OF THE EROSION CONTROL PLAN WITH A PLACARD AND APPROVAL LETTER, AND A COPY OF THE NPDES PERMIT WITH A MINIMUM OF 30 DAYS OF SELF INSPECTION REPORTS. ALL ITEMS SHALL BE KEPT ON SITE UNTIL PROJECT IS CLOSED OUT.

SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL E&S MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING

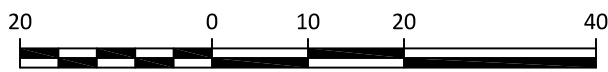
GRADING/DRAINAGE PLAN LEGEND

EXISTING MAJOR (10') CONTOUR
EXISTING MINOR (2') CONTOUR
PROPOSED MAJOR (10') CONTOUR
PROPOSED MINOR (2') CONTOUR
STORM DRAINAGE PIPE
RETAINING WALL
ROOF DRAIN
SPILL CURB
STORM DRAINAGE STRUCTURES
HANDICAP AREA (2% MAX. SLOPE)
DROP INLET
CURB INLET
INLINE DRAIN

TOP OF CURB
BOTTOM OF CURB

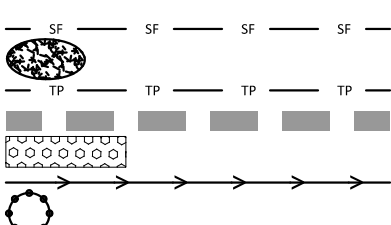
SEE SIDE AS TOP OF WALL
SEE SIDE AS BOTTOM OF CURB

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CURRENT NCDOT STANDARDS AND SPECIFICATIONS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SILT FENCE
SILT FENCE OUTLET
TREE PROTECTION FENCE
LIMITS OF CONSTRUCTION
CONSTRUCTION ENTRANCE
TEMP. DIVERSION DITCH
INLET PROTECTION



CLIENT: ZEBULON UNITED METHODIST CHURCH
121 WEST GANNON AVENUE
ZEBULON, NC 27597
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REVISIONS	
1	2024-09-30 TOWN COMMENTS
2	2025-01-17 TOWN COMMENTS

**ZEZEBULON UNITED METHODIST CHURCH
COVERED PAVILION ADDITION**

114 W. SYCAMORE STREET
ZEBULON, NC

GRADING AND EROSION CONTROL PLAN



PROJECT NO:

DESIGN BY:

DRAWN BY:

SCALE: _____

DATE: _____

SHEET NO: 33

LANDSCAPE NOTES:

- SHRUBBERY IS TO BE PLANTED AT LEAST 30" FROM CURBING AND FROM END OF PARKING SPACES TO PREVENT DAMAGE FROM CAR OVERHANG.
- SHRUBS INSTALLED AS PERIMETER SCREENING ARE TO BE MAINTAINED AT A MIN. HEIGHT OF 36"; MIN. INSTALLATION HEIGHT IS 18".
- SITE LIGHTING PLANS REQUIRED LIGHTS TO BE A MIN. OF 15 FEET FROM TREES. ANY ADJUSTMENTS IN THE FIELD NEED TO COMPLY WITH THIS STANDARD AND BE APPROVED BY GOVERNING JURISDICTION.
- EACH TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOT FLARE WITH MULCH.
- DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP MULCH A MIN. OF 4" AWAY FROM THE TRUNK BASE.
- ANY CHANGES TO THE PROPOSED PLANT SCHEDULE MUST BE APPROVED BY THE DESIGNER OF RECORD AND THE LOCAL GOVERNING JURISDICTION. IN CASES WHERE THE PLANT SCHEDULE ONLY INCLUDES THE PLANT TYPE AND DOES NOT INCLUDE THE PLANT SPECIES, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT TO THE LOCAL JURISDICTION FOR APPROVAL. A DETAILED PLANT SCHEDULE AND ASSOCIATED PLANTING PLAN PREPARED BY A PROFESSIONAL KNOWLEDGEABLE ABOUT PLANT MATERIAL AND DESIGN, PRIOR TO PROCEEDING WITH INSTALLATION.
- PROPERTY PERIMETER BUFFER - IN AREAS WHERE EXISTING VEGETATION IS TO BE USED TO SATISFY PERIMETER LANDSCAPE BUFFER, THE LOCAL JURISDICTION MAY DETERMINE, AFTER AND ON-SITE INSPECTION, THAT ADDITIONAL PLANTING IS REQUIRED TO SATISFY THE REQUIRED BUFFER. THE CONTRACTOR SHALL COORDINATE WITH LOCAL JURISDICTION.

LANDSCAPE CALCULATIONS

SITE REVEGETATION AND SITE LANDSCAPING

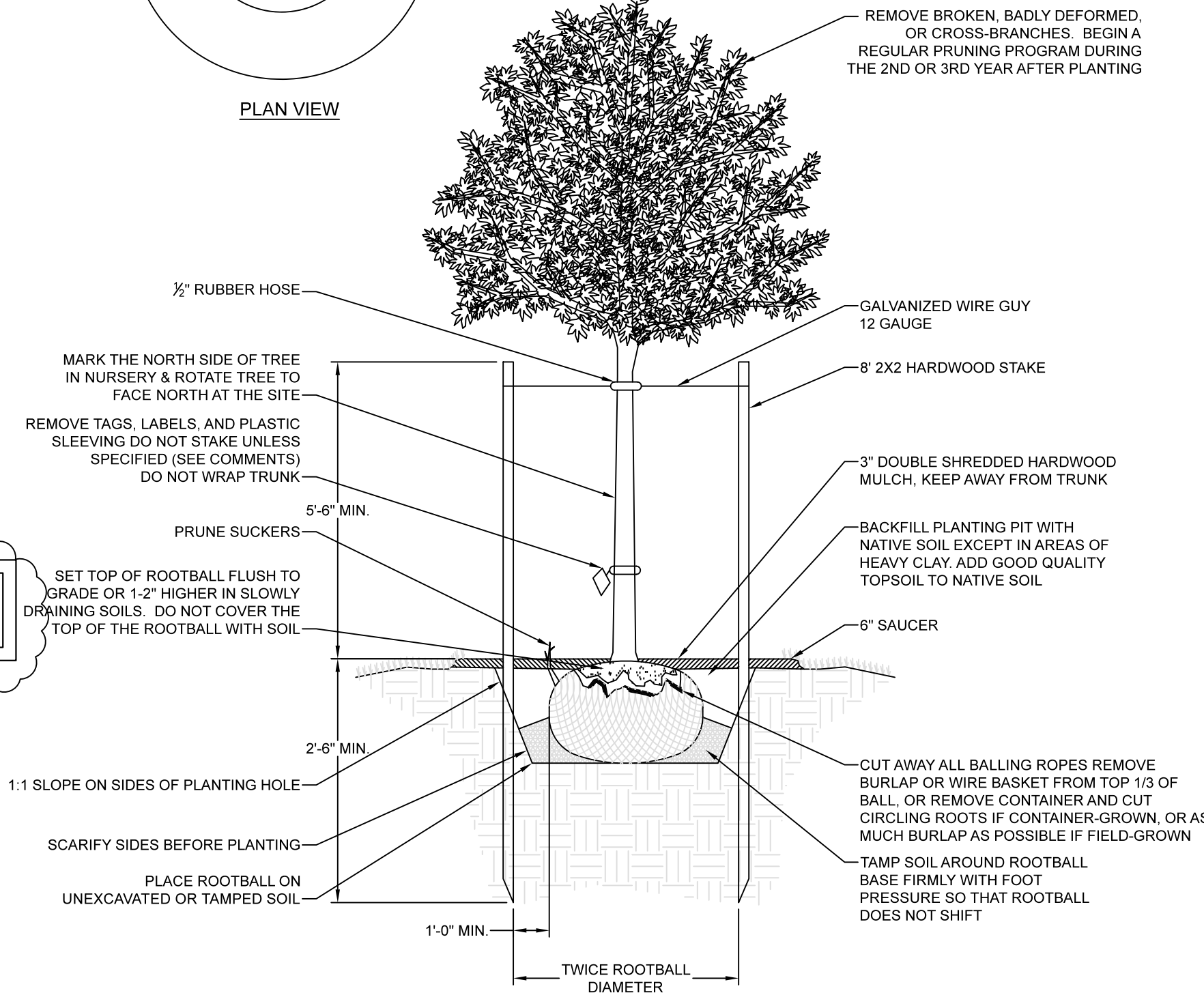
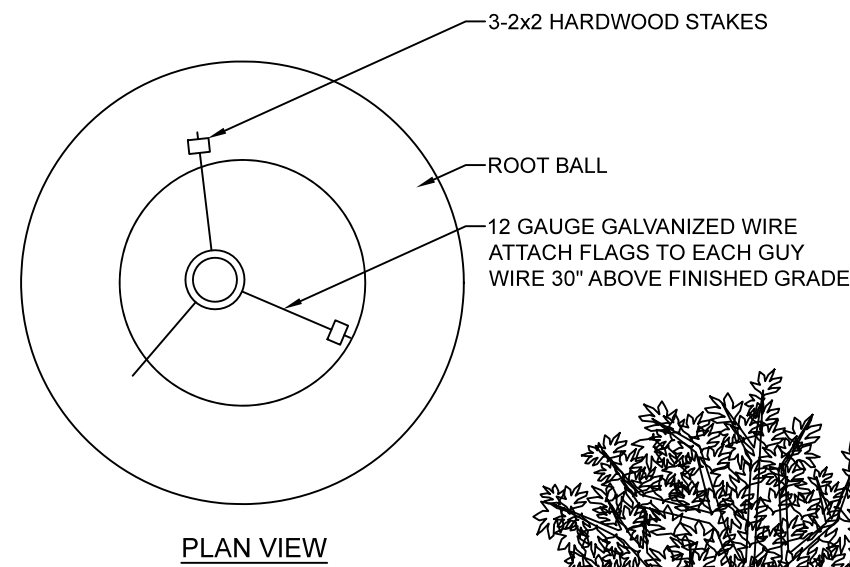
TREE REPLACEMENT: (8" DBH OR GREATER)	8 CANOPY TREES REMOVED x 2.5" DBH = 20" DBH REPLACED
SITE TREES REQUIRED:	1 CANOPY TREE PER 2,000 SF OF SITE AREA (UP TO 20,000 SF) 20,000 SF LF/2,000 SF = 10 TREES x 2.5" DBH = 25" DBH REQUIRED
TOTAL TREES REQUIRED:	20" DBH + 25" DBH = 45" DBH
EXIST. TREES TO REMAIN: (1.25 DBH CREDIT)	8" CEDAR - 10" DBH CREDIT 13" CEDAR - 15" DBH CREDIT 15" CEDAR - 15" DBH CREDIT 18" OAK - 22" DBH CREDIT 24" HOLLY - 30" DBH CREDIT 40" PINE - 50" DBH CREDIT
TOTAL EXIST. TREE CREDIT:	148" DBH
REQUIRED SITE TREES:	0 REPLACEMENT TREES

TYPE 'A' BUFFER - WEST AND EAST PROPERTY LINES

TOTAL TREES REQUIRED:	4 UNDERSTORY TREES PER 100 LF = 199 LF/100 LF x 4 = 8 TREES
TOTAL SHRUBS REQUIRED:	15 SHRUBS PER 100 LF = 199 LF/100 LF x 15 = 30 SHRUBS
TOTAL TREES PROVIDED: (EACH PROPERTY LINE)	4 CREPE MYRTLE 4 MELLIE STEVENS HOLLY
TOTAL SHRUBS PROVIDED: (EACH PROPERTY LINE)	15 HARBOR DWARF NANDINA 15 DWARF BUFORD HOLLY

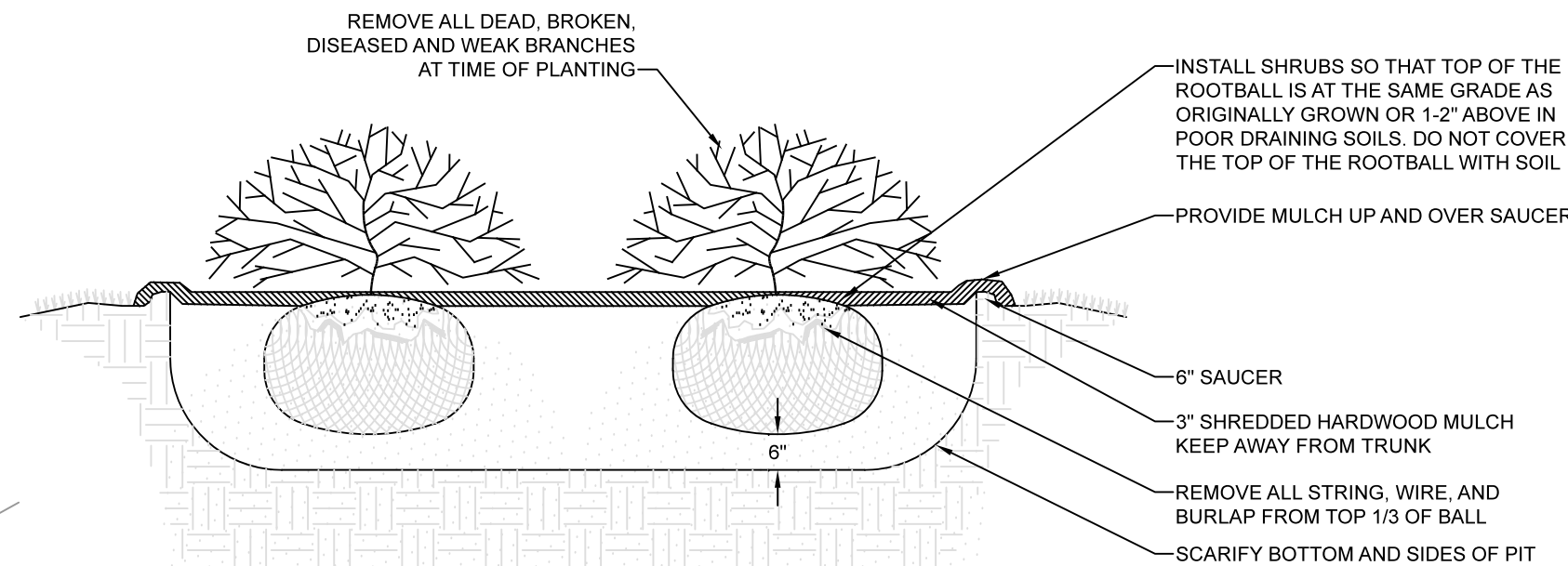
TYPE 'A' BUFFER - NORTH PROPERTY LINE

TOTAL TREES REQUIRED:	4 UNDERSTORY TREES PER 100 LF = 135 LF/100 LF x 4 = 6 TREES
TOTAL SHRUBS REQUIRED:	15 SHRUBS PER 100 LF = 135 LF/100 LF x 15 = 24 SHRUBS
TOTAL TREES PROVIDED:	3 CREPE MYRTLE 3 MELLIE STEVENS HOLLY
TOTAL SHRUBS PROVIDED:	12 HARBOR DWARF NANDINA 12 DWARF BUFORD HOLLY



DECIDUOUS TREE PLANTING DETAIL-STAKING SPECIFIED

NO SCALE



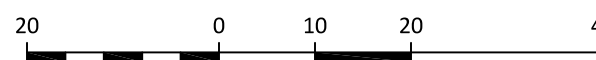
SHRUB PLANTING DETAIL

TREE PROTECTION FENCING SHALL NOT EXCEED FOUR FEET IN HEIGHT (SEE DETAIL SHEET FOR SPECIFICATIONS).

QUANTITY	SYM/KEY	BOTANICAL NAME	COMMON NAME	SPECIFICATION				
				CALIPER*	HEIGHT*	ROOT	SPACING	TYPE
1	QP	QUERCUS PHELLOS	WILLOW OAK	2.5" MIN	8' - 10' MIN	B&B	25'-40' O.C.	CANOPY
1	AR	ACER RUBRUM	RED MAPLE	2.5" MIN	8' - 10' MIN	B&B	25'-40' O.C.	CANOPY
7	LI	LAGERSTROEMIA INDICA	CREPE MYRTLE	2" MIN	6' - 8' MIN	B&B	15'-25' O.C.	UNDERSTORY
7	IN	ILEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	2" MIN	6' - 8' MIN	B&B	15'-25' O.C.	UNDERSTORY
38	ICB	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY		18"-24"	CONT.	3' O.C.	EVERGREEN SHRUB
27	ND	NANDINA DOMESTICA HARBOR DWARF	HARBOR DWARF NANDINA		18"-24"	CONT.	3' O.C.	SHRUB

*NOTE: CALIPER AND HEIGHT OF TREES ARE A MINIMUM AT THE TIME OF INSTALLATION.

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PER CURRENT NCDOT STANDARDS AND SPECIFICATIONS.



SCALE: 1"=20'

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REVISIONS		TOWN COMMENTS	TOWN COMMENTS
1	2024-09-30		
2	2025-01-17		

ZEBULON UNITED METHODIST CHURCH
COVERED PAVILION ADDITION

114 W. SYCAMORE STREET
ZEBULON, NC

LANDSCAPE PLAN



PROJECT NO: ---

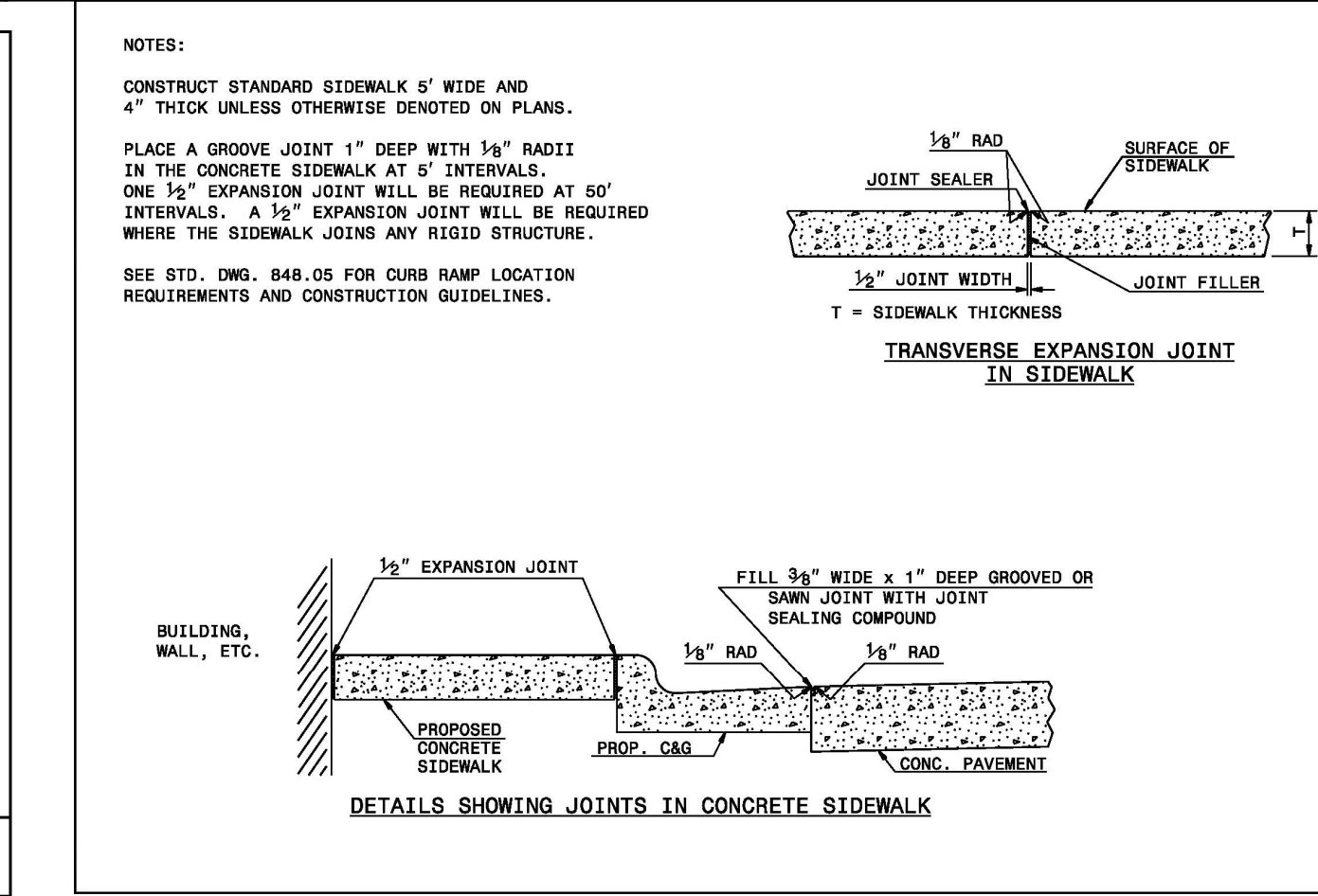
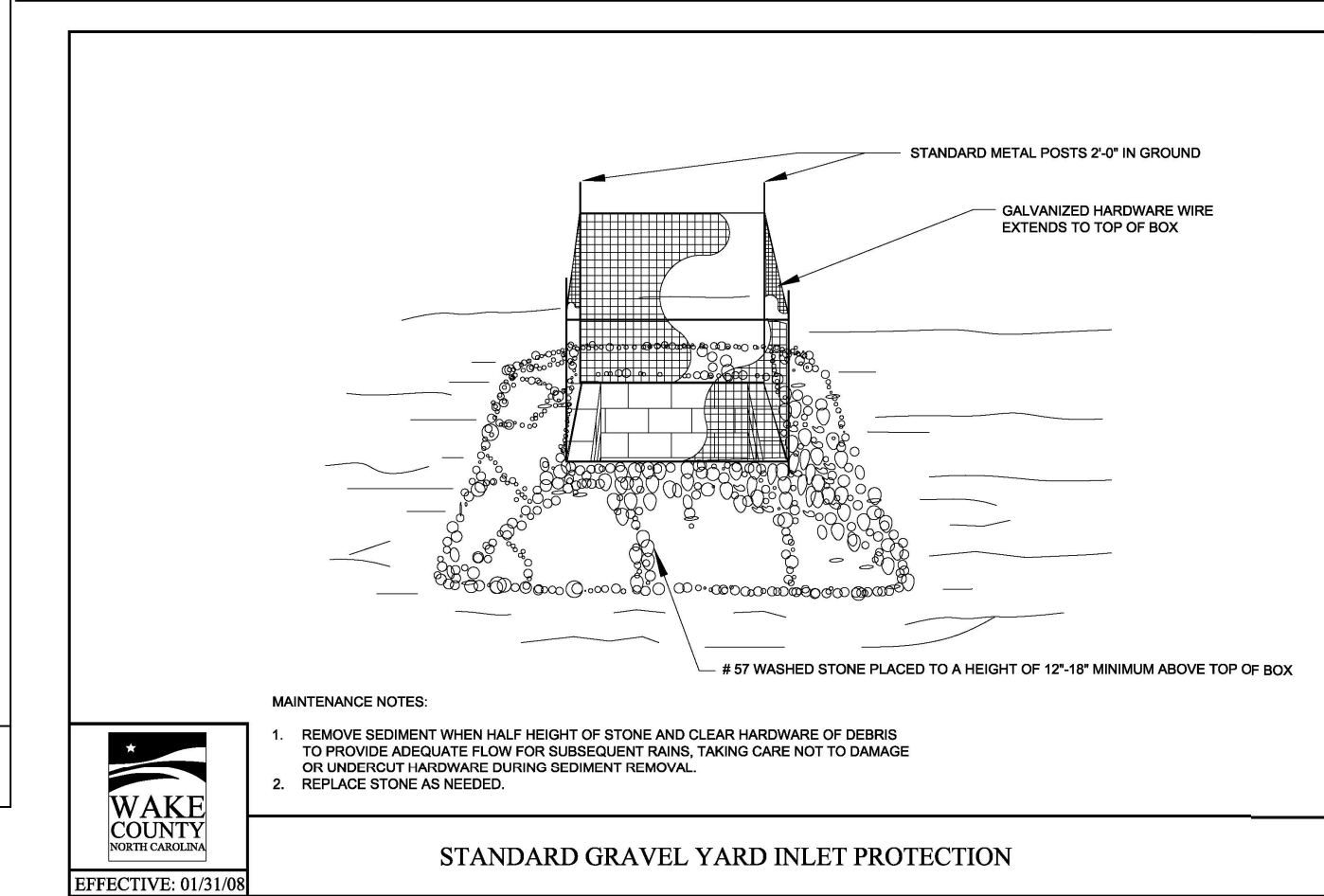
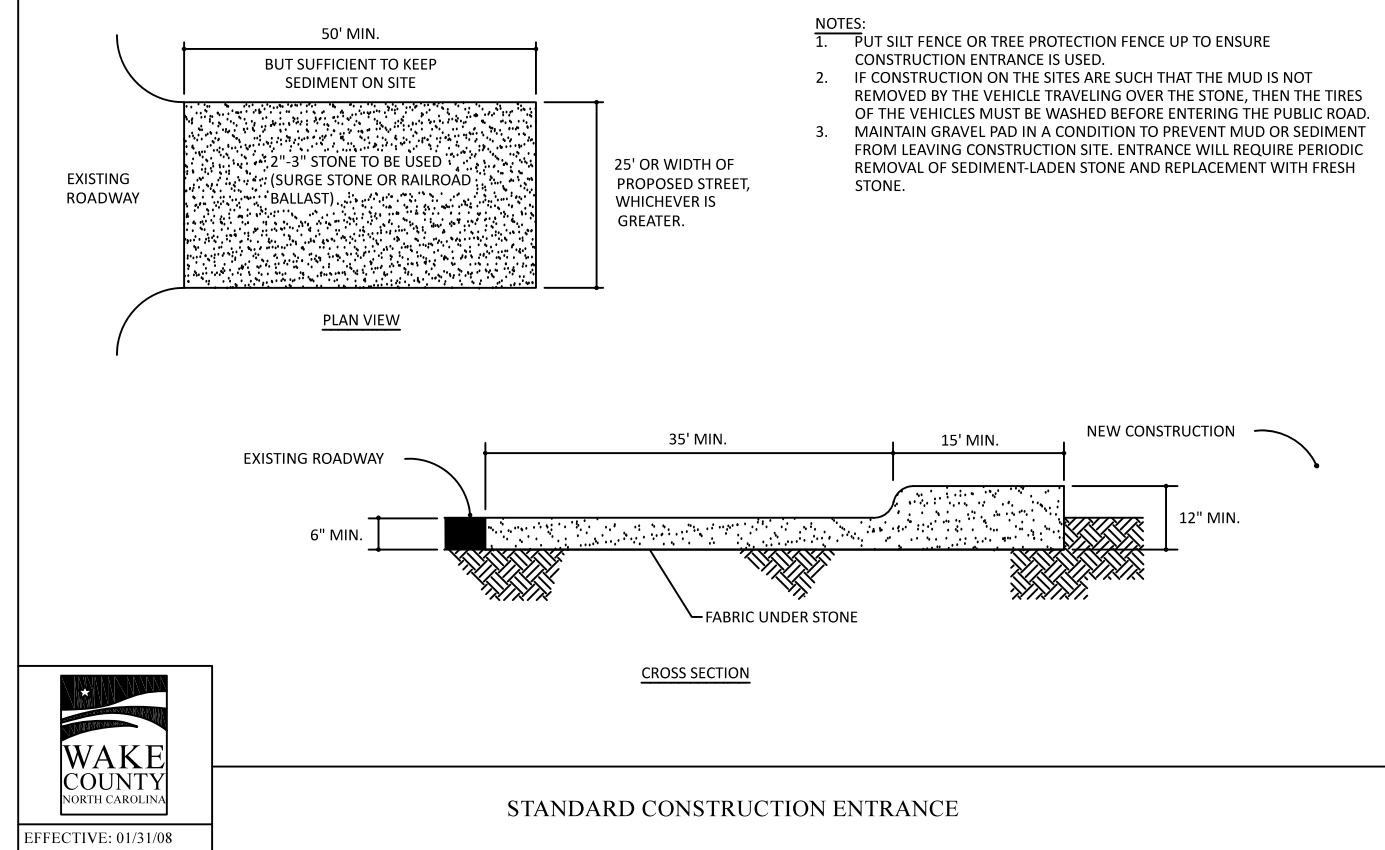
DESIGN BY: JJB

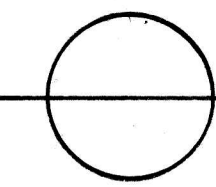
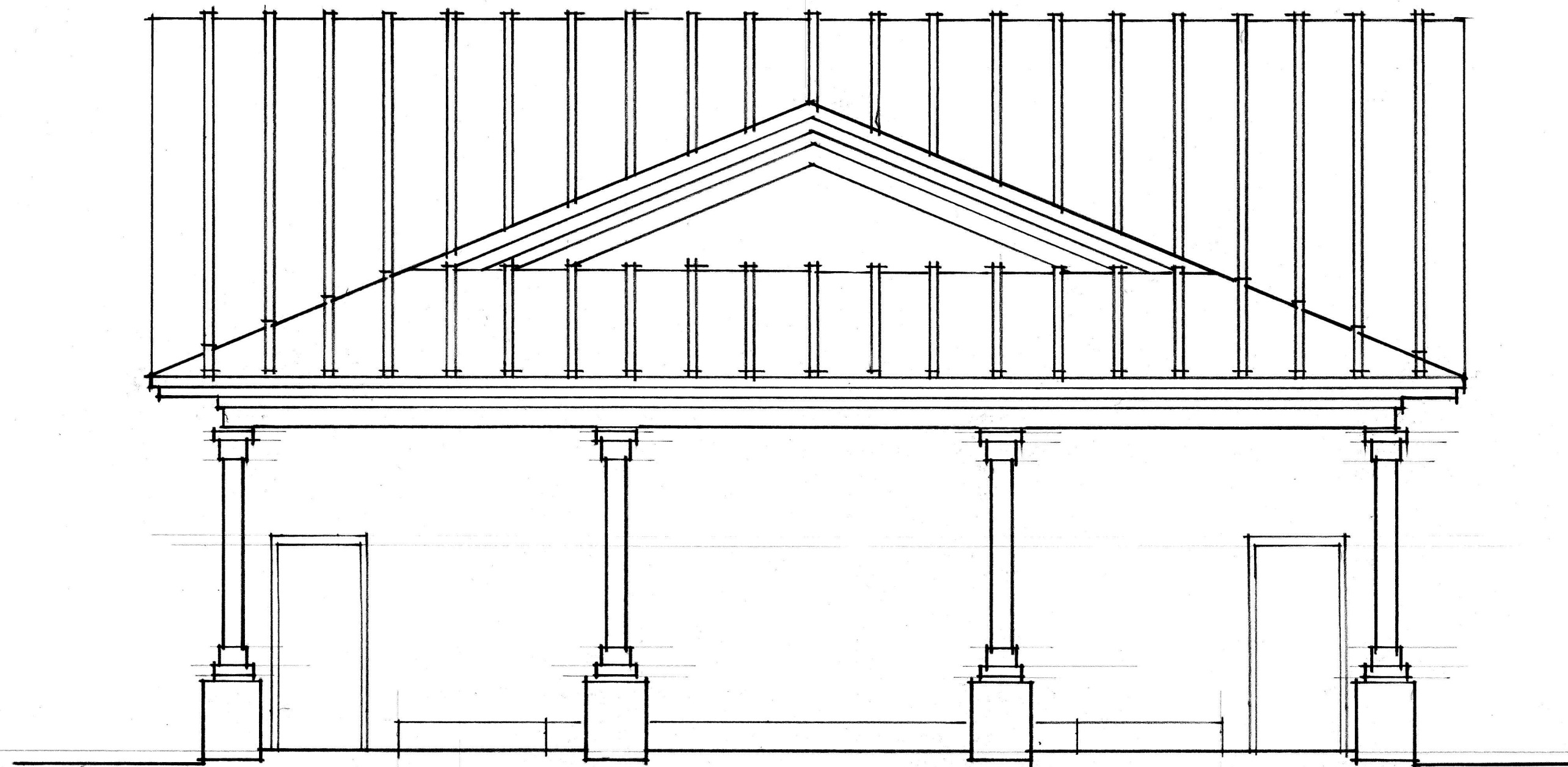
DRAWN BY: JJB

SCALE: 1"=20'

DATE: 2024-04-25

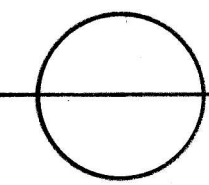
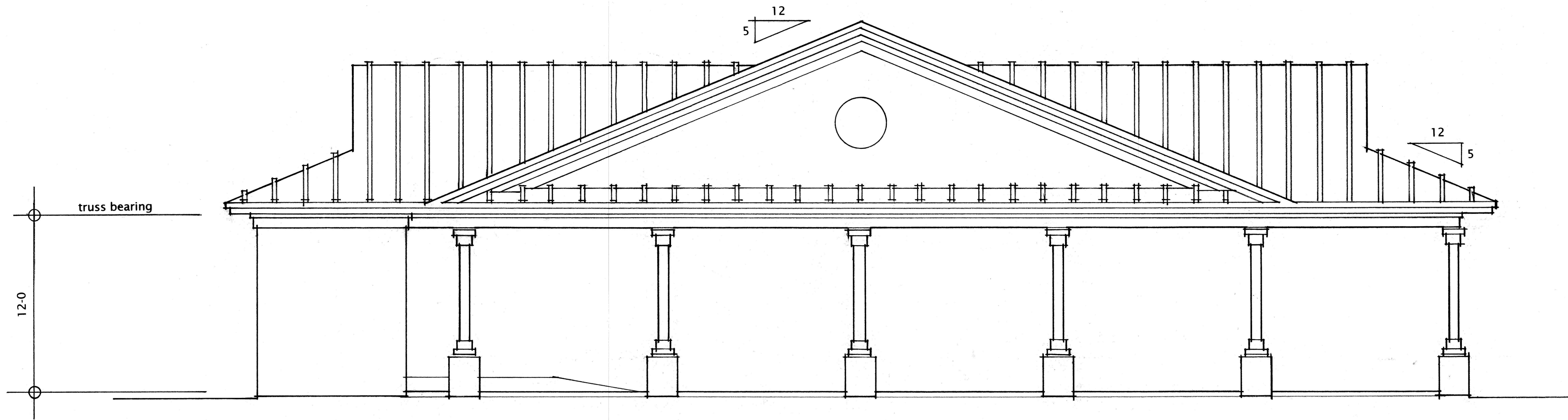
SHEET NO: L1.0





Building Elevation

1/4 = 1-0



Building Elevation

1/4 = 1-0

ROBERT L. RUNYANS AIA
ARCHITECT

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NEW PAVILION
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NOT FOR CONSTRUCTION

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