

Wendy's[®] FOR
— ZEBULON, NC
AT
1500 NORTH ARENDELL AVENUE
TOWN OF ZEBULON
WAKE COUNTY, ILLINOIS

LEGEND	

Know what's **Below.**
Call **811** before you dig.

The logo for 811, featuring the numbers '811' in a large, bold, sans-serif font. The numbers are white with a thick black outline. Below the numbers is a stylized shield shape, also with a thick black outline, containing a white cross-like symbol. The entire logo is set against a dark background.

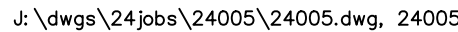
DATUM/EPOCH: NAD83(2011)/2010.0000
PUBLISHED/FIXED CONTROL: 35°50'26.16960", -78°19'32.96040", 238.413SFT
GEOID MODEL: 18
COMBINED GRID FACTOR: 0.99992529
UNITS: US SURVEY FEET



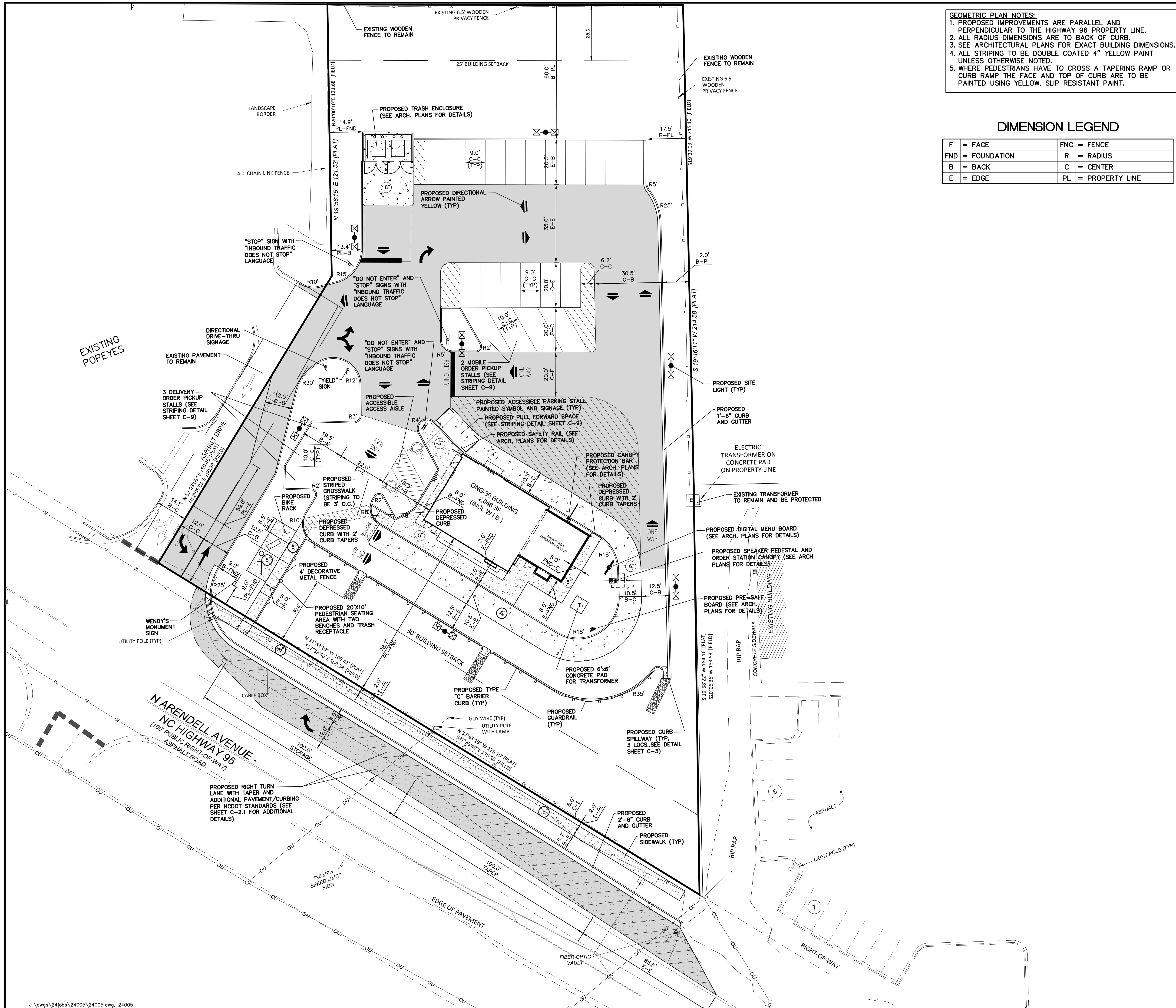
I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF NORTH CAROLINA, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES, LTD. UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

COVER SHEET

C-1



DEMOLITION PLAN



GEOMETRIC PLAN NOTES:
1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE HIGHWAY 96 PROPERTY LINE.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

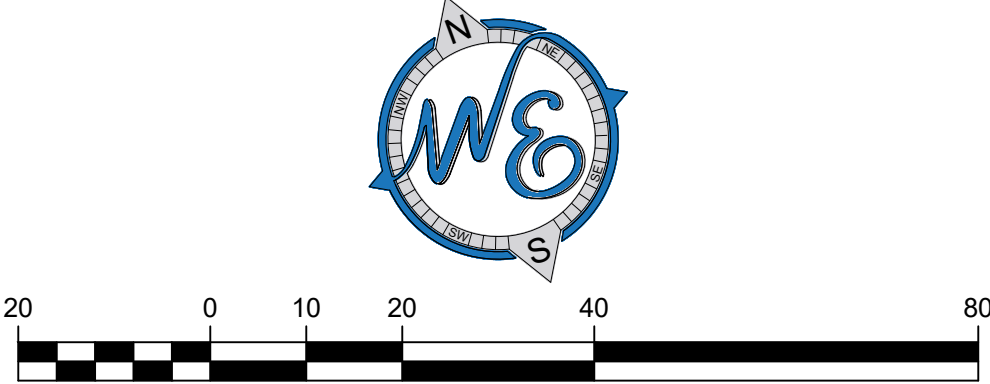
DIMENSION LEGEND

F	=	FACE	FNC	=	FENCE
FND	=	FOUNDATION	R	=	RADIUS
B	=	BACK	C	=	CENTER
E	=	EDGE	PL	=	PROPERTY LINE

GENERAL NOTES:
1. THESE PLANS ARE BASED ON THE ALTA/ASCM LAND TITLE SURVEY PREPARED BY:
SAMBATEK NC PC
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
919-848-6121
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

ON SITE PARKING DATA	
REQUIRED PARKING:	
1 SPACE/4 SEATS = 29 SEATS = 7.25 OR 8 SPACES	
REQUIRED BICYCLE PARKING:	
1 SPACE/20 PARKING STALLS = 2 BICYCLE SPACES	
PROVIDED PARKING:	
REGULAR SPACES	25
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	27
PROVIDED BICYCLE PARKING: 2 SPACES	
SITE DATA	
LOT AREA	= 63,057 S.F. (1.45 AC.)
BUILDING AREA	= 2,046 S.F.

PAVEMENT LEGEND	
	5" SIDEWALK
	STANDARD DUTY
	HEAVY DUTY
	HIGHWAY 96 RIGHT-OF-WAY PAVEMENT
	CONCRETE DRIVE-THRU LANE AND ADA ACCESSIBLE STALLS
	CONCRETE TRASH APRON
NOTES:	
1. REFERENCE N.C.D.O.T STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (LATEST EDITION) SECTION 610 FOR BINDER & SURFACE COURSES AND SECTION 520 FOR AGGREGATE BASE COURSE.	
2. THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.	
3. SEE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY GEO HYDRO ENGINEERS DATED MARCH 17, 2023 FOR SUB-BASE AND BASE COURSE COMPACTION.	
4. ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.	
5. FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.	
6. PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER N.C.D.O.T STANDARD.	



GEOMETRIC PLAN

DATE

NO.

REVISIONS

Prepared For:

Delight Raleigh LLC
PO Box 780794
Wichita, KS 67278

WENDY'S - ZEBULON, NC
1500 North Arendell Avenue
Zebulon, North Carolina

Prepared By:

Checked By: J. MILLER

Design By: R. ERSFELDT

Drawn By: R. ERSFELDT

Date: JUNE 6, 2025

Scale: 1" = 20'

Project No.: 24-005

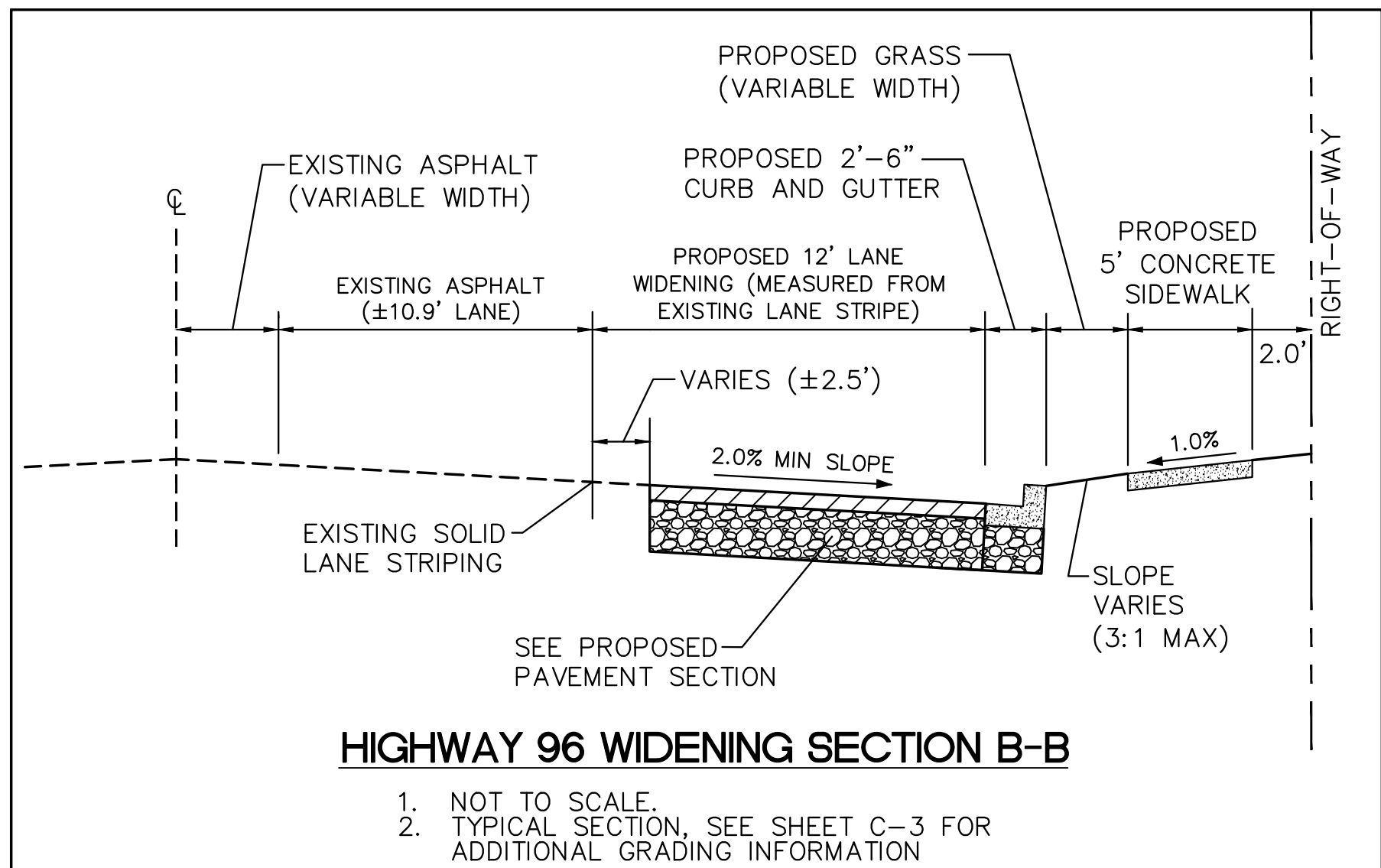
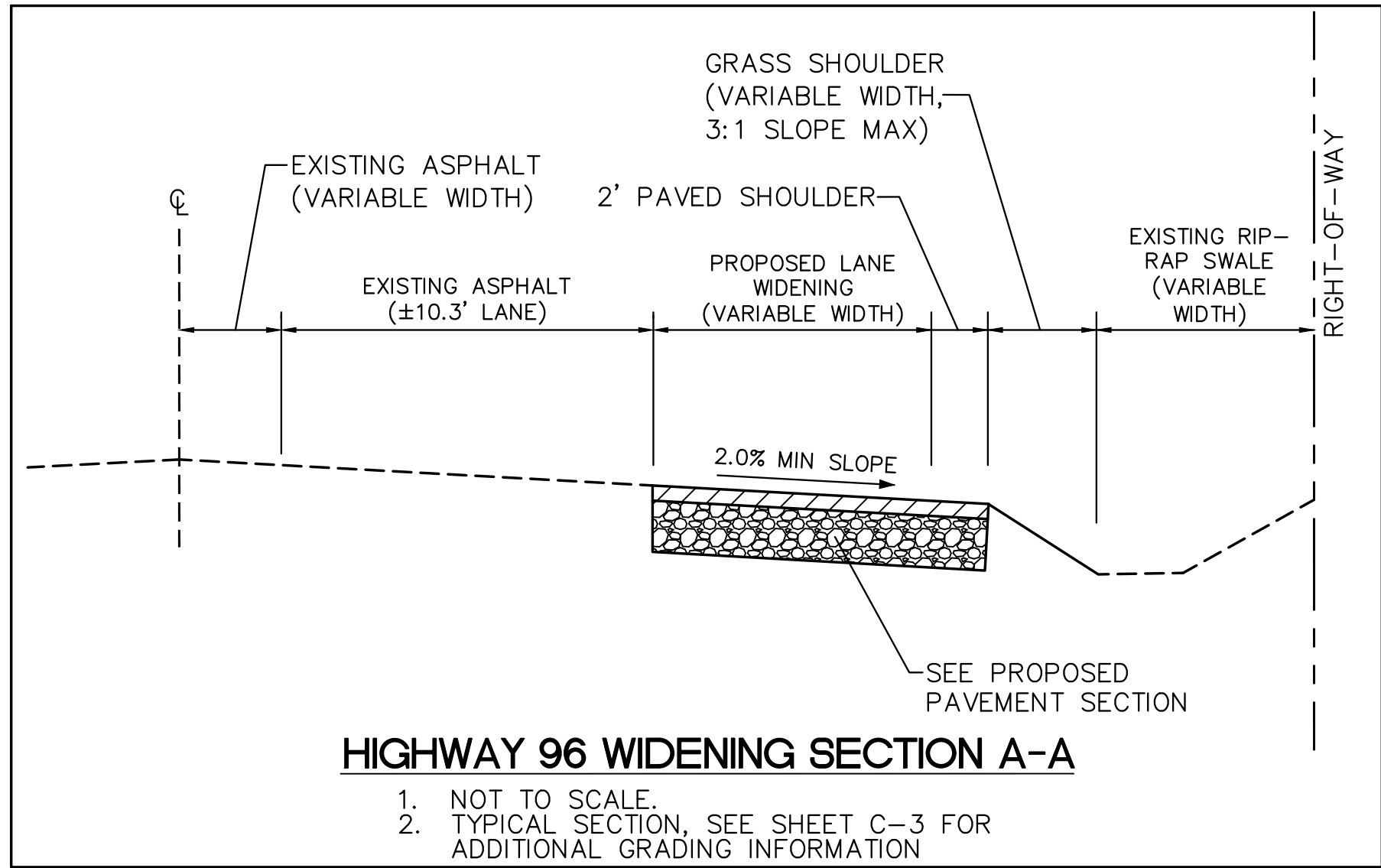
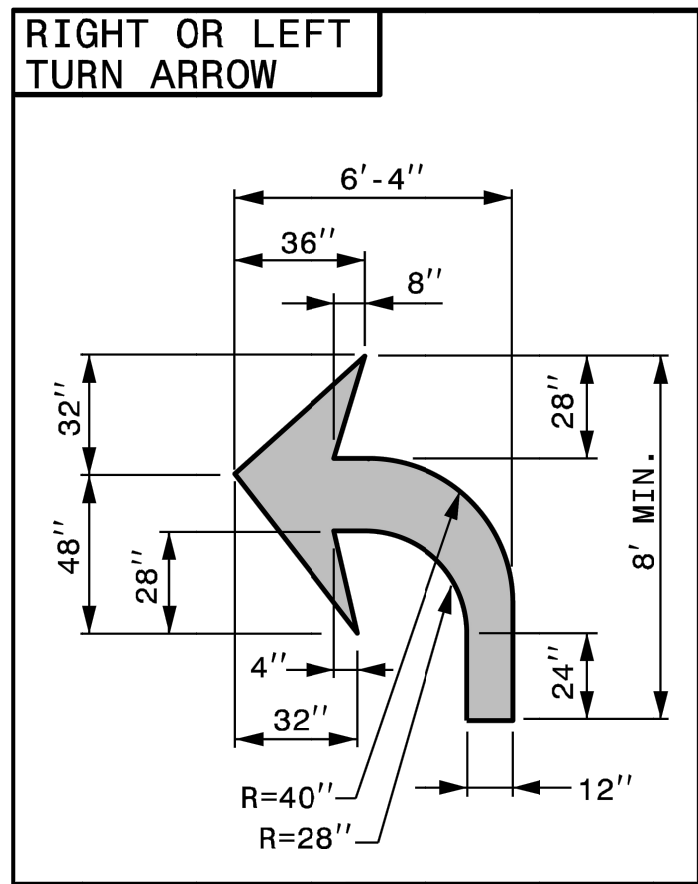
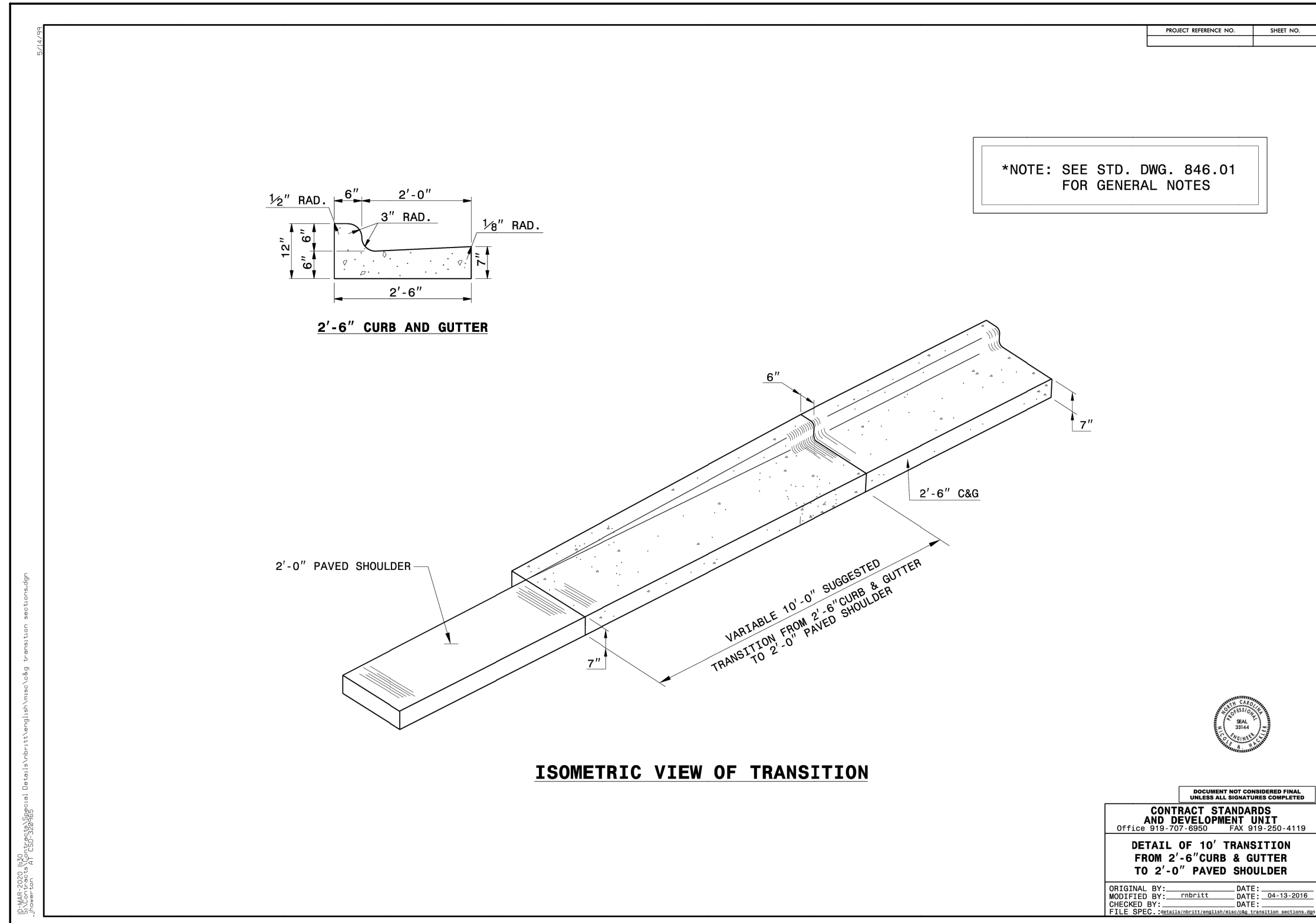
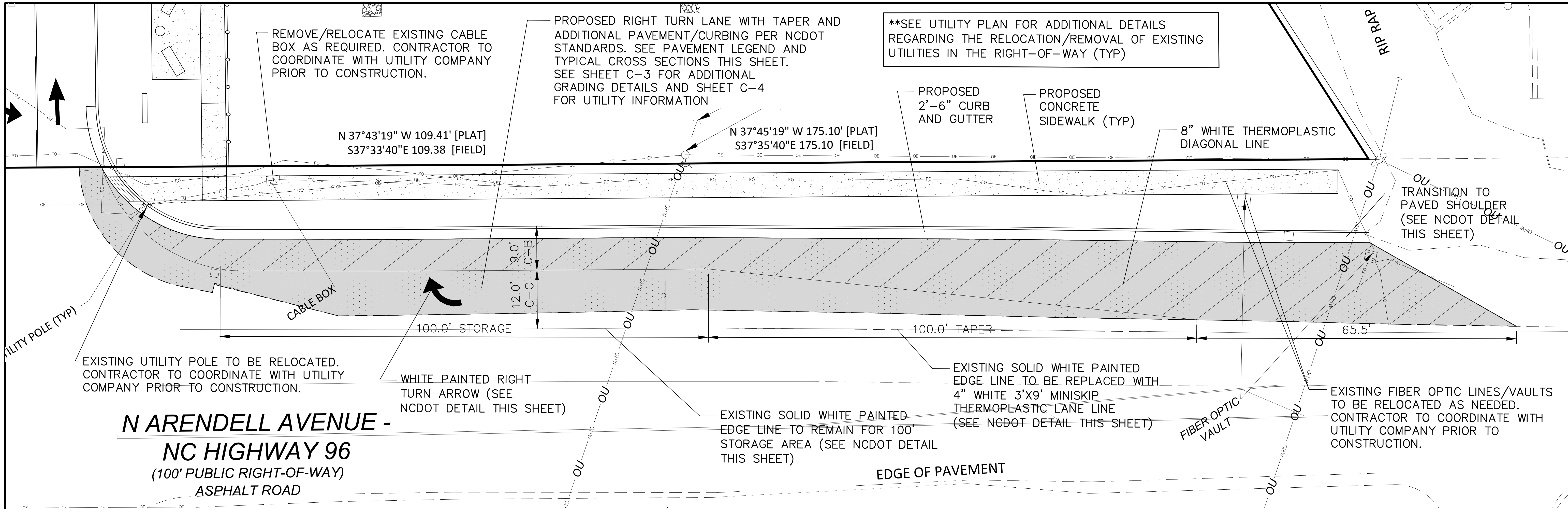
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60002 | (630) 375-1800

W&E

Wat&E Engineering Resources

GEOMETRIC PLAN

C-2



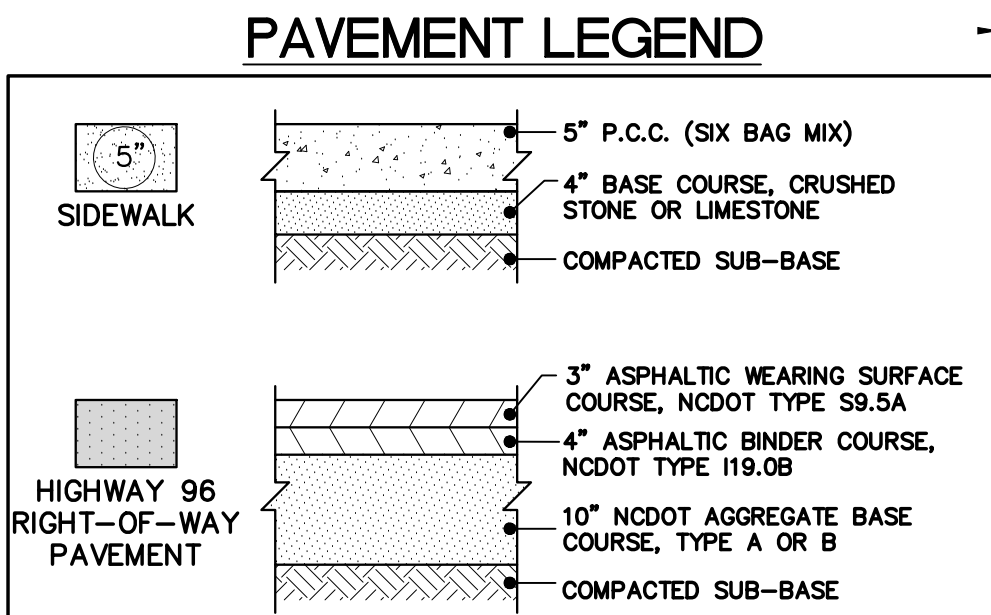
DIMENSION LEGEND

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RALEIGH, NORTH CAROLINA 27613
919-848-6121

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- NOTES:**
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ROAD WIDENING PLAN AND SECTIONS

DATE	
REVISIONS	
NO.	

Prepared For:

Delight Raleigh LLC
PO Box 780794
Wichita, KS 67278

WENDY'S - ZEBULON, NC
1500 North Arendell Avenue
Zebulon, North Carolina

Prepared By:

Wendy's

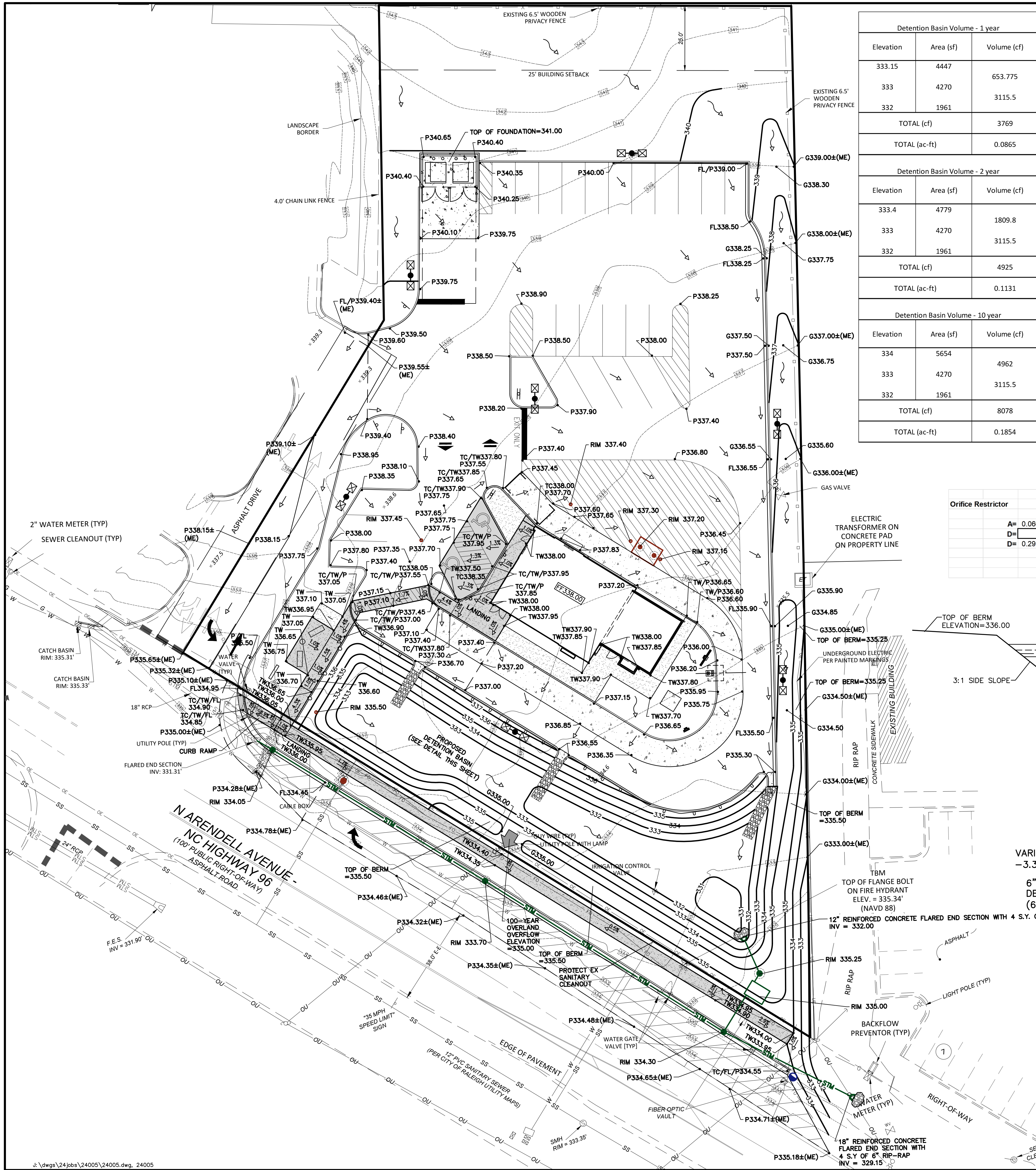
Watermark Engineering Resources

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JUNE 6, 2025
SCALE: 1" = 20'
PROJECT NO.: 24-005

C-2.1

ROAD WIDENING PLAN AND SECTIONS



STORMWATER NARRATIVE:
THE PROPOSED WENDY'S SITE HAS A TOTAL OF 0.75 ACRES OF NEW IMPERVIOUS AREA, AND THEREFORE, IS SUBJECT TO THE REQUIREMENTS OF THE NCDEQ STORMWATER DESIGN MANUAL. THE METHOD OF TREATMENT THAT WILL BE UTILIZED FOR THE WENDY'S SITE IS THE "RUNOFF TREATMENT" METHOD OF TREATING THE STORMWATER FROM THE SITE IN A PRIMARY DETENTION BASIN. THE SITE WILL SHEET DRAIN THROUGH THREE PROPOSED CURB SPILLWAYS DIRECTLY INTO THE PROPOSED DRY DETENTION BASIN. RIP-RAP WILL BE UTILIZED AT THE CURB SPILLWAYS FOR PRETREATMENT AND ENERGY DISSIPATION. THE WAKE COUNTY MUNICIPAL STORMWATER TOOL WAS UTILIZED TO CALCULATE THE RUNOFF, PEAK FLOW, AND VOLUME TO BE MANAGED BASED ON THE PRE AND POST DEVELOPMENT CONDITIONS. THE DETENTION BASIN WILL OUTLET THROUGH A FLARED END SECTION AND INTO A RESTRICTOR CATCH BASIN. THE DRAWDOWN TIME OF THE DETENTION BASIN WILL BE 2 DAYS BASED ON THE PROPOSED 3.5" RESTRICTOR, WHICH MEETS THE NCDEQ DRAWDOWN REQUIREMENT OF 2-5 DAYS. THE RESTRICTED FLOW WILL THEN FILTER THROUGH A CONTECH "STORM FILTER" UNIT IN ORDER TO MEET THE 85% TSS REMOVAL REQUIREMENT PER WAKE COUNTY. THE RESTRICTED AND FILTERED STORMWATER WILL THEN ULTIMATELY OUTLET TO THE EXISTING DITCH ON THE NORTH SIDE OF ARENDELL AVENUE, WHICH IS WHERE THE STORMWATER FLOWS IN THE EXISTING CONDITION. THE BELOW SUMMARY IS FROM THE WAKE COUNTY MUNICIPAL STORMWATER TOOL THAT WILL BE INCLUDED AS PART OF THE FINAL ENGINEERING SUBMITTAL. INCLUDED ON THIS SHEET ARE THE ORIFICE RESTRICTOR CALCULATION, AS WELL AS THE CONTOUR VOLUME CALCULATIONS FOR THE 1-YEAR, 2-YEAR, AND 10-YEAR STORM EVENTS.

PRE-DEVELOPED CONDITION
• CN = 49
• 1-YEAR (24 HOUR) RUNOFF = 0.07 INCHES
• 1-YEAR (24 HOUR) VOLUME OF RUNOFF = 345 CUBIC FEET
• 2-YEAR (24 HOUR) RUNOFF = 0.19 INCHES
• 2-YEAR (24 HOUR) VOLUME OF RUNOFF = 933 CUBIC FEET
• 10-YEAR (24 HOUR) RUNOFF = 0.73 INCHES
• 10-YEAR (24 HOUR) VOLUME OF RUNOFF = 3,510 CUBIC FEET

POST-DEVELOPED CONDITION:
• CN = 72
• 1-YEAR (24 HOUR) RUNOFF = 0.81 INCHES
• 1-YEAR (24 HOUR) VOLUME OF RUNOFF = 3,907 CUBIC FEET
• 2-YEAR (24 HOUR) RUNOFF = 1.20 INCHES
• 2-YEAR (24 HOUR) VOLUME OF RUNOFF = 5,808 CUBIC FEET
• 10-YEAR (24 HOUR) RUNOFF = 2.39 INCHES
• 10-YEAR (24 HOUR) VOLUME OF RUNOFF = 11,547 CUBIC FEET

PER THE INCLUDED CONTOUR VOLUME CALCULATIONS, SUFFICIENT DETENTION AREA IS PROVIDED FOR THE DIFFERENCE IN VOLUME FOR THE 1-YEAR, 2-YEAR AND 10-YEAR STORM EVENTS, AS WELL AS FOR THE WATER QUALITY VOLUME OF 2,692 CUBIC FEET.

Orifice Restrictor			
A= 0.066813 ft ²	HWL= 334	331.9	square edge = .79-.82
D= 3.51 in	H= 1.954167 ft	c= 0.61	round edge = .93-.98
D= 0.291667 ft	g= 32.2 ft/sec		sharp edge = .58-.64
			projecting sharp edge = .5
		Q= 0.457211 cfs	

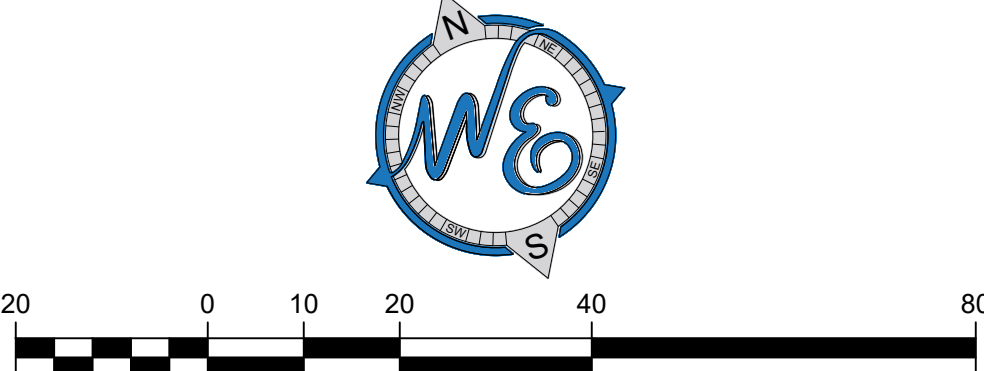
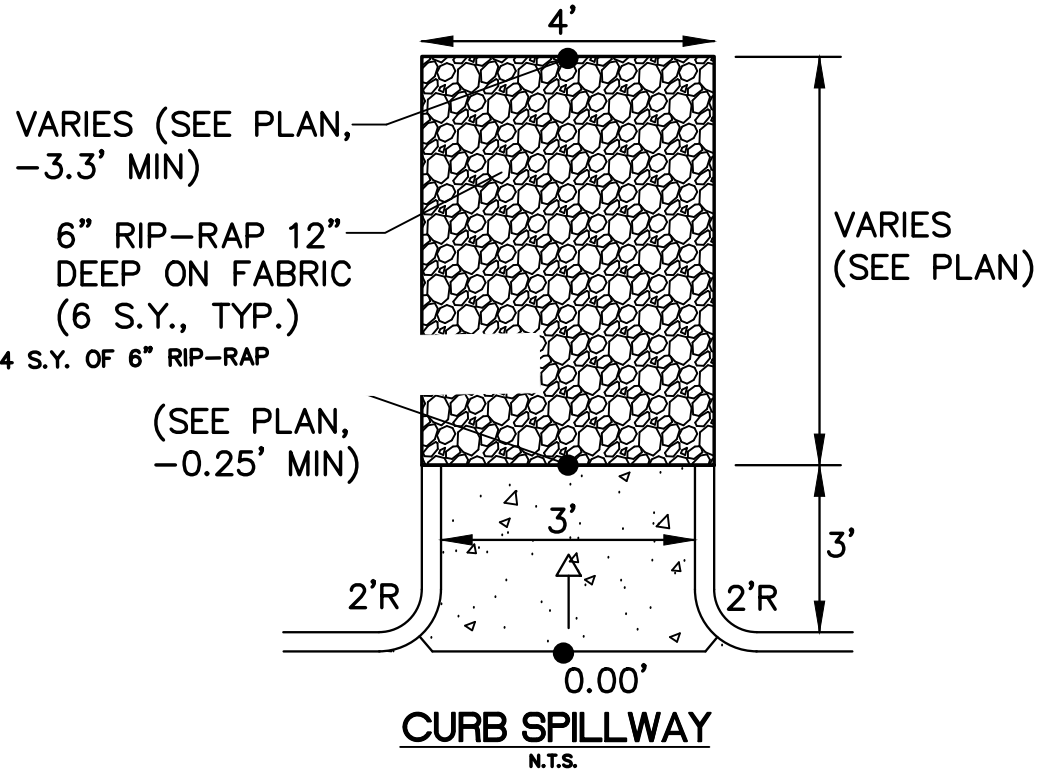
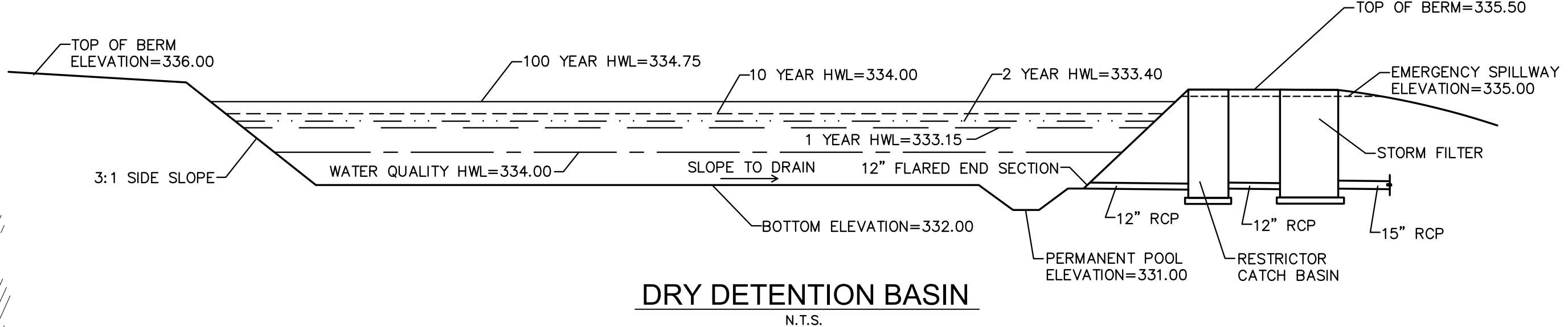
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8312 CREEDMOOR ROAD
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919-848-6121
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

REFERENCE BENCHMARK
VERTICAL POSITIONS ARE REFERENCED TO NAVD88 USING (GEOID18) COMBINED FACTOR OF 0.99993063

DATUM/EPOCH: NAD83(2011)/2010.0000
PUBLISHED/FIXED CONTROL: 35°50'26.16960", -78°19'32.96040", 238.4135FT
GEOID MODEL: 18
COMBINED GRID FACTOR: 0.99992529
UNITS: US SURVEY FEET

GRADING PLAN NOTES:
1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
4. ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN, INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT. STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR AS THEY DEEM NECESSARY. WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURAL ELEMENT.

□ = A.D.A. ACCESSIBLE ROUTE



GRADING PLAN

DATE: _____

REVISIONS: _____

NO: _____

Prepared For: _____

Delight Raleigh LLC
PO Box 780794
Wichita, KS 67278

WENDY'S - ZEBULON, NC
1500 North Arendell Avenue
Zebulon, North Carolina

Wendy's

Prepared By: _____

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER

DESIGN BY: R. ERSFELDT

DRAWN BY: R. ERSFELDT

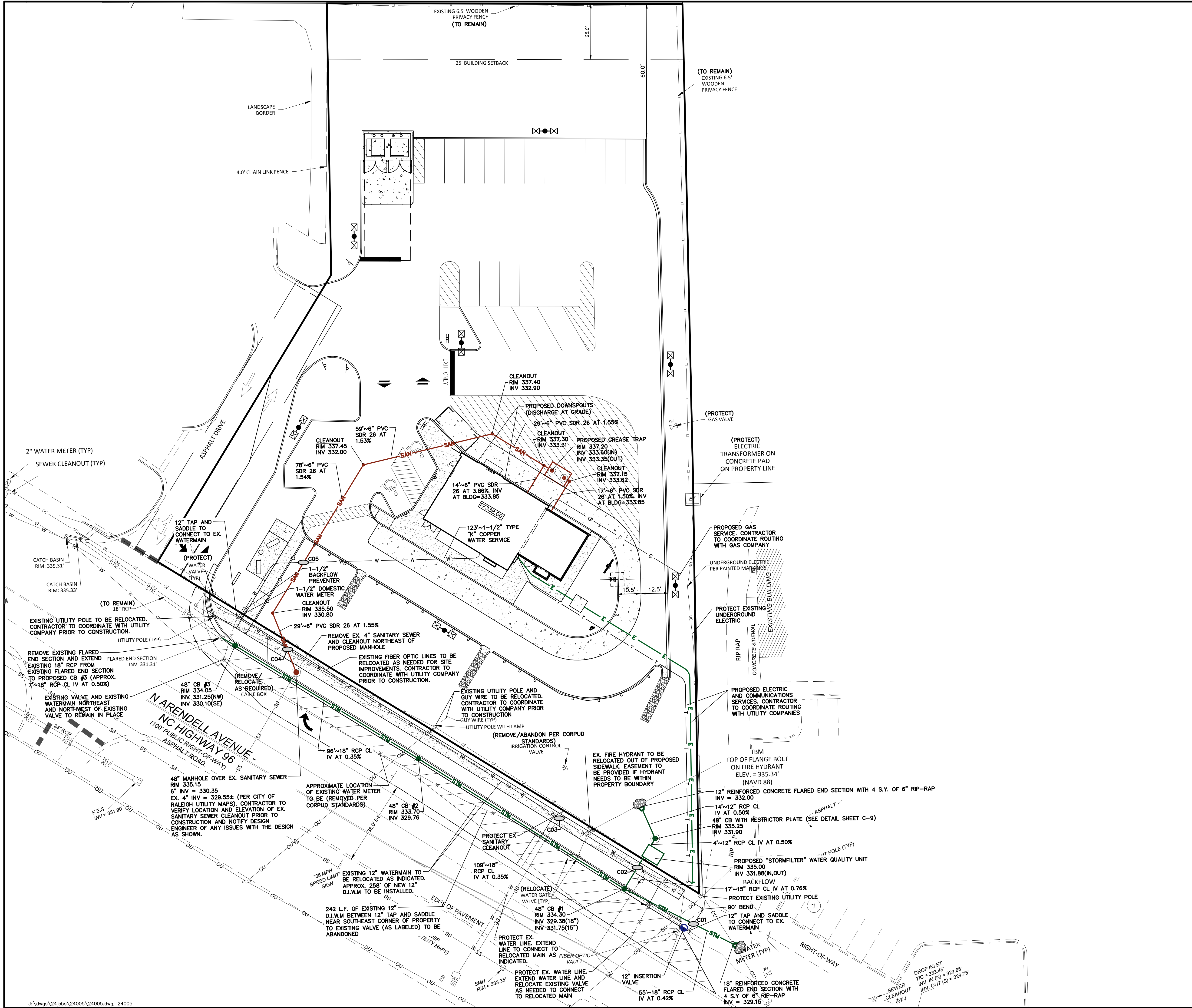
DATE: JUNE 6, 2025

SCALE: 1" = 20'

PROJECT NO.: 24-005

C-3

GRADING PLAN



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/ASCM LAND TITLE SURVEY PREPARED BY:
SAMBATEK NC PC
3312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
919-848-6121

2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

REFERENCE BENCHMARK
VERTICAL POSITIONS ARE REFERENCED TO NAVD88 USING (GEOID18) COMBINED FACTOR OF 0.99993063

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GEOID MODEL: 18
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UTILITY PLAN NOTES:

1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.

2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

UTILITY CROSSINGS	
•• C01	18" STORM B/P = 328.85 12" WATERMAIN T/P = 327.45
•• C02	15" STORM B/P = 331.63 12" WATERMAIN T/P = 330.13
•• C03	12" WATERMAIN MAXIMUM T/P = 331.75 (TO MAINTAIN THE MINIMUM REQUIRED COVER OF 3.0'). CONTRACTOR TO VERIFY EXISTING 4" SANITARY SEWER ELEVATION PRIOR TO CONSTRUCTION AND VERIFY THAT THE EXISTING SEWER IS A MINIMUM OF 18" ABOVE THE PROPOSED WATERMAIN. IF THE MINIMUM SEPARATION REQUIREMENTS ARE NOT MET, THE PROPOSED WATERMAIN WILL NEED TO BE LOWERED.
•• C04	6" SANITARY B/P = 330.50 12" WATERMAIN T/P = 329.00
•• C05	2" WATER SERVICE B/P = 332.80 6" SANITARY T/P = 331.73
•• SEE CITY OF RALEIGH STANDARD UTILITY NOTES SHEET C-10 FOR ADDITIONAL REQUIREMENTS WHEN THE WATERMAIN CROSSES UNDER THE SEWER	

DATE

NO.

REVISIONS

Prepared For:

Delight Raleigh LLC
PO Box 780794
Wichita, KS 67278

WENDY'S - ZEBULON, NC
1500 North Arendell Avenue
Zebulon, North Carolina

Wendy's

Prepared By:

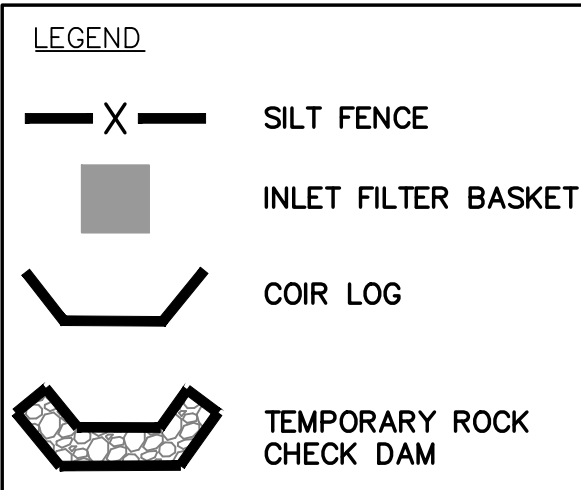
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WAT
mark
Engineering
RESOURCES

UTILITY PLAN

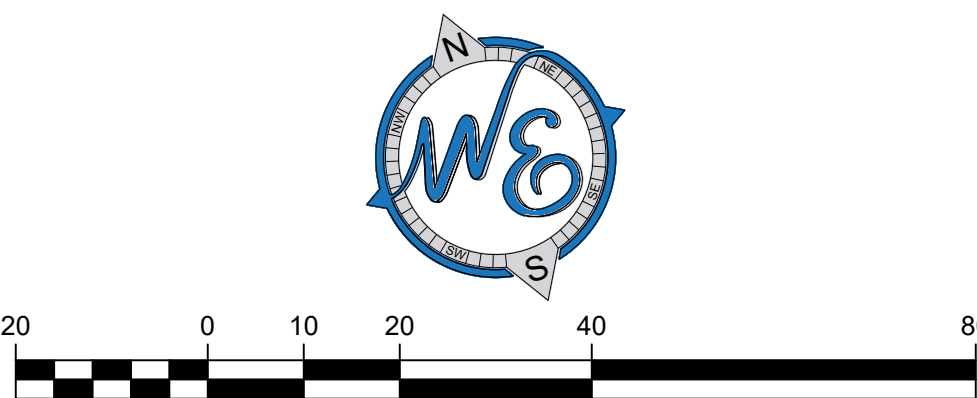
C-4



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SAMBATEK INC PC
8312 CREEDMOOR ROAD
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PHASE I SOIL EROSION CONTROL PLAN

[illegible]

Prepared For:

Delight Raleigh LLC
PO Box 780794
Wichita, KS 67278

Wendy's.

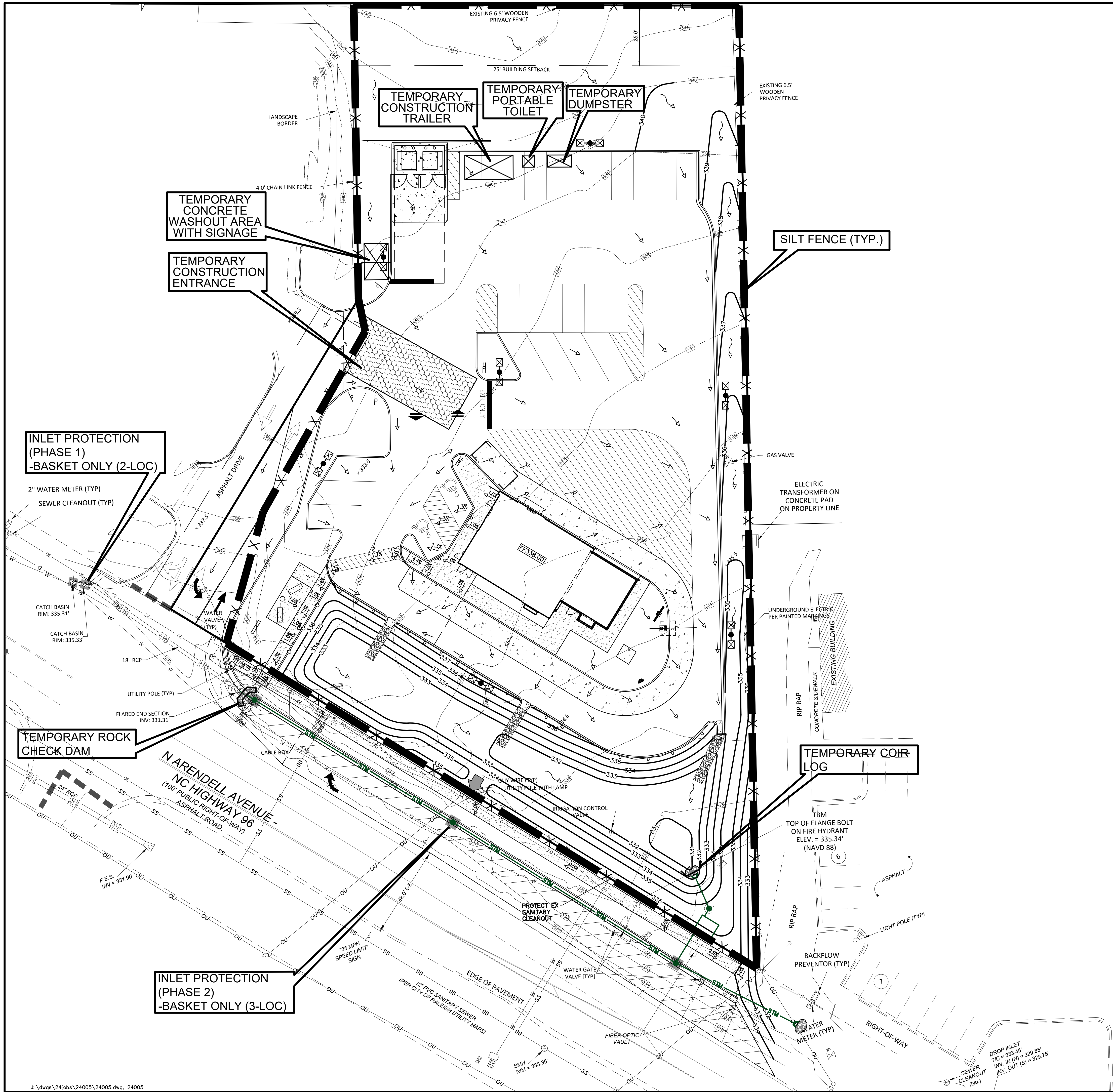
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CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELD
DRAWN BY: R. ERSFELD
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C-5

PHASE I SOIL EROSION CONTROL PLAN



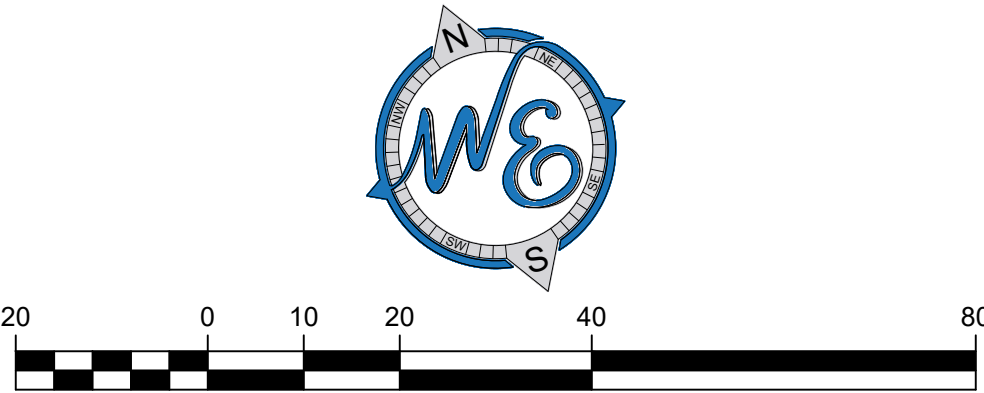
LEGEND

- SILT FENCE
- INLET FILTER BASKET
- COIR LOG
- TEMPORARY ROCK CHECK DAM

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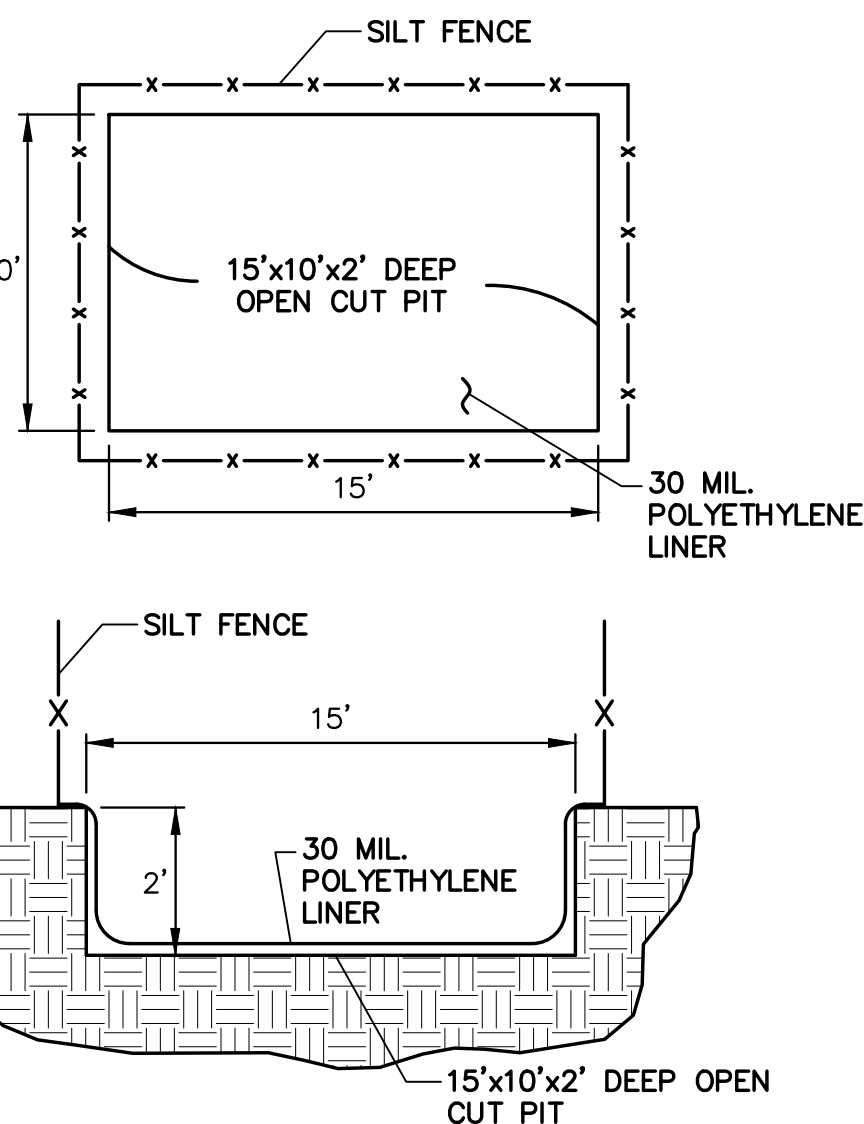
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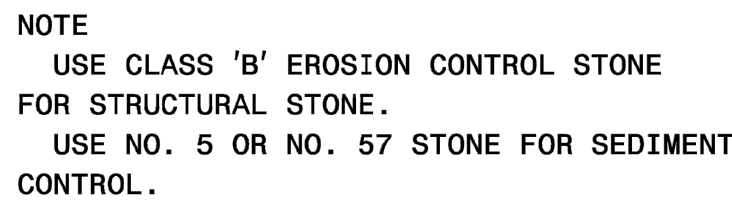
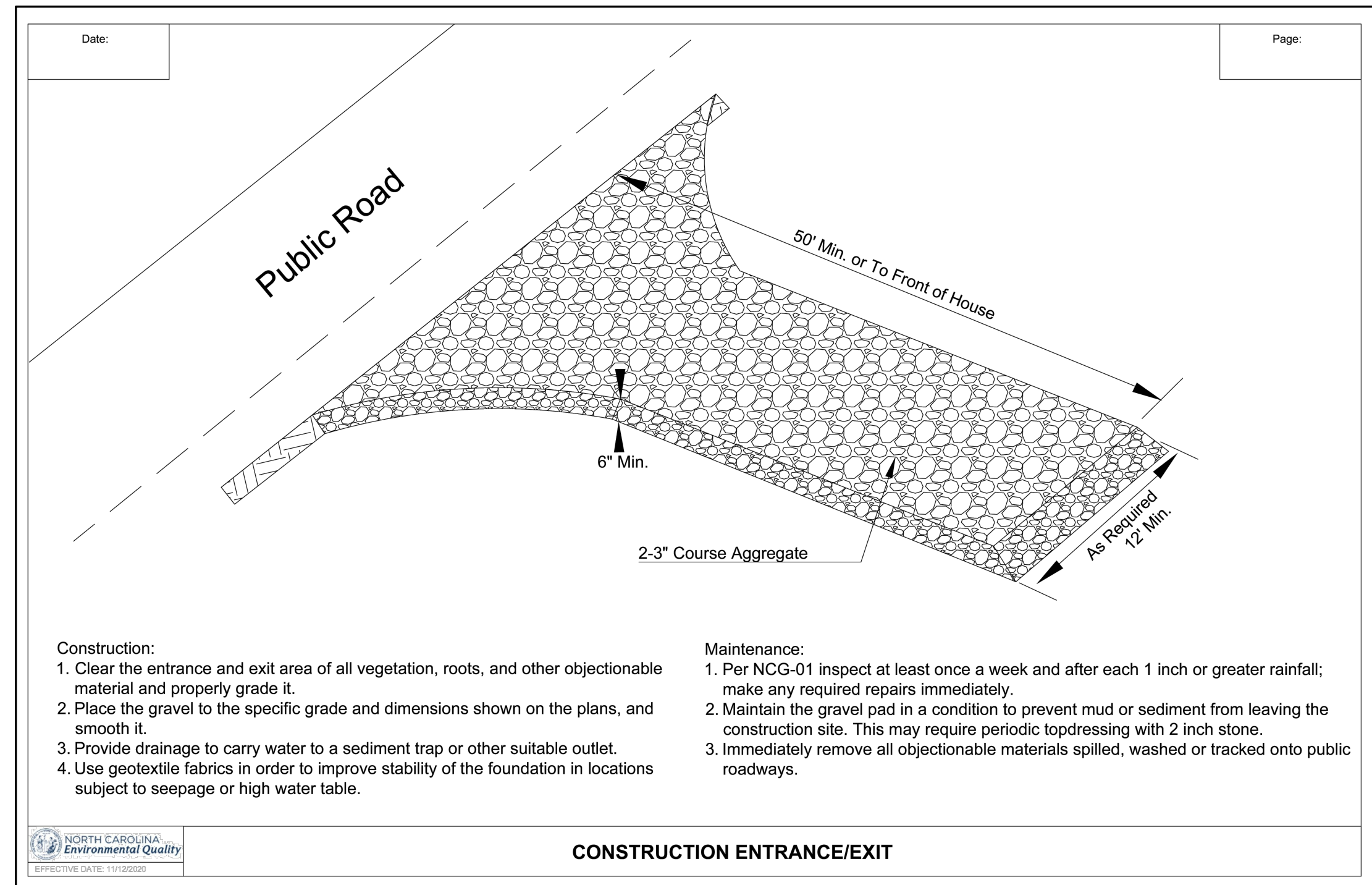
PHASE II SOIL EROSION CONTROL PLAN

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Delight Raleigh LLC PO Box 780794 Wichita, KS 67278	
WENDY'S - ZEBULON, NC 1500 North Arendell Avenue Zebulon, North Carolina	
Wendy's	
Prepared By:	
watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800	
CHECKED BY: J. MILLER	DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT	DATE: JUNE 6, 2025
SCALE: 1" = 20'	PROJECT NO.: 24-005
C-6	

1. CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE NORTH CAROLINA ENVIRONMENTAL QUALITY "EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
2. SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLANS AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, CITY ENGINEER, APPOINTED SWPPP INSPECTOR, OR MUNICIPAL INSPECTOR.
3. PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BORNE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE ENDS EXTENDING UPSLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE 5 FEET. WHEN WIRE OR OTHER FORM OF APPROVED BACKING IS USED THE MAXIMUM SPACING MAY BE INCREASED TO 8 FEET. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW AREAS WHERE WATER MAY POND. THE FILTER FABRIC AND WIRE SUPPORT, IF USED, MUST BE SECURELY FASTENED TO EXTEND TO THE TOP OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR TIE WIRES (10 GAUGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WIRED TO THE WIRE SUPPORT OR TO EXISTING TREES.
4. INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC., OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM DRAINAGE SYSTEM.
5. THE BEDDING FOR THE RIP RAP SHALL BE BEDDED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED. AT THE TOE OF THE SLOPE, THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, BEDDING LAYER, AND RIP RAP SPECIFIED.
6. FILTER FABRIC IS REQUIRED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION. STREETS ARE TO BE CLEARED OF DEBRIS, AND SWEEP CLEAN OF SILT AND MUD DAILY.
7. SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED BY QUALIFIED PERSONNEL AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL AND REPAIRED IF NECESSARY.
8. ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE DRAINAGE HAS BEEN INSTALLED.
9. ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 7 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.
10. BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE - THIRD THE HEIGHT OF THE FENCE.
11. SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND THAT THE FENCE POSTS ARE SECURE IN THE GROUND.
12. THE SEDIMENT BASIN PRIOR TO BEING FILLED, SHALL BE INSPECTED FOR DEPTH OF SEDIMENT AT LEAST ONCE A WEEK. BUILD UP SEDIMENT SHALL BE REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY.
13. CONTRACTOR TO COMPLY WITH FINAL STABILIZATION AND TERMINATION REQUIREMENTS OF THE SWPPP.
14. AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT THEY ARE NEEDED DURING CONSTRUCTION TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.



- ## CONCRETE WASHOUT AREA DETAIL



SHEET 1 OF 1
1633.01

SOIL EROSION CONTROL DETAILS AND SPECS

at **mark** **Engineering**
RESOURCES

C-7

SOIL EROSION CONTROL DETAILS AND SPECS

1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE NORTH CAROLINA BUILDING CODE (CURRENT EDITION) CHAPTER 11. ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "N.C.D.O.T STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES" AS WELL AS THE "PWC DESIGN MANUAL" CURRENT EDITIONS.
2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE AGENCIES.
4. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
7. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL 811 FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-632-4949, 48 HOURS PRIOR TO DIGGING.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.
10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
13. TRENCH BACKFILL MATERIAL, CRUSHED STONE OR LIMESTONE IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
14. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
15. ALL EXISTING DRAIN TILES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
16. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
17. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
19. FRAMES SHALL BE SET WITH EZ STIK® (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
20. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE CONTRACTOR SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
21. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL. STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
23. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.
24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO TRANSITION CONDITIONS.
25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
26. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: N.C.D.O.T STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (LATEST EDITION), CITY OF FAYETTEVILLE TECHNICAL SPECIFICATIONS (LATEST EDITION), CITY OF FAYETTEVILLE PUBLIC AND PRIVATE STREET STANDARDS (LATEST EDITION), CITY OF FAYETTEVILLE UNIFIED DEVELOPMENT ORDINANCE (LATEST EDITION).
2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER N.C.D.O.T. STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (LATEST EDITION) SECTION 520. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 3,000 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.
4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40°F AND RISING.
6. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45°F AND RISING. ALL PROPOSED PAVEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
7. ALL POOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY. ALL LOOSE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IDOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (1 COAT MINIMUM, 2 COATS IF NECESSARY). ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER. PRIOR TO SEAL COATING, ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BRICK SURFACES, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE 50°F AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SPRAYING IS NOT ALLOWED. ALL SEAL COATING SHOULD BE APPLIED BY SQUEEGEE OR BRUSHES. THE BITUMINOUS SEAL COATING MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. THE SUB-BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROTECTED FROM SOIL TRENCHING, SLIPS, DEFLECTS EXCESSIVELY OR EXHIBITS EXCESSIVE MOVEMENT OR MOISTURE. THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.
5. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
6. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.
7. PROVIDE TOPSOIL RESPAD REE FOR THE FOLLOWING UNLESS OTHERWISE NOTED:
 - A. 4" MINIMUM IN GRASS OR SOD AREAS.
 - B. 6" MINIMUM IN PLANTING AREAS.
 - C. 12" MINIMUM IN LANDSCAPE ISLANDS.
8. ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS, LARGE ROOTS AND UNNATURAL DEBRIS.
9. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR28 WALL THICKNESS AND CONFORM TO 3034 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.
3. ALL WATERMAIN C-76 PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D-2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
4. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
5. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
6. SEWER ARE TO BE INSTALLED TO THE DOWNSTREAM END UPSTREAM, IF ANY CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANYTHING.
7. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3281-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID; UNLESS OTHERWISE SPECIFIED.
8. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2060 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
9. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
10. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

1. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. ACCESSIBLE ROUTES ON AN ACCESSIBLE SITE AND FOR ANY NEW SITE IMPROVEMENTS SHALL BE PROVIDED TO SERVE ALL ACCESSIBLE SPACES OR ELEMENTS.
3. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
4. EACH ACCESSIBLE PARKING SPACE IS TO BE:
 - 4.1. CAR:

A MINIMUM OF 19'2" WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED. (SEE DETAIL). THE ACCESS AISLE SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
 - 4.2. VAN:

A MINIMUM OF 19'2" WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED. (SEE DETAIL). WHEN VAN ACCESSIBLE PARKING SPACES ARE ANGLED, THE ACCESS AISLE SHALL BE LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
5. ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE ACCESSIBLE BUILDING ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.
6. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESSIBLE PARKING SPACE.
7. TWO 90 DEGREE ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE.
8. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM. (SEE DETAIL).
9. ALL ADA PARKING STALLS, ACCESS AISLES AND CROSSWALKS SHALL BE STRIPED USING 4" WIDE DOUBLE LAYER OF HIGH QUALITY YELLOW PAINT, UNLESS OTHERWISE NOTED.
10. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2.00%) IN ANY DIRECTION.
11. EACH ACCESSIBLE PARKING SPACE SHALL HAVE AN IDENTIFICATION SIGN (SEE DETAIL).
12. A 24" ELECTRONIC LEVEL WILL BE USED BY MANY INSPECTORS IN THE POST CONSTRUCTION CONDITION TO MEASURE ADA SLOPES. A 24" LEVEL HAS A NARROWER TOLERANCE THAN LONGER ELECTRONIC LEVELS AND REPRESENTS THE MINIMUM OF 4 TYPICAL WHEELCHAIR, AS SUCH, A PROPERLY CALIBRATED, 24" ELECTRONIC LEVEL IS RECOMMENDED FOR SETTING AND MEASURING SLOPES IN ALL ADA ACCESSIBLE AREAS THROUGHOUT THE CONSTRUCTION PROCESS.

RAMPS

13. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
14. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS SET FORTH ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).
15. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS, ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.

CURB RAMPS

16. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
17. CURB RAMPS HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
18. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

1. HORIZONTAL SEPARATION
 - A. WATER MAINS AND SEWERS: WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
 - B. WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE OR SEWER SERVICE CONNECTION WHEN:
 - i) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
 - ii) THE WATER MAIN INVERT IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE SEWER; AND
 - iii) THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
 - C. BOTH THE WATER MAIN AND SEWER PIPE SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC SDR18 PIPE WITH AWWA C-900 JOINTS, MEETING THE REQUIREMENTS OF SECTION 653.111 OF THE IEPA'S TITLE 35 SUBTITLE F, WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2. VERTICAL SEPARATION
 - A. A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER OR DRAIN TO BE PUNCTURED TO PREVENT SETTLING OF THE SEWER OR DRAIN.
 - B. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF THE CITY OF GOLDSBORO STANDARD SPECIFICATIONS AND DETAILS, AND CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER DRAIN LINE IS AT LEAST TEN FEET (10') WHEN:
 - i) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - ii) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
 - C. A VERTICAL SEPARATION OF EIGHTEEN INCHES (18") BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN.
3. WATER MAINS AND SERVICES SHALL BE CONSTRUCTED SO THAT THE MINIMUM DEPTH IS FIVE AND ONE HALF FEET (5 1/2') MEASURED FROM FINISHED GRADE TO THE TOP OF THE PIPE, UNLESS OTHERWISE SPECIFIED AND/OR APPROVED BY THE REVIEW ENGINEER.
4. ALL WATER MAIN FITTINGS MAY OR MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE WATER MAIN ITSELF FOR BIDDING PURPOSES. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 52 CEMENT LINER CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS, OR TYPE "K" COPPER PIPE WITH SWEATED JOINTS.
5. FIRE HYDRANTS SHALL MEET AWWA C-502 AND BE TRAVERSE CITY IRON WORKS, EAST JORDAN 5 BR, OR APPROVED EQUAL, WITH FIVE AND ONE QUARTER INCH (5 1/4") VALVE OPERING, TWO TWO ANCH ONE HALF INCH (2 1/2") HOSE NOZZLES AND ONE INCH OPERATING NOZZLE. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN AUXILIARY RESILIENT SEAL GATE VALVE COMPLETE WITH ROADWAY BOX, TYLER, 6850 SERIES, ITEM 668-S. FIRE HYDRANTS MUST HAVE THEIR DISCHARGE AT LEAST 18 INCHES BUT NOT MORE THAN TWENTY-FOUR INCHES (24") FROM THE SURFACE OF THE ADJACENT GROUND.
6. HYDRANTS SHALL BE INSTALLED NO CLOSER THAN THREE FEET (3') NOR FURTHER THAN EIGHT FEET (8') FROM THE BACK OF CURB OR EDGE OF PAVEMENT TO THE FIVE INCH (5") STEAMER NUT. NO BARRIERS, TREES, SHRUBS, WALLS OR OTHER OBSTACLES WHICH MAY HIDE OR IMPEDE THE USE OF A FIRE HYDRANT SHALL BE INSTALLED, MAINTAINED, CONSTRUCTED, OR ENLARGED, WITHIN FORTY-EIGHT INCHES (48") OF A HYDRANT.
7. ALL STRUCTURE LIDS SHALL BE IMPRINTED "WATER".
8. ALL WATER TIGHT FRAMES AND LIDS SHALL BE NEEHAW R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEEHAW R-1550-A WITH A CONCEALED PICK HOLE.
9. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
10. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF, OR EXTENSIONS TO EXISTING MAINS SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) mg/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) mg/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

1. ALL SANITARY SEWER PIPE SHALL BE D.I.P., MIN. CLASS 5, CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS; OR P.V.C. PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS, SDR26 WALL THICKNESS AND ASTM D-3212 AND F 477 GASKET TYPE JOINTS OR ASTM D-2855 SOLVENT WELDED JOINTS.
2. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
3. DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL NOT EXCEED 5.0% OF THE "BASE I.D." (INTERNAL DIAMETER) OF THE PIPE. "BASE I.D." SHALL BE CALCULATED IN ACCORDANCE WITH THE FOLLOWING:
$$\text{AVG ID} = \text{AVG OD} - \frac{2(1.06)T}{\text{TOLERANCE PACKAGE} = (A^2 + B^2 + C^2)^{(1/2)}}$$



WHERE:
A = OD TOLERANCE (ASTM D-3034)
B = EXCESS WALL THICKNESS TOLERANCE = 0.06T
C = OUT-OF-ROUNDNESS TOLERANCE = 0.015 (AVG OD)
T = MINIMUM WALL THICKNESS (ASTM D-3034)
BASE ID = AVG ID - TOLERANCE PACKAGE
- DEFLECTION OF COMPOSITE PIPE ("TRUSS" PIPE) SHALL NOT EXCEED 3.0% OF THE AVERAGE INSIDE DIAMETER (ID) OF THE PIPE IN ACCORDANCE WITH ASTM D-2680. THE PIPE LINE SHALL BE TESTED FOR EXCESS DEFLECTING BY PULLING A "GO - NO GO" MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE. THE MANDREL SHALL BE SIZED IN ACCORDANCE WITH SECTION 31-1.11. (C) AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION WHENEVER POSSIBLE AND PRACTICAL. THE TESTING SHALL INITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES. WHERE THE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD AFTER THE INITIAL TESTING THE DEFLECTED PIPE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE LINE SHALL BE REPLACED.
4. INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER TWENTY-FOUR (24) HOURS PER MILE PER INCH-DIAMETER OF THE SEWER PIPE, FOR ANY SECTION OF THE SYSTEM AND AT ANY TIME DURING ITS SERVICE LIFE. TESTING IS REQUIRED PER THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
5. LEAKAGE TESTING FOR MANHOLES FOR WATER TIGHTNESS SHALL BE DONE IN ACCORDANCE WITH ASTM C969-94--"STANDARD PRACTICE FOR INFILTRATION AND EXFILTRATION ACCEPTANCE TESTING OF INSTALLED PRECAST CONCRETE PIPE SEWER LINES", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) OR ASTM C1244-93 "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY THE NEGATIVE PRESSURE (VACUUM) TEST", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) PRIOR TO PLACING INTO SERVICE.
6. ALL STRUCTURE LIDS SHALL BE IMPRINTED "SANITARY".
7. ALL WATERIGHT FRAMES AND LIDS SHALL BE NEENAH R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550-A WITH A CONCEALED PICK HOLE.
8. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
9. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANY PIPE.
10. FOR A DROP CONNECTION, THE DIAMETER OF THE DROP PIPE SHALL PREFERABLY BE LARGER THAN, OR OF THE SAME DIAMETER AS, THE ENTERING SEWER. THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE ENTERING SEWER BY MORE THAN TWO NOMINAL DIAMETERS, PROVIDED THAT THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE LESS THAN EIGHT INCHES (8").
11. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
12. ALL SANITARY SEWER BEDDING SHALL BE IN ACCORDANCE WITH THE TRENCH DETAIL AS INCLUDED IN THE PLANS.

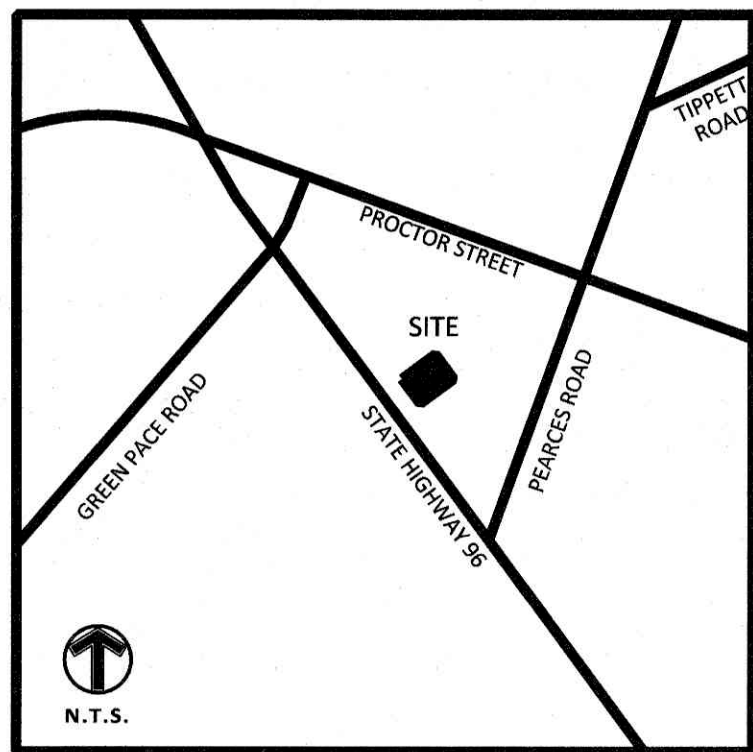
STANDARD UTILITY NOTES (CITY OF RALEIGH)

JAN2025

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
 - a. A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer main passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specification.
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP stormdrain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary revisions are subject to review & approval of an amended plan&/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. **SEWER BYPASS PUMPING** – A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water Prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This included abandoning part at main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
10. Inspections of 4" and larger water mains of the private distribution system will be inspected as part of the infrastructure permit.
11. Private sewer mains as part of a collection system are permitted and inspected under the private infrastructure permit for sewer.
12. Any water or sewer services on private property that will be installed under Construction Drawings may require a Plumbing Utility Permit in the City of Raleigh. Consult with the Engineering Inspection Coordinator during the pre-construction meeting on the necessary permits.
13. Install sewer services with cleanouts located at ROW or easement line & spaced per the current NC Plumbing Code.
14. Pressure reducing valved are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
15. All environmental permits applicable to the project must be obtained from NCDOW, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
16. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & valve taps) within state or railroad ROW prior to construction.
17. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 of fog@raleighnc.gov for more information.
18. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
19. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
20. The device and installation shall meet the guidelines of Appendix A – Guidelines and Requirements of the Cross Connection Program in Raleigh's Service Area.
21. The devices shall be installed & tested (both, initial & periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact cc@raleighnc.gov for more information.
22. **NOTICE** for projects that involve an oversized main or urban main replacement. Any city reimbursement greater than \$250,000.00 must undergo the public bidding process.
23. Private sub-metering – No resale of water shall occur without the approval of the North Carolina Utility Commission. Sub-metering shall be in accordance with Section 1400 of the "SAFE DRINKING WATER ACT".

PROJECT SPECIFICATIONS

C-10	CHECKED BY: J. MILLER DESIGN BY: R. ERSFELDT DRAWN BY: R. ERSFELDT DATE: JUNE 6, 2025 SCALE: NONE PROJECT NO.: 24-005		 watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800		Prepared By:		Prepared For:	
					Delight Raleigh LLC PO Box 780794 Wichita, KS 67278 WENDY'S - ZEBULON, NC 1500 North Arendell Avenue Zebulon, North Carolina 		NO. _____ REVISIONS _____ DATE _____	



VICINITY MAP

REFERENCES

DEED BOOK 13544, PAGE 1490
PLAT BOOK 2020, PAGE 575
OF THE WAKE COUNTY, NC REGISTER OF DEEDS.

ALTA SURVEY CERTIFICATION

TO THE DESIGNEE OF: FIDELITY NATIONAL TITLE INSURANCE COMPANY AND DELIGHT RALEIGH 1 LLC, A DELAWARE LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,5,6(b),7(a),8,9,11,13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 9, 2024.

DATE OF PLAT OR MAP: 04/25/2024

PRINTED NAME: AARON R. STOCK

LICENSE NUMBER: L-5113

SIGNATURE: [Signature]



GPS SURVEY CERTIFICATION

I, AARON R. STOCK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS (OR GNSS) SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY;

CLASS OF SURVEY: CLASS A
POSITIONAL ACCURACY: 0.07' + 50 PPM OR LESS
TYPE OF GPS (OR GNSS) FIELD PROCEDURE: RTK
DATE(S) OF SURVEY: APRIL 8-9, 2024
DATUM / EPOCH: nad_83(2011) / 2010.0000
PUBLISHED / FIXED CONTROL:

35°50'26.16960", -78°19'32.96040", 238.1435FT

GEOID MODEL: 18
COMBINED GRID FACTOR: 0.99992529
UNITS: US SURVEY FEET

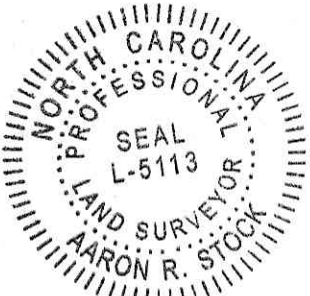
VERTICAL POSITIONS ARE REFERENCED TO NAVD88 USING (GEOID18)
COMBINED FACTOR 0.99993063

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE 25th

DAY OF APRIL 2024

SURVEYOR

REGISTRATION NUMBER: L-5113



TOTAL AREA = 63,057 SF OR 1.45 ACRES

NO	DATE	BY	CKD	APPR	COMMENT

I, AARON R. STOCK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS (OR GNSS) SURVEY MADE UNDER MY SUPERVISION.

Print Name: Aaron Stock

Date: 04/25/2024 License # L-5113

DATE ISSUED
04/25/2024

DRAWN BY
J. MCCRIMMON
DESIGNED BY

CHECKED BY

PROJECT NO.
SUR-2405



ALTA/ASCM LAND TITLE SURVEY

CLIENT: Delight Raleigh 1 LLC
WENDY'S ZEBULON
1500 N. ARENDELL AVE
ZEBULON, NORTH CAROLINA

SHEET
1
1 OF 2
REV. 0

ZONING INFORMATION

ZONING: CONDITIONAL HC
BUILDING SETBACKS:
FRONT 30 FEET
SIDE 0 FEET
REAR 25 FEET

MAXIMUM BUILDING HEIGHT: 50; HEIGHT MAY INCREASE BY 2 FEET FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FEET IN HEIGHT

PARKING REQUIREMENTS: 1 PER 4 SEATS

INFORMATION PROVIDED BY CITY OF ZEBULON, NORTH CAROLINA
PLANNING AND ZONING DEPARTMENT PHONE: (919) 823-1810.

GENERAL NOTES

1. THE ALTA/NSPS LAND TITLE SURVEY SHOWN HEREON DOES NOT MEET ALL OF THE REQUIREMENTS AS SET FORTH BY LOCAL AND STATE GOVERNMENT AGENCIES AND IS NOT FOR RECORDATION.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, UNLESS NOTED OTHERWISE.
3. ALL AREAS COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. (i) ALL OBSERVABLE ENCROACHMENTS, BOUNDARY ISSUES, AND OTHER PROPERTY MATTERS ARE SHOWN ON THE SURVEY, AND (ii) THE PROPERTY DESCRIBED ON THE SURVEY IS THE SAME PROPERTY DESCRIBED IN THE TITLE COMMITMENT.
5. RECORD PROPERTY DESCRIPTIONS SHOWN ON BOUNDARY LINES ARE FROM FIELD MEASUREMENTS. DEED RECORD CALLS SHOWN HERE WHERE THEY DIFFER FROM FIELD MEASUREMENTS.
6. RECORD PROPERTY DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE.
7. SUBJECT PROPERTY HAS DIRECT ACCESS TO STATE HIGHWAY 96.

UTILITY INFORMATION

NOTE TO CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW/IF THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

EXISTING PARKING

SITE HAS 0 REGULAR AND 0 HANDICAP PARKING SPACES AT TIME OF SURVEY.

STATEMENT OF POSSIBLE ENCROACHMENTS

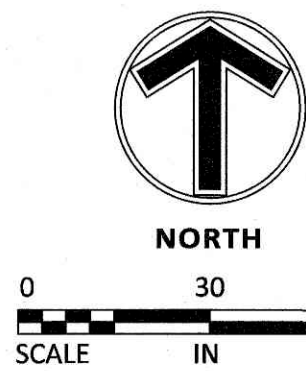
A NONE OBSERVED AT TIME OF SURVEY

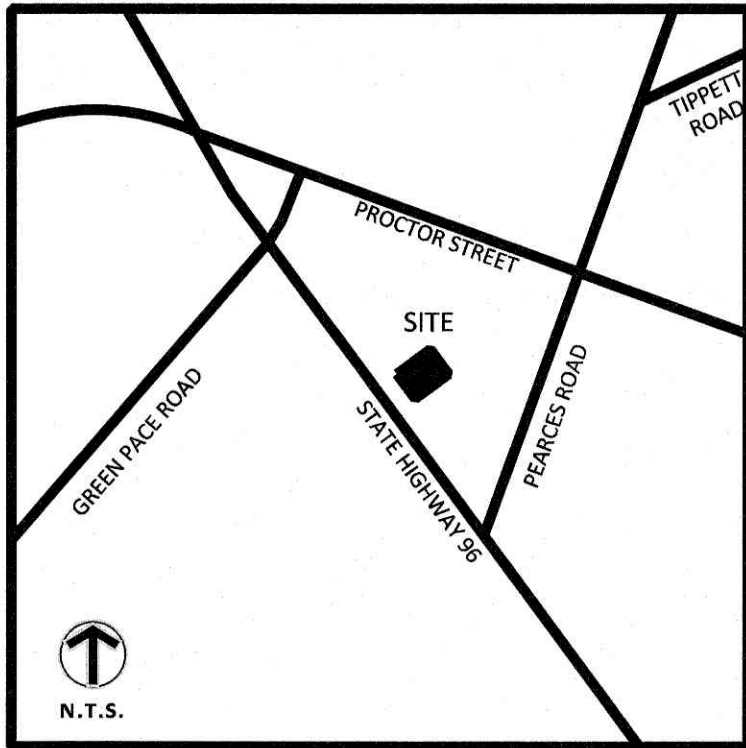
FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720179600K, WITH AN EFFECTIVE DATE OF JULY 19, 2022.

LEGEND

▲ CALCULATED POINT	— BOUNDARY LINE
● EXISTING IRON PIPE	--- EASEMENT LINE
○ IRON PIPE SET	(100.00) DEED DISTANCE
○ BORE HOLE	----- FEMA FLOOD ZONE LINE
○ SANITARY SEWER MANHOLE RIGHT-OF-WAY LINE
○ SANITARY SEWER CLEANOUT	----- SECTION LINE
○ BOLLARD	----- SETBACK LINE
○ HVAC UNIT	----- TIE LINE
○ WATER VALVE	----- UNDERLYING / ADJACENT LOT
○ WATER METER	----- RESTRICTED ACCESS
○ BACKFLOW PREVENTOR	----- BUILDING CANOPY
○ FIRE HYDRANT	===== BUILDING LINE
○ FIBER OPTIC BOX	===== CONCRETE CURB
○ TELEPHONE PEDESTAL	----- CHAIN LINK FENCE
○ CABLE TV PEDESTAL	----- WOOD FENCE
○ ELECTRIC BOX	----- WIRE FENCE
○ ELECTRIC METER	----- IRON FENCE
○ ELECTRIC MANHOLE	----- CONTOUR
○ GAS METER	----- WETLAND LIMITS
○ GAS MANHOLE	===== RETAINING WALL
○ MONITORING WELL	----- STONE RETAINING WALL
○ LIGHT POLE	===== POND / WATER LINE
○ POWER POLE	----- OVERHEAD WIRE
○ GUY ANCHOR	----- SANITARY SEWER LINE
○ SIGN	----- STORM SEWER LINE
○ ORDER DISPLAY CANOPY	----- WATERMAIN
○ MENU BOARD	----- UNDERGROUND ELECTRIC
○ DRIVE THROUGH	----- UNDERGROUND GAS
○ STORM CATCH BASIN	----- LINE
○ STORM DRAINAGE MANHOLE	----- OVERHEAD ELECTRIC
○ YARD INLET	----- WIRE
○ FLARED END SECTION	----- SANITARY SEWER
○ HANDICAPPED PARKING	----- FORCE MAIN
○ MAILBOX	
↑↑↑↑ TRAFFIC DIRECTION	
800 SPOT ELEVATIONS	
○ DECIDUOUS TREE	
○ CONIFEROUS TREE	
## REGULAR PARKING STALL COUNT	
CONCRETE SURFACE	
CONCRETE SURFACE	





VICINITY MAP

PROPERTY DESCRIPTION (RECORD)

THE LAND IS DESCRIBED AS FOLLOWS:

LEASEHOLD PURSUANT TO AN UNRECORDED LEASE, A MEMORANDUM OF WHICH IS RECORDED IN BOOK ____, PAGE ____, WAKE COUNTY REGISTRY, IN THE FOLLOWING-DESCRIBED REAL PROPERTY:

LYING AND BEING IN THE TOWN OF ZEBULON, LITTLE RIVER TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 2 (CONSISTING OF 1.448 ACRES, MORE OR LESS) SHOWN ON A MAP TITLED "RECOMBINATION FOR TOMMY PERRY" AND RECORDED IN BOOK OF MAPS 2020, PAGE 575, IN THE OFFICE OF THE REGISTER FOR WAKE COUNTY, NORTH CAROLINA.

EASEMENT:

TOGETHER WITH EASEMENT CREATED UNDER DECLARATION OF SHARED DRIVEWAY AGREEMENT, INCLUDING RIGHTS OF OTHERS THEREIN, BY STEPHEN JORDAN PROPERTIES, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY, AS RECORDED IN BOOK 18545, PAGE(S) 1013 AND AMENDED BY AMENDMENT TO SHARED DRIVEWAY AGREEMENT RECORDED IN BOOK 18582, PAGE 420 ALL OF THE WAKE COUNTY REGISTRY.

SCHEDULE B-SECTION II

EQUITY TITLE COMPANY, LLC
COMMITMENT NUMBER: ETC240403850-1
COMMITMENT DATE: APRIL 09, 2024 @ 8:00 A.M.

SCHEDULE B - SECTION II
EXCEPTIONS

- ⑦ EASEMENT(S) TO CAROLINA POWER & LIGHT COMPANY, A NORTH CAROLINA PUBLIC SERVICE CORPORATION, D/B/A PROGRESS ENERGY CAROLINAS, INC AS RECORDED IN BOOK 13526, PAGE(S) 27 OF THE WAKE COUNTY REGISTRY, REFERENCE BEING MADE TO THE RECORDS THEREOF FOR THE FULL PARTICULARS. (AFFECTS SUBJECT PROPERTY - BLANKET TYPE - NOT PLOTTABLE)
- ⑧ EASEMENTS, SETBACK LINES AND ANY OTHER FACTS SHOWN ON THOSE PLATS RECORDED IN BOOK OF MAPS 2020, PAGE 575 (AFFECTS SUBJECT PROPERTY); BOOK OF MAPS 2017, PAGE 780 (AFFECTS SUBJECT PROPERTY); BOOK OF MAPS 2015, PAGE 118 (AFFECTS SUBJECT PROPERTY); BOOK OF MAPS 2014, PAGE 408 (AFFECTS SUBJECT PROPERTY); BOOK OF MAPS 2013, PAGE 1472 (DOES NOT AFFECT SUBJECT PROPERTY); BOOK OF MAPS 2012, PAGE 138 (DOES NOT AFFECT SUBJECT PROPERTY); BOOK OF MAPS 2005, PAGE 2269 (AFFECTS SUBJECT PROPERTY); BOOK OF MAPS 1998, PAGE 1261 (DOES NOT AFFECT SUBJECT PROPERTY) AND BOOK OF MAPS 1918, PAGES 75A, B AND C, (AFFECTS SUBJECT PROPERTY) ALL OF THE WAKE COUNTY REGISTRY, REFERENCE BEING MADE TO THE RECORDS THEREOF FOR THE FULL PARTICULARS.
- ⑨ DECLARATION OF SHARED DRIVEWAY AGREEMENT, INCLUDING RIGHTS OF OTHERS THEREIN, BY STEPHEN JORDAN PROPERTIES, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY, AS RECORDED IN BOOK 18545, PAGE(S) 1013 AND AMENDED BY AMENDMENT TO SHARED DRIVEWAY AGREEMENT RECORDED IN BOOK 18582, PAGE 420 ALL OF THE WAKE COUNTY REGISTRY, REFERENCE BEING MADE TO THE RECORDS THEREOF FOR THE FULL PARTICULARS. (AFFECTS SUBJECT PROPERTY - AS SHOWN HEREON)
- ⑩ UNRECORDED LEASE BY AND BETWEEN TWP PCP ZEB RETAIL LLC, LESSOR AND THE LITTLE MINT, INC. AND TINY FROG, INC., LESSEE; AS EVIDENCED AND AFFECTED BY SUBORDINATION, NONDISTURBANCE AND ATTORNMENT AGREEMENT RECORDED MARCH 11, 2022 IN BOOK 18952, PAGE 494 OF THE WAKE COUNTY REGISTRY, REFERENCE BEING MADE TO THE RECORDS THEREOF FOR THE FULL PARTICULARS. (AFFECTS SUBJECT PROPERTY)

NO	DATE	BY	CKD	APPR	COMMENT

I, AARON R. STOCK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS (OR GNSS) SURVEY MADE UNDER MY SUPERVISION.

Print Name:

Date 04/25/2024 License # L-5113

DATE ISSUED

04/25/2024

DRAWN BY

J. MCCRIMMON

DESIGNED BY

CHECKED BY

PROJECT NO.
SUR-2405 AT



ALTA/ASCM LAND TITLE SURVEY

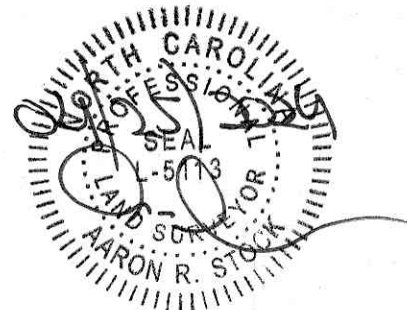
CLIENT: Delight Raleigh 1 LLC
WENDY'S ZEBULON
1500 N. ARENDELL AVE.
ZEBULON, NORTH CAROLINA

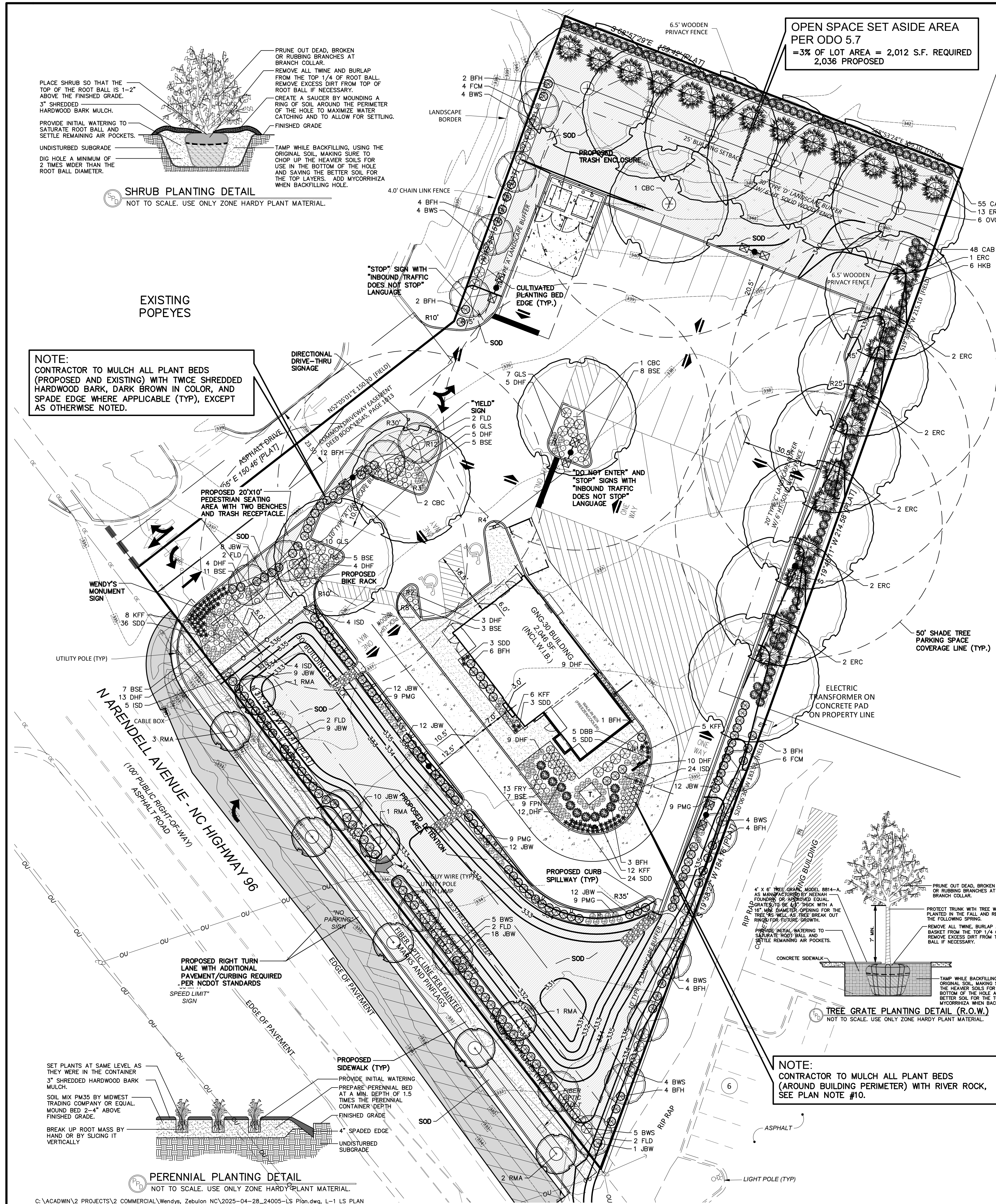
SHEET

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2 OF 2

REV. 0





LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAP UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE, STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE BEDS FOR PERENNIALS SHALL BE BACKFILLED WITH GARDEN SOILS OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE FROM PERIMETERS ADJACENT TO TURF AREAS. ALL PLANTING BEDS ADJACENT TO THE BUILDING FOUNDATION ARE TO BE MULCHED WITH 2" OF 3/4" RIVER ROCK. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF SEEDS ARE TO BE A CULTIVAR WITH SIMILAR CHARACTERISTICS AND PERFORMANCE AS TIFWAY 419 BERMUDA GRASS, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE TIFWAY 419 BERMUDA GRASS THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, DENSITY, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.25" TO 1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE. BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONDITIONS AND FORESEEABLE CONSTRAINTS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- THE FINAL DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF A PROFESSIONAL LICENSED IRRIGATION CONTRACTOR. THE FINAL PLAN THAT ILLUSTRATES THE DESIGN WILL COVER ALL LANDSCAPE AREAS AS NEEDED. IRRIGATION CONTRACTOR SHALL PROVIDE AN AS BUILT OF THE IRRIGATION SYSTEM FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- PROVIDE TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
A. 6" MINIMUM IN GRASS OR SOD AREAS
B. 8" MINIMUM IN PLANTING AREAS
C. 12" MINIMUM IN LANDSCAPE ISLANDS

PLANT LIST

SHADE, ORNAMENTAL AND CONIFEROUS TREES						* = native trees and cultivars	
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	Ht.	Mature Spd.	
4	CBC	Taxodium distichum	Common Bald Cypress*	2.5" Cal.	8' Min.	45'	
24	ERC	Juniperus virginiana	Eastern Red Cedar*	6' Ht.	4' Min.	10'	
10	FLM	Lagerstroemia indica 'Natchez'	Natchez Grape Myrtle	1.5" Cal.	4' Min.	15'	
10	CD	Cornus florida	Flowering Dogwood*	1.5" Cal.	4' Min.	25'	
6	HKB	Geltis occidentalis	Common Hackberry*	2.5" Cal.	8' Min.	50'	
6	OVC	Quercus lyrata	Overcup Oak*	2.5" Cal.	8' Min.	50'	
8	RMA	Acer Rubrum	Armstrong Red Maple*	2.5" Cal.	8' Min.	15'	
FLOWERING AND EVERGREEN SHRUBS							
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	Ht.	Mature Spd.	
44	BHF	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 Gal.	24" Min.	3'	
30	BWS	Spiraea x vanhouttei	Bridal Wreath Spiraea	5 Gal.	24" Min.	4'	
103	CAB	Camellia sasanqua 'Bonanza'	Bonanza Camellia	5 Gal.	18" Min.	3'	
5	DBB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.	24" Min.	4'	
9	FPN	Nandina domestica 'Firepower'	Firepower Compact Nandina	7 Gal.	18" Min.	2'	
13	FRY	Hesperaloe parviflora	Red-flowered False Yucca	5 Gal.	18" Min.	3'	
22	GLS	Rhus aromatica 'Grow-Low'	Grow-Low Sumac	5 Gal.	18" Min.	3'	
115	JBW	Buxus microphylla var. japonica	Japanese Boxwood	5 Gal.	18" Min.	3'	
SOD		Sodded Lawn					
PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS							
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	Ht.	Mature Spd.	
52	BSE	Echinacea angustifolia	Black Sampson Echinacea	1 Gal.	-	-	
95	DHF	Pennisetum alopecuroides 'Hamel'	Dwarf Hameln Fountain Grass	1 Gal.	-	-	
33	ISD	Dianthus 'Ideal Select Salmon'	Ideal Select Salmon Dianthus	1 Gal.	-	-	
13	KFF	Calamagrostis x acutifolia 'Karl Foer'	Karl Foerster Feather Reed Gra	1 Gal.	-	-	
36	PMG	Muhlenbergia capillaris	Pink Muhlygrass	3 Gal.	-	-	
89	SDD	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 Gal.	-	-	
SOD		Sodded Lawn					

- GENERAL NOTES:**
- THESE PLANS ARE BASED ON THE ALTA/ASCM LAND TITLE SURVEY PREPARED BY:
SAMBATEK NC PC
8312 CREEDWOOD ROAD
RALEIGH, NORTH CAROLINA 27613
919-848-6121
 - PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

ON SITE PARKING DATA

REQUIRED PARKING:
1 SPACE/4 SEATS = 29 SEATS = 7.25 OR 8 SPACES

REQUIRED BICYCLE PARKING:
1 SPACE/20 PARKING STALLS = 2 BICYCLE SPACES

PROVIDED PARKING:
REGULAR SPACES 26
ADA ACCESSIBLE SPACES 2
TOTAL SPACES 28

PROVIDED BICYCLE PARKING: 2 SPACES

SITE DATA

LOT AREA = 63,057 S.F. (1.45 AC.)
BUILDING AREA = 2,046 S.F.

LANDSCAPE CALCULATIONS

STREETSCAPE BUFFER (N. ARENDELL AVENUE)

- CANOPY TREES = 285'/100 = (3) REQUIRED
3 RMA PROPOSED
- UNDERSTORY TREES = 285' = (6) REQUIRED
(6) FLD PROPOSED
- SHRUBS = 285' = (57) REQUIRED
(10) BWS PROPOSED
(47) JBW PROPOSED (82% EVERGREEN)

NORTHERN PERIMETER TYPE 'D' BUFFER (W/ EX. FENCE)

- CANOPY TREES = 159'/100 = (6) REQUIRED
(6) OVC PROPOSED
- UNDERSTORY TREES = 159' = (13) REQUIRED
(13) ERC PROPOSED
- SHRUBS = 159' = (55) REQUIRED
(55) CAB PROPOSED (100% EVERGREEN)

NORTHEAST PERIMETER TYPE 'C' BUFFER (W/ EX. FENCE)

- CANOPY TREES = 190'/100 = (6) REQUIRED
(6) HKB PROPOSED
- UNDERSTORY TREES = 190' = (11) REQUIRED
(11) ERC PROPOSED
- SHRUBS = 190' = (48) REQUIRED
(48) CAB PROPOSED (100% EVERGREEN)

WEST PERIMETER TYPE 'A' BUFFER

- UNDERSTORY TREES = 193' = (8) REQUIRED
(4) FCM PROPOSED
(4) FLD PROPOSED
- SHRUBS = 193' = (29) REQUIRED
(20) BHF PROPOSED (55% EVERGREEN)
(8) BWS PROPOSED
(8) JBW PROPOSED

SOUTHEAST PERIMETER TYPE 'A' BUFFER

- UNDERSTORY TREES = 170' = (7) REQUIRED
(6) FCM PROPOSED
(1) FLD PROPOSED
- SHRUBS = 170' = (26) REQUIRED
(14) BHF PROPOSED (53% EVERGREEN)
(12) BWS PROPOSED

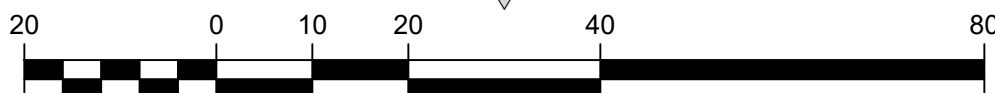
PARKING LOT LANDSCAPING

- CANOPY TREES = 27 SPACES/12 = (2) REQUIRED
(4) CBC PROPOSED (ADDITIONAL TO PROVIDE COVERAGE)
- SHRUBS* = (60) JBW PROPOSED
(36) PMG PROPOSED *INCL. ORNAMENTAL GRASS

STREET TREES

- CANOPY TREES = 45'-50' O.C. = (3) REQUIRED
3 RMA PROPOSED

Know what's Below.
Call before you dig.



LANDSCAPE PLAN

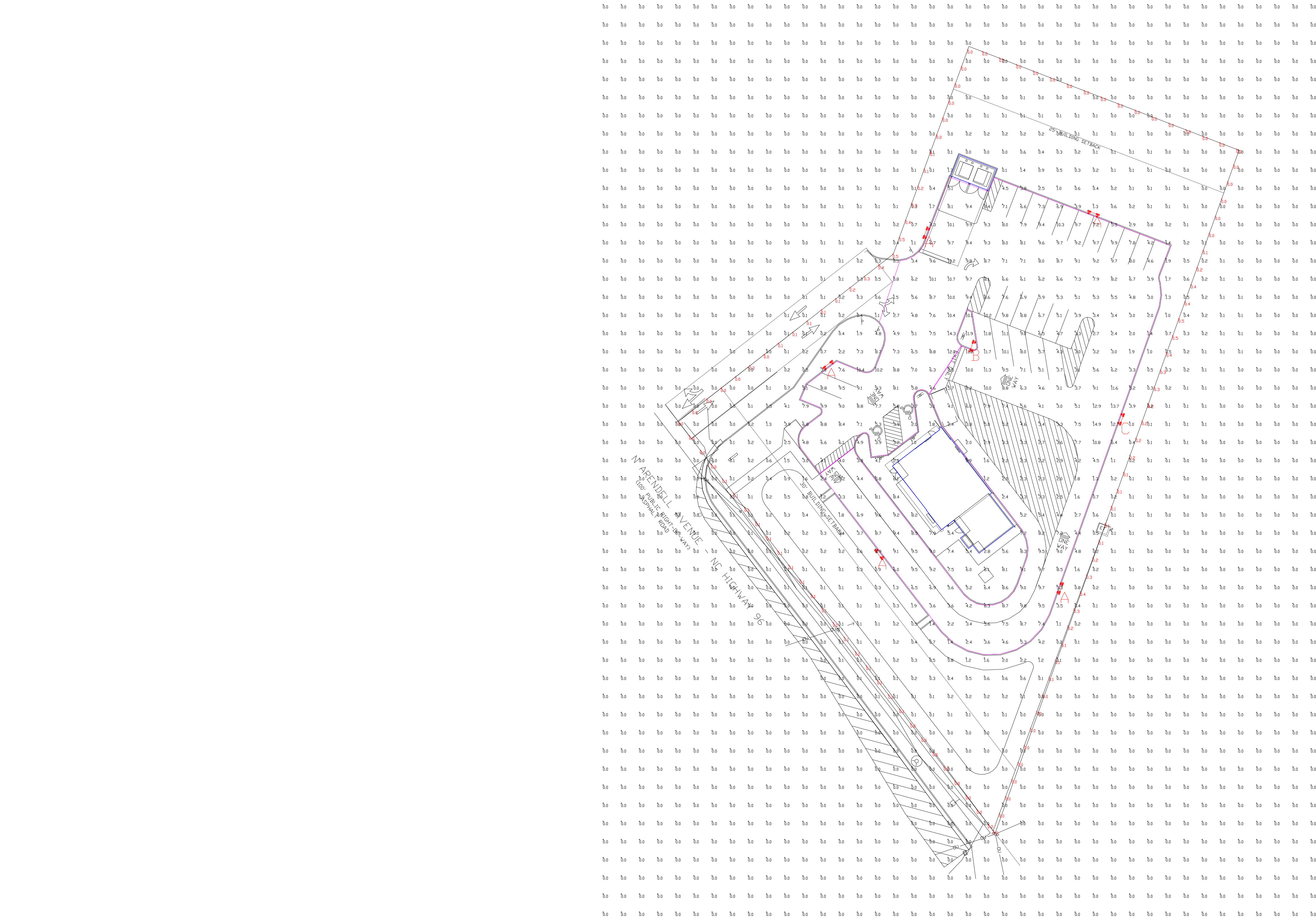
Prepared For: **Wendy's - ZEBULON, NC**
1500 North Arendell Avenue
Zebulon, North Carolina

Prepared By: **Watson Engineering Resources**
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: JANUARY 23, 2025
SCALE: 1" = 20'
PROJECT NO.: 24-005

LANDSCAPE PLAN

L-1



PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

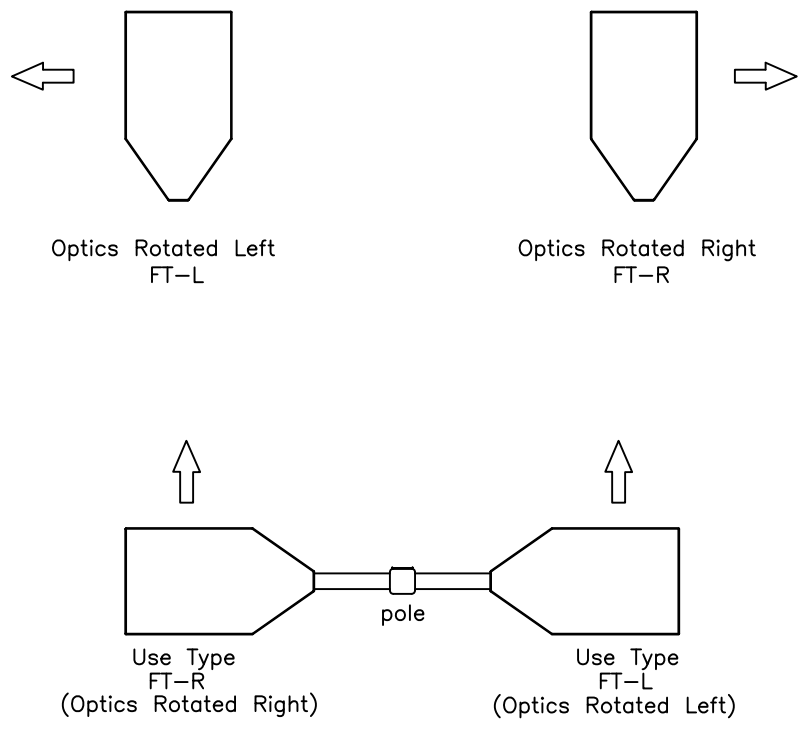
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of "U0" most closely matches the old Full Cutoff rating.

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALC POINTS AT GRADE - 10'x10'	Illuminance	Fc	1.07	14.9	0.0	N.A.	N.A.	0
PROPERTY BOUNDARY	Illuminance	Fc	0.10	0.5	0.0	N.A.	N.A.	N.A.
PAVED AREA	Illuminance	Fc	6.54	14.9	1.2	5.45	12.42	0

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating	
	5	A	D180° 2RTD	SLM-LED-24L-SIL-(1)FT-R;(1)FT-L-50-IL-70CRI	23' POLE + 2' BASE	1.000	32402	322	B1-U0-G3	
	1	B	D180° 2RTD	SLM-LED-24L-SIL-(1)FT-R;(1)FT-L-50-70CRI	23' POLE + 2' BASE	1.000	50286	322	B3-U0-G3	
	1	C	D180° 2RTD	SLM-LED-12L-SIL-(1)FT-R;(1)FT-L-50-70CRI-IL	13' POLE + 2' BASE	1.000	16386	170	B1-U0-G2	

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.



EXAMPLE
Top View
Fixture Type A, B and C

For quotes, please contact
WALSH, LONG & CO
quotes@walshlong.com

Total Project Watts
Total Watts = 2102



LIGHTING PROPOSAL LD-161869-1

WENDYS
ZEBULON, NC

BY/CHK DATE/1/28/25 REV/3/11/25 SHEET 1 OF 1
SCALE: 1"=30' 0 30