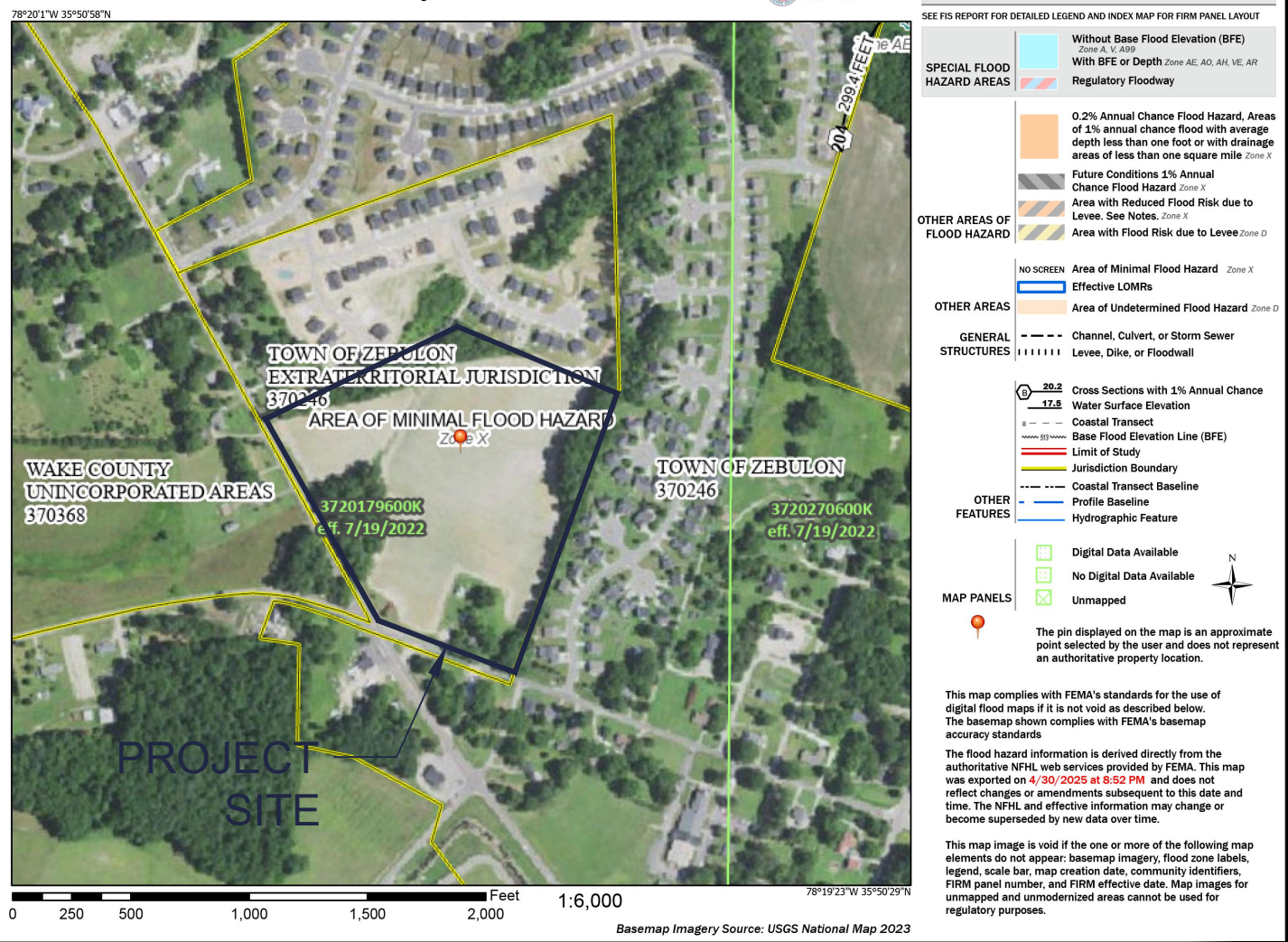


## National Flood Hazard Layer FIRMette



## FEMA MAP

FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 3720179600K, DATED 07.19.2022

## PROJECT TEAM

## DEVELOPER

BRANCH DEVELOPMENT SERVICES, LLC  
3340 PEACHTREE ROAD, NE, STE 2775  
ATLANTA, GA 30328  
CARL BAKER  
404.832.8900  
CBAKER@BRANCHPROP.COM

## CIVIL ENGINEERING

GASKINS + LECRAW  
3475 CORPORATE WAY  
SUITE A  
DULUTH, GA 30096  
KYLE SHARPE, P.E.  
678.546.8100

## ARCHITECT

ARCHITECT ADDRESS 1  
ARCHITECT ADDRESS 2  
ARCHITECT ADDRESS 3  
ARCHITECT CONTACT

## SURVEYOR

SACKS SURVEYING & MAPPING, P.C.  
3308-B EDGEFIELD ROAD  
GREENSBORO, NC 27409  
336.931.0566  
STANLEY SACKS

## OWNER - LOT 1 &amp; 3

WYATTE SHERRON  
1116 GRADY RAY ROAD  
WENDELL, NC 27591

## OWNER - LOT 2

JASON & AMANDA SHERRON  
1108 GRADY RAY ROAD  
WENDELL, NC 27591

## DISTURBED AREA

TOTAL SITE AREA = 14.05 ACRES  
TOTAL DISTURBED AREA = TBD ACRES

## 24 HOUR CONTACT

CARL BAKER  
BRANCH DEVELOPMENT SERVICES, LLC  
404.832.8900

## AS-BUILT NOTE

CONTRACTOR SHALL PROVIDE THE NECESSARY SIGNED/SEALED AS-BUILT SURVEY(S) TO ENGINEER AS REQUIRED FOR FINAL APPROVAL BY THE LOCAL JURISDICTION AT LEAST 30 DAYS PRIOR TO PROJECT COMPLETION. AS-BUILT SURVEY(S) SHALL INCLUDE ALL RIM ELEVATIONS, INVERTS, PIPE SIZES & MATERIALS, AND PIPE SLOPES FOR ALL STORM AND SANITARY SEWERS. IN JURISDICTIONS WHERE AN AS-BUILT HYDROLOGY ANALYSIS OR STORMWATER "CERTIFICATION" IS REQUIRED BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL ALSO SUPPLY ALL NECESSARY DOCUMENTATION REQUIRED FOR THE ENGINEER TO DETERMINE UNDERGROUND PONDS(S), IF APPLICABLE, PROVIDE THE ADEQUATE STORAGE VOLUMES. SUCH DOCUMENTATION MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, PHOTOGRAPHS OF SYSTEM INSTALLATION, COMPACTION REPORTS UNDER AND ABOVE THE SYSTEM, DELIVERY TICKETS, SHOP DRAWINGS, ELEVATIONS OF STONE BEDDING (TOP AND BOTTOM), AS WELL AS THE HORIZONTAL LIMITS OF STONE.

## GENERAL NOTES

THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS.

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

## ZEBULON VILLAGE

113 PROCTOR STREET  
1796931350, LITTLE RIVER TOWNSHIP, 421-00000-0012  
ZEBULON, WAKE COUNTY, NC



## LOCATION MAP: 1" = 200'

## JURISDICTIONAL NOTES

## JURISDICTIONAL APPROVAL STAMPS

## SHEET INDEX

SHEET #	SHEET TITLE				
C-0.0	COVER				
1 OF 2	SURVEY (BY OTHERS)				
2 OF 2	SURVEY (BY OTHERS)				
C-0.3	EXISTING CONDITIONS PLAN				
C-3.0	SITE PLAN				
1 OF 5	COLORS SITE PLAN (BY OTHERS)				
2 OF 5	GROCCER ELEVATIONS (BY OTHERS)				
3 OF 5	SHOPS ELEVATIONS (BY OTHERS)				
4 OF 5	GROCERY RENDERING (BY OTHERS)				
5 OF 5	SHOPS RENDERING (BY OTHERS)				

## SITE SUMMARY

SITE AREA	
SITE AREA:	17.80 ACRES (775,458 S.F.)
OPEN SPACE PROV:	68,872 S.F. (8.8%)
OPEN SPACE REQ:	23,264 SF (3%)
GROCERY AREA:	13.62 ACRES
OUTLOT 1 AREA:	1.53 ACRES
OUTLOT 2 AREA:	0.92 ACRES
OUTLOT 3 AREA:	0.94 ACRES
OUTLOT 4 AREA:	0.79 ACRES
ZONING CLASSIFICATION	
JURISDICTION:	TOWN OF ZEBULON
CURRENT ZONING:	R2 (RESIDENTIAL SUBURBAN)
PROPOSED ZONING:	PD (PLANNED DEVELOPMENT)
ADJACENT ZONING:	R-13-SUD
CURRENT FUTURE LAND USE:	SR (SUBURBAN RESIDENTIAL)
BUILDING SETBACKS	
FRONT:	15'
SIDE:	10' (MAIN PARCEL) / 0' (OUTLOTS)
REAR:	10' (MAIN PARCEL) / 0' (OUTLOTS)
BUILDING SUMMARY	
BUILDING AREA:	71,325 S.F.
GROCERY:	50,325 S.F.
SHOPS:	21,000 S.F.
BUILDING COVERAGE:	12.1%
PARKING SUMMARY	
PARKING REQ.:	(GROCERY) 1 SPACE / 250 S.F.
	202 SPACES
	(RETAIL) 1 SPACE / 200 S.F.
	105 SPACES
	307 SPACES
PARKING PROV.:	381 SPACES
MIN. STALL DIMENSIONS:	9' x 20'
MIN. DRIVE WIDTH:	24' (90°) / 18' (60°)

PREPARED IN THE OFFICE OF:



GASKINS  
+LECRAW  
© 2025 GASKINS + LECRAW  
OF NC, PLLC.  
3475 CORPORATE WAY  
SUITE A  
DULUTH, GA 30096  
PHONE - 678.546.8100  
www.gaskinslecraw.com  
P-2646

## REVISIONS:

NO.	DATE	BY	REV.
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CLIENT

BRANCH DEVELOPMENT SERVICES, LLC

PROJECT

ZEBULON VILLAGE

113 PROCTOR STREET  
1796931350, LITTLE RIVER TOWNSHIP, 421-00000-0012  
ZEBULON, WAKE COUNTY, NC

SEAL:

PRELIMINARY

5/1/2025

CALL BEFORE YOU DIG



Know what's below.  
Call before you dig.

SCALE &amp; NORTH ARROW:



## DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	01410007
DATE:	ORIGINAL SUBMITTAL DATE

C-0.0



SURVEY NOTES:

APPARENT SOURCE OF TITLE: DB 2464 PG 410; DB 3116 PG 68; AND DB 10629 PG 1398

PLAT REFERENCES: BM 2002 PG 1137 LOTS 1-3  
BM 1935 PG 85; BM 1918 PG 75

TAX PIN #: 1796-83-6371 (LOT 2)  
1796-93-1350 (LOTS 1 & 3)  
0.705 AC. [30,712 SF] ± (LOT 3)

AREA EXCLUDES AN APPARENT OVERLAP OF THE SUBJECT PROPERTY WITH BM 2005 PP 1559-1560

AREA EXCLUDES THE 60 FOOT RIGHT-OF-WAY OF N.C. HIGHWAY 96

THIS SURVEY WAS PREPARED WITHOUT REFERENCE TO A TITLE REPORT. THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN HEREON.

ALL DEEDS AND MAPS NOTED HEREON WERE USED AS REFERENCES IN PREPARING THIS SURVEY.

THE RIGHT-OF-WAY OF N.C. HIGHWAY 96 IS SHOWN HEREON PER ADJOINING DEEDS AND MAPS, AS REFERENCED HEREON. THERE IS CONFLICTING INFORMATION AS TO THE RIGHT-OF-WAY WIDTH OF SAID HIGHWAY. SOME SOURCES (e.g. BM 2002 PG 1137, BM 2017 PG 1186, BM 1998 PG 2304) SHOW SAID RIGHT-OF-WAY AS BEING 60 FEET IN WIDTH, WHILE OTHER SOURCES (e.g. BM 2009 PG 699, BM 1960 PG 77) SHOW SAID RIGHT-OF-WAY AS BEING 100 FEET IN WIDTH. THIS SURVEYOR WAS UNABLE TO FIND ANY RIGHT-OF-WAY DEEDS FOR SAID HIGHWAY AS IT CROSSES THE SUBJECT PROPERTY, AND ACCORDING TO AN E-MAIL FROM JEREMY WARREN AT NCDOT DATED 10/24/22, NCDOT DOES NOT HAVE ANY PLANS OR OTHER DOCUMENTS SHOWING THE RIGHT-OF-WAY OF NC HIGHWAY 96 IN THIS AREA. IN THE ABSENCE OF ANY OTHER EVIDENCE, THIS SURVEY SHOWS THE RIGHT-OF-WAY OF NC HIGHWAY 96 AS BEING 60 FEET PER BM 2002 PG 1137, TOGETHER WITH A POSSIBLE 100 FOOT RIGHT-OF-WAY WHICH MAY PRESENTLY EXIST OR BE CLAIMED BY NCDOT IN THE FUTURE.

N.C. STATE PLANE GRID COORDINATES SHOWN HEREON WERE ESTABLISHED USING THE LEAST-SQUARES AVERAGE OF THREE INDEPENDENT VRS GPS OBSERVATIONS MADE ON 27 SEPTEMBER 2022 USING SPECTRA PRECISION SP-80 GPS EQUIPMENT, HOLDING LOCAL CORS STATIONS AS A FIXED HORIZONTAL REFERENCE.

Class of Survey: A  
Positional Accuracy: 0.02' Horiz. / 0.02' Vert.  
Type of GPS field procedure: Rapid Static  
Date of Survey: 27 September, 2022  
Datum/Epoch: NAD 83 (2011)  
Published/fixed-control: used: Local CORS Stations (VRS)  
Geoid Model: Geoid 18  
Combined grid factor: 0.9991458  
Units: US Survey Feet

ALL BEARINGS HAVE BEEN ORIENTED TO N.C. GRID NORTH (NAD 83/2011).

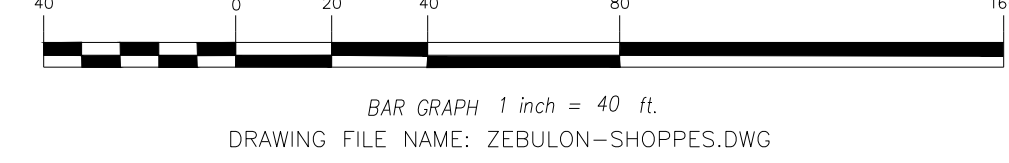
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE.

THE VERTICAL DATUM IS NAVD 88

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL # 3720179600-K, EFFECTIVE 19 JULY, 2022, THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR OR OTHER SPECIAL FLOOD HAZARD AREA.

ANY UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON BASED ON SURFACE EVIDENCE ONLY. THIS SURVEYOR CANNOT CERTIFY TO NOR ACCEPT LIABILITY FOR THE PRESENCE AND OR LOCATION OF BURIED OR OTHERWISE NON-VISIBLE IMPROVEMENTS TO THIS SITE.

BOUNDARY & TOPOGRAPHIC SURVEY  
SHOPPES AT ZEBULON  
BPPK OF MAPS 2002, PAGE 1137  
LITTLE RIVER TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA  
DATE OF LAST FIELD INSPECTION = 27 OCTOBER 2022  
CONTOUR INTERVAL = ONE FEET (NAVD 88)  
SCALE 1 INCH = 40 FEET



DRAWING FILE NAME: ZEBULON-SHOPPES.DWG

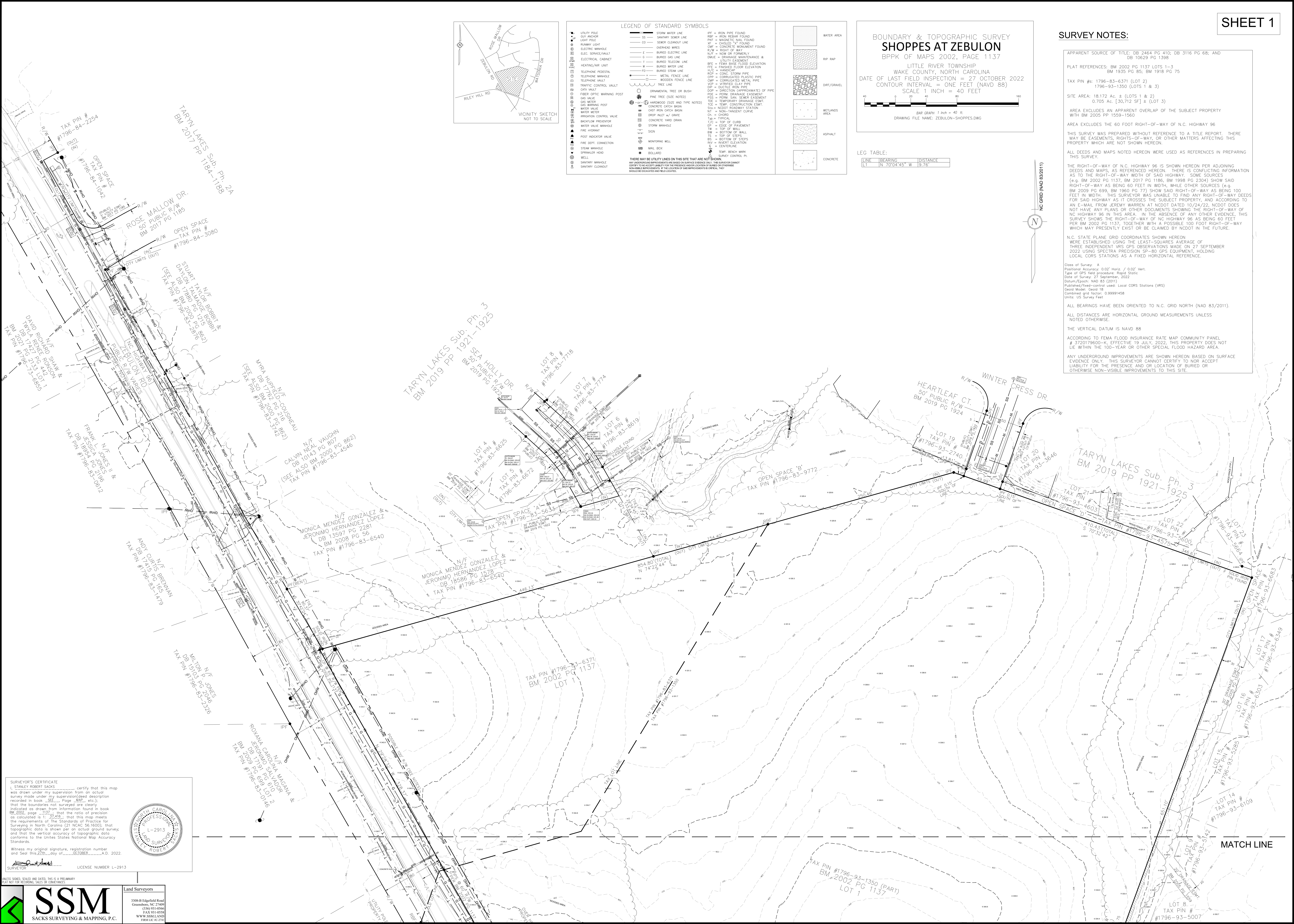
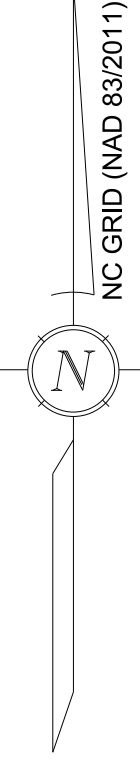
LEG TABLE:

LINE	BEARING	DISTANCE
L1	N 70°04'45" W	9.76'

LEGEND OF STANDARD SYMBOLS	
UTILITY POLE	STORM WATER LINE
LIGHT POLE	SS - SANITARY SEWER LINE
RUNWAY LIGHT	CD - SEWER CLEANSOUT LINE
ELECTRIC MANHOLE	OVERHEAD WIRES
ELEC. SERVICE/VAULT	E - BURIED ELECTRIC LINE
ELECTRICAL CABINET	G - BURIED GAS LINE
HEATING/AIR UNIT	T - BURIED TELECOM LINE
TELEPHONE PEDSTAL	W - BURIED WATER LINE
TELEPHONE MANHOLE	FD - BURIED STEAM LINE
TELEPHONE VAULT	MD - METAL FENCE LINE
TRAFFIC CONTROL VAULT	WOODEN FENCE LINE
CITY VAULT	ORNAMENTAL TREE OR BUSH
FIBER OPTIC WARNING POST	PHI TREE (SIZE NOTED)
GAS VALVE	CONCRETE CATCH BASIN
WATER VALVE	CAST IRON CATCH BASIN
WATER METER	DROP INLET W/ GRATE
IRRIGATION CONTROL VALVE	CONCRETE YARD DRAIN
BACKFLOW PREVENTOR	STORM MANHOLE
WATER VALVE MANHOLE	SIGN
FIRE HYDRANT	MONITORING WELL
POST INDICATOR VALVE	MAIL BOX
FIRE DEPT. CONNECTION	BOLLARD
STEAM MANHOLE	TEMP. BENCH MARK
SPRINKLER HEAD	SURVEY CONTROL PT.
WELL	
SANITARY MANHOLE	
SANITARY CLEANSOUT	

ANY UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON BASED ON SURFACE EVIDENCE ONLY. THIS SURVEYOR CANNOT CERTIFY TO NOR ACCEPT LIABILITY FOR THE PRESENCE AND OR LOCATION OF BURIED OR OTHERWISE NON-VISIBLE IMPROVEMENTS TO THIS SITE.

WATER AREA
RIP RAP
DIRT/GRAVEL
WETLANDS AREA
ASPHALT
CONCRETE





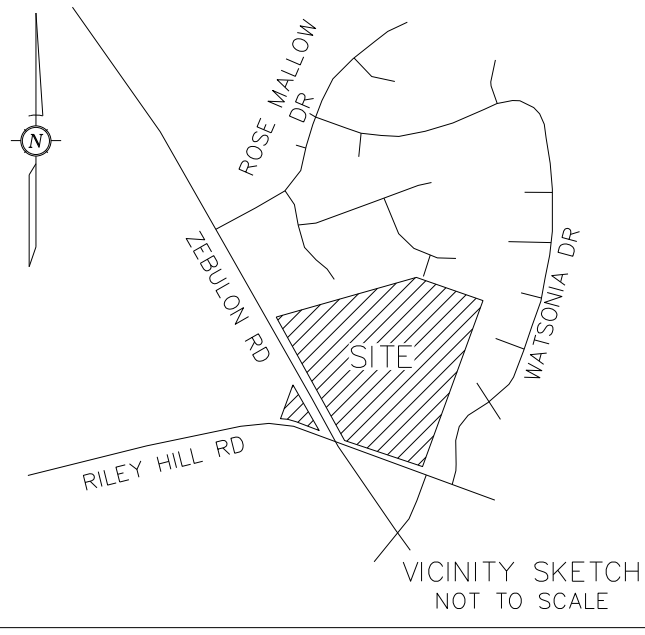
MATCH LINE

MATCH LINE

SURVEY NOTES:

APPARENT SOURCE OF TITLE: DB 2464 PG 410; DB 3116 PG 68; AND DB 10629 PG 1398  
PLAT REFERENCES: BM 2002 PG 1137 LOTS 1-3  
BM 1935 PG 85; BM 1918 PG 75  
TAX PIN #s: 1796-83-6371 (LOT 2)  
1796-93-1350 (LOTS 1 & 3)  
SITE AREA: 18.172 Ac. ± (LOTS 1 & 2)  
0.705 Ac. [30,712 SF] ± (LOT 3)  
AREA EXCLUDES AN APPARENT OVERLAP OF THE SUBJECT PROPERTY WITH BM 2005 PP 1559-1560  
AREA EXCLUDES THE 60 FOOT RIGHT-OF-WAY OF N.C. HIGHWAY 96  
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N.C. STATE PLANE GRID COORDINATES SHOWN HEREON WERE ESTABLISHED USING THE LEAST-SQUARES AVERAGE OF THREE INDEPENDENT GPS OBSERVATIONS MADE ON 27 SEPTEMBER 2022 USING SPECTRA PRECISION SP-80 GPS EQUIPMENT, HOLDING LOCAL CORRS STATIONS AS A FIXED HORIZONTAL REFERENCE.  
Class of Survey: A  
Positional Accuracy: 0.02 Horiz. / 0.02 Vert.  
Type of GPS field procedure: Real-time  
Date of Survey: 27 September, 2022  
Datum/Elevation: NAD 83 (2011)  
Published/Used-control used: Local Corrs Stations (VRS)  
Reid Model: Geoid 16  
Combined grid factor: 0.99991458  
Units: US Survey Feet  
ALL BEARINGS HAVE BEEN ORIENTED TO N.C. GRID NORTH (NAD 83/2011).  
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE.  
THE VERTICAL DATUM IS NAVD 88  
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL # 3720179600-K, EFFECTIVE 19 JULY, 2022, THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR OR OTHER SPECIAL FLOOD HAZARD AREA.  
ANY UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON BASED ON SURFACE EVIDENCE ONLY. THIS SURVEYOR CANNOT CERTIFY TO NOR ACCEPT LIABILITY FOR THE PRESENCE AND OR LOCATION OF BURIED OR OTHERWISE NON-VISIBLE IMPROVEMENTS TO THIS SITE.



LEG TABLE:

LINE	BEARING	DISTANCE
L1	N 70°04'45" W	9.76'

LEGEND OF STANDARD SYMBOLS

- UTILITY POLE
- GUY ANCHOR
- UTILITY POLE
- RUNWAY LIGHT
- ELECTRIC MANHOLE
- ELEC. SERVICE/WALT
- ELECTRICAL CABINET
- HEATING/AIR UNIT
- TELEPHONE PEDestal
- TELEPHONE MANHOLE
- TELEPHONE VAULT
- TRAFFIC CONTROL VAULT
- DRY VAULT
- FIBER OPTIC WARNING POST
- GAS VALVE
- GAS WARNING POST
- WATER VALVE
- WATER METER
- IRRIGATION CONTROL VALVE
- BACKFLOW PREVENTOR
- WATER VALVE MANHOLE
- FIRE HYDRANT
- POST INDICATOR VALVE
- FIRE DEPT. CONNECTION
- STEAM MANHOLE
- SPRINKLER HEAD
- WELL
- SANITARY MANHOLE
- SANITARY CLEAOUT

- STORM WATER LINE
- SS
- SEWER CLEAOUT LINE
- CO
- BURIED ELECTRIC LINE
- E
- BURIED GAS LINE
- G
- BURIED TELECOM. LINE
- T
- BURIED STEAM LINE
- ST
- METAL FENCE LINE
- WOODEN FENCE LINE
- W
- PIPE (SIZE NOTED)
- PIPE TREE (SIZE NOTED)
- CONCRETE CATCH BASIN
- CAST IRON CATCH BASIN
- DROP INLET W/ GRATE
- CONCRETE YARD DRAIN
- STORM MANHOLE
- SIGN
- MONITORING WELL
- MAIL BOX
- BOLLARD
- SURVEY CONTROL PT.

- IRON PIPE FOUND
- RP
- IRON REBAR FOUND
- RF
- MAGNETIC NAIL FOUND
- PNF
- CHISEL "X" FOUND
- XC
- CONCRETE MONUMENT FOUND
- CMT
- RIGHT OF WAY
- R/W
- NON OR FORMERLY
- DMUE
- UTILITY EASEMENT
- BFE
- FEMA BASE FLOOD ELEVATION
- FTE
- FINISHED FLOOR ELEVATION
- FLL
- HANDICAP
- RCP
- CONC. STORM PIPE
- CMP
- CORRUGATED PLASTIC PIPE
- CP
- WITHEDED CLAY PIPE
- DP
- DUCTILE IRON PIPE
- DIP
- DIRECTION (APPROXIMATE) OF PIPE
- PDS
- PERM. DRAINAGE EASEMENT
- PDE
- TEMP. CONSTRUCTION ESMT.
- TCE
- NCDOT ROADWAY STATION
- Sta.
- NON-TANGENT CURVE
- Ch.
- CHORD
- TYPICAL
- T/C
- TOP OF CURB
- E
- EDGE OF PAVEMENT
- TW
- TOP OF WALL
- BM
- BOTTOM OF WALL
- TS
- TOP OF STEPS
- BS
- BOTTOM OF STEPS
- INV
- INVERT ELEVATION
- C
- CENTERLINE
- TEMP. BENCH MARK
- TEMP. BENCH MARK
- SURVEY CONTROL PT.

- WATER AREA
- RIP RAP
- DIRT/GRAVEL
- WETLANDS AREA
- ASPHALT
- CONCRETE

SURVEYOR'S CERTIFICATE  
I, STANLEY ROBERT SACKS, certify that this map was drawn under my supervision from an actual survey made under my supervision/deed description recorded in book, [SEE] Page [MAP], etc.; that the boundaries not surveyed are clearly indicated as drawn from information found in book BM 2002, page 1137, etc.; that the ratio of precision as calculated is 1: [SEE] that this map meets the requirements of the Standards of Practice for Surveying in North Carolina (21 NCAC 56-1600); that topographic data is shown per an actual ground survey; and that the vertical accuracy of topographic data conforms to the United States National Map Accuracy Standards.  
Witness my original signature, registration number and Seal this 27th day of OCTOBER, A.D. 2022.  
SURVEYOR LICENSE NUMBER L-2913



SSM SACKS SURVEYING & MAPPING, P.C.  
3308-B Edgefield Road  
Greensboro, NC 27409  
(336) 931-6566  
FAX 931-6588  
WWW.SSM-LAND.COM  
FIRM LK NC-2294

BOUNDARY & TOPOGRAPHIC SURVEY  
SHOPPES AT ZEBULON  
BPPK OF MAPS 2002, PAGE 1137  
LITTLE RIVER TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA  
DATE OF LAST FIELD INSPECTION = 27 OCTOBER 2022  
CONTOUR INTERVAL = ONE FEET (NAVD 88)  
SCALE 1 INCH = 40 FEET  
BAR GRAPH 1 inch = 40 ft.  
DRAWING FILE NAME: ZEBULON-SHOPPES.DWG



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PROJECT  
ZEBULON VILLAGE

1796931350, LITTLE RIVER TOWNSHIP, 421-00000-0012  
ZEBULON, WAKE COUNTY, NC

PRELIMINARY

CALL BEFORE YOU DIG



SCALE &amp; NORTH ARROW:

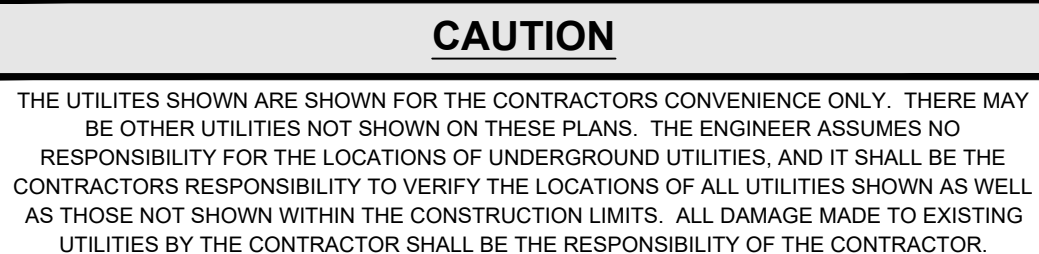


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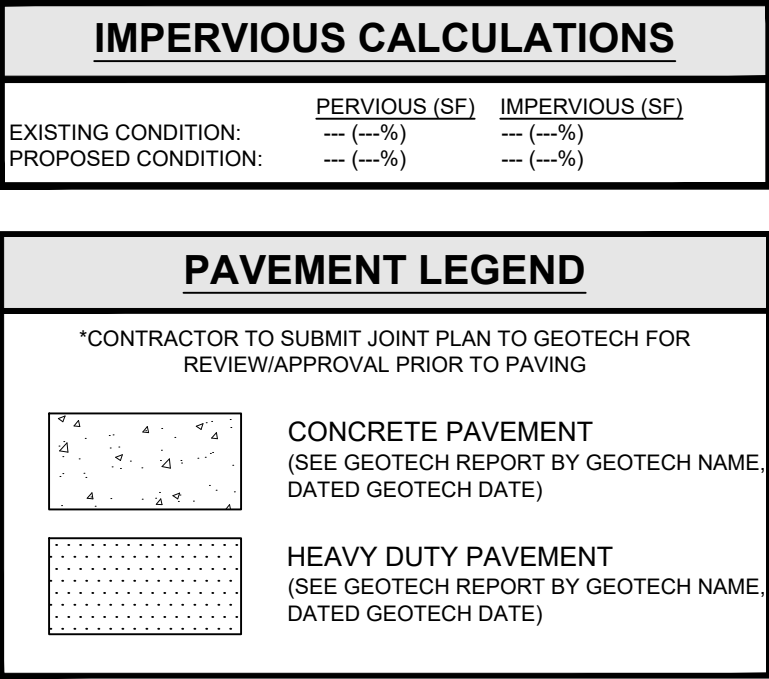
DATE: ORIGINAL SUBMITTAL DATE:

### EXISTING CONDITIONS PLAN

## C-0.3







## GENERAL SITE NOTES

- 1) ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS SPECIFIED OTHERWISE.
- 2) ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
- 3) BOUNDARY & TOPOGRAPHIC SURVEY BY SACKS SURVEYING & MAPPING, P.C., DATED 10.27.2022. BENCHMARK IS NOTED ON SURVEY.
- 4) FLOOD PLAN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 170179800C, DATED 07.19.2022.
- 5) 1' HANDICAP SPACE IS REQUIRED TO BE VAN ACCESSIBLE WITH A MINIMUM 96" WIDE ACCESS AREA.
- 6) ACCESSIBLE PARKING AREAS, INCLUDING AISLES, SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION.
- 7) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- 8) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.
- 9) ALL NEW PAVEMENT SHALL MEET OR EXCEED GEOTECHNICAL SPECIFICATION. SEE REPORT PREPARED BY GEOTECH NAME, DATED GEOTECH DATE.

SITE SUMMARY	
SITE AREA	
SITE AREA:	17.80 ACRES (775,456 S.F.)
OPEN SPACE PROV.:	68,872 S.F. (3.8%)
OPEN SPACE REQ.:	23,264 SF (3%)
GROCERY AREA:	13.62 ACRES
OUTLOT 1 AREA:	1.53 ACRES
OUTLOT 2 AREA:	0.92 ACRES
OUTLOT 3 AREA:	0.94 ACRES
OUTLOT 4 AREA:	0.79 ACRES
ZONING CLASSIFICATION	
JURISDICTION:	TOWN OF ZEBULON
CURRENT ZONING:	R2 (RESIDENTIAL SUBURBAN)
PROPOSED ZONING:	PD (PLANNED DEVELOPMENT)
ADJACENT ZONING:	R-13-SUD
CURRENT FUTURE LAND USE:	SR (SUBURBAN RESIDENTIAL)
BUILDING SETBACKS	
FRONT:	15'
SIDE:	10' (MAIN PARCEL) / 0' (OUTLOTS)
REAR:	10' (MAIN PARCEL) / 0' (OUTLOTS)
BUILDING SUMMARY	
BUILDING AREA:	71,325 S.F.
GROCERY:	50,325 S.F.
SHOPS:	21,000 S.F.
BUILDING COVERAGE:	12.1%
PARKING SUMMARY	
PARKING REQ.:	(GROCERY) 1 SPACE / 250 S.F.
	202 SPACES
	(RETAIL) 1 SPACE / 200 S.F.
	105 SPACES
	307 SPACES
PARKING PROV.:	381 SPACES
MIN. STALL DIMENSIONS:	9' x 20'
MIN. DRIVE WIDTH:	24' (90") / 18' (60')

KEY NOTES	
①	24" CURB & GUTTER, SEE SHEET C-X-X FOR DETAIL.
②	24" WHITE STOP BAR, SEE SHEET C-X-X FOR DETAIL.
③	HEAVY DUTY PAVEMENT, SEE SHEET C-X-X FOR PAVEMENT SPECIFICATIONS
④	STANDARD DUTY PAVEMENT, SEE SHEET C-X-X FOR PAVEMENT SPECIFICATIONS
⑤	CONCRETE SIDEWALK, SEE SHEET C-X-X FOR DETAIL
⑥	GDOT STANDARD ADA RAMP WITH DETECTABLE WARNING, SEE SHEET C-X-X FOR DETAIL.
⑦	CONTRACTOR TO TIE INTO AND MATCH EXISTING CURB & GUTTER
⑧	LANDSCAPE AREA, SEE SHEET L-1.0 FOR LANDSCAPE PLANTING DESIGN
⑨	ADA PARKING AREA, SEE SHEET C-X-X FOR DETAIL(S)
⑩	ADA PARKING SIGN, SEE SHEET C-X-X FOR DETAIL
⑪	DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS
⑫	STOP SIGN (R1-1), SEE SHEET C-X-X FOR MOUNTING DETAIL.
⑬	DO NOT ENTER SIGN (R5-1), SEE SHEET C-X-X FOR MOUNTING DETAIL.
⑭	CONCRETE WHEEL STOP PLACED 2" FROM FACE OF CURB OR SIDEWALK, SEE SHEET C-X-X FOR DETAIL.
⑮	GDOT REQUIRED CONCRETE APRON, SEE SHEET C-X-X FOR DETAIL(S) AND PAVEMENT SPECIFICATIONS
⑯	TAPER CURB FROM 6" TO 0" OVER 5', SEE SHEET C-X-X FOR DETAIL.
⑰	SIDEWALK TO BE FLUSH WITH PAVEMENT
⑱	CONCRETE FLUME (WIDTHS MAY VARY)
⑲	CONCRETE TRANSFORMER PAD PER UTILITY OWNER'S REQUIREMENTS
⑳	TYPICAL PAVEMENT MARKINGS, SEE SHEET C-X-X FOR DETAILS
㉑	4" WIDE SINGLE SOLID WHITE LINE (SSWL)
㉒	4" WIDE DOUBLE SOLID YELLOW LINE (DSYL)

[illegible]





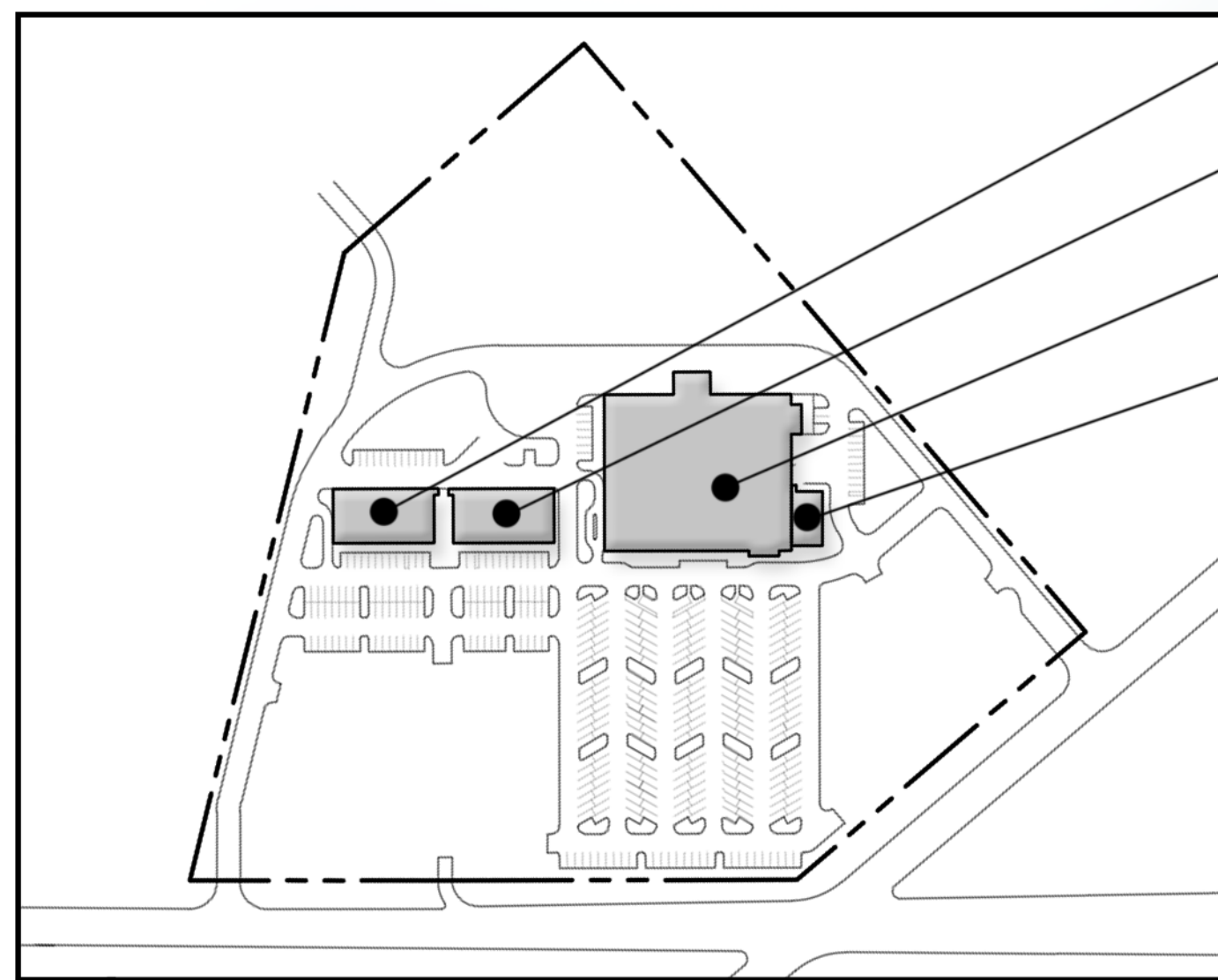
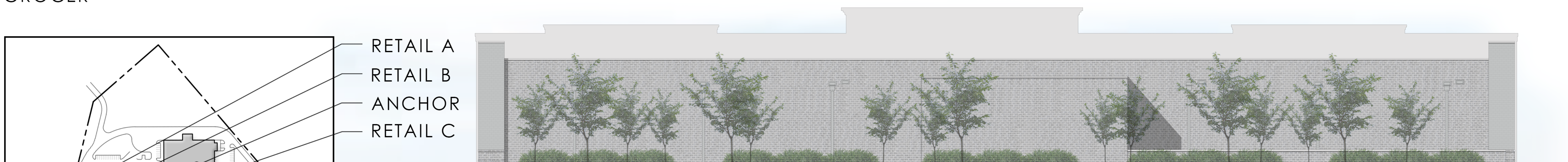
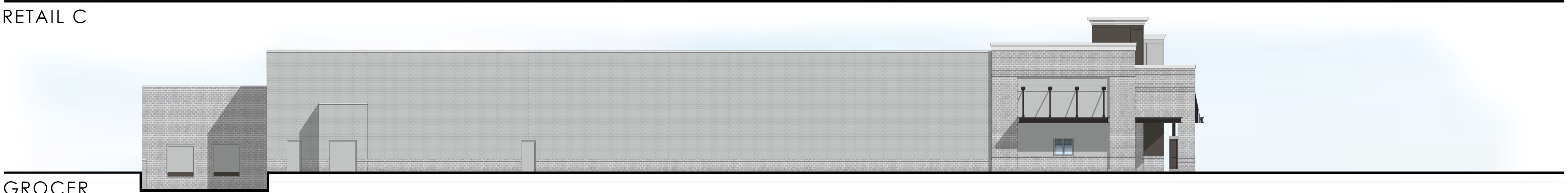
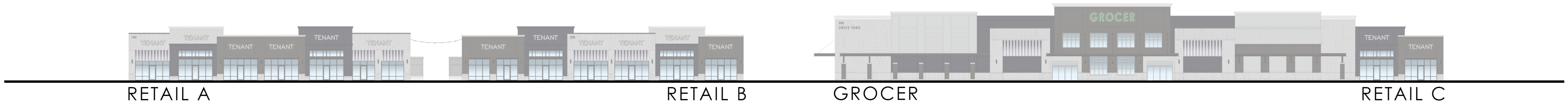
BRANCH

## ZEBULON VILLAGE

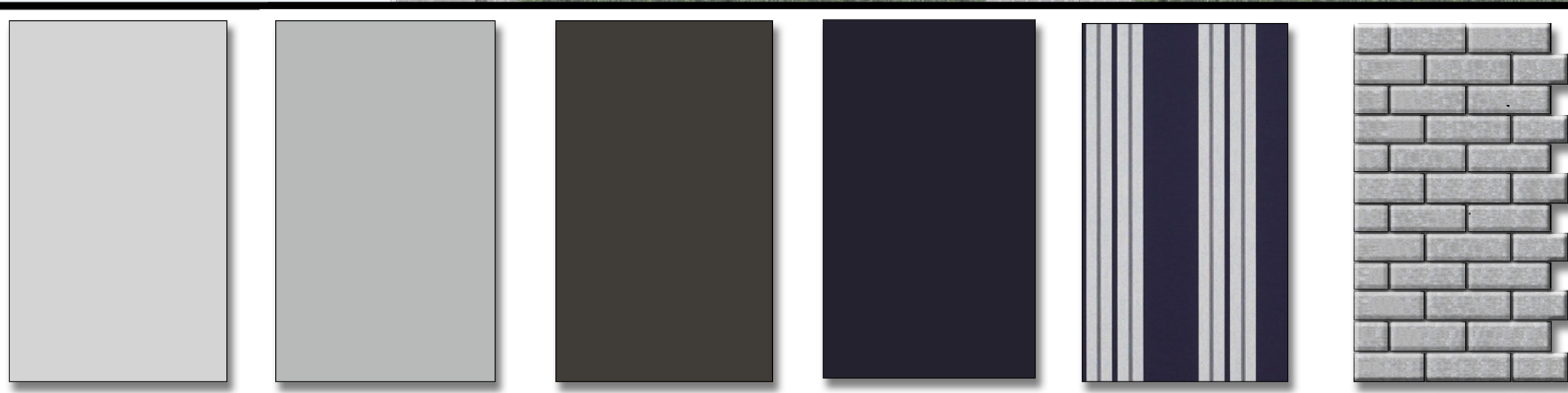
ZEBULON, NORTH CAROLINA

05-01-2025





RETAIL A  
RETAIL B  
ANCHOR  
RETAIL C

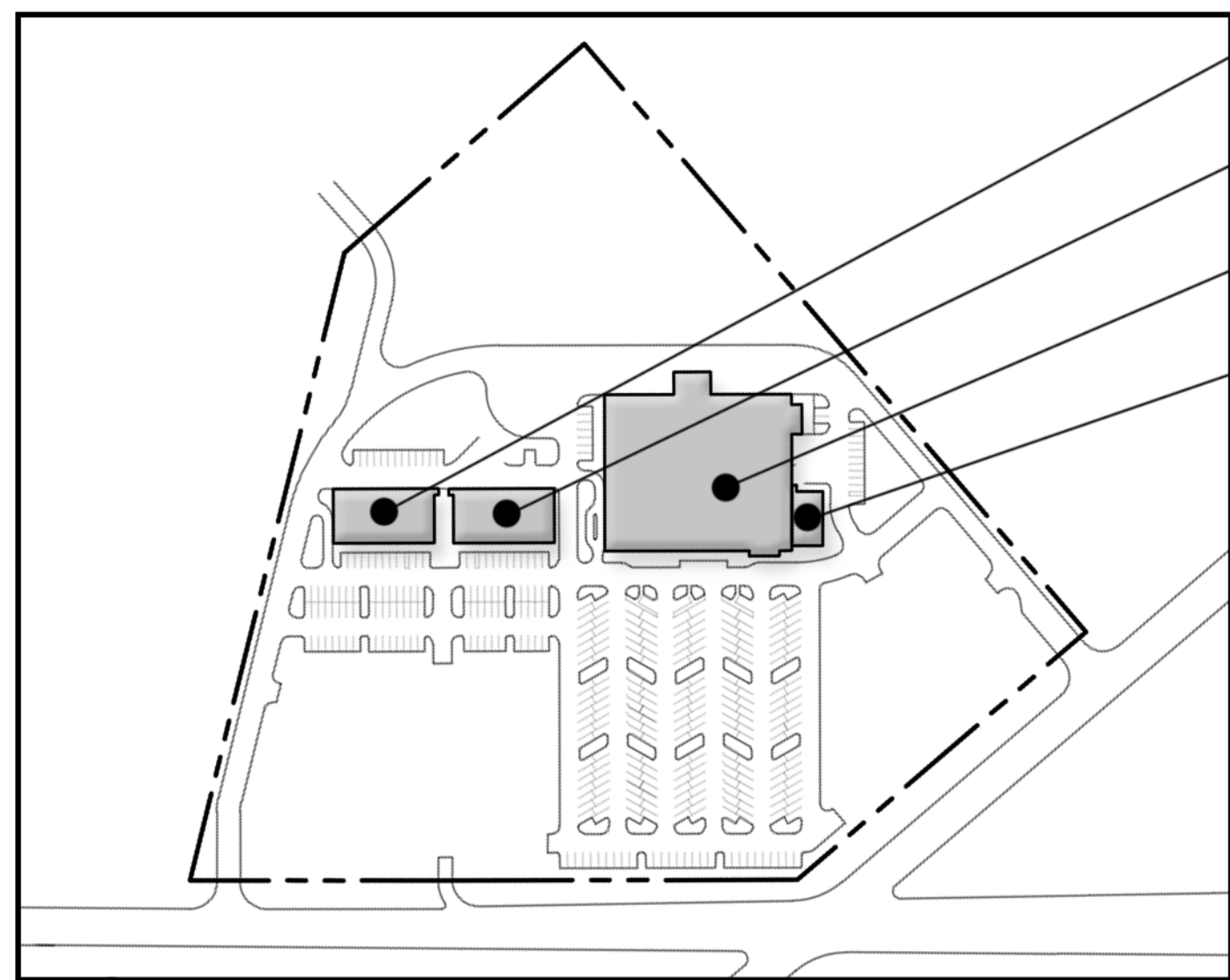
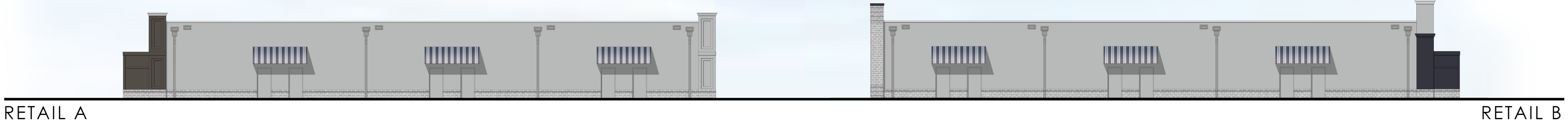
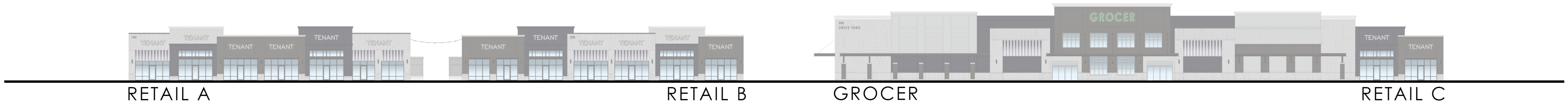


CONCEPTUAL ELEVATION  
GROCER + RTL C  
2025.05.01

ZEBULON VILLAGE  
NC HWY 96 & PROCTOR STREET  
ZEBULON, NORTH CAROLINA

BRANCH  
3340 PEACHTREE RD NE • SUITE 2775 • ATLANTA, GA 30326  
404 • 832 • 8900





RETAIL A  
RETAIL B  
ANCHOR  
RETAIL C



CONCEPTUAL ELEVATION  
RETAIL A & RETAIL B  
2025.05.01

ZEBULON VILLAGE  
NC HWY 96 & PROCTOR STREET  
ZEBULON, NORTH CAROLINA

  
**BRANCH**  
3340 PEACHTREE RD NE • SUITE 2775 • ATLANTA, GA 30326  
404 • 832 • 8900





BRANCH

## ZEBULON VILLAGE

ZEBULON, NORTH CAROLINA  
05-01-2025





BRANCH

ZEBULON VILLAGE

ZEBULON, NORTH CAROLINA  
05-01-2025