


VICINITY MAP
NTS



COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NORTH CAROLINA 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

SITE ADDRESS:
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
CSD PROJECT NUMBER: OUT-1502

TOWN OF ZEBULON PROJECT NUMBER: 856796

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT	
APPROVED	
EROSION CONTROL <input type="checkbox"/> S-_____	
STORMWATER MGMT. <input type="checkbox"/> S-_____	
FLOOD STUDY <input type="checkbox"/> S-_____	
DATE _____	
	ENVIRONMENTAL CONSULTANT SIGNATURE _____

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INFRASTRUCTURE INSPECTIONS QUANTITIES TABLE			
Phase Number(s)	PHASE 1	PHASE 2	PHASE 3
Number of Lot (s)	1	N/A	N/A
Lot Number (s) by Phase	N/A	N/A	N/A
Number of Units	1	N/A	N/A
Livable Buildings	1 COMMERCIAL	N/A	N/A
Open Space?	34,243 SF	N/A	N/A
Number of Open Space Lots	N/A	N/A	N/A
Public Water (LF)	223 LF	N/A	N/A
Private Water* (LF)	N/A	N/A	N/A
Public Sewer (LF)	N/A	N/A	N/A
Public Force Main (LF)	N/A	N/A	N/A
Private Sewer** (LF)	N/A	N/A	N/A
Public Street (LF) - FULL	227 LF- JONES ST.	N/A	N/A
Public Street (LF) - PARTIAL	280 LF- 2 TURN LANES	N/A	N/A
Public Sidewalk (LF) - FULL	761 LF	N/A	N/A
Public Sidewalk (LF) - PARTIAL	N/A	N/A	N/A
Multi-Use Path*** (LF)	N/A	N/A	N/A
Public Stormdrain (LF)	181 LF	N/A	N/A
Street Signs (LF)	2 (JONES ST)	N/A	N/A
Water Service Stubs	1	N/A	N/A
Sewer Service Stubs	1	N/A	N/A
Average Daily Flow per phase****	N/A	N/A	N/A








* Water mains 4" and larger
** Sewer mains and manholes as part of a collection system
*** 10 or 12 ft wide path in lieu of sidewalk or a Multi-Use path as part of a development amenity
**** Entire Project Flow. Based on 75gpd per bedroom for residential (Apartments, single Family dwelling, townhouse, condos), or based on 15A NCAC 02T .0114 Wastewater Design Flow Rates for Commercial and Industrial.

SITE INFORMATION	
SITE ADDRESS:	1200 NORTH ARENDELL AVENUE
PARCEL IDENTIFICATION NUMBER:	2706008182
OWNER / DEVELOPER:	COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NORTH CAROLINA 27360 PHONE: (336) 215-7025 FAX: (336) 474-1849
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	HC (HEAVY COMMERCIAL)
EXISTING USE:	VACANT LOT
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU
BUILDING SETBACKS: RIGHT OF WAY SIDE REAR	30 FEET 0 FEET 28 FEET
PARKING REQUIREMENTS:	1 SPACE PER 4 SEATS 160 SEATS / 4 = 40 SPACES
PARKING PROVIDED:	48 REGULAR SPACES 2 ACCESSIBLE SPACES 50 TOTAL SPACES
SITE AREA: DISTURBED AREA: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	83,368 SF OR 1.91 ACRES 105,763 SF OR 2.42 ACRES 0 SF 52,846 SF OR 1.21 ACRES
BUILDING AREA:	4,909 SF
BITUMINOUS AREA:	37,232 SF
CONCRETE AREA:	10,705 SF
NUMBER OF RESTAURANT SEATS:	60 MAIN DINING ROOM & 100 SEATS PARTY ROOM
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
OPEN SPACE:	REQUIRED: 3% OF LOT AREA =2,501 SF PROVIDED: 34,243 SF

CONTACT INFORMATION	
WATER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: CESAR SANCHEZ PHONE: 919-996-2673
EROSION & SEDIMENT CONTROL AND STORMWATER	WAKE COUNTY GOVERNMENT ENVIRONMENTAL SERVICE / WATER QUALITY DIVISION CONTACT: KARYN PAGEAU karyn.pageau@wake.gov PHONE: 919-796-8769
STORM DRAINAGE:	WAKE COUNTY STORMWATER DIVISION OF WATER QUALITY 336 FAYETTEVILLE STREET RALEIGH, NC 27602 CONTACT: DEBORAH L. RYALS PHONE: 919-856-7400
SANITARY SEWER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: CESAR SANCHEZ PHONE: 919-996-2673
GAS:	PSNC ENERGY CONTACT: BUSINESS SERVICES PHONE: 919-452-2177
ELECTRIC:	DUKE ENERGY PROGRESS CONTACT: BUSINESS SERVICES PHONE: 800-452-2777
TELEPHONE:	AT&T CONTACT: BUSINESS SERVICES PHONE: 800-221-0000
PLANNING / ZONING:	TOWN OF ZEBULON PLANNING DEPT. 1003 N. ARENDELL AVENUE ZEBULON, NC 27597 CONTACT: SENIOR PLANNER PHONE: 919-823-1809

24 HOUR CONTACT
BRODIE KEY
CONSTRUCTION MANAGER
TELEPHONE: (336) 250-2110

REVISIONS:

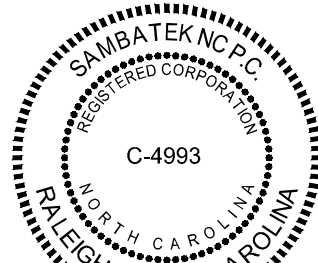
	2023-06-08	REVISED PER TOWN	KL
	2023-11-06	TRC AND WAKE COUNTY COMMENTS	DDH
	2024-09-26	REV. ENTRANCE DRIVES/ADD TURN LANES	DDH
	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
	2025-09-24	REVISE BUILDING FOOTPRINT	DDH
	2025-08-28	REVISED PER TOWN COMMENTS	DDH
	2025-10-16	REVISED PER TOWN COMMENTS	JMW
NO.	DATE	DESCRIPTION	BY

ATTENTION CONTRACTORS

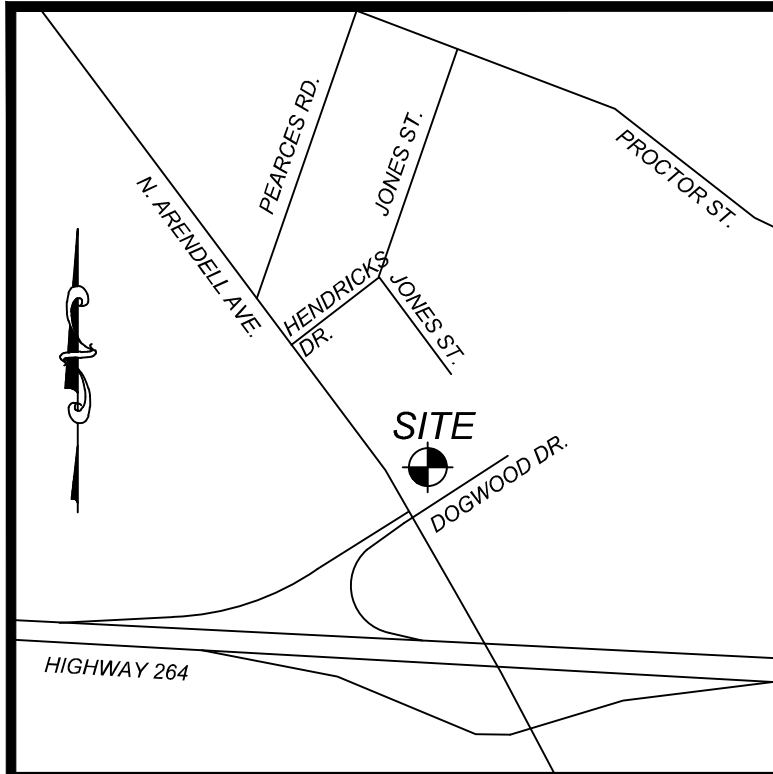
The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure failure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949



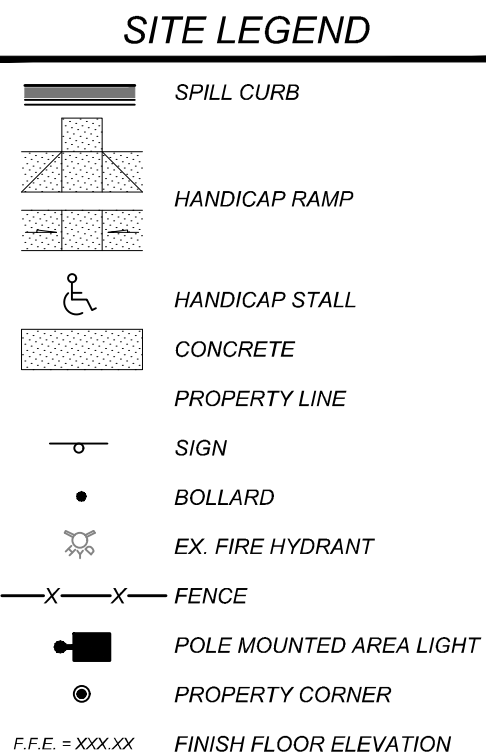
VICINITY MAP
NTS

SITE KEYNOTES:

1. CONSTRUCT 2.0' STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
16. CONSTRUCT 2.0' ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
2. CONSTRUCT 2.0' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
26. CONSTRUCT 2.0' ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
3. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR BLACK WITH OWNER
36. CONSTRUCT CONCRETE SIDEWALK PER CITY AND NCDOT STANDARDS AND SPECIFICATIONS, BACK OF WALK TO BE ON RIGHT-OF-WAY LINE FOR ARENDELL AVENUE / HWY 96
36. CONSTRUCT CONCRETE ISLAND PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE COLOR BLACK WITH OWNER
4. CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
46. LOADING RAMP, 8% MAXIMUM SLOPE
46. CONSTRUCT CONCRETE HANDICAP RAMP TO MEET NCDOT STANDARDS AND SPECIFICATIONS.
5. ACCESSIBLE PARKING STALL
6. INSTALL HANDICAP PARKING SIGN PER ADA ACCESSIBILITY PLAN
66. INSTALL VAN ACCESSIBLE HANDICAP PARKING SIGN PER ADA ACCESSIBILITY PLAN
7. CONCRETE PAVEMENT PER DETAIL SHEET, COORDINATE BLACK COLOR WITH OWNER
8. ASPHALT PAVEMENT PER DETAIL SHEET
9. TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
10. CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES. SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
10. CONCRETE WHEEL STOP PER DETAIL SHEET
12. POLE MOUNTED AREA LIGHT, ALL LIGHTING TO BE 90 DEGREE CUTOFF SEE LIGHTING PLAN
13. PAINT 4" WIDE STRIPE, WHITE
16. PAINT 4" WIDE MINI SKIP STRIPE, WHITE
16. PAINT 6" WIDE MINI SKIP STRIPE, WHITE STRIPES FOR 5' WIDE SIDEWALK
16. PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
16. PAINT TRAFFIC ARROWS PER DETAIL SHEET
16. SITE IDENTIFICATION SIGN, COORDINATE WITH TOWN AND OWNER, SIGNAGE IS SEPARATE PERMIT, INSTALLATION CAN BE INCLUDED WITH BUILDING PERMIT WORK
16. PAINT 24" STOP BAR PER NCDOT STANDARDS
18. MATCH EXISTING CURB & GUTTER PER TOWN OF ZEBULON DETAIL #3, SEE SHEET C-10a
19. ASPHALT/CONCRETE TRANSITION PER DETAIL
20. INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
21. MATCH EXISTING ASPHALT PAVEMENT
21. MATCH EXISTING CONCRETE SIDEWALK
23. PAINT CROSSWALK PER DETAIL SHEET

SITE KEYNOTES (cont):

24. INSTALL 42" HIGH SAFETY RAILING, FINISH POWER COATED RED, SEE DETAIL SHEET
26. DRIVEWAY TO BE CONSTRUCTED PER TOWN OF ZEBULON DETAILS #7 AND #8, SEE SHEET C-10a.
26. CONCRETE FLUME - TYPE A, SEE DETAIL SHEET
27. CONCRETE FLUME - TYPE B, SEE DETAIL SHEET
28. NOSE DOWN CURB, SEE DETAIL SHEET
29. PAINT "DO NOT ENTER" PER MUTCD AND DOT STANDARDS
30. INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS
31. INSTALL "STOP SIGN" AND "DO NOT ENTER" SIGNS PER MUTCD AND DOT STANDARDS
32. MENU BOARD, COORDINATE WITH OWNER
33. INSTALL TRUNCATED DOMES PER ACCESSIBLE RAMP DETAILS ON SHEET C-3
33. VALLEY GUTTER PER DETAIL SHEETS
33. INSTALL "3-WAY" STOP SIGN WITH R1-3 PLAQUE MOUNTED BELOW STANDARD STOP SIGN PER MUTCD
33. INSTALL "3-WAY" STOP SIGN WITH R1-3 PLAQUE MOUNTED BELOW STANDARD STOP SIGN PER MUTCD
33. ARTIST DESIGNED BICYCLE RACKS PER UDO 5.8.10. (TO BE SELECTED BY OWNER)



TOWN OF ZEBULON ROADWAY CONSTRUCTION NOTES:

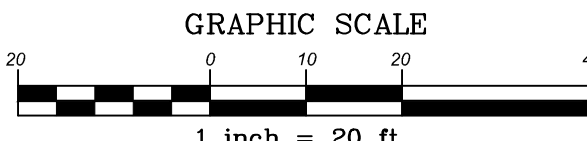
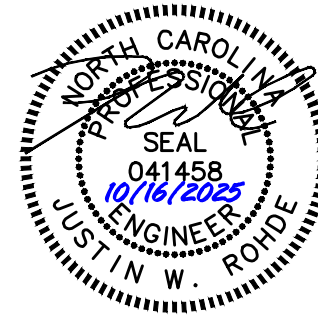
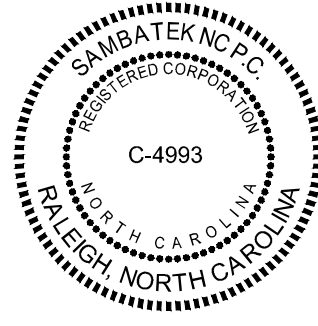
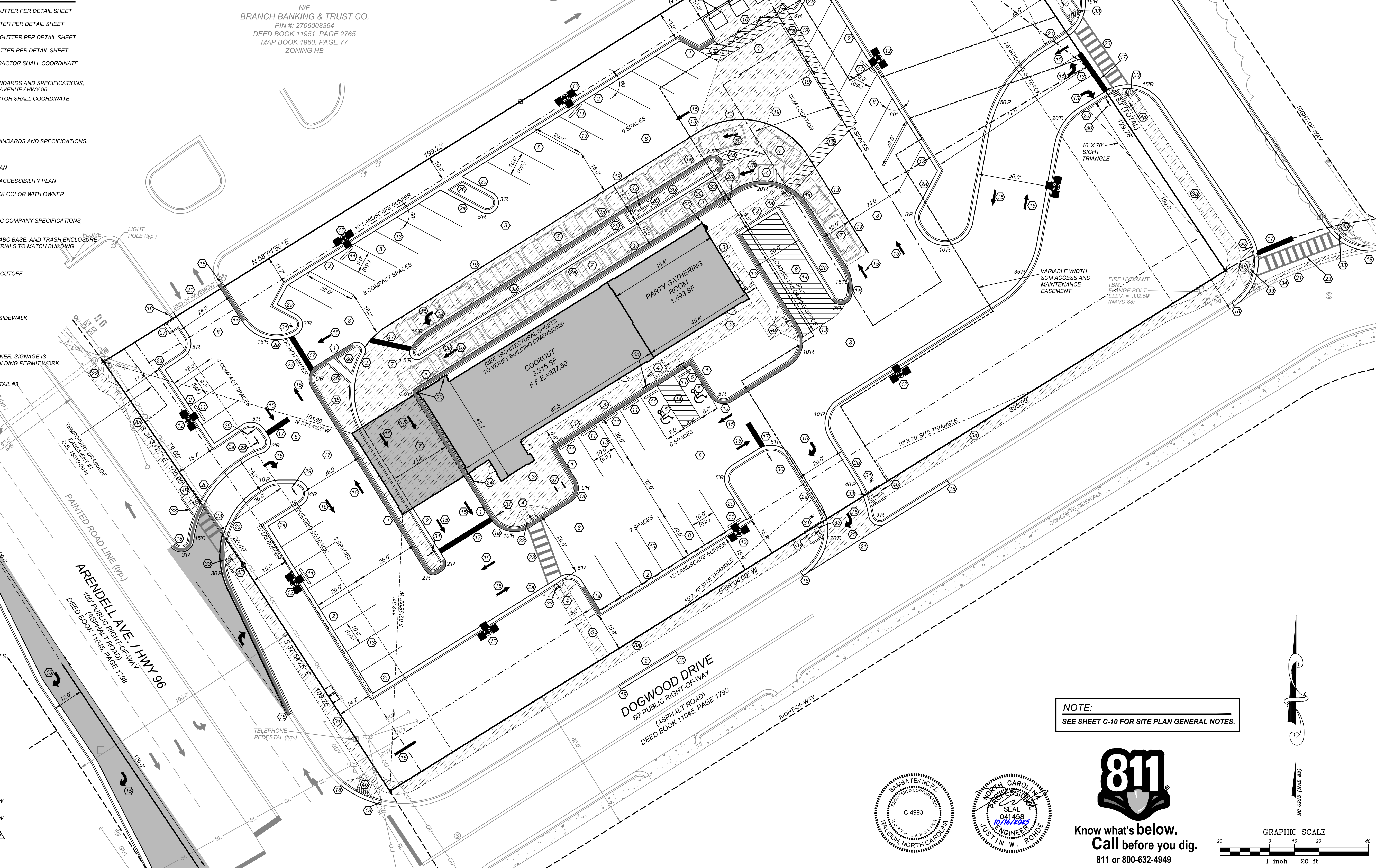
1. ROADWAY CONSTRUCTION INSPECTION TO BE PROVIDED BY JASON BROWN, (919) 795-5640. ROADWAY AND UTILITY CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE ANY WORK BEGINS ON THIS SITE.
2. JONES STREET ROADWAY (ASPHALT ROAD, CONCRETE CURB & GUTTER, 5' CONCRETE SIDEWALK AND STORM DRAINAGE SYSTEM) SHALL BE EXTENDED FROM BB&T PROPERTY LINE TO DOGWOOD LANE PER THESE CONSTRUCTION DRAWINGS.
3. TOWN OF ZEBULON DETAILS #1, 3, 33, 35 AND 36 SHALL BE USED IN THE CONSTRUCTION OF THE ROADWAY.
4. STORMWATER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
5. PROJECT MUST PROVIDE A THIRD PARTY GEOTECHNICAL ENGINEER FOR COMPACTION AND DENSITY TESTING FOR JONES STREET ROADWAY CONSTRUCTION. GEOTECHNICAL FIRM MUST BE A NCDOT CERTIFIED FIRM.
6. AT THE COMPLETION OF THE PROJECT, THE INFRASTRUCTURE WILL BE DEDICATED TO THE TOWN OF ZEBULON FOR MAINTENANCE WITH A ONE YEAR WARRANTY.

FLOOD INFORMATION

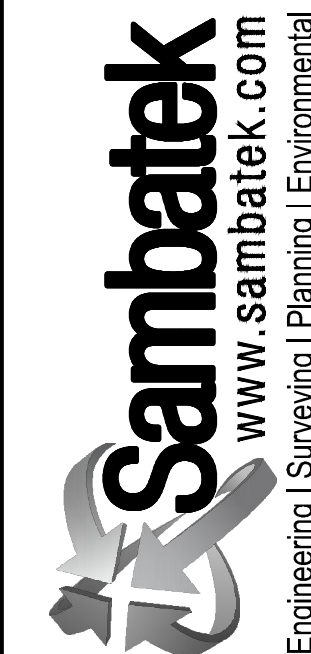
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE, IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3702070600, AND 3702070500K, BOTH WITH AN EFFECTIVE DATE OF JULY 19, 2022.

CURBING NOTE:

STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND ONLY. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.



REVISIONS		NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS			DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES			DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT			DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT			DDH
6	2025-08-28	REVISED PER TOWN COMMENTS			DDH
7	2025-10-16	REVISED PER TOWN COMMENTS			JMW

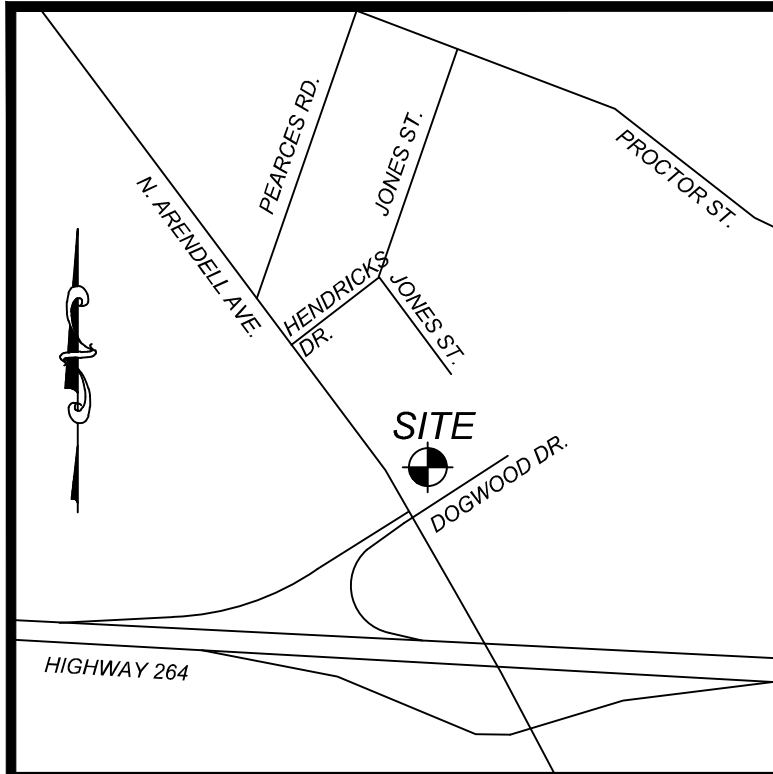


CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

SITE PLAN

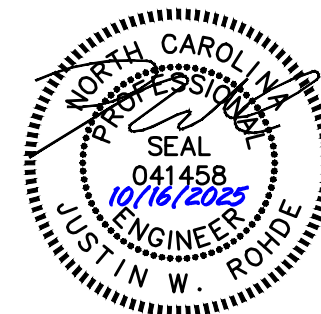
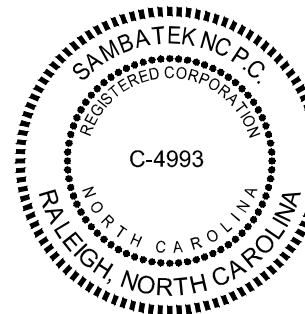
PROJECT NO.	OUT-1502
FILENAME:	OUT1502-SP
DRAWN BY:	STH
SCALE:	1" = 20'
DATE:	06-24-2025
SHEET NO.	C-2



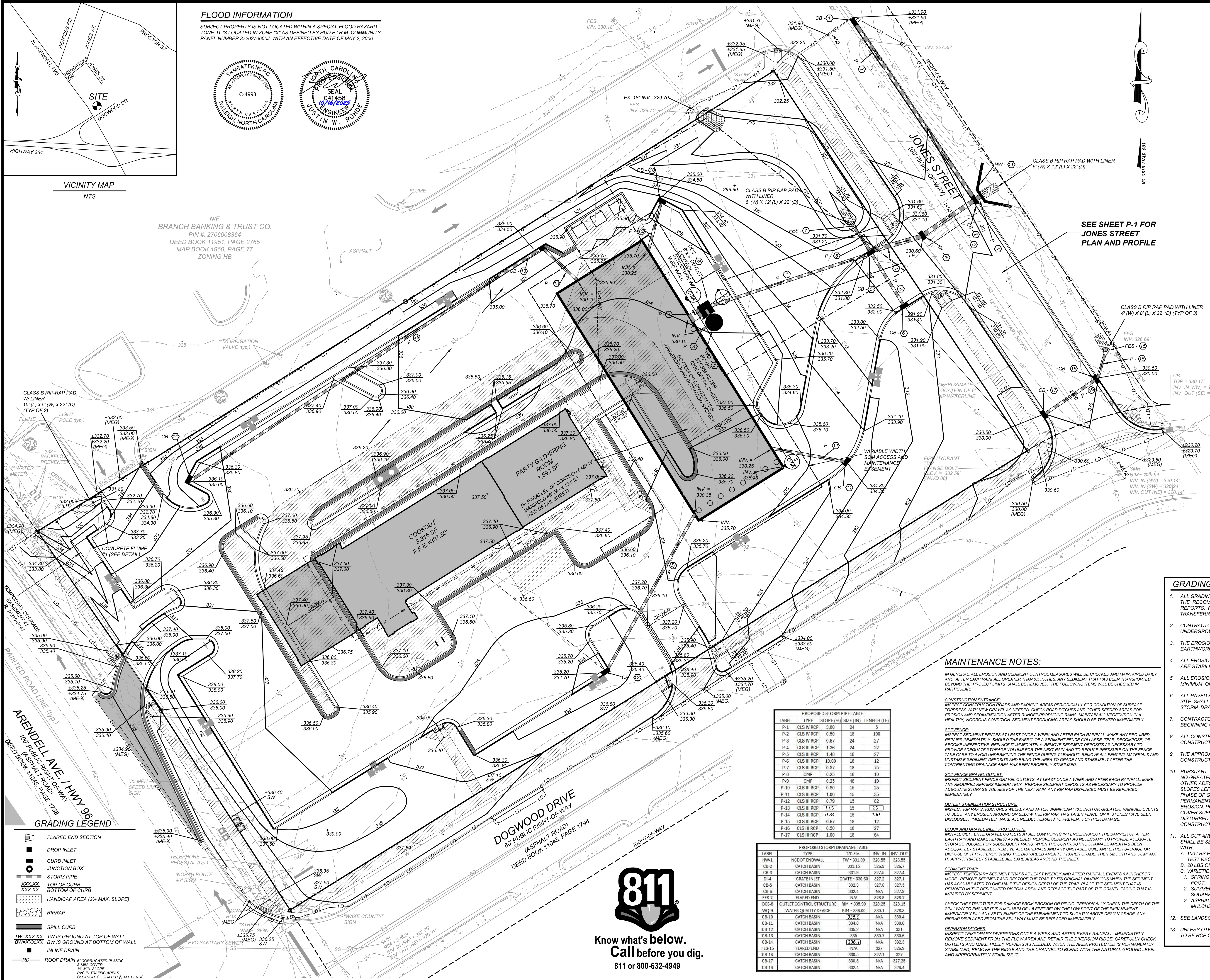
VICINITY MAP
NTS

FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.



N/F
BRANCH BANKING & TRUST CO.
PIN #: 2706008364
DEED BOOK 11951, PAGE 2765
MAP BOOK 1960, PAGE 77
ZONING HB



SEE SHEET P-1 FOR
JONES STREET
PLAN AND PROFILE

GRADING/EROSION CONTROL NOTES

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES ARE MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

- PHASE 1:
- CONTACT KEVIN WATSON WITH ZEBULON PUBLIC WORKS AT (919) 823-1846 WHEN THE PRE-CONSTRUCTION MEETING IS SCHEDULED TO INFORM HIM OF THE DATE AND TIME. THE LAND DISTURBANCE PERMIT WILL BE ISSUED AT THE PRE-CONSTRUCTION MEETING. SCHEDULE A PRE-CONSTRUCTION MEETING.
 - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BERMS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS AND APPROVED INLET PROTECTION DEVICES.
 - CONTACT KARYN PAGEU @ 919-786-8769 FOR A COMPLIANCE INSPECTION IMMEDIATELY FOLLOWING INSTALLATION OF THE TEMPORARY SEDIMENT CONTROL DEVICES AND PRIOR TO MASS GRADING OF THE SITE.
- PHASE 2:
- BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION. NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
 - BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS. NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL APPROVAL FROM THE ENVIRONMENTAL INSPECTOR.
 - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDE AREAS WITHIN 14 WORKING DAYS OR 30 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CONSTRUCTION. WHICHEVER PERIOD IS STABILIZED, ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS. NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
- PHASE 3:
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL FOR INSPECTION BY ENVIRONMENTAL INSPECTOR. WHEN SITE IS APPROVED, REMOVE SILT FENCING, INLET PROTECTION, ETC. AND SEED OR PAVE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS OUTLET PROTECTION AND PERMANENT SWALE VEGETATION, SHOULD NOW BE INSTALLED OR BROUGHT ONLINE.
 - WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION.

GRADING/EROSION CONTROL NOTES

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING, AND CONSTRUCTION IS 1.80 ACRES.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDDED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
 - A. 100 LBS PER 1,000 SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
 - B. 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
 - C. VARIETIES TO BE SEEDDED:
 - 1. SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
 - 2. SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
 - 3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- USE LANDSCAPE PLAN FOR PERMANENT SEEDING.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL STORM DRAINAGE PIPES ARE TO BE RCP CLASS III.

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOPDRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

SILT FENCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE GRAVEL OUTLET:
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

OUTLET STABILIZATION STRUCTURE:
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

BLOCK AND GRAVEL INLET PROTECTION:
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

SEDIMENT TRAP:
INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER RAINFALL EVENTS 0.5 INCHES OR MORE. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.

CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

DIVERSION DITCHES:
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

PROPOSED STORM PIPE TABLE				
LABEL	TYPE	SLOPE (%)	SIZE (IN)	LENGTH (LP)
P-1	CLS IV RCP	3.00	24	5
P-2	CLS IV RCP	0.50	18	100
P-3	CLS IV RCP	0.67	24	27
P-4	CLS III RCP	1.36	24	22
P-5	CLS III RCP	1.48	18	27
P-6	CLS III RCP	10.00	18	12
P-7	CLS III RCP	0.87	18	75
P-8	CMP	0.25	18	10
P-9	CMP	0.25	48	10
P-10	CLS III RCP	0.60	15	25
P-11	CLS III RCP	1.00	15	35
P-12	CLS III RCP	0.79	15	82
P-13	CLS III RCP	1.00	15	20
P-14	CLS III RCP	0.84	15	190
P-15	CLS III RCP	0.67	18	12
P-16	CLS III RCP	0.50	18	27
P-17	CLS III RCP	1.00	18	64

PROPOSED STORM DRAINAGE TABLE				
LABEL	TYPE	T/C Elev.	INV. IN.	INV. OUT.
HW-1	NOOD ENDWALL	TW + 331.00	326.55	326.55
CB-2	CATCH BASIN	331.15	326.9	326.7
CB-3	CATCH BASIN	331.9	327.5	327.4
DI-4	GRATE INLET	GRATE + 330.60	327.2	327.1
CB-5	CATCH BASIN	332.3	327.6	327.5
CB-6	CATCH BASIN	332.4	N/A	327.9
FES-7	FLARED END	N/A	328.8	326.7
DCS-8	OUTLET CONTROL STRUCTURE	RIM + 335.90	328.25	328.15
WQ-9	WATER QUALITY DEVICE	RIM + 336.00	330.1	328.3
CB-10	CATCH BASIN	333.00	N/A	330.4
CB-11	CATCH BASIN	334.8	N/A	330.6
CB-12	CATCH BASIN	335.2	N/A	331
CB-13	CATCH BASIN	335	330.7	330.6
CB-14	CATCH BASIN	336.1	N/A	332.3
FES-15	FLARED END	N/A	327	326.9
CB-16	CATCH BASIN	330.5	327.1	327
CB-17	CATCH BASIN	330.5	N/A	327.25
CB-18	CATCH BASIN	332.4	N/A	328.4



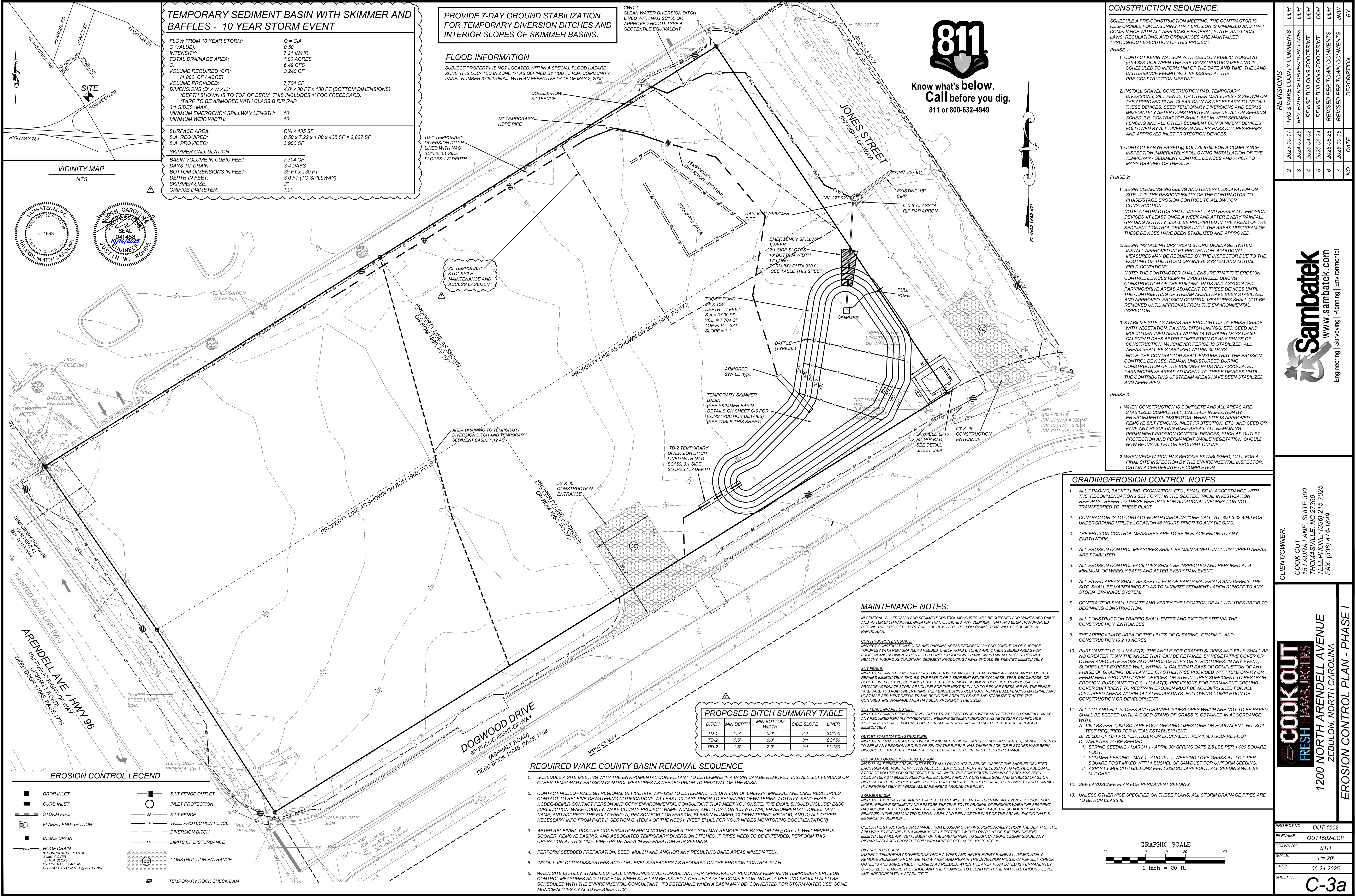
Know what's below.
Call before you dig.
811 or 800-632-4949

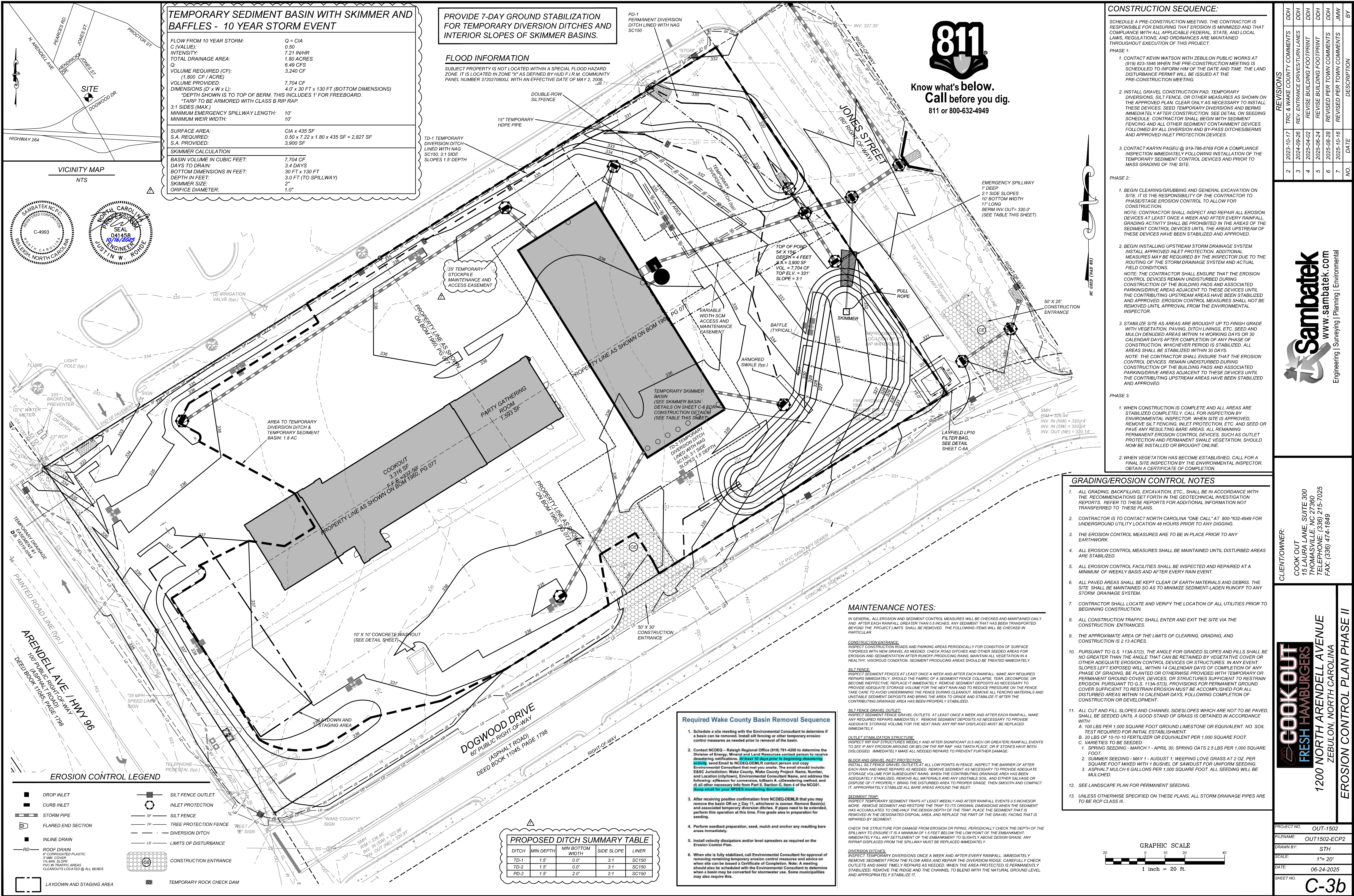


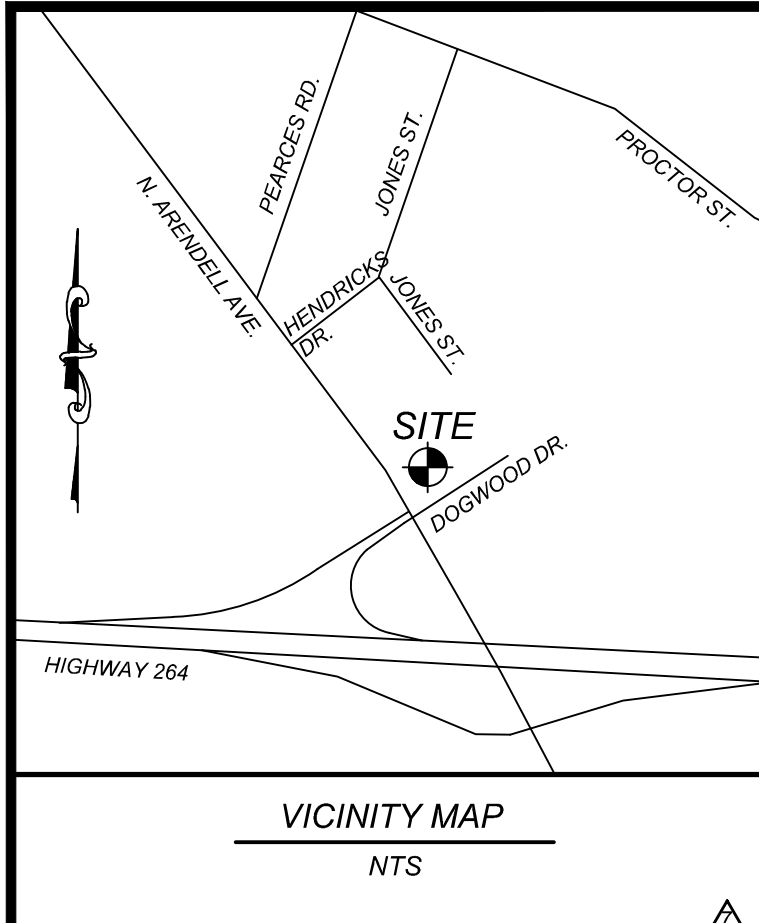
CLIENT OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

PROJECT NO. OUT-1502
FILENAME: OUT1502-GP
DRAWN BY: STH
SCALE: 1"= 20'
DATE: 06-24-2025
SHEET NO. C-3

GRADING PLAN



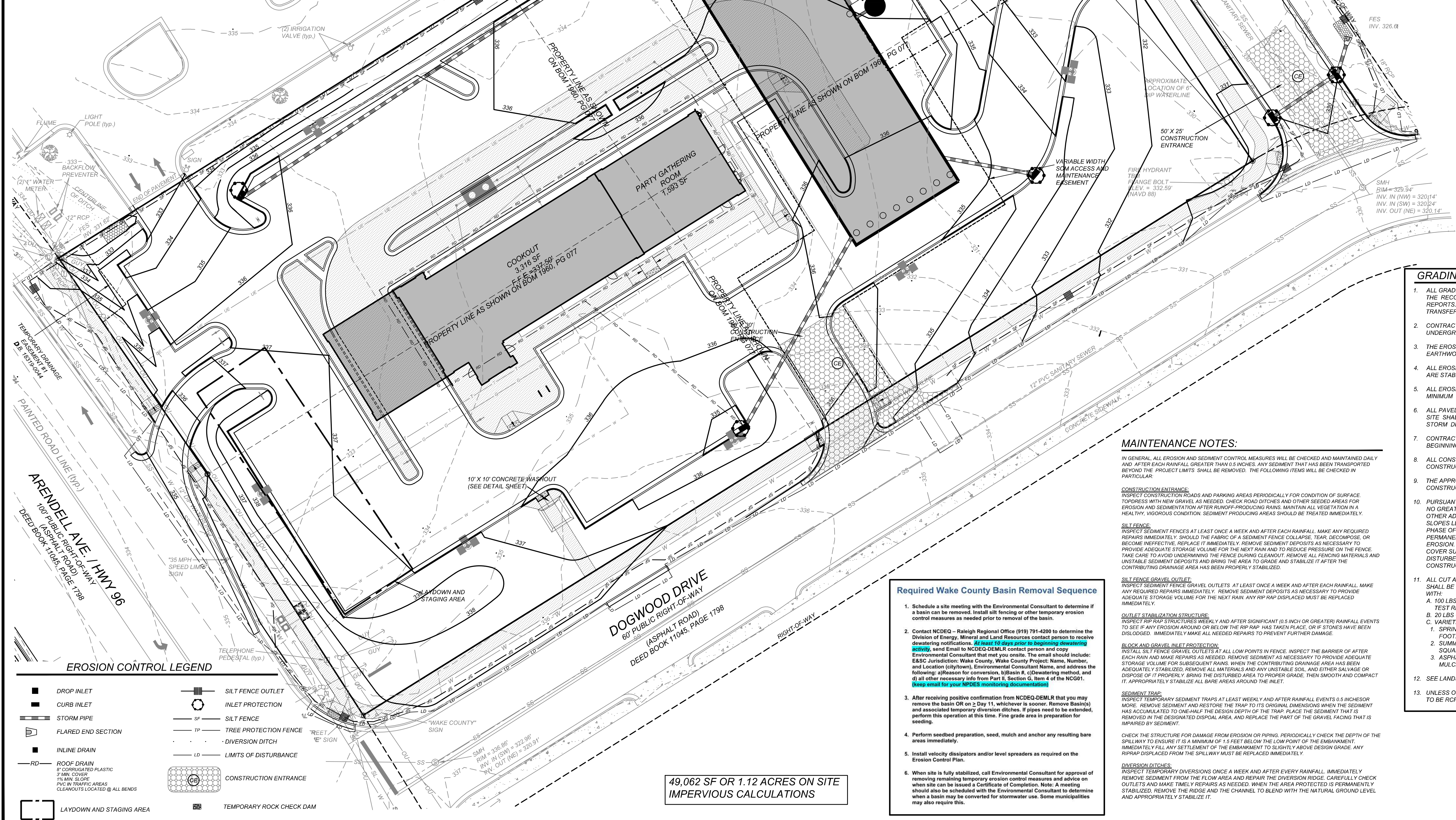
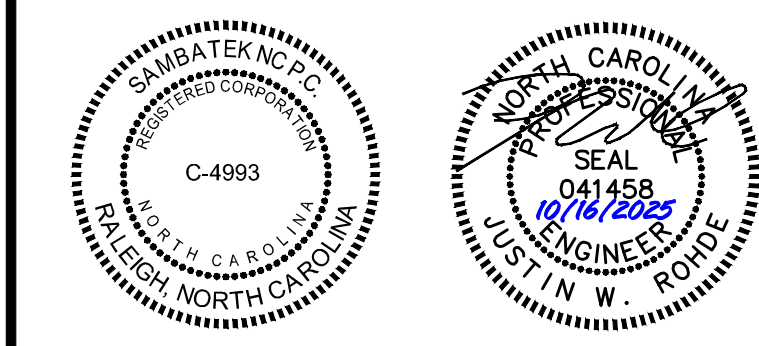




TEMPORARY SEDIMENT BASIN WITH SKIMMER AND BAFFLES - 10 YEAR STORM EVENT			
FLOW FROM 10 YEAR STORM:	Q = CIA		
C (VALUE):	0.50		
INTENSITY:	7.21 IN/HR		
TOTAL DRAINAGE AREA:	1.80 ACRES		
Q:	6.49 CFS		
VOLUME REQUIRED (CF):	3,240 CF		
(1,800 CF / ACRE)			
VOLUME PROVIDED:	7,704 CF		
DIMENSIONS (D' x W x L):	4.0' x 30 FT x 130 FT (BOTTOM DIMENSIONS)		
"DEPTH SHOWN IS TO TOP OF BERM. THIS INCLUDES 1" FOR FREEBOARD.			
"TARP TO BE ARMORED WITH CLASS B RIP RAP.			
3:1 SIDES (MAX.)			
MINIMUM EMERGENCY SPILLWAY LENGTH:	10'		
MINIMUM WEIR WIDTH:	10'		
SURFACE AREA:	CIA x 435 SF		
S.A. REQUIRED:	0.50 x 7.22 x 1.80 x 435 SF = 2,827 SF		
S.A. PROVIDED:	3,900 SF		
SKIMMER CALCULATION			
BASIN VOLUME IN CUBIC FEET:	7,704 CF		
DAYS TO DRAIN:	3.4 DAYS		
BOTTOM DIMENSIONS IN FEET:	30 FT x 130 FT		
DEPTH IN FEET:	3.0 FT (TO SPILLWAY)		
SKIMMER SIZE:	2"		
ORIFICE DIAMETER:	1.0"		

PROVIDE 7-DAY GROUND STABILIZATION FOR TEMPORARY DIVERSION DITCHES AND INTERIOR SLOPES OF SKIMMER BASINS.

FLOOD INFORMATION
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.



GRADING/EROSION CONTROL NOTES

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES ARE MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

PHASE 1:

- CONTACT KEVIN WATSON WITH ZEBULON PUBLIC WORKS AT (919) 823-1846 WHEN THE PRE-CONSTRUCTION MEETING IS SCHEDULED TO INFORM HIM OF THE DATE AND TIME. THE LAND DISTURBANCE PERMIT WILL BE ISSUED AT THE PRE-CONSTRUCTION MEETING. SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BERMS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS AND APPROVED INLET PROTECTION DEVICES.
- CONTACT KARYN PAGEU @ 919-786-8769 FOR A COMPLIANCE INSPECTION IMMEDIATELY FOLLOWING INSTALLATION OF THE TEMPORARY SEDIMENT CONTROL DEVICES AND PRIOR TO MASS GRADING OF THE SITE.

PHASE 2:

- BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION.
NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
- BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL APPROVAL FROM THE ENVIRONMENTAL INSPECTOR.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDE AREAS WITHIN 14 WORKING DAYS OR 30 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CONSTRUCTION. WHICHEVER PERIOD IS STABILIZED. ALL AREAS SHALL BE STABILIZED WITHIN 30 DAYS.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.

PHASE 3:

- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL FOR INSPECTION BY ENVIRONMENTAL INSPECTOR. WHEN SITE IS APPROVED, REMOVE SILT FENCING, INLET PROTECTION, ETC. AND SEED OR PAVE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS OUTLET PROTECTION AND PERMANENT SWALE VEGETATION, SHOULD NOW BE INSTALLED OR BROUGHT ONLINE.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION.

GRADING/EROSION CONTROL NOTES

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING, AND CONSTRUCTION IS 2.13 ACRES.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SIDES/OPES WHICH ARE NOT TO BE PAVED, SHALL BE SEED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
A. 100 LBS PER 1,000 SQUARE FOOT GROUND LIME STONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
B. 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
C. VARIETIES TO BE SEED:
1. SPRING SEEDING - MARCH 1 - APRIL 30, SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
2. SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- SEE LANDSCAPE PLAN FOR PERMANENT SEEDING.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL STORM DRAINAGE PIPES ARE TO BE RCP CLASS III.

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:
INSPECT TEMPORARY CONSTRUCTION ENTRANCES PERIODICALLY FOR CONDITION OF SURFACE TOPDRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDING AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

SILT FENCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE GRAVEL OUTLET:
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

OUTLET STABILIZATION STRUCTURE:
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOADED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

BLOCK AND GRAVEL INLET PROTECTION:
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAINFALL AND MAKE REPAIRS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

SEDIMENT TRAP:
INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER RAINFALL EVENTS 0.5 INCHES OR GREATER. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.

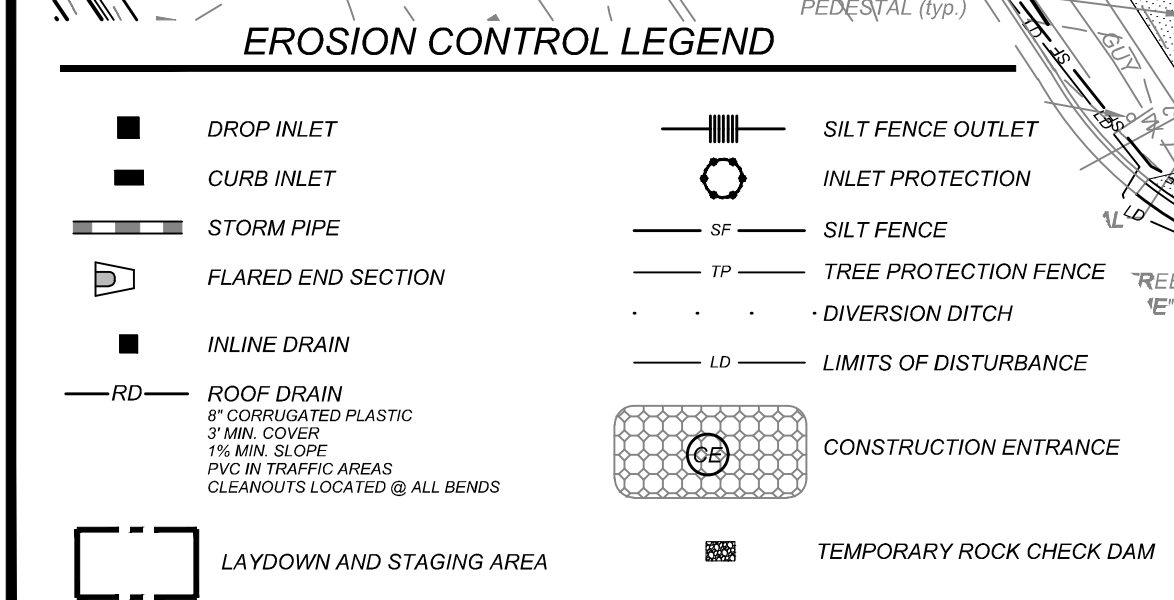
CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

DIVERSION DITCHES:
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

Required Wake County Basin Removal Sequence

- Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
- Contact NCDED - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. At least 10 days prior to beginning dewatering activity, send Email to NCDED-DEM.R contact person and copy Environmental Consultant that met you onsite. The email should include: EASC Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section C, Item 4 of the NC601. [Keep email for your NCEES monitoring documentation](#)
- After receiving positive confirmation from NCDED-DEM.R that you may remove the basin OR on 2 Day 11, whichever is sooner. Remove Basins) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
- Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
- Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
- When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

49,062 SF OR 1.12 ACRES ON SITE IMPERVIOUS CALCULATIONS



REVISIONS

NO.	DATE	DESCRIPTION
2	2023-10-17	TRC & WAKE COUNTY COMMENTS
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES
4	2025-04-02	REVISE BUILDING FOOTPRINT
5	2025-06-24	REVISE BUILDING FOOTPRINT
6	2025-08-28	REVISED PER TOWN COMMENTS
7	2025-10-16	REVISED PER TOWN COMMENTS

CLIENT/TOWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

PROJECT NO.: OUT-1502

FILENAME: OUT1502-ECP3

DRAWN BY: STH

SCALE: 1"= 20'

DATE: 08-08-2023

SHEET NO.: C-3c

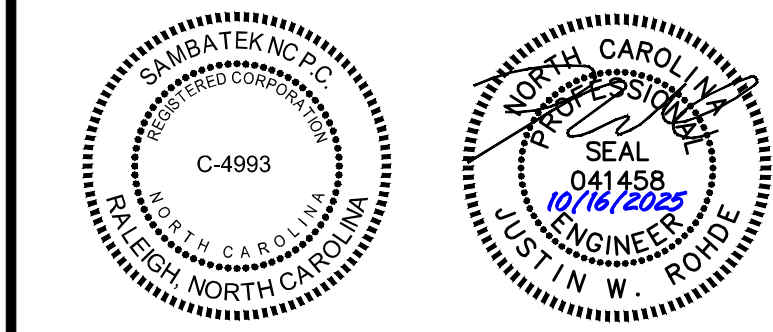
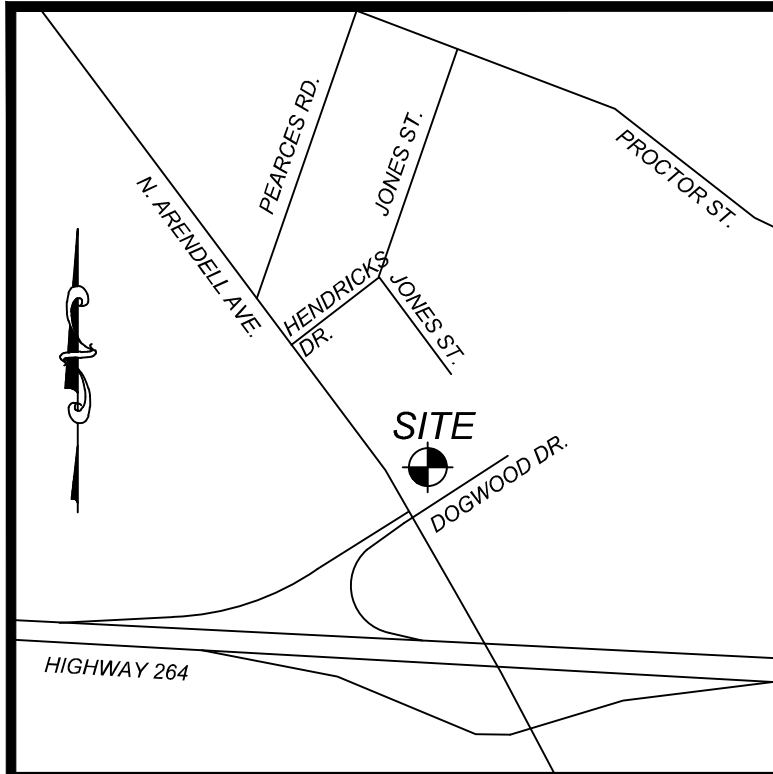
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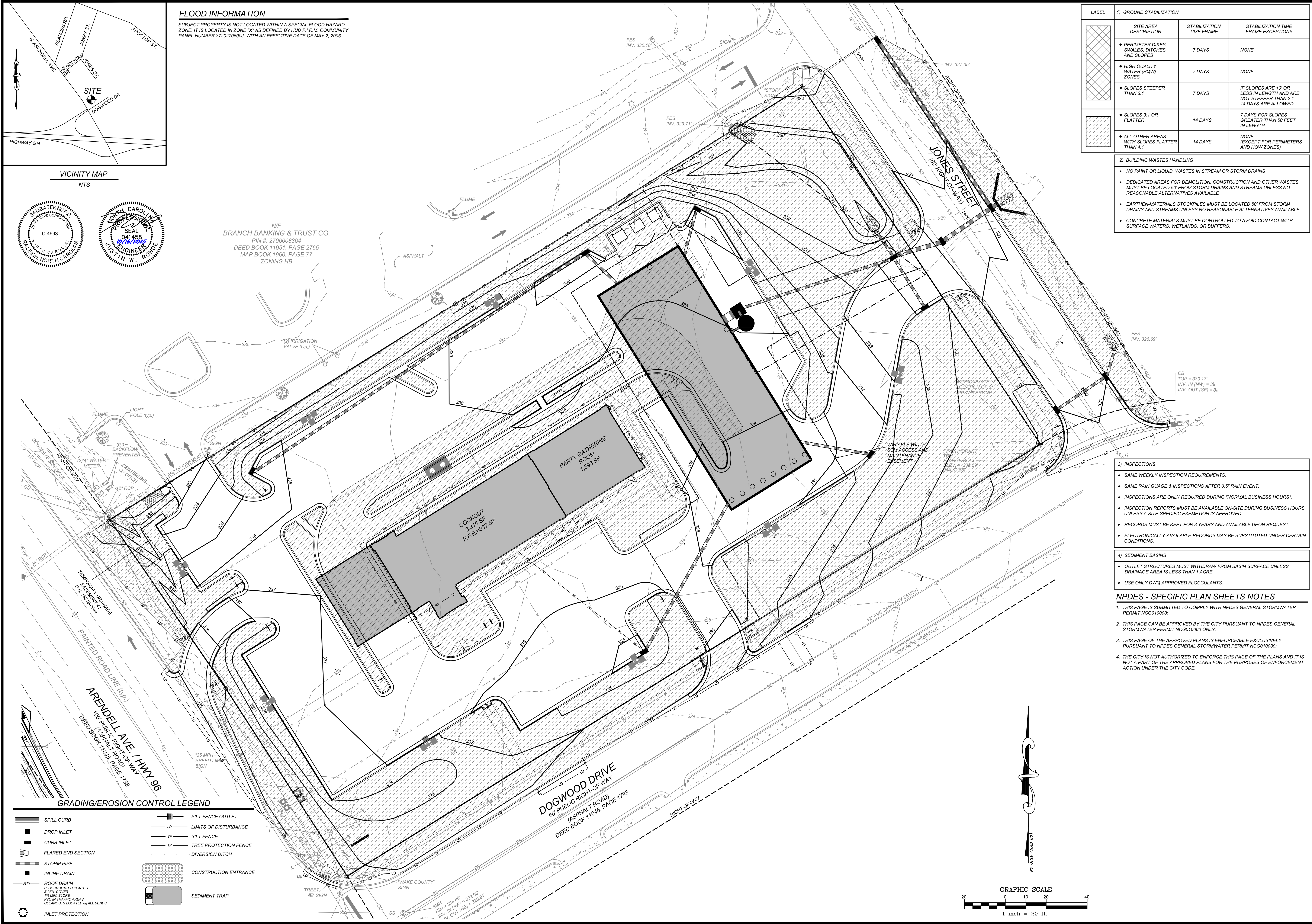
Engineering | Surveying | Planning | Environmental



FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

N/F
BRANCH BANKING & TRUST CO.
PIN #: 2706008364
DEED BOOK 11951, PAGE 2765
MAP BOOK 1960, PAGE 77
ZONING HB



LABEL	1) GROUND STABILIZATION		
	SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
	PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
	HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
	SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

2) BUILDING WASTES HANDLING

- NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS
- DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
- EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
- CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS

3) INSPECTIONS

- SAME WEEKLY INSPECTION REQUIREMENTS.
- SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
- INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
- INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
- RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
- ELECTRONICALLY-AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

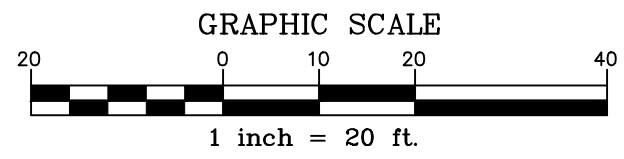
4) SEDIMENT BASINS

- OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
- USE ONLY DWG-APPROVED FLOCCULANTS.

NPDES - SPECIFIC PLAN SHEETS NOTES

- THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
- THIS PAGE CAN BE APPROVED BY THE CITY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
- THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
- THE CITY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY CODE.

GRADING/EROSION CONTROL LEGEND	
	SPILL CURB
	DROP INLET
	CURB INLET
	FLARED END SECTION
	STORM PIPE
	INLINE DRAIN
	ROOF DRAIN 8" CORRUGATED PLASTIC 3" MIN. COVER 1% MIN. SLOPE PVC IN TRAFFIC AREAS CLEANOUTS LOCATED @ ALL BENDS
	INLET PROTECTION
	SILT FENCE OUTLET
	LIMITS OF DISTURBANCE
	SILT FENCE
	TREE PROTECTION FENCE
	DIVERSION DITCH
	CONSTRUCTION ENTRANCE
	SEDIMENT TRAP



REVISIONS		DDH	DDH
2	TRC & WAKE COUNTY COMMENTS	2023-10-17	
3	REV. ENTRANCE DRIVE TURN LINES	2024-09-26	
4	REVISE BUILDING FOOTPRINT	2025-04-02	
5	REVISE BUILDING FOOTPRINT	2025-06-24	
6	REVISED PER TOWN COMMENTS	2025-08-28	
7	REVISED PER TOWN COMMENTS	2025-10-16	
NO.	DATE		BY



CLIENT OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

COOKOUT FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
NPDES STABILIZATION PLAN

PROJECT NO. OUT-1502
FILENAME: OUT1502-NPDES
DRAWN BY: STH
SCALE: 1" = 20'
DATE: 06-24-2025
SHEET NO.

C-3d

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION		
Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQP) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION	
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:	
Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseeding Rolled erosion control products with or without temporary grass seedAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated Stormwater before discharging effluent.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
 - Provide drip pans under any stored equipment.
 - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
 - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
 - Anchor all lightweight items in waste containers during times of high winds.
 - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 - Dispose waste off-site at an approved disposal facility.
 - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Contain liquid wastes in a controlled area.
 - Containment must be labeled, sized and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

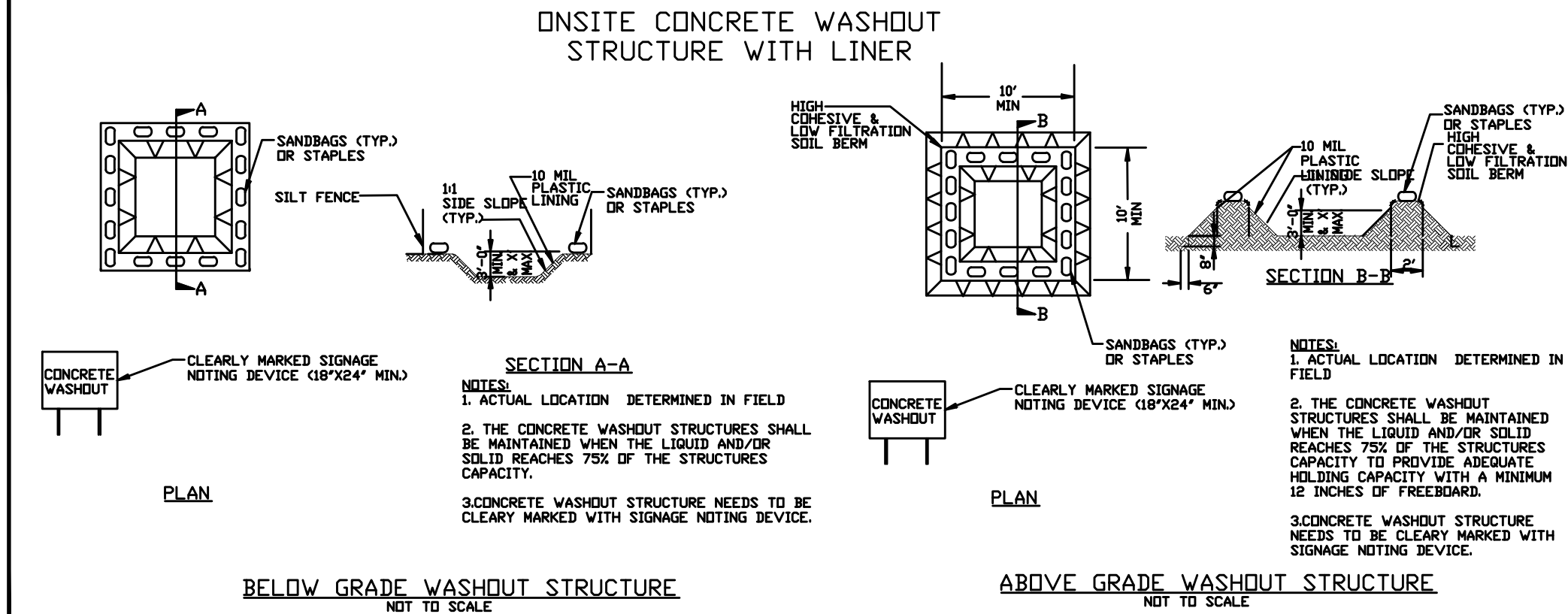
- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
 - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
 - Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
 - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
 - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
 - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
 - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
 - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
 - Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
 - At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
 - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
 - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
 - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
 - Place hazardous waste containers under cover or in secondary containment.
 - Do not store hazardous chemicals, drums or bagged materials directly on the ground.



NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
SECTION A: SELF-INSPECTION		
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.		
Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Date on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Active steps to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, wet tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING	
SECTION B: RECORDKEEPING	
1. E&SC Plan Documentation	
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.	
Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

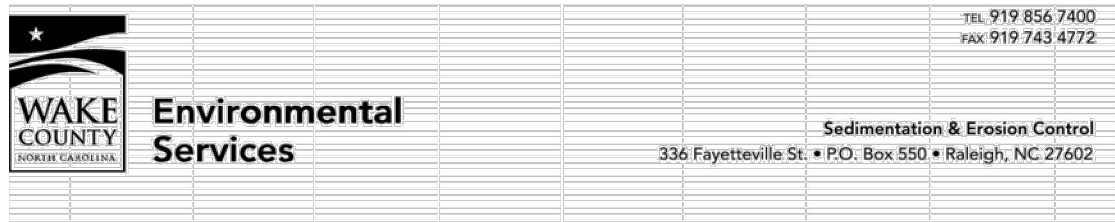
- 2. Additional Documentation to be Kept on Site**
In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:
- This General Permit as well as the Certificate of Coverage, after it is received.
 - Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

- 3. Documentation to be Retained for Three Years**
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING	
SECTION C: REPORTING	
1. Occurrences that Must be Reported	
Permittees shall report the following occurrences:	
(a) Visible sediment deposition in a stream or wetland.	
(b) Oil spills if:	
• They are 25 gallons or more,	
• They are less than 25 gallons but cannot be cleaned up within 24 hours,	
• They cause sheen on surface waters (regardless of volume), or	
• They are within 100 feet of surface waters (regardless of volume).	
(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.	
(d) Anticipated bypasses and unanticipated bypasses.	
(e) Noncompliance with the conditions of this permit that may endanger health or the environment.	

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

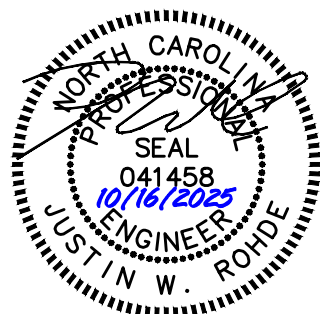
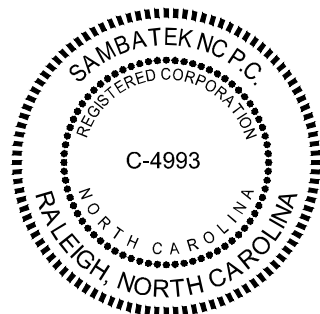
Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and release of hazardous substances per Item 3(b)-(c) above	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].Division staff may waive the requirement for a written report on a case-by-case basis.



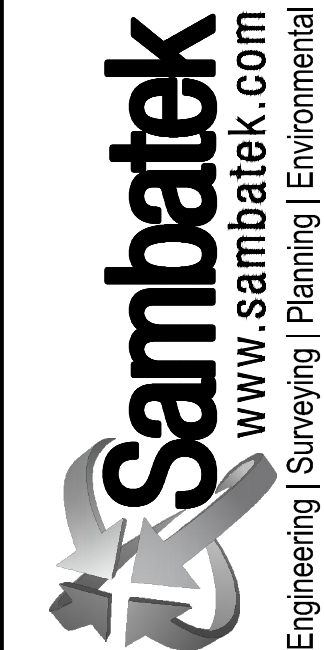
Effective September 1, 2008
Soil stockpiles shall be located on the approved plan and shall adhere to the following requirements:

- Design Criteria**
- A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (erosion control measures surrounding the stockpile shall be shown at the outer limit of this easement).
 - Stockpile footprints shall be setback a minimum of 25' from adjacent property lines.
 - A note shall be provided on the approved plan that stockpile height shall not exceed 35 feet.
 - Stockpile slopes shall be 2:1 or flatter.
 - Approved BMPs shall be shown on a plan to control any potential sediment loss from a stockpile.
 - Stockpiling materials adjacent to a ditch, drainageway, watercourse, wetland, stream buffer, or other body of water shall be avoided unless an alternative location is demonstrated to be unavailable.
 - Any concentrated flow likely to affect the stockpile shall be diverted to an approved BMP.
 - Off-site spoil or borrow areas must be in compliance with Wake County UDO and State Regulations. All spoil areas over an acre are required to have an approved sediment control plan. Developer/Contractor shall notify Wake County of any off-site disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).

- Maintenance Requirements to be Noted on the Plan**
- Seeding or covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic.
 - If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
 - The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
 - Establish and maintain a vegetative buffer at the toe of the slope (where practical).



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949



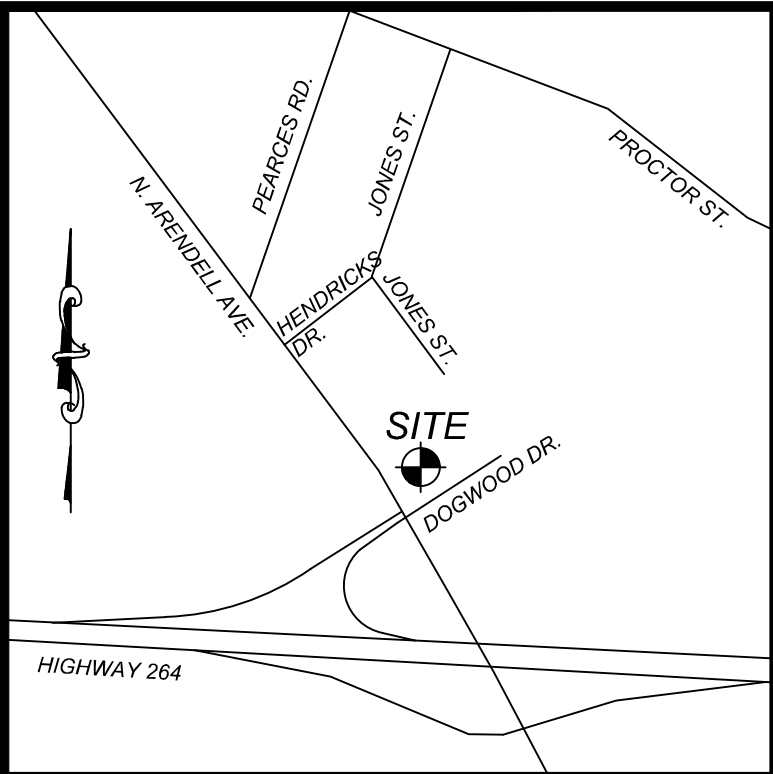
www.sambatek.com
Engineering | Surveying | Planning | Environmental

CLIENT/OWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
NPDES DETAILS

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-NPDES2
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	06-24-2025
SHEET NO.	C-3e



VICINITY MAP
NTS

TOWN OF ZEBULON ROADWAY CONSTRUCTION NOTES:

1. ROADWAY CONSTRUCTION INSPECTION TO BE PROVIDED BY JASON BROWN, (919) 795-5640. ROADWAY AND UTILITY CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE ANY WORK BEGINS ON THIS SITE.
2. JONES STREET ROADWAY (ASPHALT ROAD, CONCRETE CURB & GUTTER, 5" CONCRETE SIDEWALK AND STORM DRAINAGE SYSTEM) SHALL BE EXTENDED FROM BB&T PROPERTY LINE TO DOGWOOD LANE PER THESE CONSTRUCTION DRAWINGS.
3. TOWN OF ZEBULON DETAILS #1, 3, 33, 35 AND 36 SHALL BE USED IN THE CONSTRUCTION OF THE ROADWAY.
4. STORMWATER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
5. PROJECT MUST PROVIDE A THIRD PARTY GEOTECHNICAL ENGINEER FOR COMPACTION AND DENSITY TESTING FOR JONES STREET ROADWAY CONSTRUCTION. GEOTECHNICAL FIRM MUST BE A NCDOT CERTIFIED FIRM.
6. AT THE COMPLETION OF THE PROJECT, THE INFRASTRUCTURE WILL BE DEDICATED TO THE TOWN OF ZEBULON FOR MAINTENANCE WITH A ONE YEAR WARRANTY.

FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 370270600J, AND 370270500K, BOTH WITH AN EFFECTIVE DATE OF JULY 19, 2022.



Know what's below.
Call before you dig.
811 or 800-632-4949

SITE KEYNOTES:

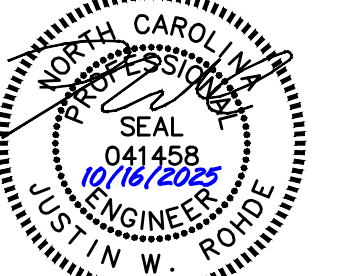
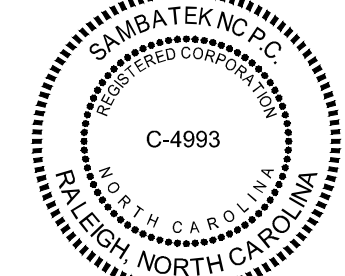
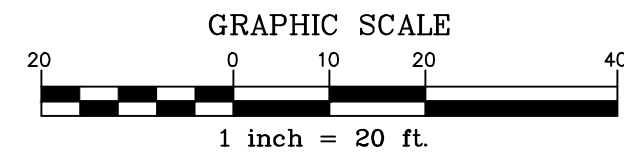
1. CONSTRUCT 2.0' STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
2. CONSTRUCT 2.0' ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
3. CONSTRUCT 2.0' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
4. CONSTRUCT 2.0' ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
5. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR OF BUILDING SIDEWALK WITH OWNER
6. CONSTRUCT CONCRETE SIDEWALK PER CITY AND NCDOT STANDARDS AND SPECIFICATIONS. BACK OF WALK TO BE ON RIGHT-OF-WAY LINE FOR ARENDELL AVENUE / HWY 96
7. CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
8. CONSTRUCT CONCRETE HANDICAP RAMP TO MEET NCDOT STANDARDS AND SPECIFICATIONS. SEE TYPE 1 MODIFIED ON DETAIL 848.06
9. DRIVEWAY TO BE CONSTRUCTED PER TOWN OF ZEBULON DETAILS #7 AND #8, SEE SHEET C-10a.
10. CONCRETE PAVEMENT PER DETAIL SHEET
11. ASPHALT PAVEMENT PER DETAIL SHEET
12. NOSE DOWN CURB, SEE DETAIL SHEET
13. INSTALL TRUNCATED DOMES PER ACCESSIBLE RAMP NCDOT DETAIL 848.06
14. RELOCATE EXISTING SIGNAGE OUTSIDE OF PROPOSED BACK OF CURB, CONTRACTOR SHALL COORDINATE WITH NCDOT
15. RELOCATE TRAFFIC SIGNAL VAULT AND WIRING OUTSIDE OF PROPOSED BACK OF CURB, CONTRACTOR SHALL COORDINATE WITH NCDOT
16. PAINT 4" WIDE STRIPE, WHITE PER NCDOT DETAIL 1205.01
17. PAINT 4" WIDE 3'-9" / SP MINI SKIP STRIPE, WHITE PER NCDOT DETAIL 1205.01
18. PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
19. PAINT NCDOT TRAFFIC ARROWS PER DETAIL SHEET
20. SITE IDENTIFICATION SIGN, COORDINATE WITH TOWN AND OWNER, SIGNAGE IS SEPERATE PERMIT, INSTALLATION CAN BE INCLUDED WITH BUILDING PERMIT WORK
21. PAINT 24" STOP BAR PER NCDOT STANDARDS
22. MATCH EXISTING CURB & GUTTER PER TOWN OF ZEBULON DETAIL #3, SEE SHEET C-10a
23. ASPHALT/CONCRETE TRANSITION PER DETAIL
24. ASPHALT PAVEMENT (PAVEMENT SECTION DESIGN PER NCDOT STANDARDS FOR TUNE LANE
5" B25.0C
4" F19.0C
3" S9.5C (INSTALLED IN 2 LIFTS)
LIFT 1 = 1.5 S9.5C
LIFT 2 = 1.5 S9.5C
25. MATCH EXISTING ASPHALT PAVEMENT
26. MATCH EXISTING CONCRETE SIDEWALK
27. PAINT CROSSWALK PER DETAIL SHEET
(CONTINUED BELOW)

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- F.F.E. = XXX.XX
- FINISH FLOOR ELEVATION
- EXISTING CONTOURS
- PROPOSED CONTOURS

SITE KEYNOTES (cont):

28. MATCH EXISTING ASPHALT PAVEMENT, CONTRACTOR SHALL MILL AND REPLACE 1" FROM EXISTING EDGE OF PAVEMENT, FOR A DEPTH OF 1.5", TO TIE-IN ROAD WIDENING ADJACENT TO HWY 96
29. RIGHT TURN LANE PER NCDOT STANDARDS AND SPECIFICATIONS
30. 2'-6" STANDARD CURB AND GUTTER PER NCDOT DETAIL 848.01



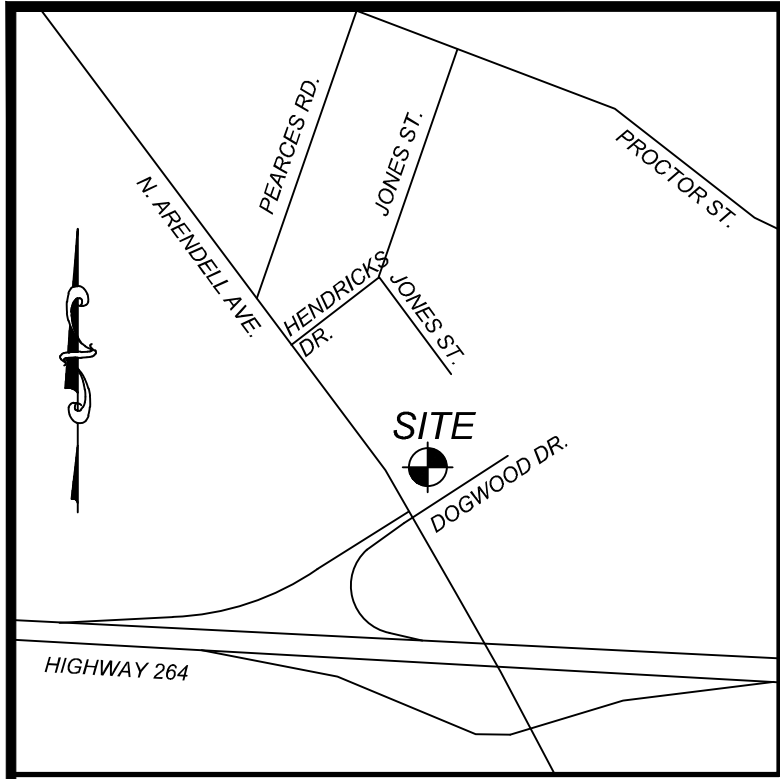
REVISIONS		NO.	DATE	DESCRIPTION	BY
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3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANE	DDH		
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6	2025-08-28	REVISED PER TOWN COMMENTS	DDH		
7	2025-10-16	REVISED PER TOWN COMMENTS	JMW		

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CLIENT/OWNER:
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COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
HWY 96 TURN LANE PLAN

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-STP
DRAWN BY:	STH
SCALE:	1"= 20'
DATE:	06-24-2025
SHEET NO.	C-3f



VICINITY MAP
NTS

STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - 2.1. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - 2.2. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 2.3. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 2.4. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - 2.5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - 2.6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM PER CORPUD HANDBOOK PROCEDURES.
9. INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
11. PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
12. ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
13. INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
14. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
15. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
16. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
17. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
18. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
20. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE LISTED ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
21. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
22. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
23. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
24. PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

UTILITY KEYNOTES:

1. 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
2. WATTS LF9190T OR CITY OF RALEIGH APPROVED EQUAL, 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE-GROUND HEATED ENCLOSURE, CONTRACTOR SHALL COORDINATE WITH CITY.
3. 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH AND PLUMBING PLANS.
4. 4" PVC SANITARY SEWER LINE, @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH AND PLUMBING PLANS.
5. 8" SADDLE WITH 2" CORPORATION, CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER LINE. PRIOR TO CONSTRUCTION AND COORDINATE ALL WORK WITH CITY OF RALEIGH.
6. SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
7. TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
8. EXISTING FIRE HYDRANT
9. NOT USED
10. 1500 GALLON TRAFFIC RATED GREASE TRAP, CONTRACTOR SHALL COORDINATE MAKE AND MODEL WITH OWNER AND CITY.
11. POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
12. CONNECT TO EXISTING 12" SANITARY SEWER LINE WITH WYE CONNECTION, CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER MAIN PRIOR TO ANY CONSTRUCTION TO ENSURE MINIMUM PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE ALL WORK WITH THE CITY OF RALEIGH. ROADWAY REPAIR PER TOWN OF ZEBULON DETAIL & SEE C-10.
13. UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY FOR TRANSFORMER MOUNT ON UTILITY POLE.

FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

TOWN OF ZEBULON NOTE:

IRRIGATION, IF PROVIDED IN THE FUTURE, WILL BE TIED INTO RECLAIM WATER, SHOULD RECLAIM WATER BECOME AVAILABLE.

NOTE TO CONTRACTOR:

ALL SANITARY SEWER AND WATER CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

UTILITY KEYNOTES:

14. UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
15. GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
16. 2" PVC SLEEVE FOR ELECTRIC SERVICE, CONTRACTOR TO COORDINATE WITH OWNER AND ELECTRICIAN.
17. OPEN CUT AND REPAIR ASPHALT PAVEMENT PER TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS, COORDINATE UTILITY CONNECTION AND INSTALLATION WITH CITY OF RALEIGH.
18. RELOCATED AND/OR ADJUST EXISTING UTILITY STRUCTURE AS NECESSARY, COORDINATE WITH RESPECTIVE UTILITY COMPANY.
19. TELEPHONE PEDESTAL TO BE RELOCATED FOR SIDEWALK, COORDINATE WITH UTILITY COMPANY.
20. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING 6" WATER MAIN AND RELOCATE AS NECESSARY TO AVOID PROPOSED STORM PIPE AND STRUCTURES, CONTRACTOR SHALL COORDINATE ALL WORK WITH CITY OF RALEIGH FIELD INSPECTOR AND PUBLIC UTILITIES REVIEWER.
21. 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH AND IRRIGATION CONTRACTOR.
22. WATTS LF9190T OR CITY OF RALEIGH APPROVED EQUAL, 1" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE-GROUND HEATED ENCLOSURE, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH.
23. COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
24. IRRIGATION SLEEVES PER UTILITY LEGEND

NOTES TO CONTRACTOR:

1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE TO VERIFY INVERTS AND CONDITION OF EXISTING SEWER CONNECTION LOCATION PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

NOTE:

SEE SHEET C-10 FOR UTILITY NOTES.

APPROXIMATE LOCATION OF EX. WATER LINE. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY SIZE AND LOCATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. SEE PLAN AND PROFILE SHEET P-1.

APPROXIMATE LOCATION OF EX. WATER LINE. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY SIZE AND LOCATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

INVERT ±320.54
CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

UTILITY LEGEND

- | | | | |
|--------|--|---|-------------------------|
| — OU — | OVERHEAD UTILITIES | ● | SEWER CLEAN OUT |
| — SS — | SANITARY SEWER | ● | FIRE HYDRANT ASSEMBLY |
| — UE — | UNDERGROUND ELECTRIC | ● | SANITARY SEWER MANHOLE |
| — T — | TELEPHONE LINE | ● | POLE MOUNTED AREA LIGHT |
| — G — | GAS LINE | ● | WATER METER |
| — W — | WATER LINE | ● | BACKFLOW PREVENTER |
| — ES — | ELECTRIC SERVICE SLEEVE | ● | SIAMESE CONNECTION |
| — IP — | IRRIGATION SLEEVE | ● | WATER VALVE |
| ● | UTILITY POLE | ● | GREASE TRAP |
| — IP — | IRRIGATION SLEEVE | | |
| | 2" PVC COORDINATE WITH ELECTRICAL CONTRACTOR | | |
| | 2" PVC COORDINATE WITH IRRIGATION CONTRACTOR | | |



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GRAPHIC SCALE

1" = 20'
1 inch = 20 ft.

REVISIONS		DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS		DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES		DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT		DDH
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6	2025-08-28	REVISED PER TOWN COMMENTS		DDH
7	2025-10-16	REVISED PER TOWN COMMENTS		JMW



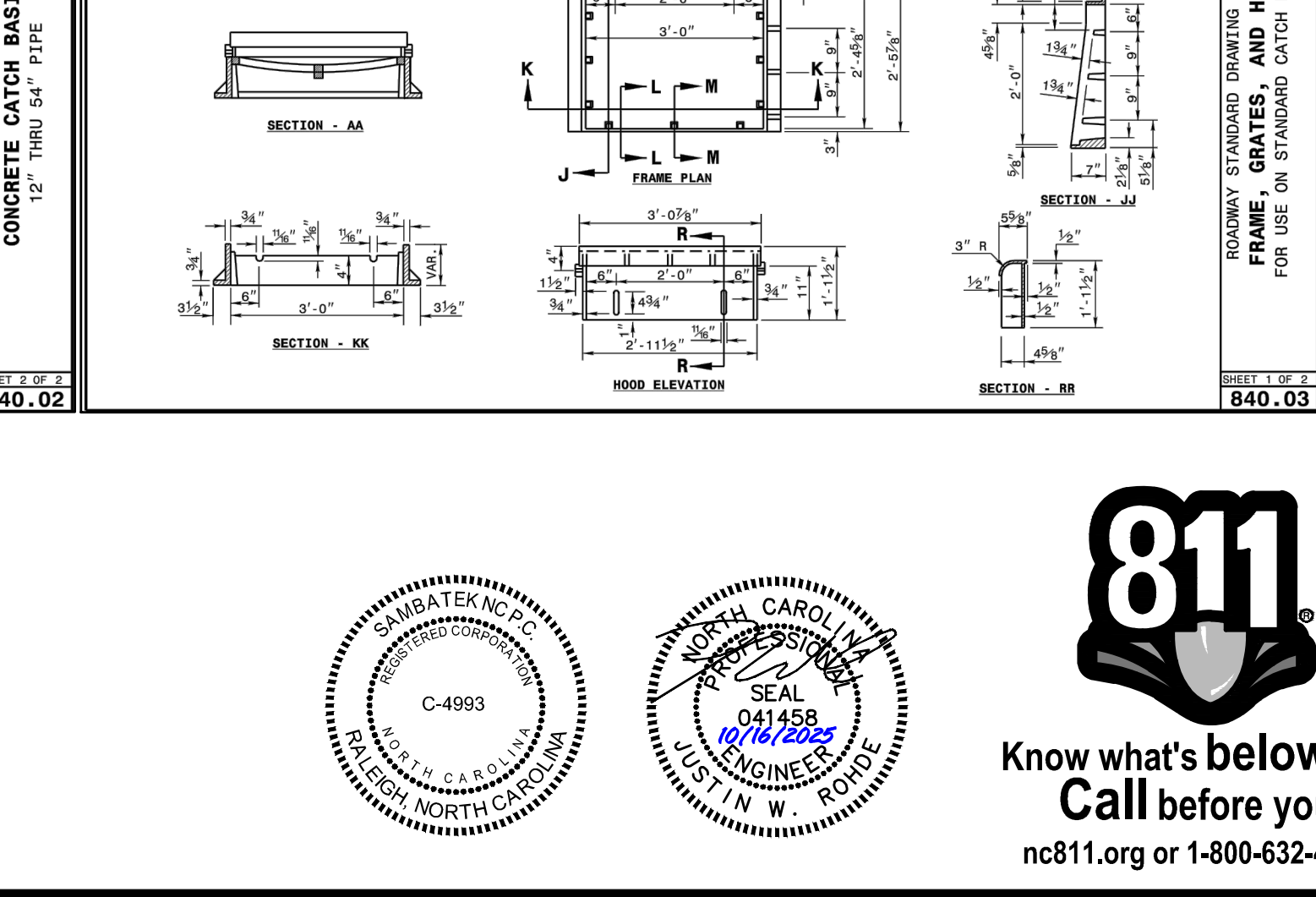
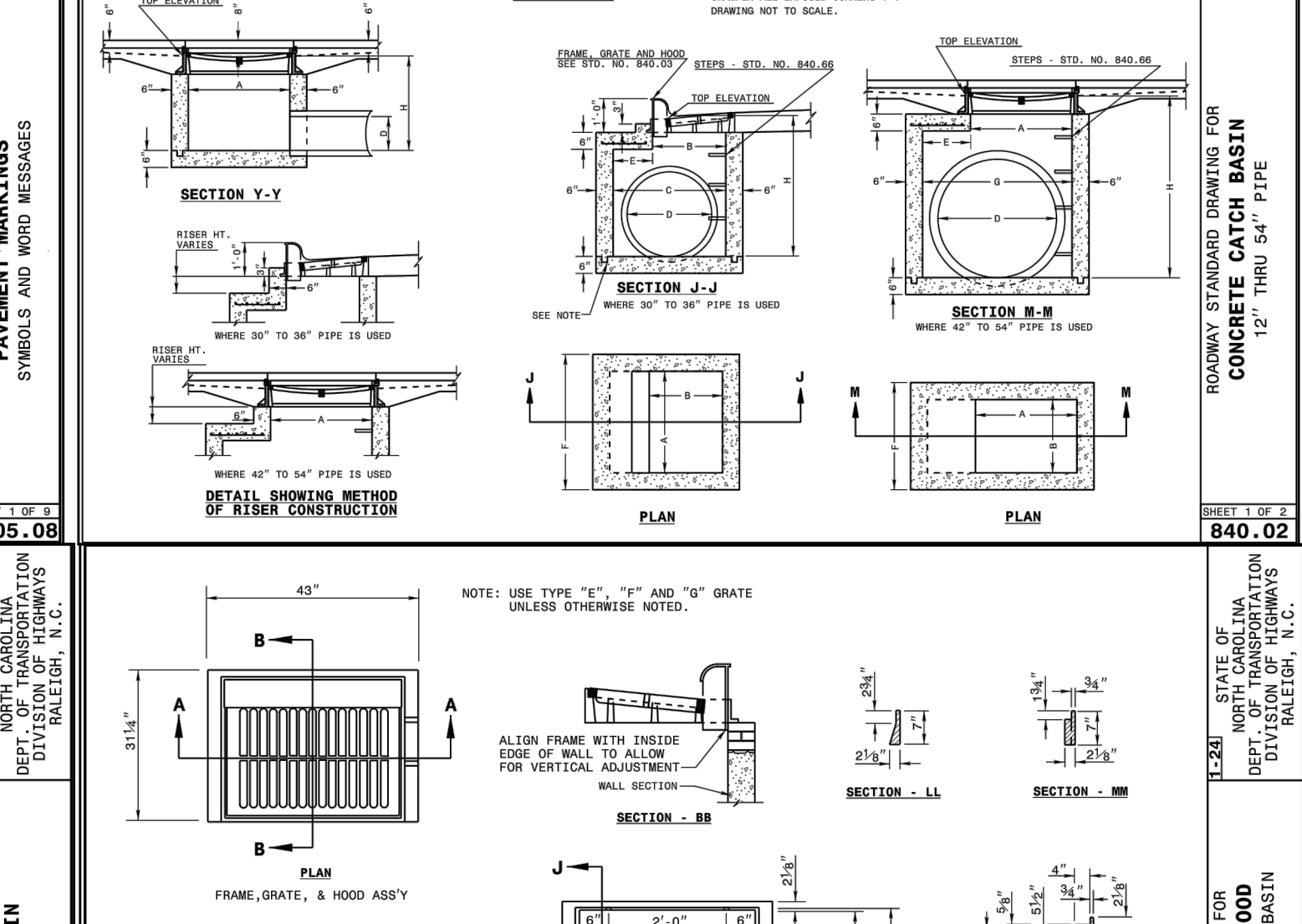
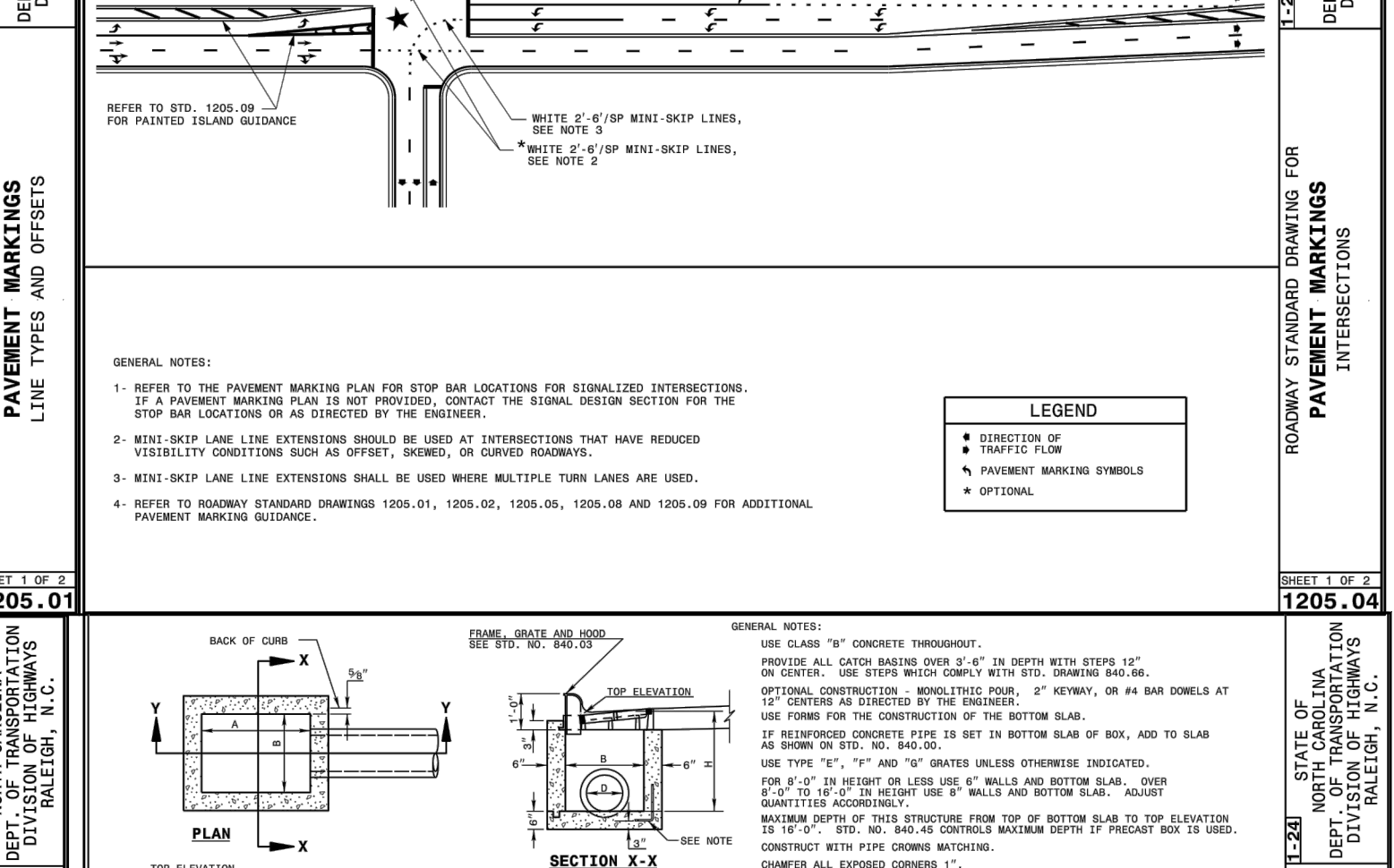
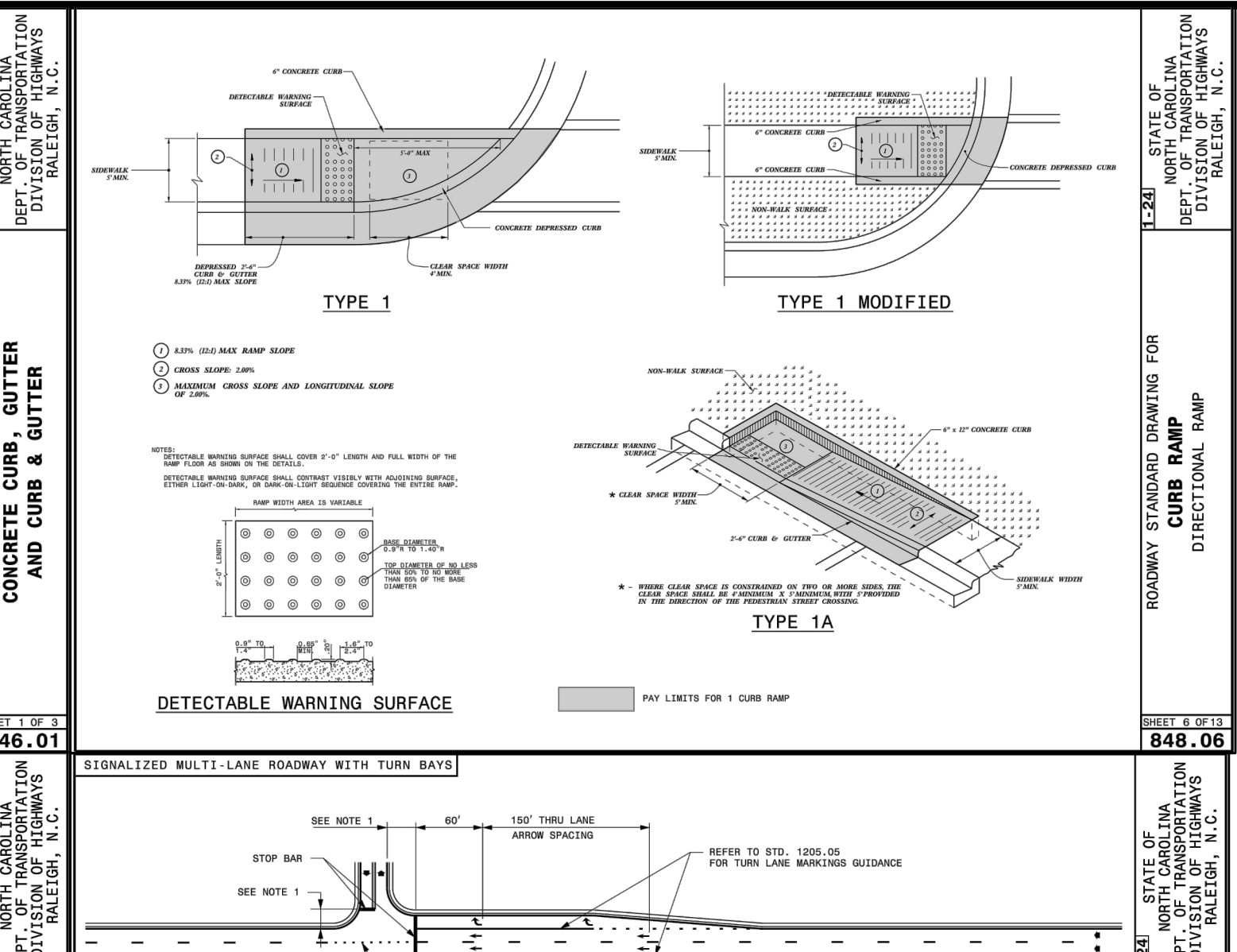
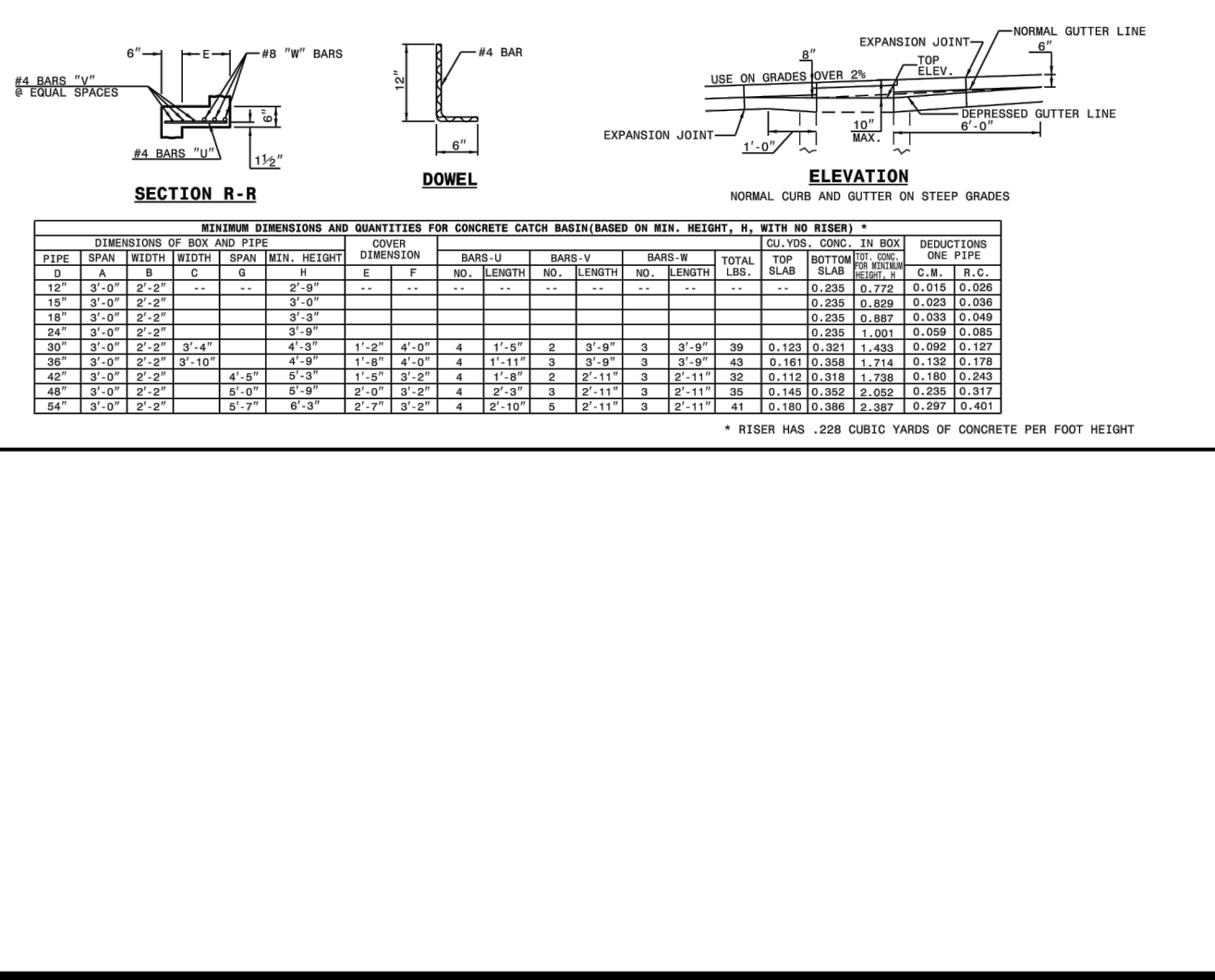
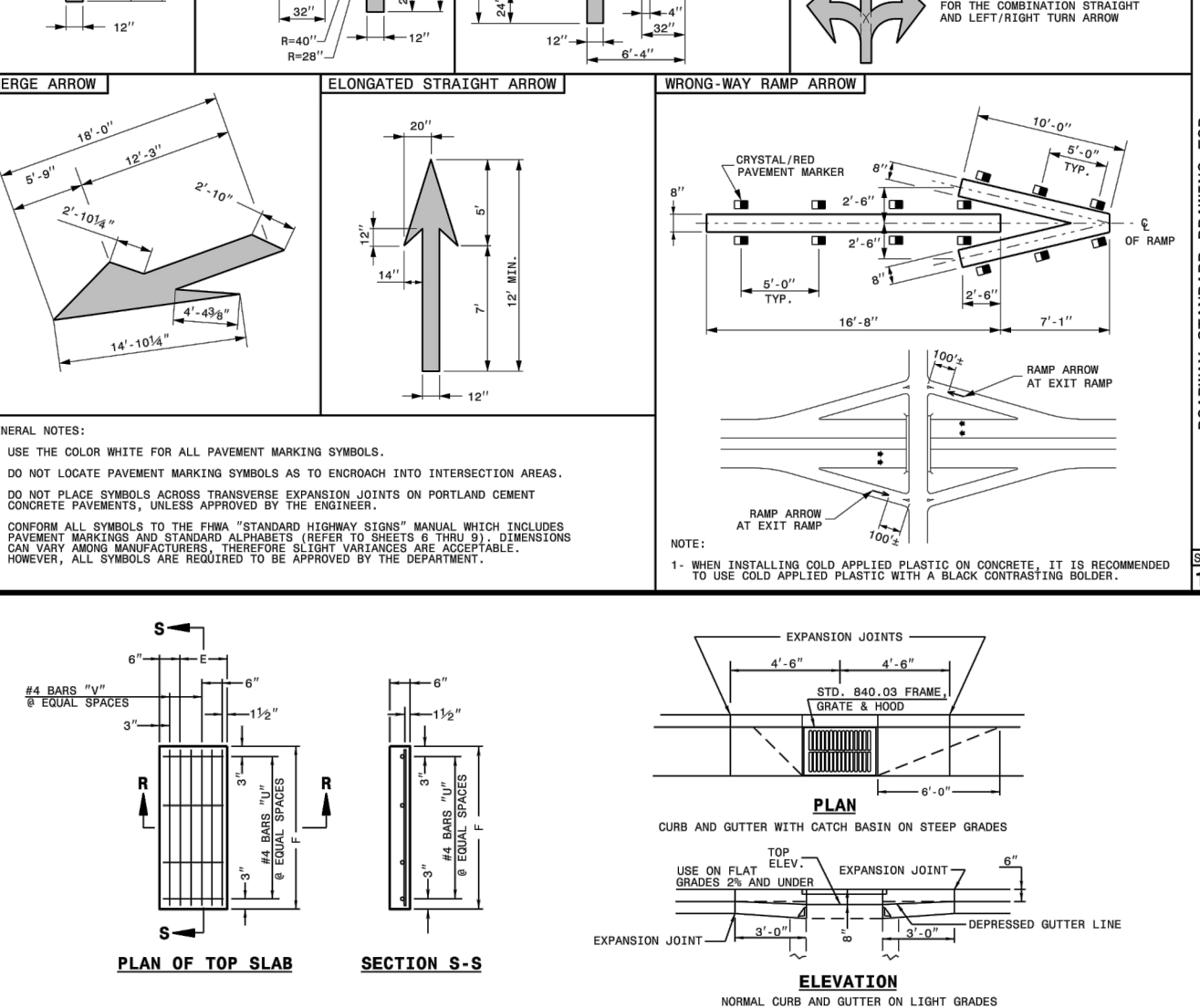
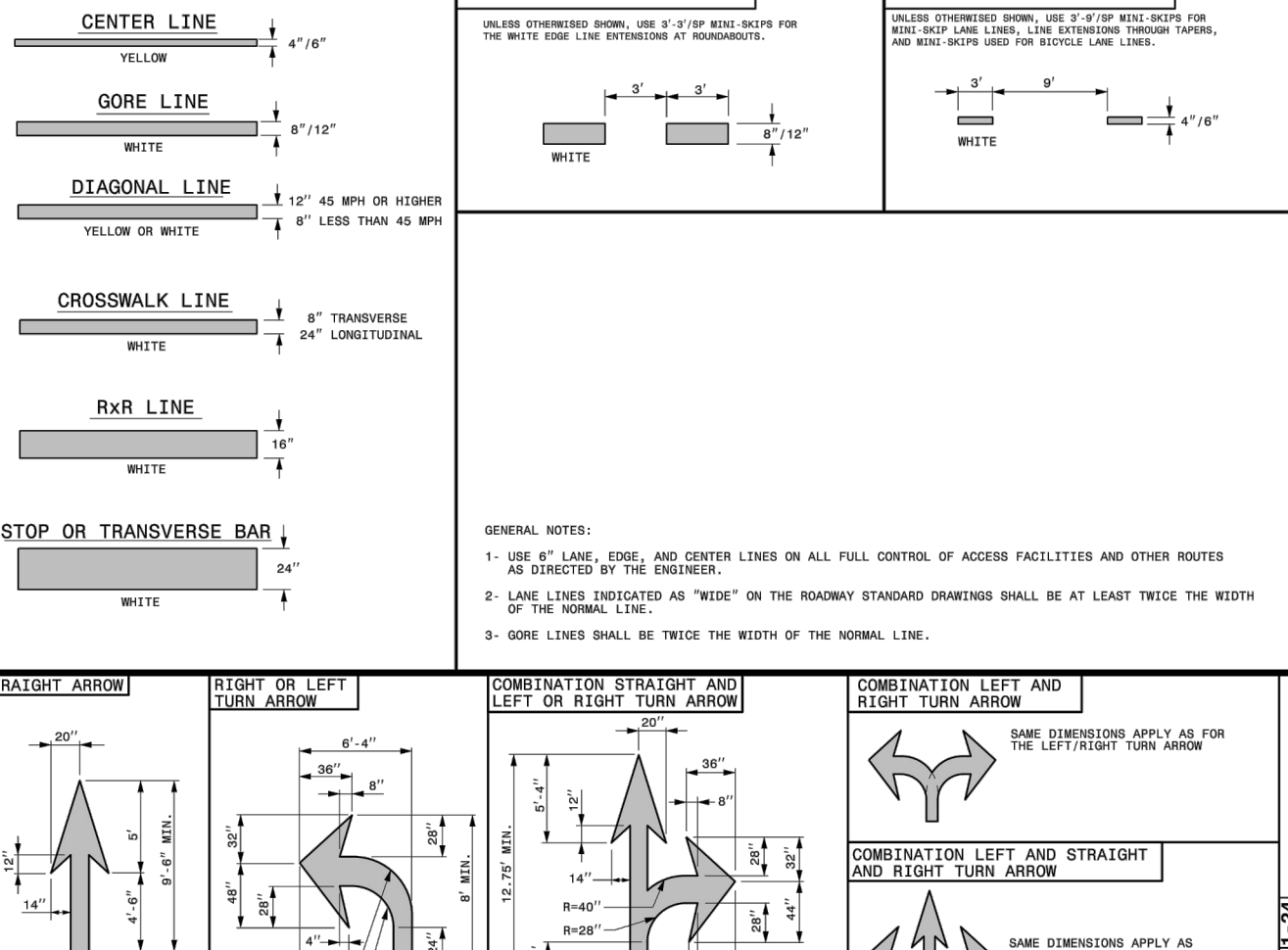
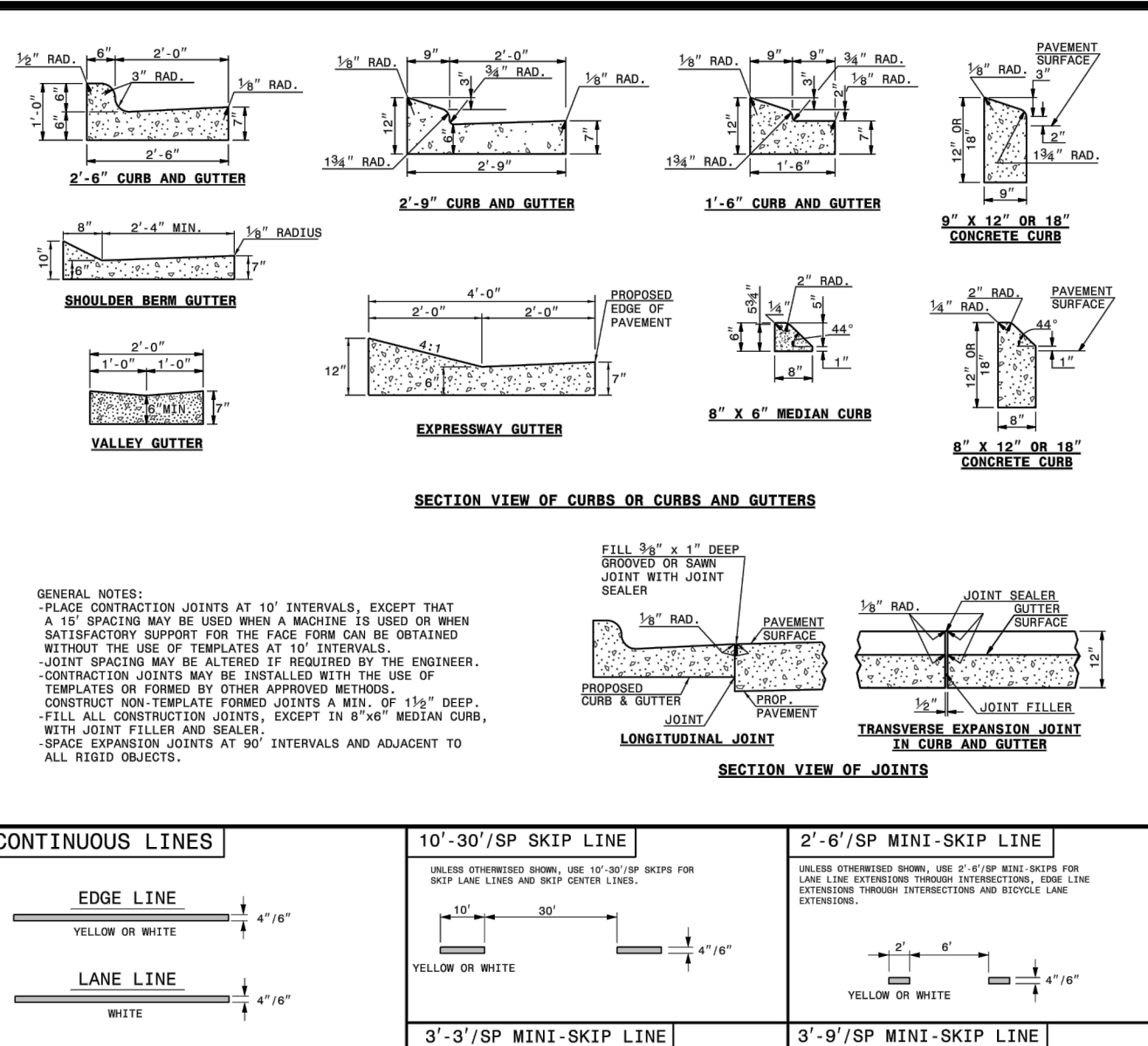
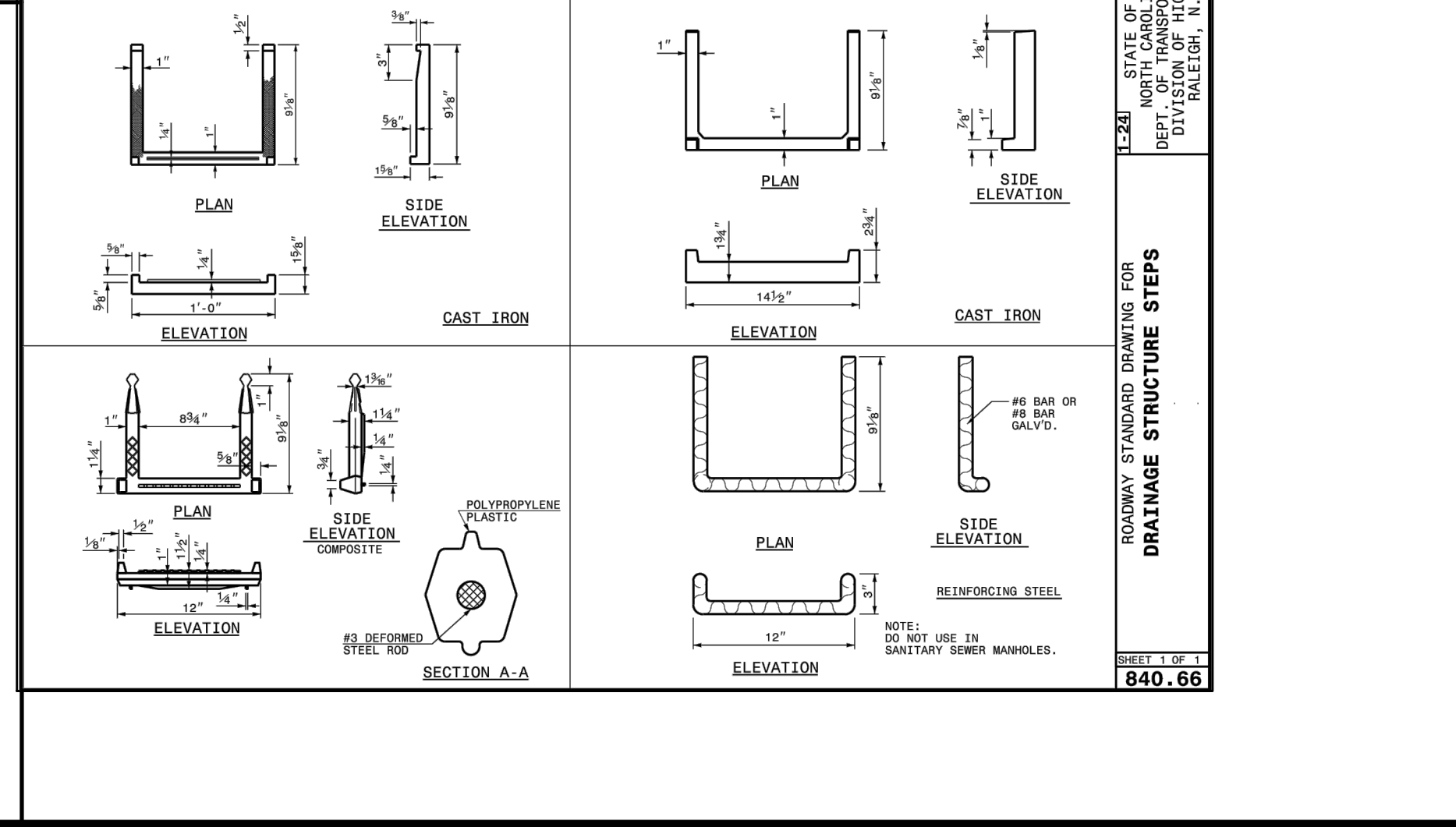
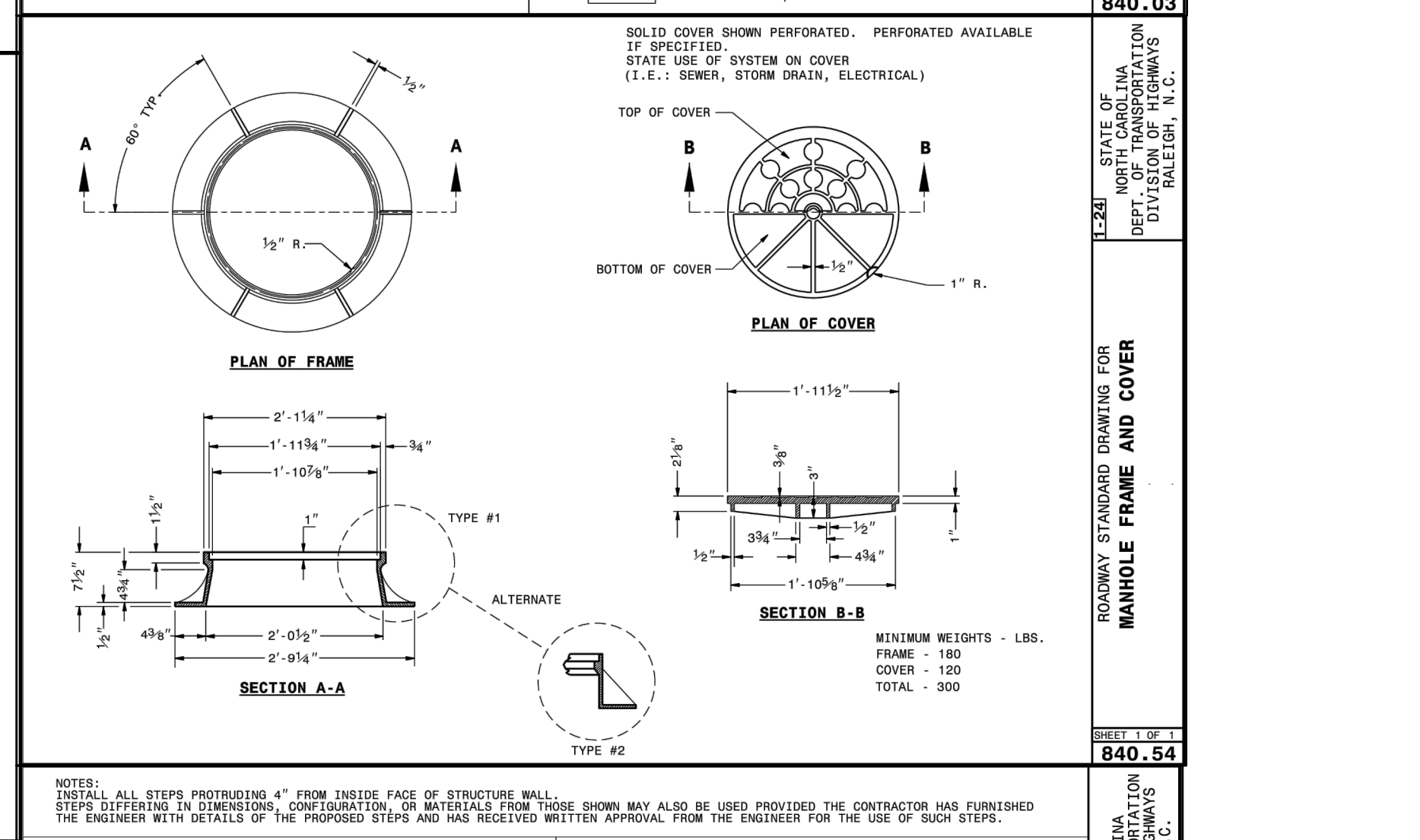
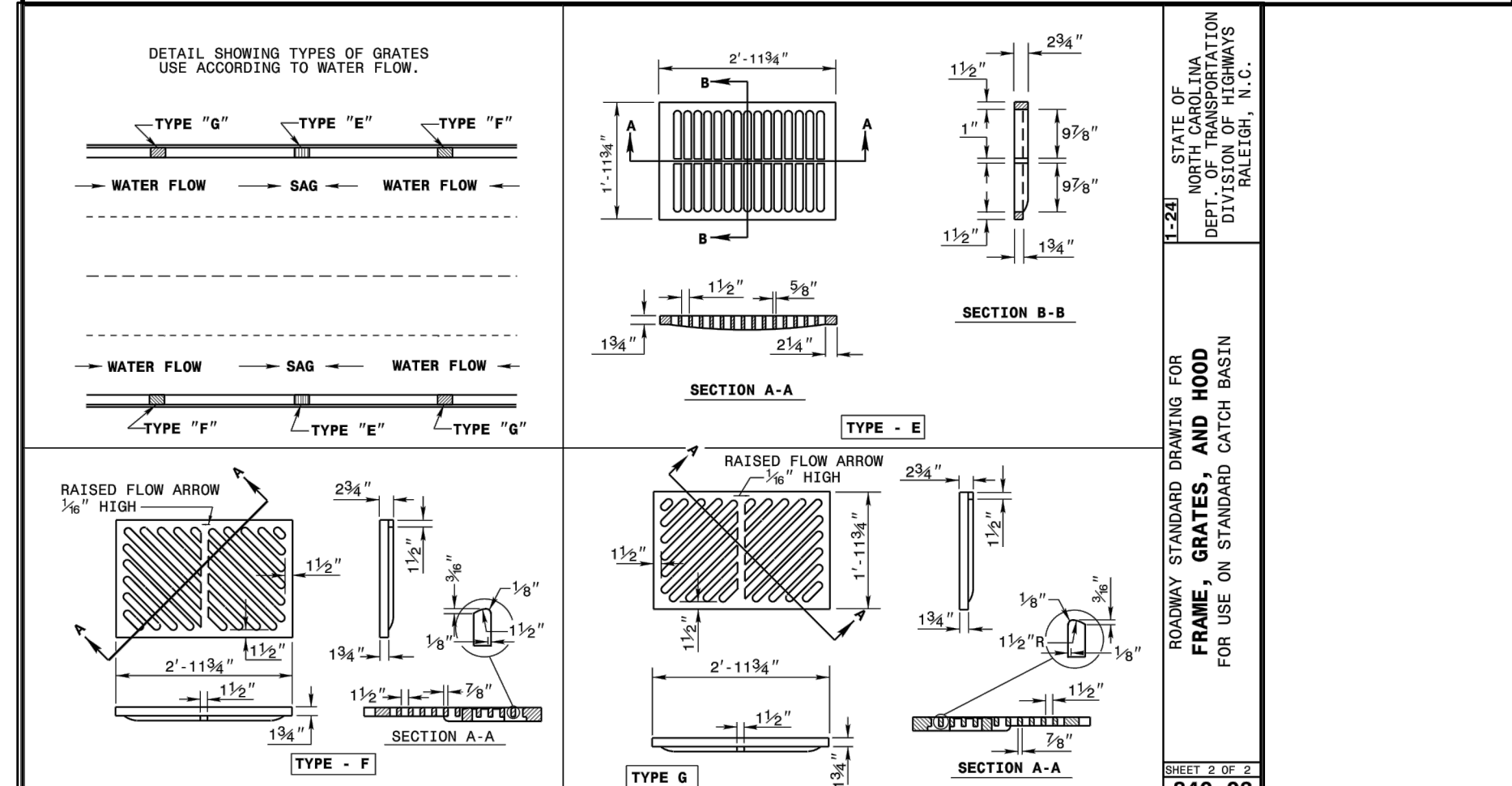
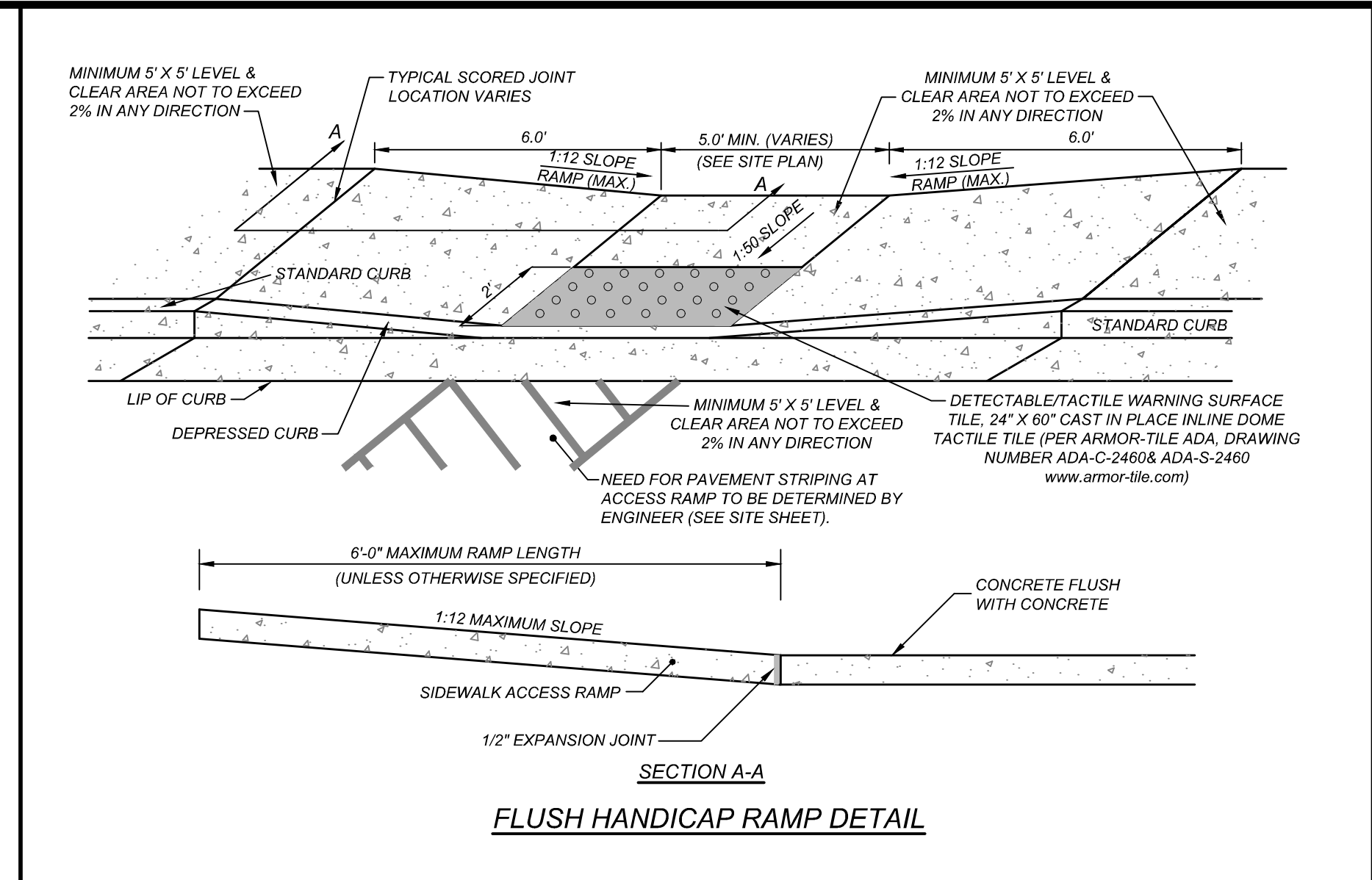
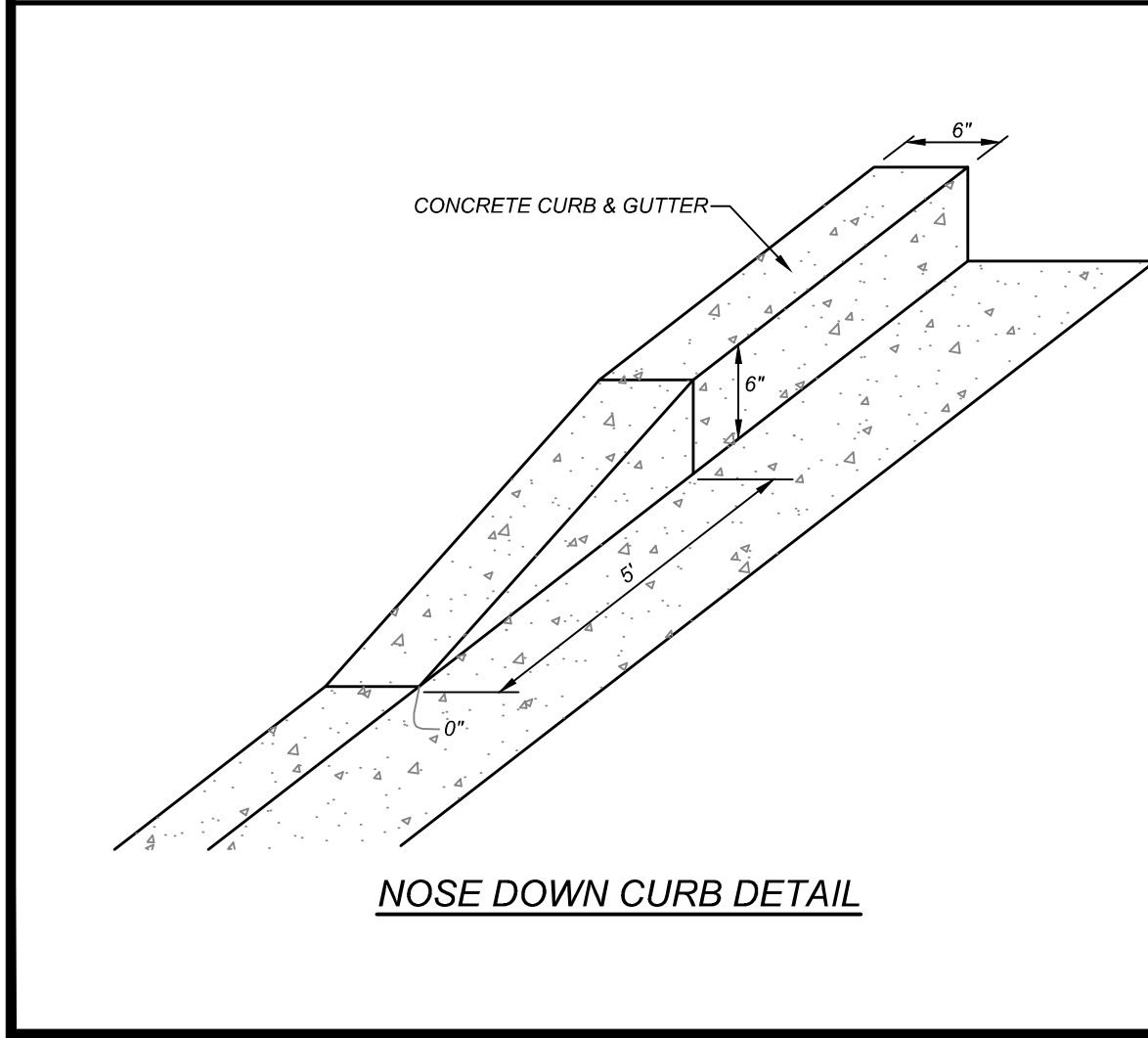
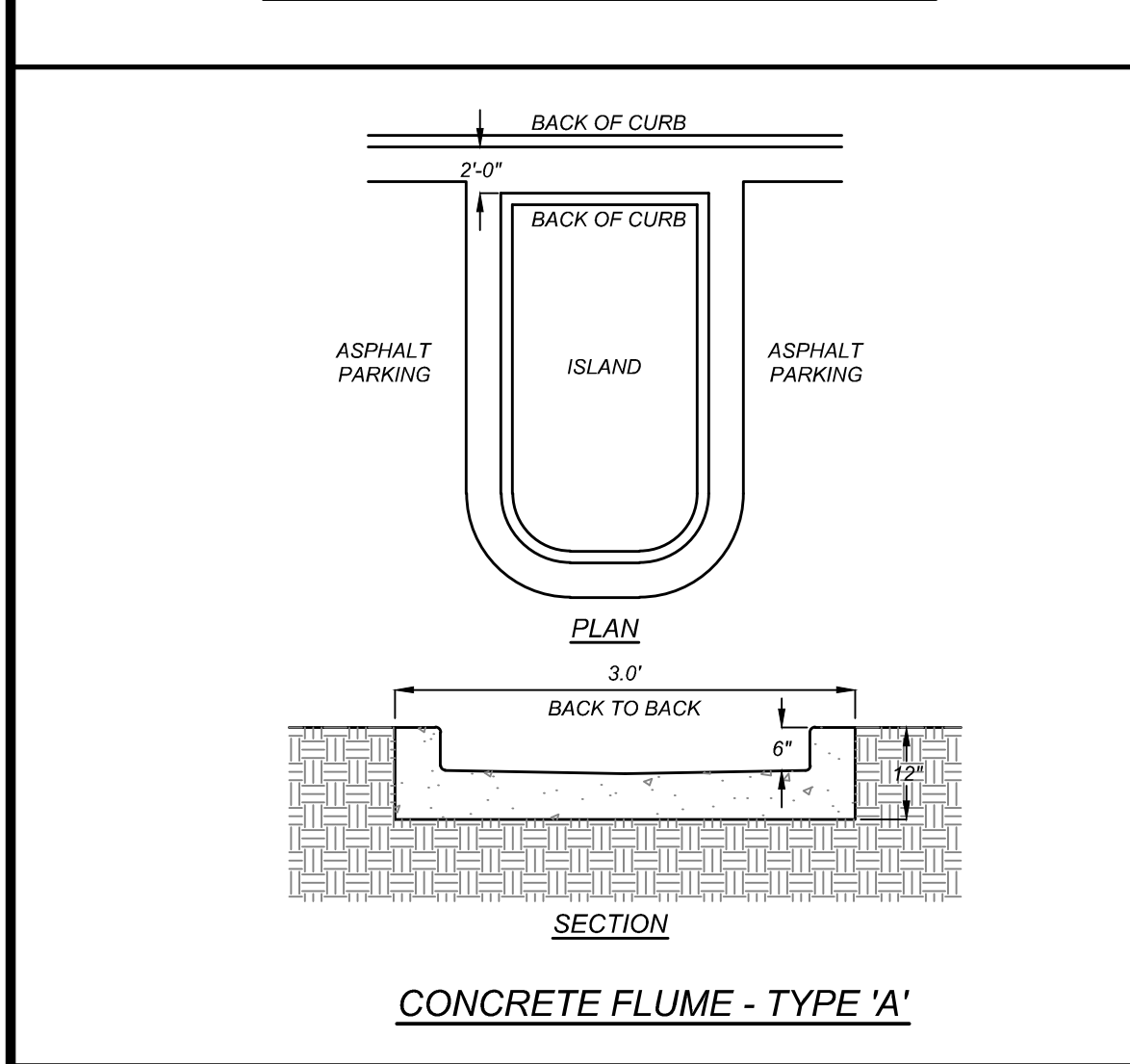
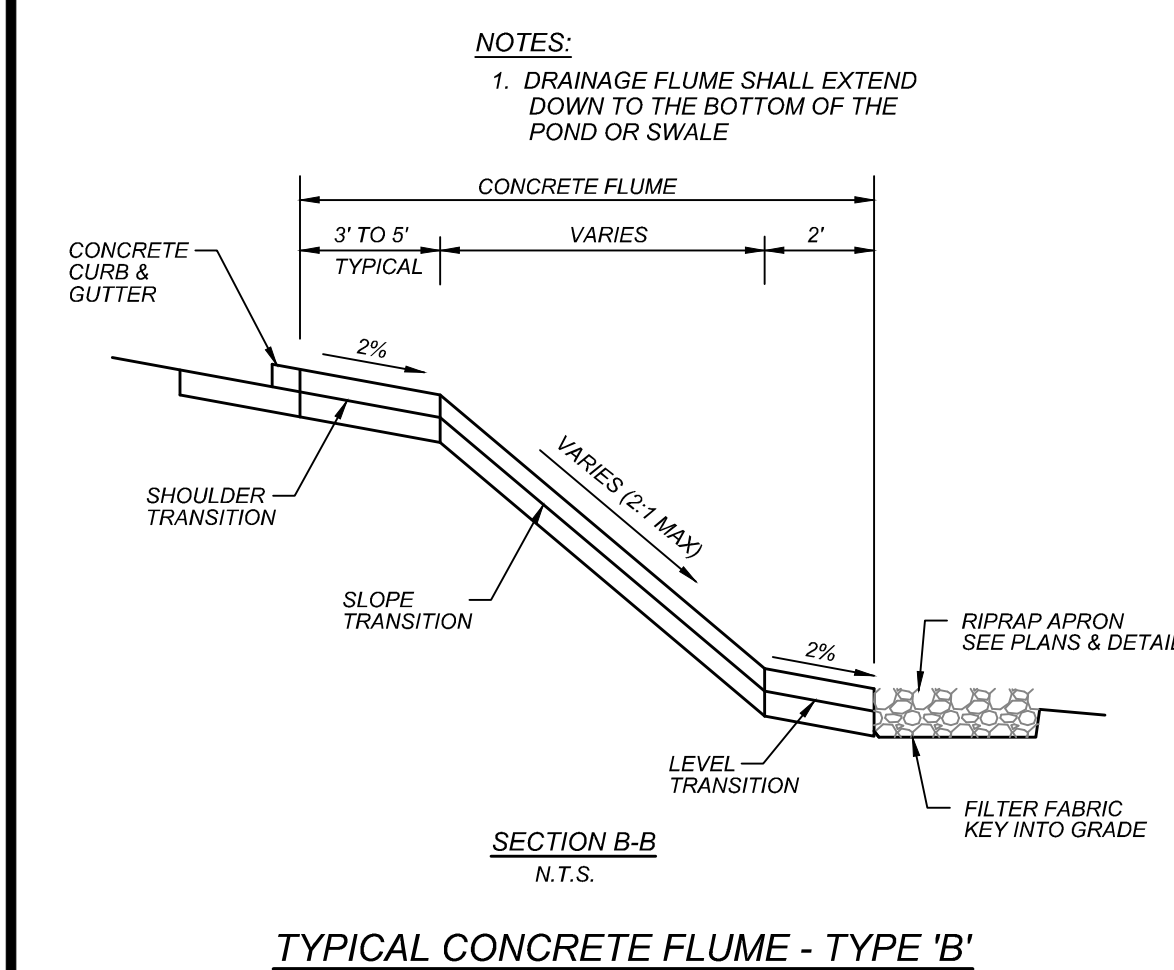
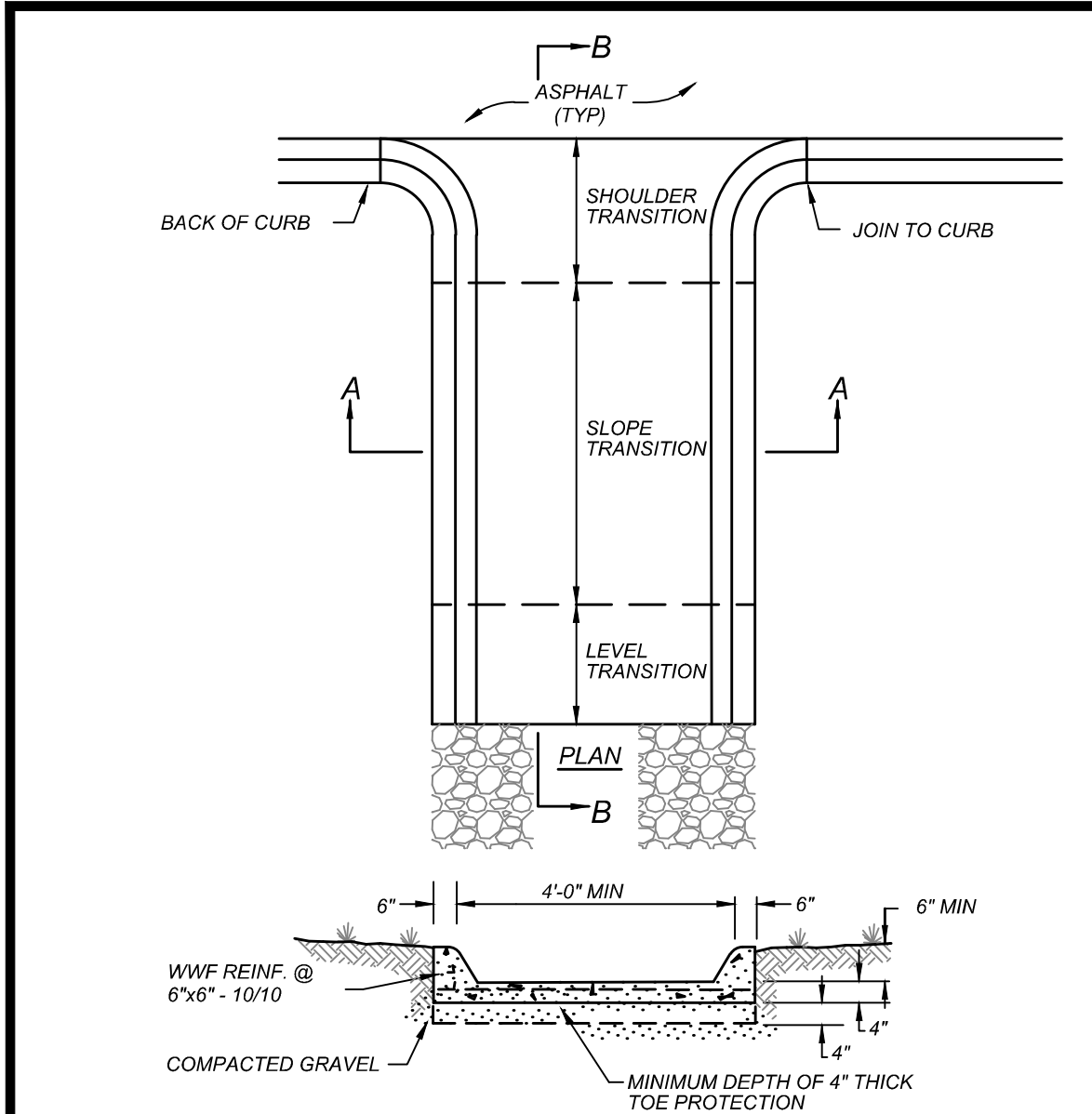
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
UTILITY PLAN

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-UP
DRAWN BY:	STH
SCALE:	1" = 20'
DATE:	06-24-2025
SHEET NO.	C-4



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REVISIONS

NO.	DATE	DESCRIPTION
2	2023-10-17	TRC & WAKE COUNTY COMMENTS
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES
4	2025-04-02	REVISE BUILDING FOOTPRINT
5	2025-06-24	REVISE BUILDING FOOTPRINT
6	2025-08-28	REVISED PER TOWN COMMENTS
7	2025-10-16	REVISED PER TOWN COMMENTS

CLIENTOWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

DETAILS

1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

PROJECT NO.

OUT-1502

FILENAME:

OUT1502-DTL1a

DRAWN BY:

STH

SCALE:

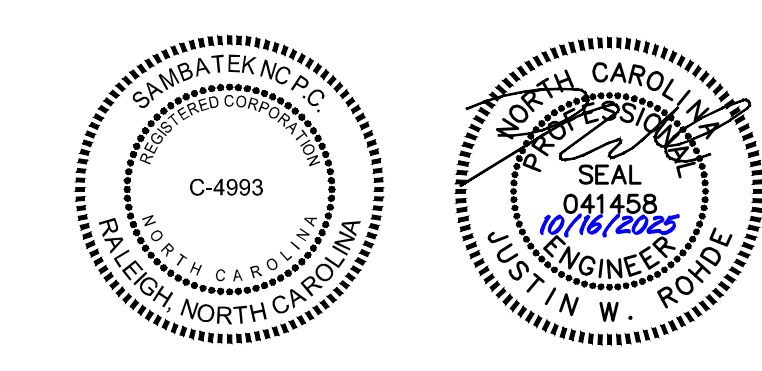
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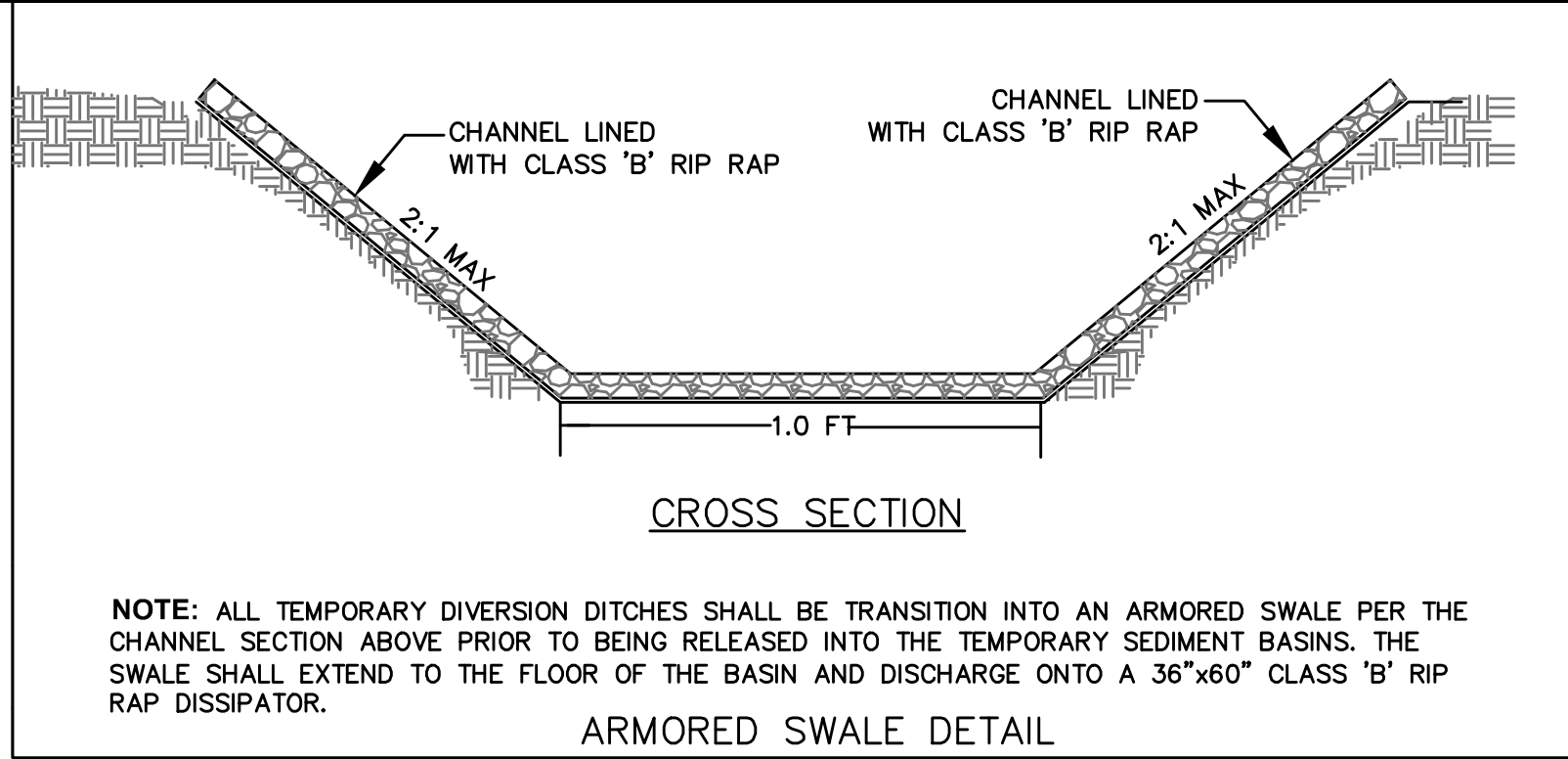
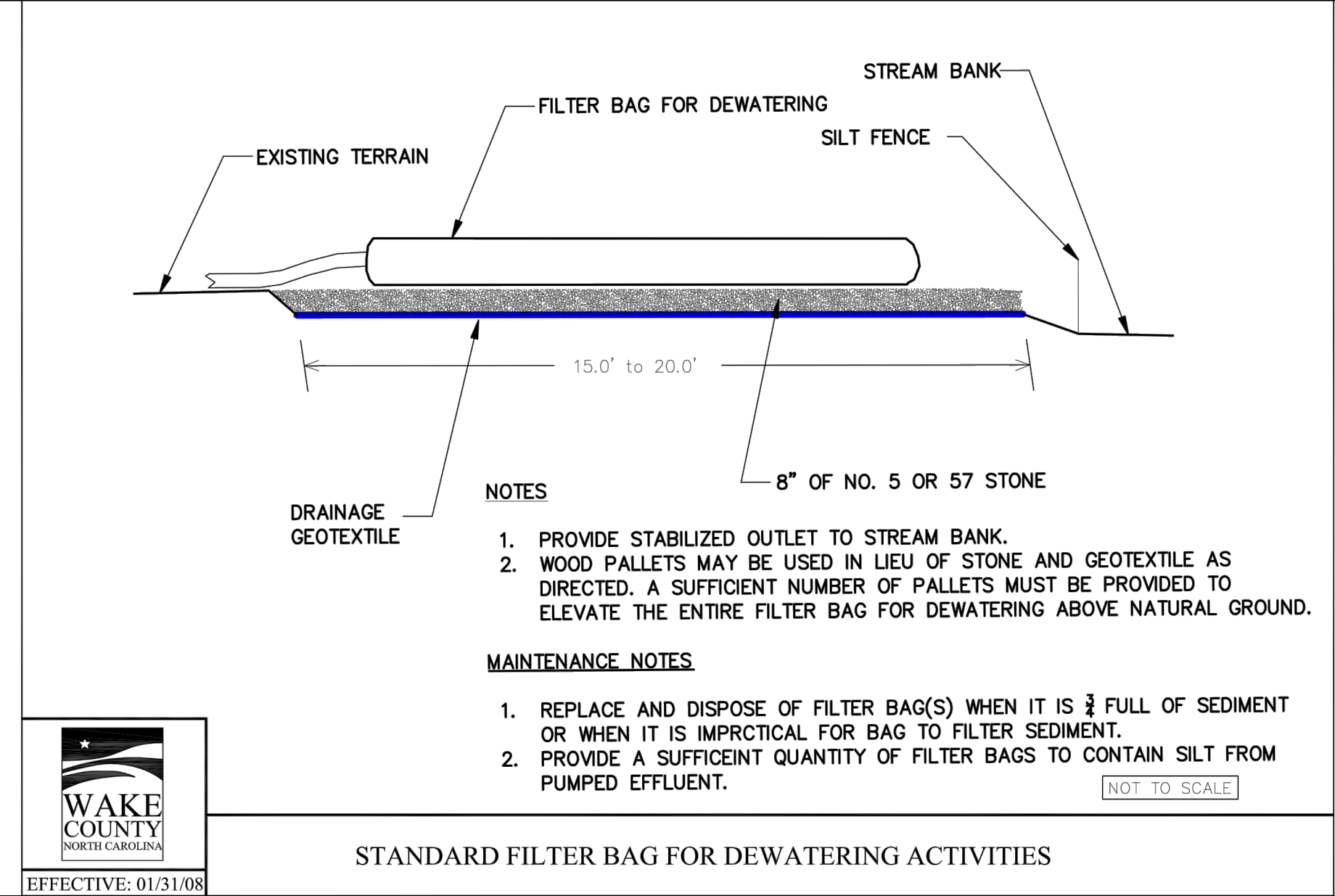
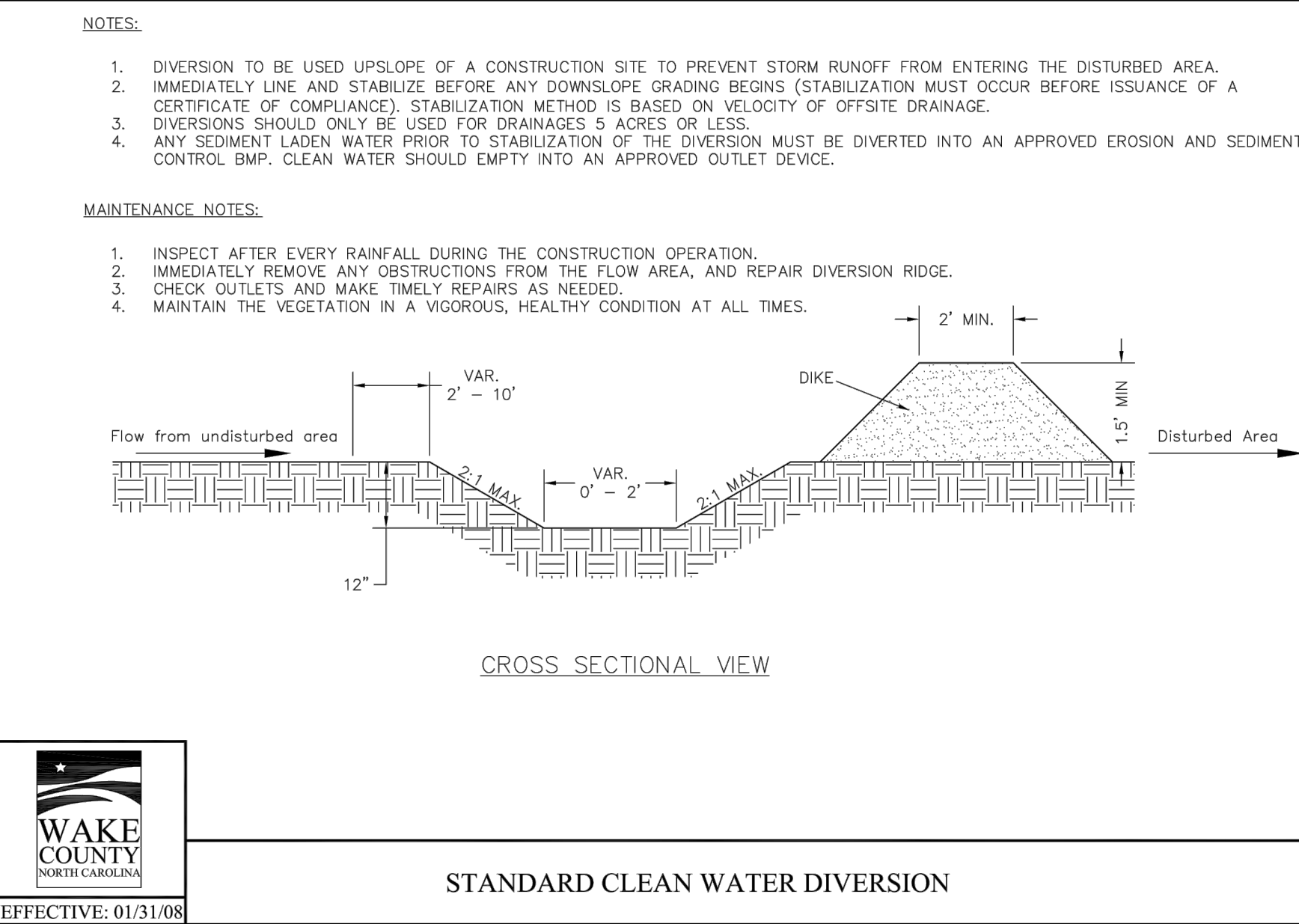
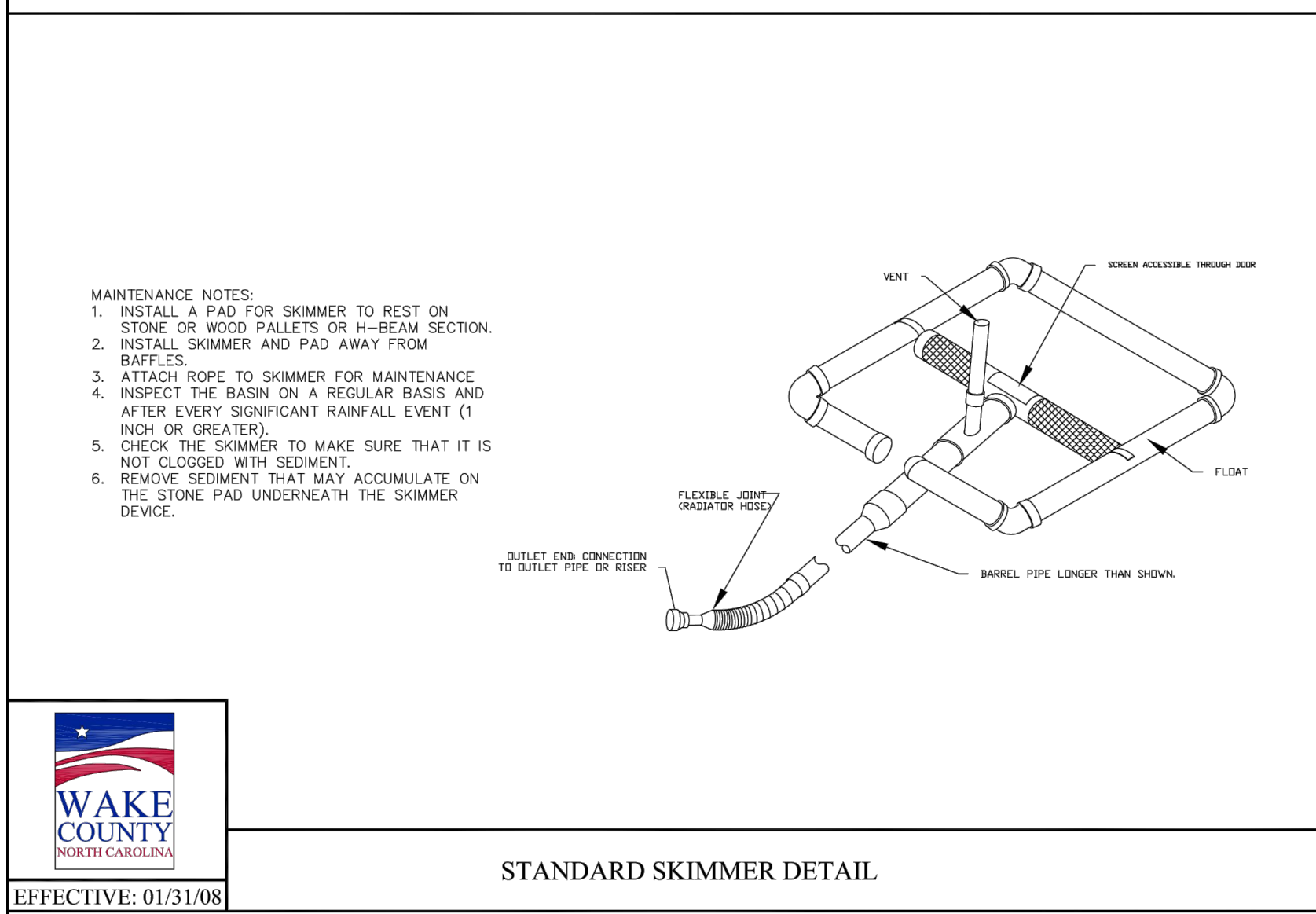
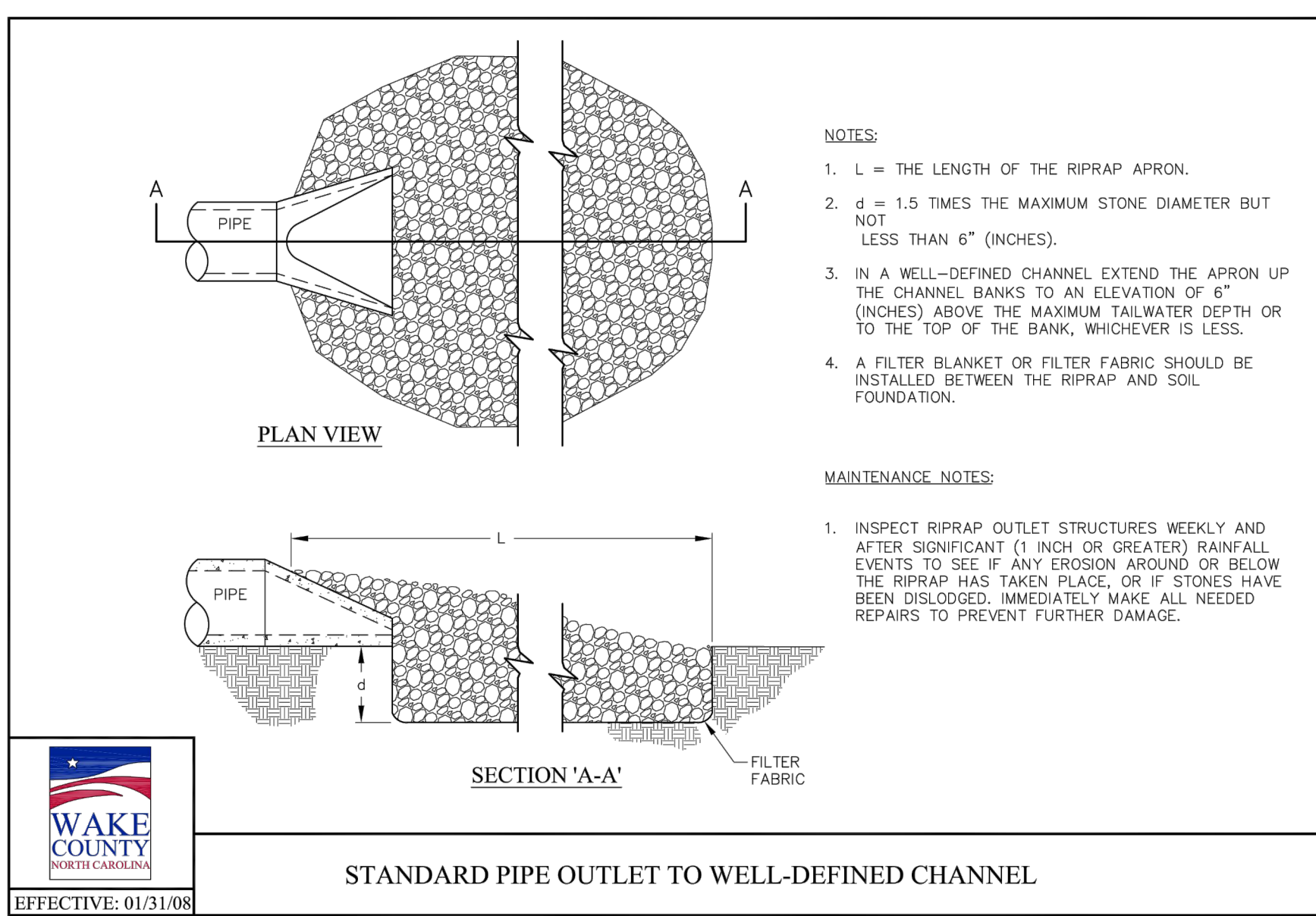
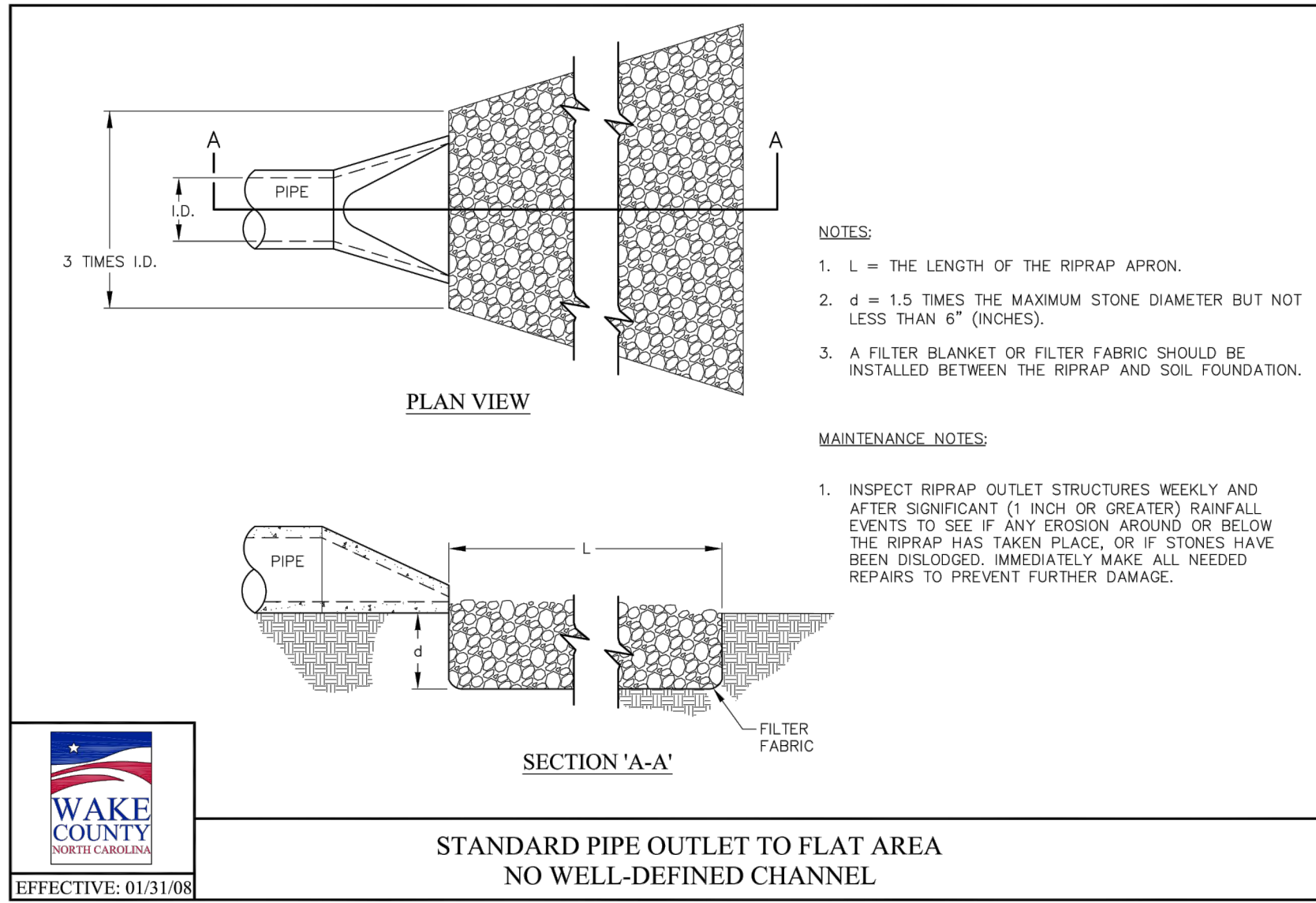
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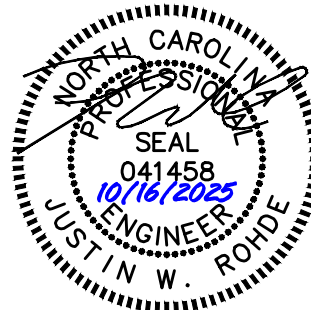
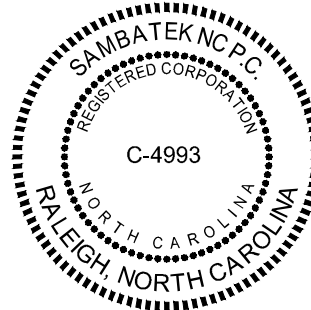
C-5a



C-6



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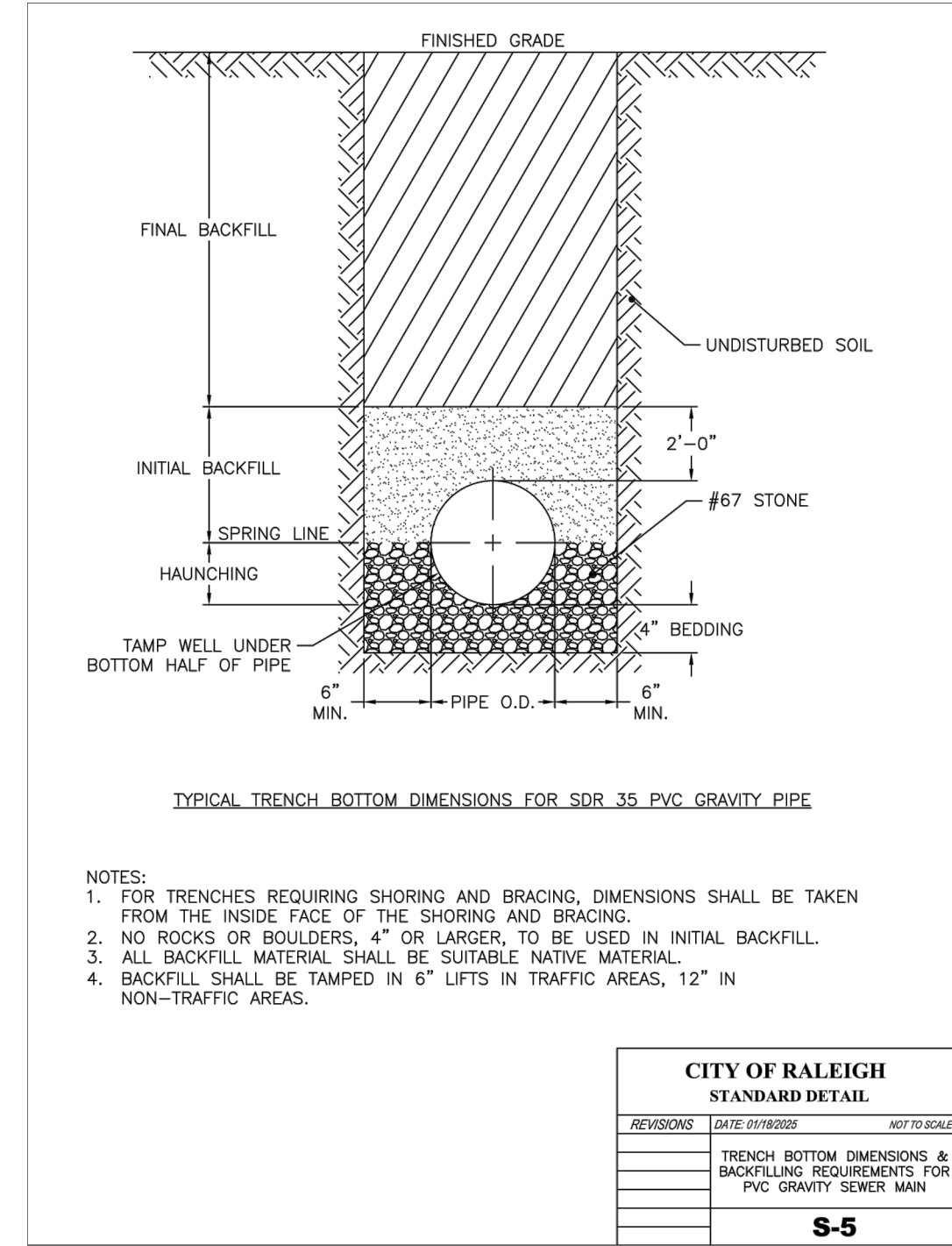
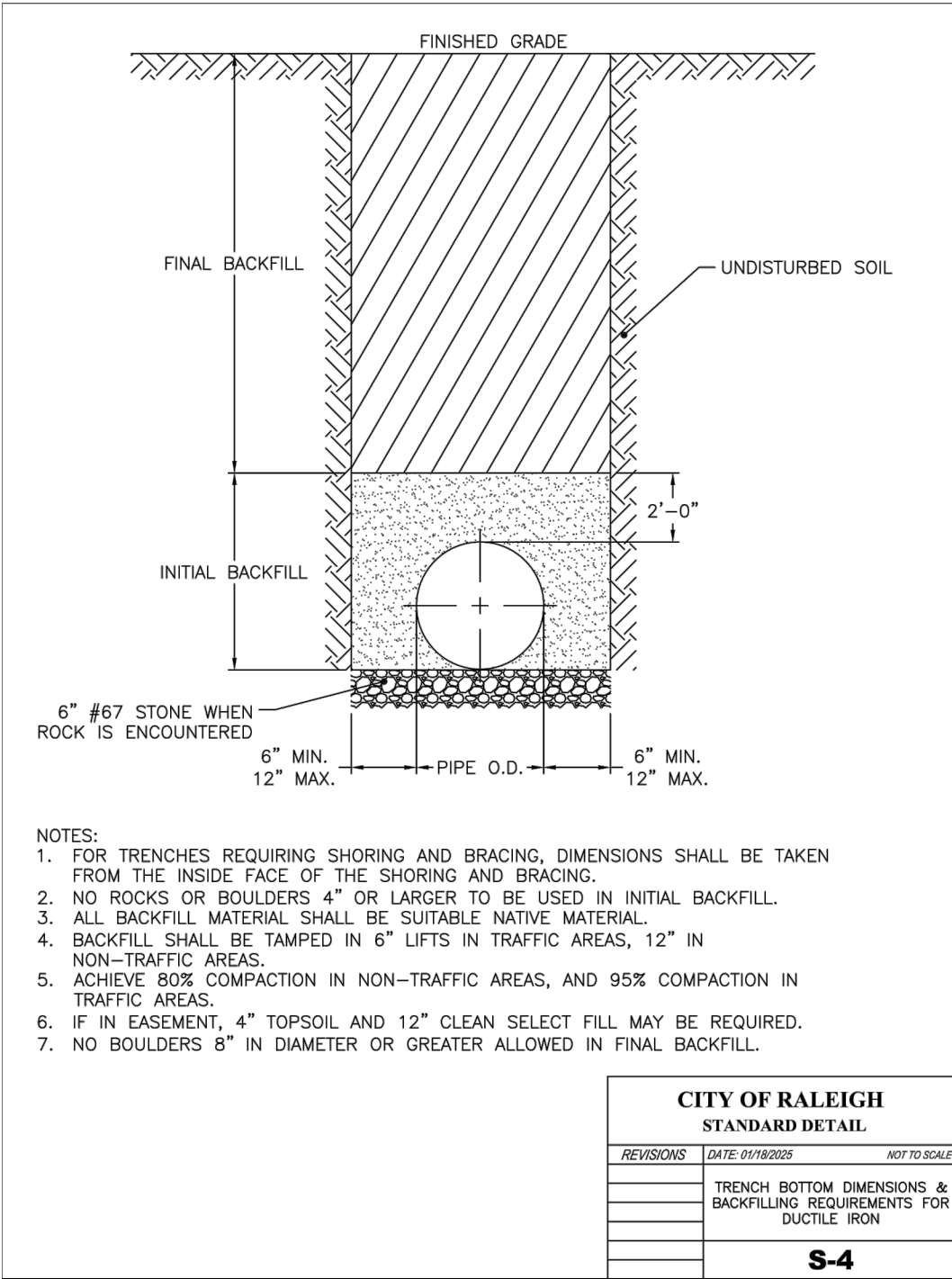
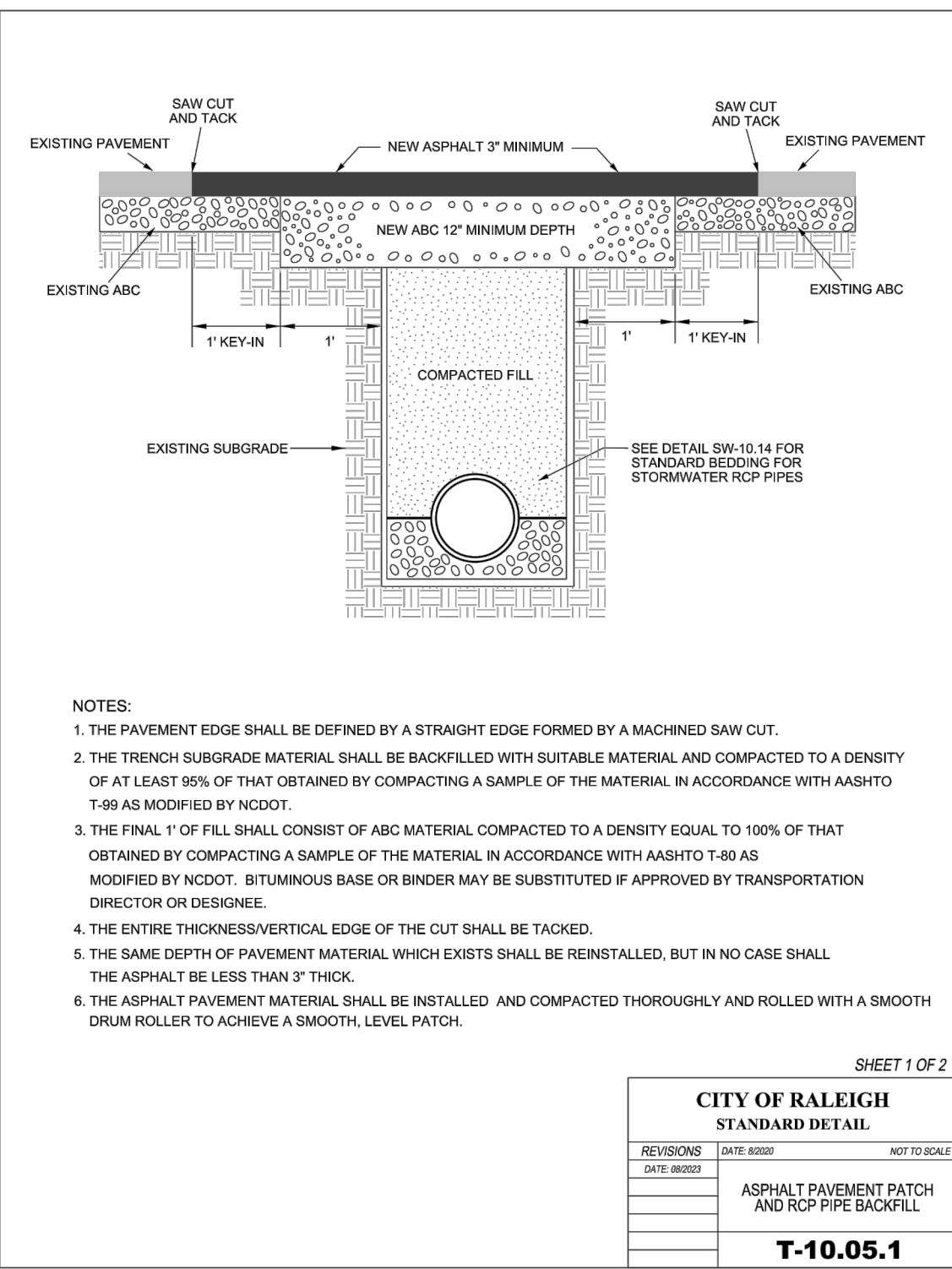
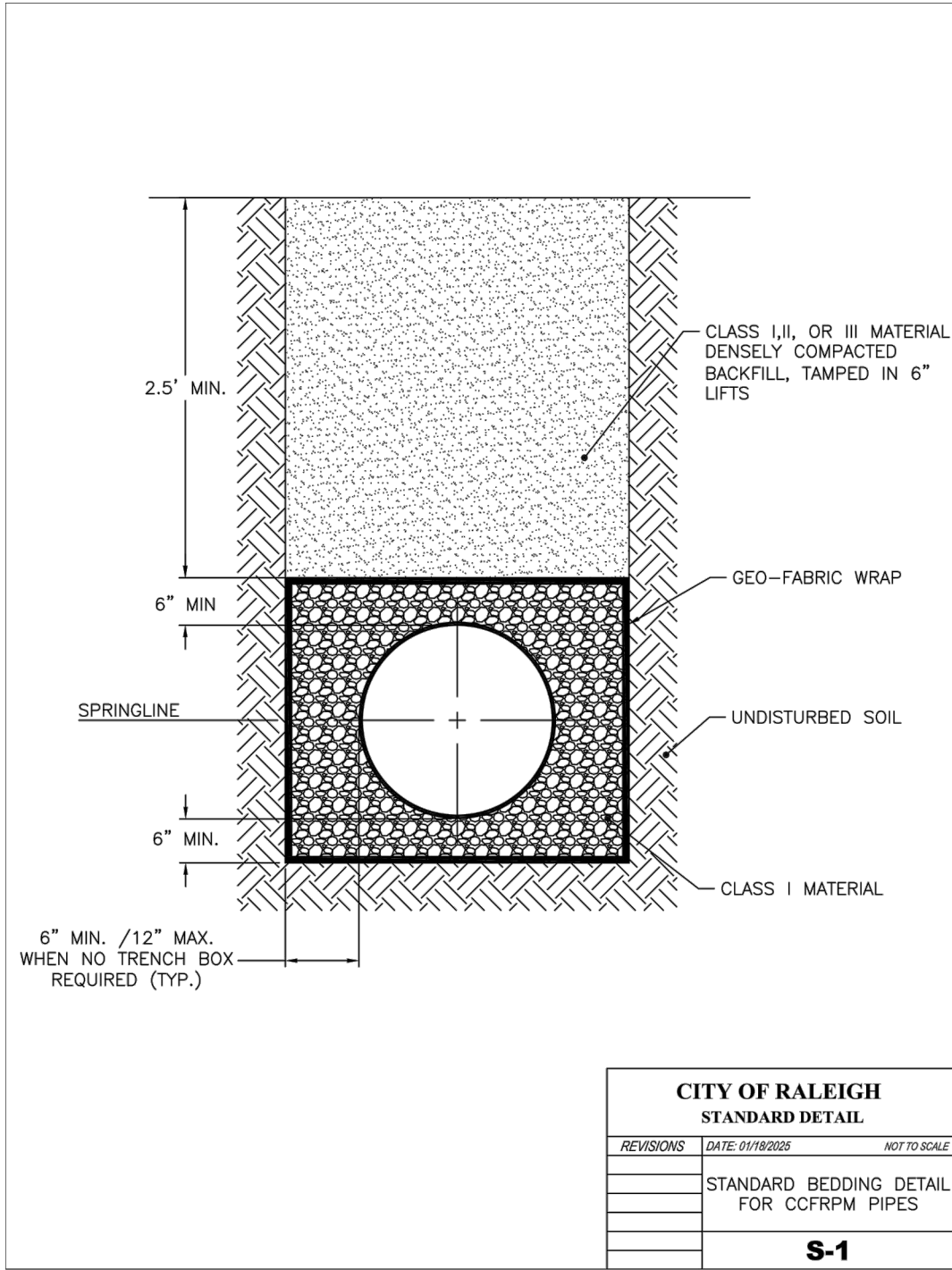
NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES	DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT	DDH
6	2025-08-28	REVISED PER TOWN COMMENTS	DDH
7	2025-10-16	REVISED PER TOWN COMMENTS	JMW

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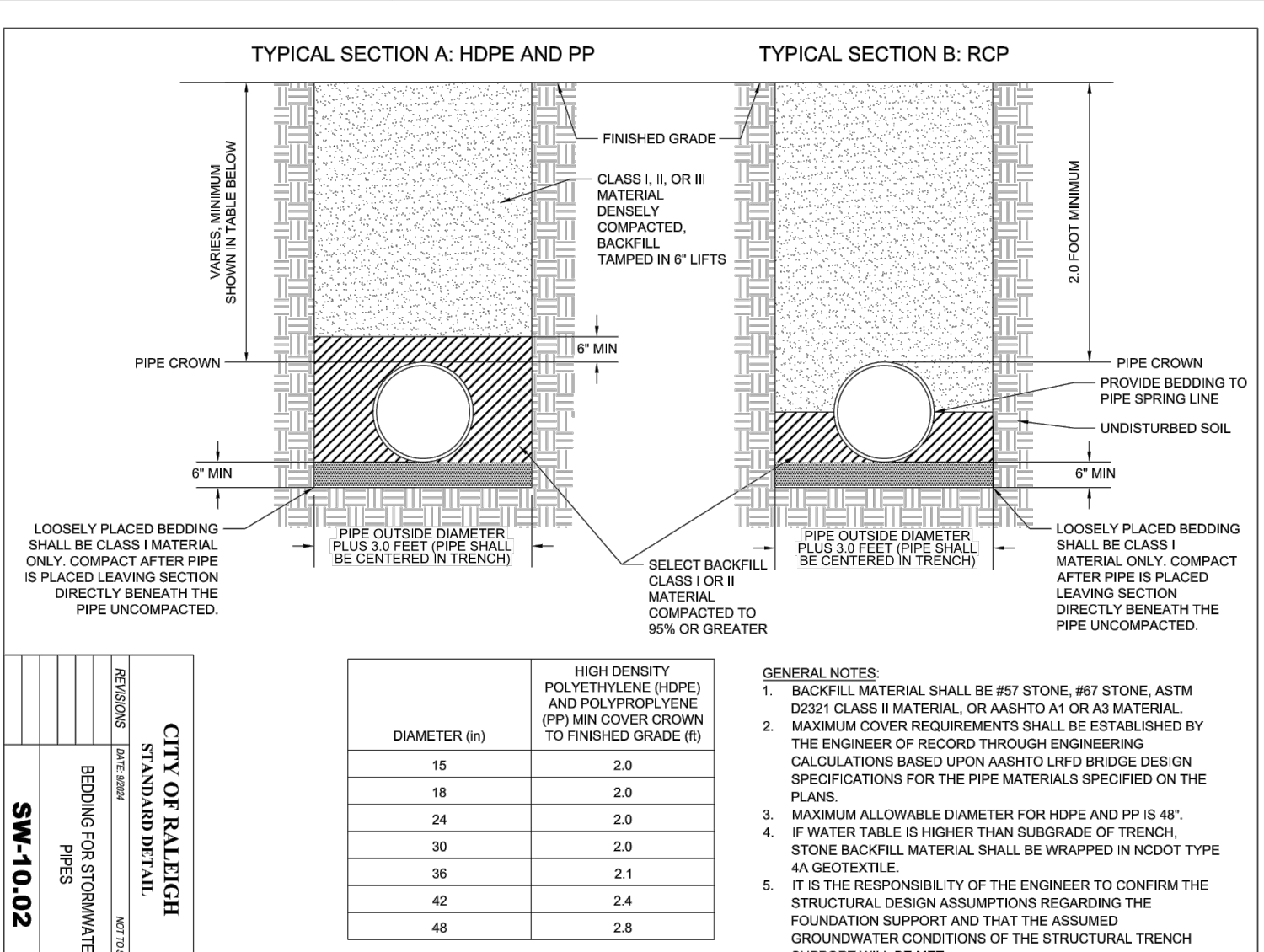
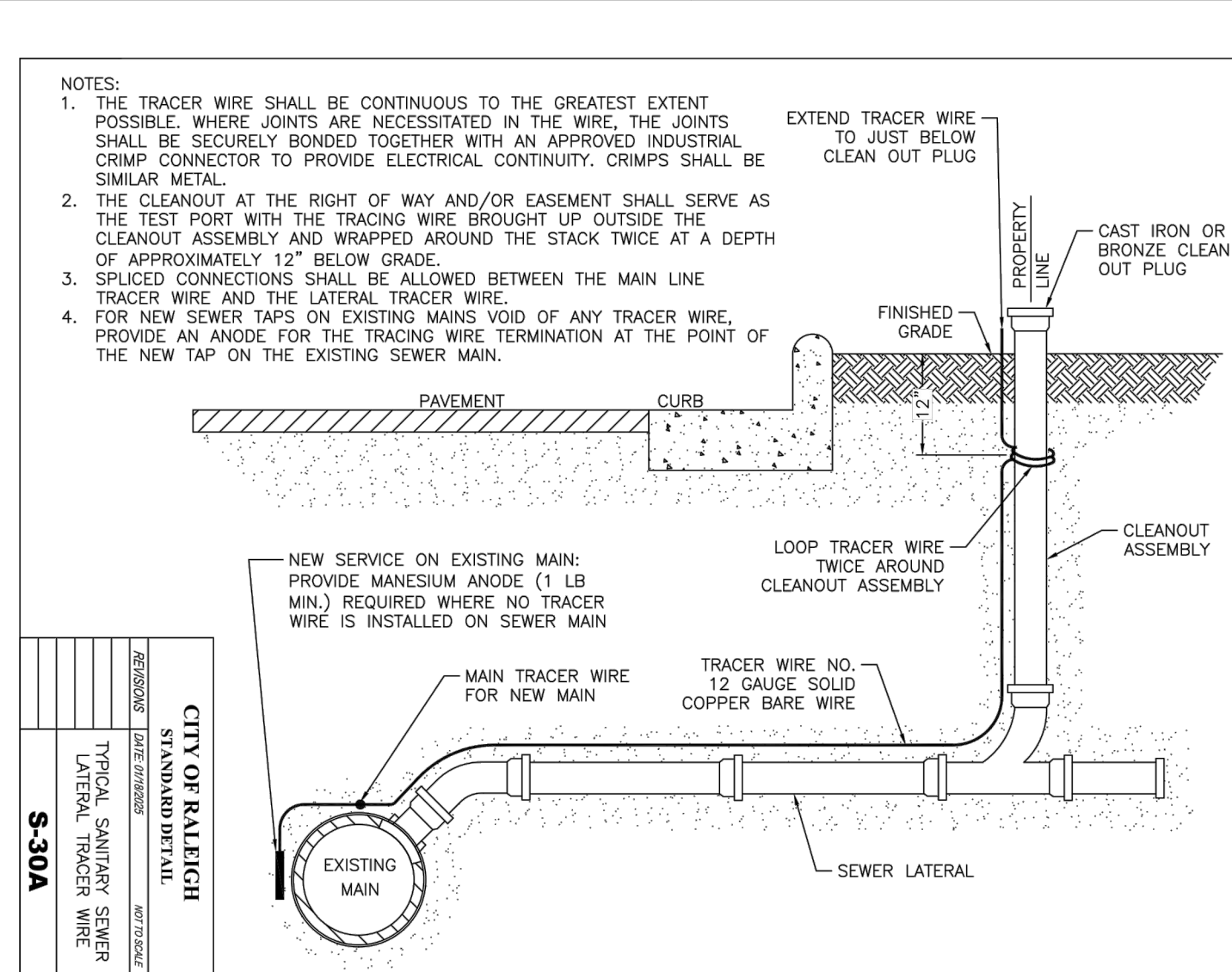
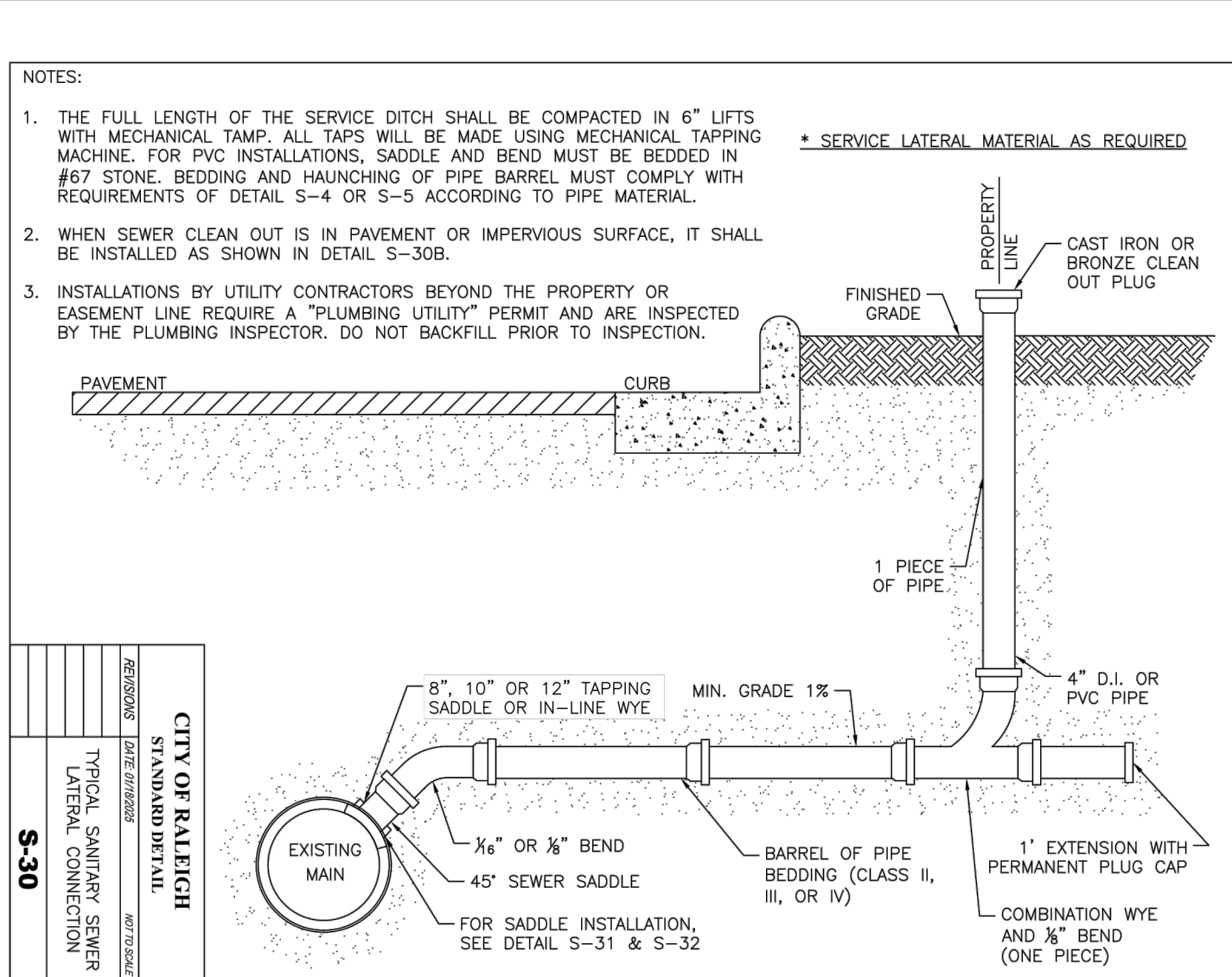
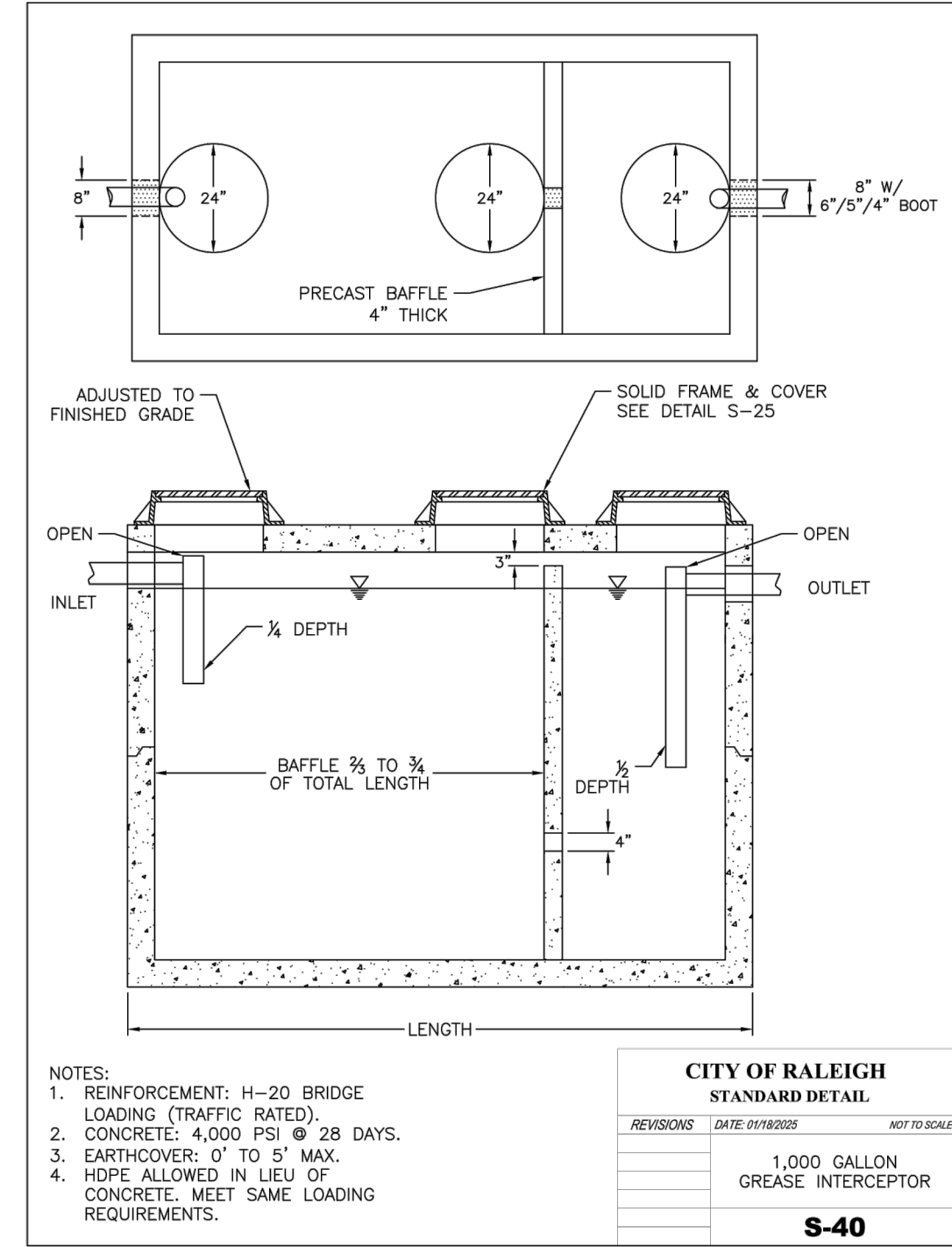
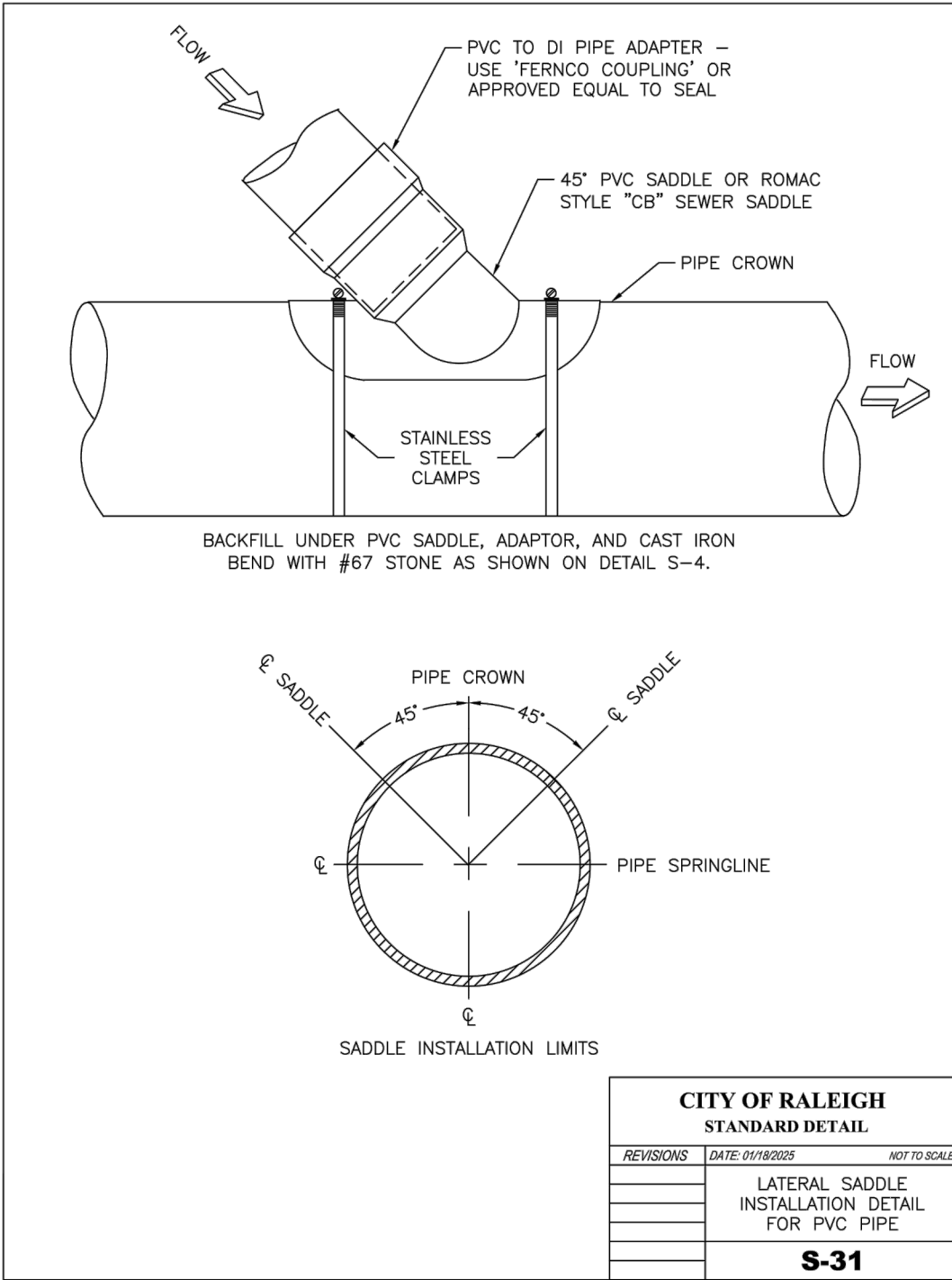
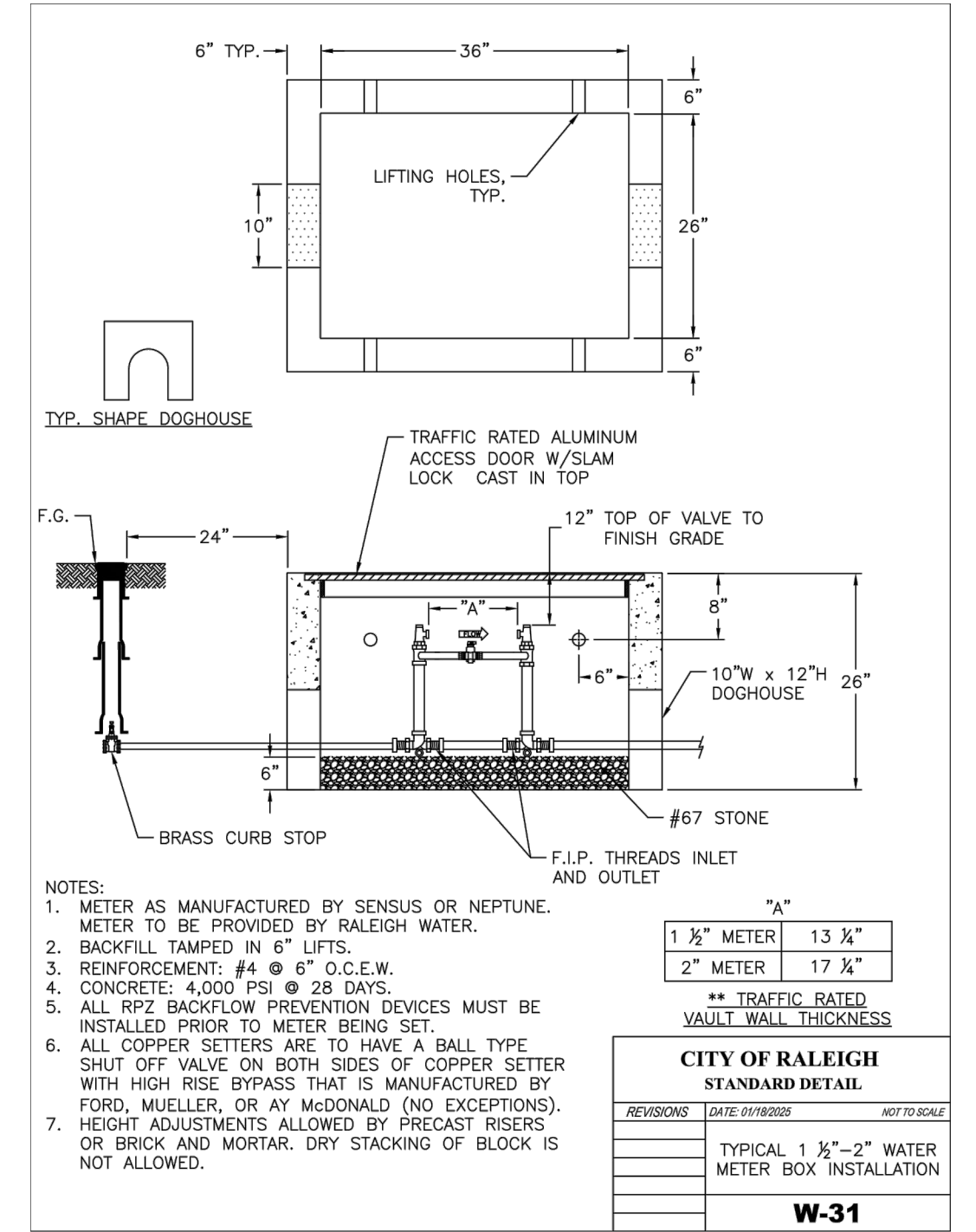
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COOK OUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-DTL2a
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	06-24-2025
SHEET NO.	C-6a



LOCALLY AVAILABLE SIZES	
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
300	1,000
550	1,200
750	1,600
1,000	
1,200	
1,500	
2,000	
2,500	
3,000	
4,000	
5,000	
6,000	
8,000	



NO.	DATE	BY	DESCRIPTION
2	2023-10-17	JRC & WAKE COUNTY COMMENTS	
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES	
4	2025-04-02	REVISE BUILDING FOOTPRINT	
5	2025-06-24	REVISE BUILDING FOOTPRINT	
6	2025-08-26	REVISED PER TOWN COMMENTS	
7	2025-10-16	REVISED PER TOWN COMMENTS	

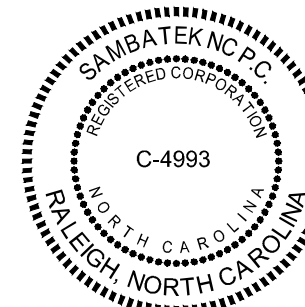


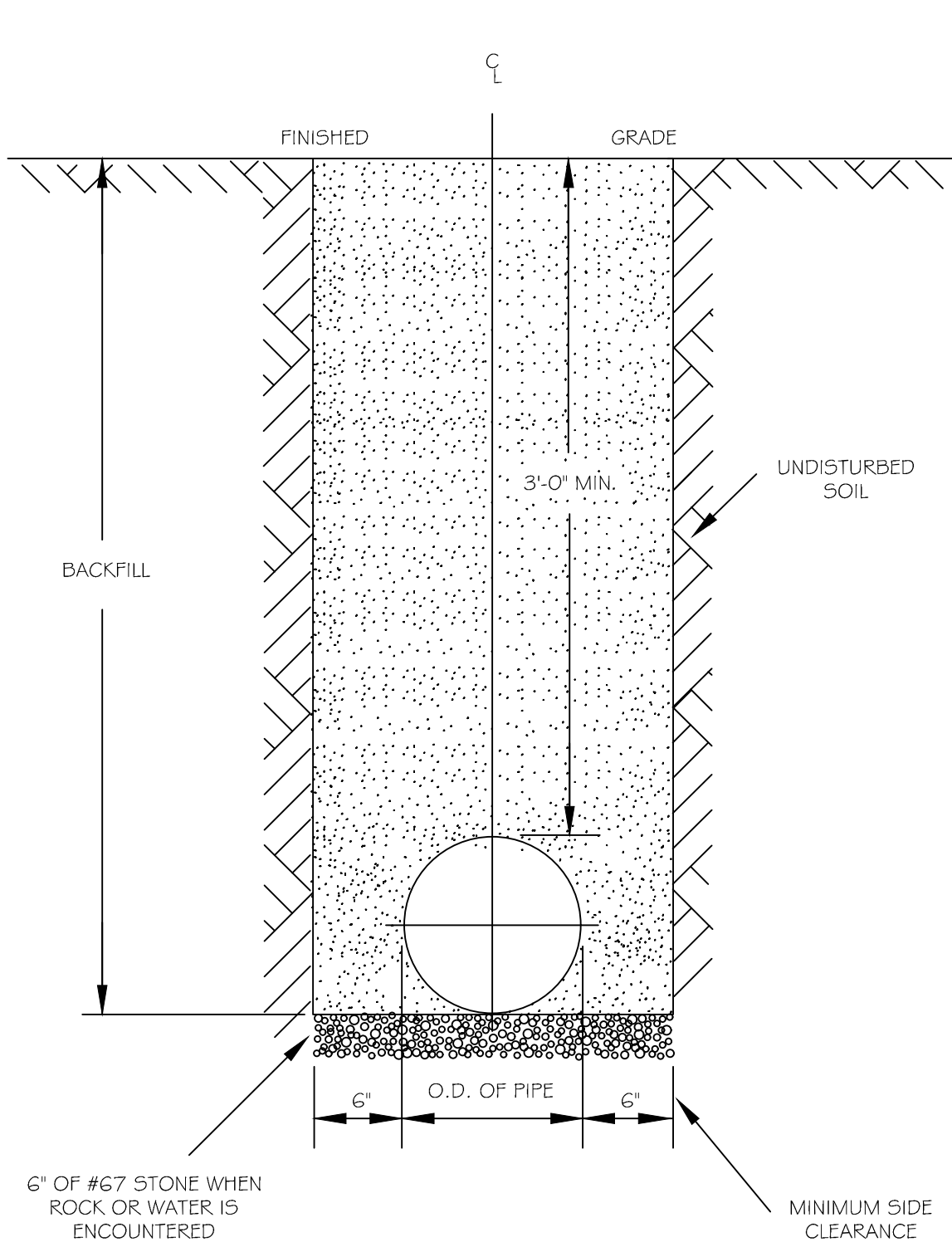
CLIENT/OWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1049

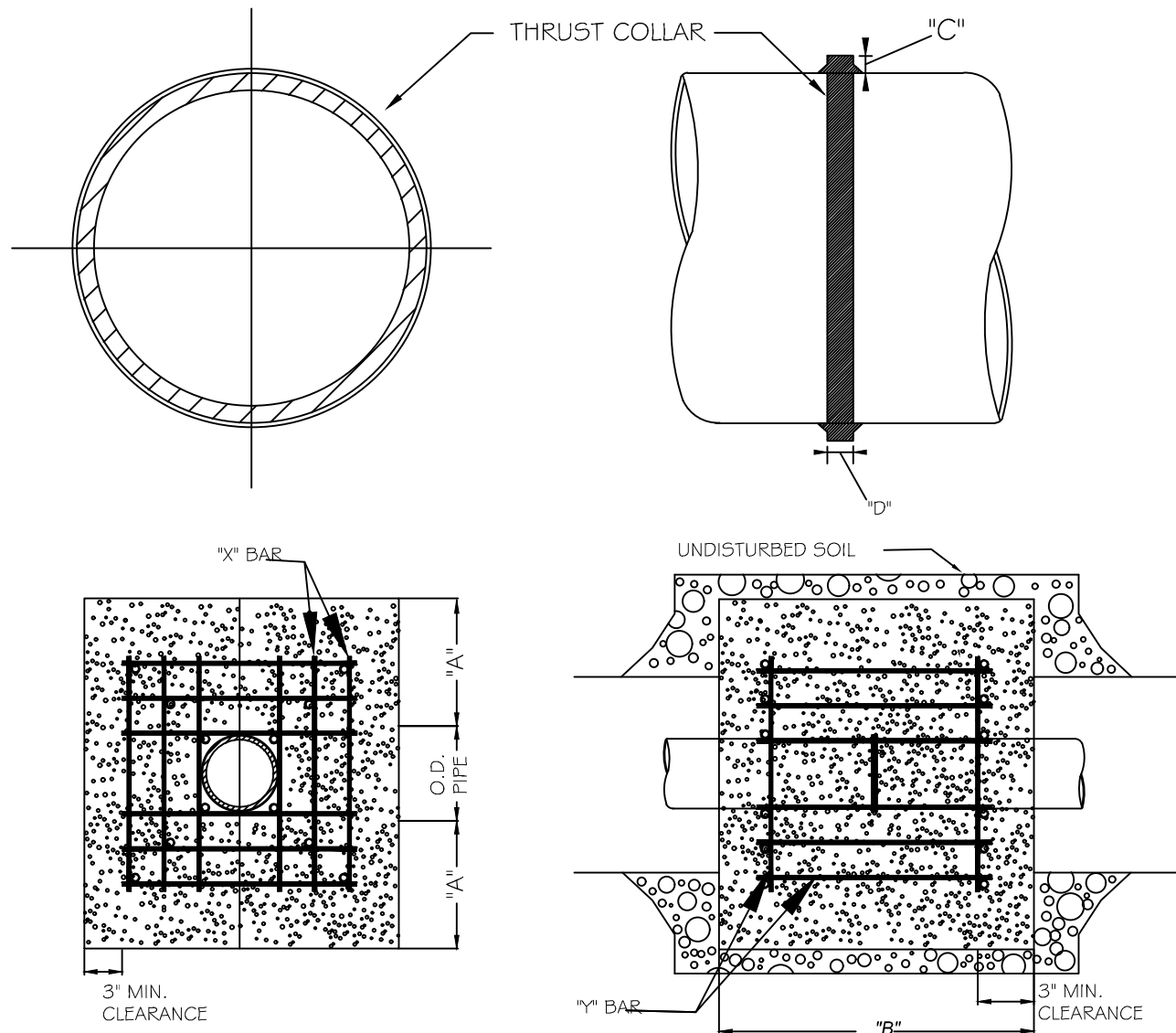
COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
CITY OF RALEIGH DETAILS

PROJECT NO.	OUT-1502
FILENAME	OUT1502-DTL3
DRAWN BY	STH
SCALE	N.T.S.
DATE	06-24-2025
SHEET NO.	C-7





- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
 5. ACHIEVE 95% COMPACTION IN BACKFILL.



I.D. PIPE	REBAR SIZE	"X" BAR LENGTH	"X" BAR WEIGHT	"Y" BAR LENGTH	"Y" BAR WEIGHT	NO. REQUIRED
6" - 36"	#5	2'-2" O.D. PIPE	1.043 LBS/FT	1'-1"	1.1 LBS. EACH	X-24, Y-12
48" & greater	#6	3'-0" O.D. PIPE	1.502 LBS/FT	1'-3"	1.9 LBS. EACH	X-24, Y-12

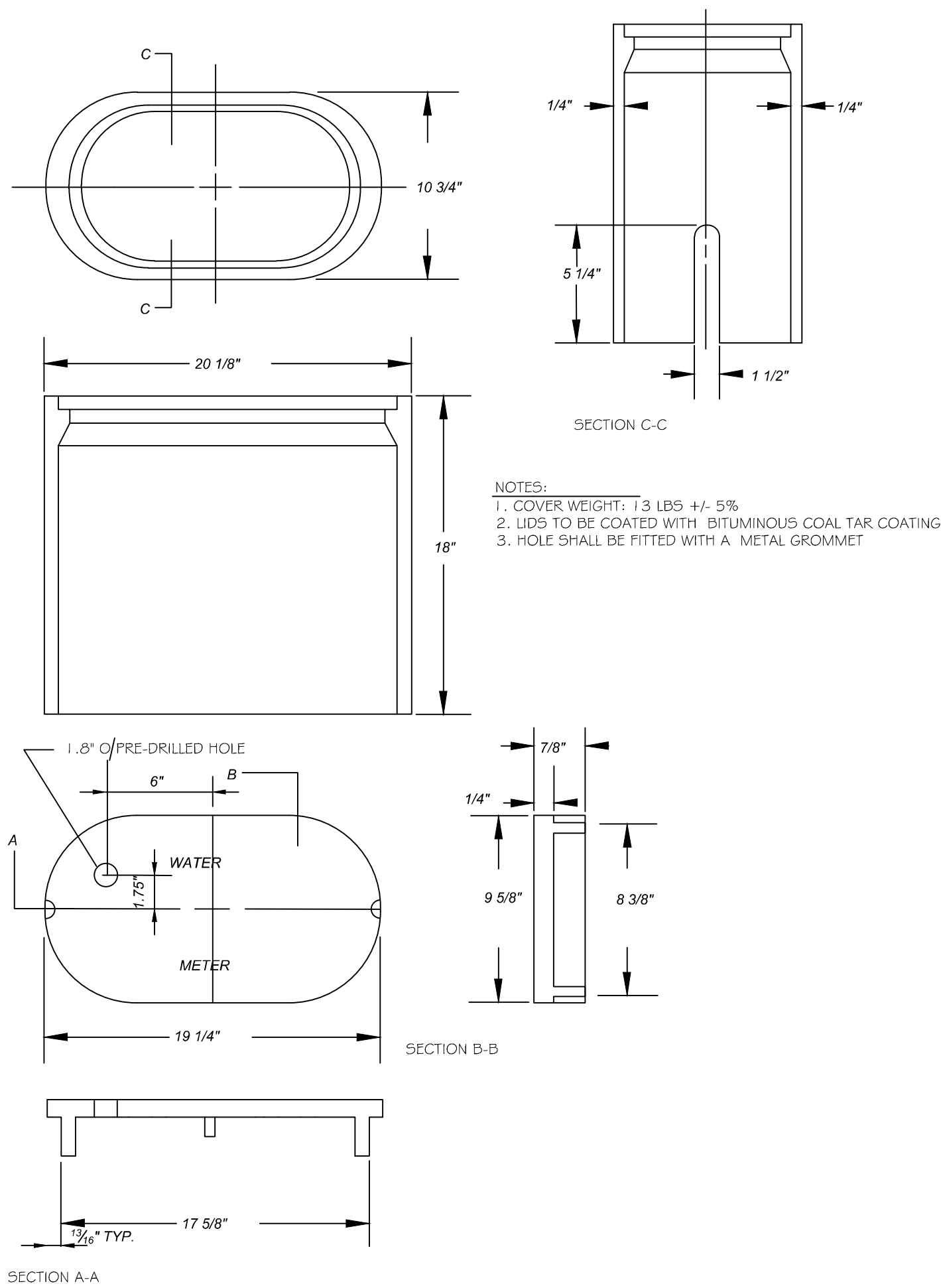
I.D. PIPE	"A"	"B"	"C"	"D"
6" - 16"	1'-4"	1'-7"	2"	3/8"
20" - 24"	1'-4"	1'-7"	3"	1/2"
30" - 36"	1'-4"	1'-7"	4"	5/8"
48" & greater	1'-8"	1'-9"	6"	7/8"

- NOTES:
1. SEE STANDARD DETAIL W-9 FOR THRUST BLOCK LOCATIONS.
 2. CONCRETE SHALL BE 3000 PSI AND TRANSIT MIXED.
 3. REINFORCING BARS SHALL BE DEFORMED AND TIED TOGETHER.
 4. TRENCH BOTTOM WIDTH IN VICINITY OF THRUST BLOCK INSTALLATION SHALL BE THE MINIMUM WIDTH AS SHOWN ON STANDARD DETAIL W-3.
 5. BACKFILL TAMPED IN 6" LIFTS PER STANDARD DETAIL W-3.
 6. THRUST COLLAR MUST BE FACTORY WELDED ON BOTH SIDES ALONG BOTH EDGES OF COLLAR AROUND CIRCUMFERENCE.

ALL AREAS GIVEN IN SQUARE FEET.									
SIZE AND DEGREE OF BEND	STATIC THRUST IN POUNDS	MODERATELY DRY CLAY 4000 LBS/FT	SOFT CLAY 2800 LBS/FT	1000 LBS/FT GRAVEL COARSE SAND	800 LBS/FT DRY CLAY - AMPHIDRY	SAND, COMPACT FIRM 8000 LBS/FT	SAND, CLEAN DRY 4000 LBS/FT	SOIL 100 LBS/FT QUICKSAND - GRN / POOR	ROCK, POOR 10,000 LBS/FT
6"									
11 1/4"	1,108	1	1	1	1	1	2	1	
22 1/2"	2,207	1	2	2	1	1	1	3	1
45"	4,328	2	3	3	1	1	2	5	1
90"	7,996	2	4	5	1	1	2	8	1
PLUG	5,655	2	3	4	1	1	2	6	1
8"									
11 1/4"	1,970	1	1	2	1	1	1	2	1
22 1/2"	3,922	1	2	3	1	1	1	4	1
45"	7,694	2	4	5	1	1	2	8	1
90"	14,215	4	8	9	2	2	4	15	2
PLUG	10,053	3	5	6	2	2	3	10	1
12"									
11 1/4"	4,433	2	3	3	1	1	2	5	1
22 1/2"	8,826	3	5	6	2	2	3	9	1
45"	17,312	5	9	11	3	3	5	18	2
90"	31,983	8	16	19	4	4	8	32	4
PLUG	22,619	6	12	14	3	3	6	23	3
16"									
11 1/4"	7,881	2	4	5	1	1	2	8	1
22 1/2"	15,691	4	8	10	2	2	4	16	2
45"	30,779	8	16	19	4	4	8	31	4
90"	56,861	15	29	35	8	8	15	57	6
PLUG	40,213	10	21	25	5	5	10	41	5

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

USE 6" - 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.



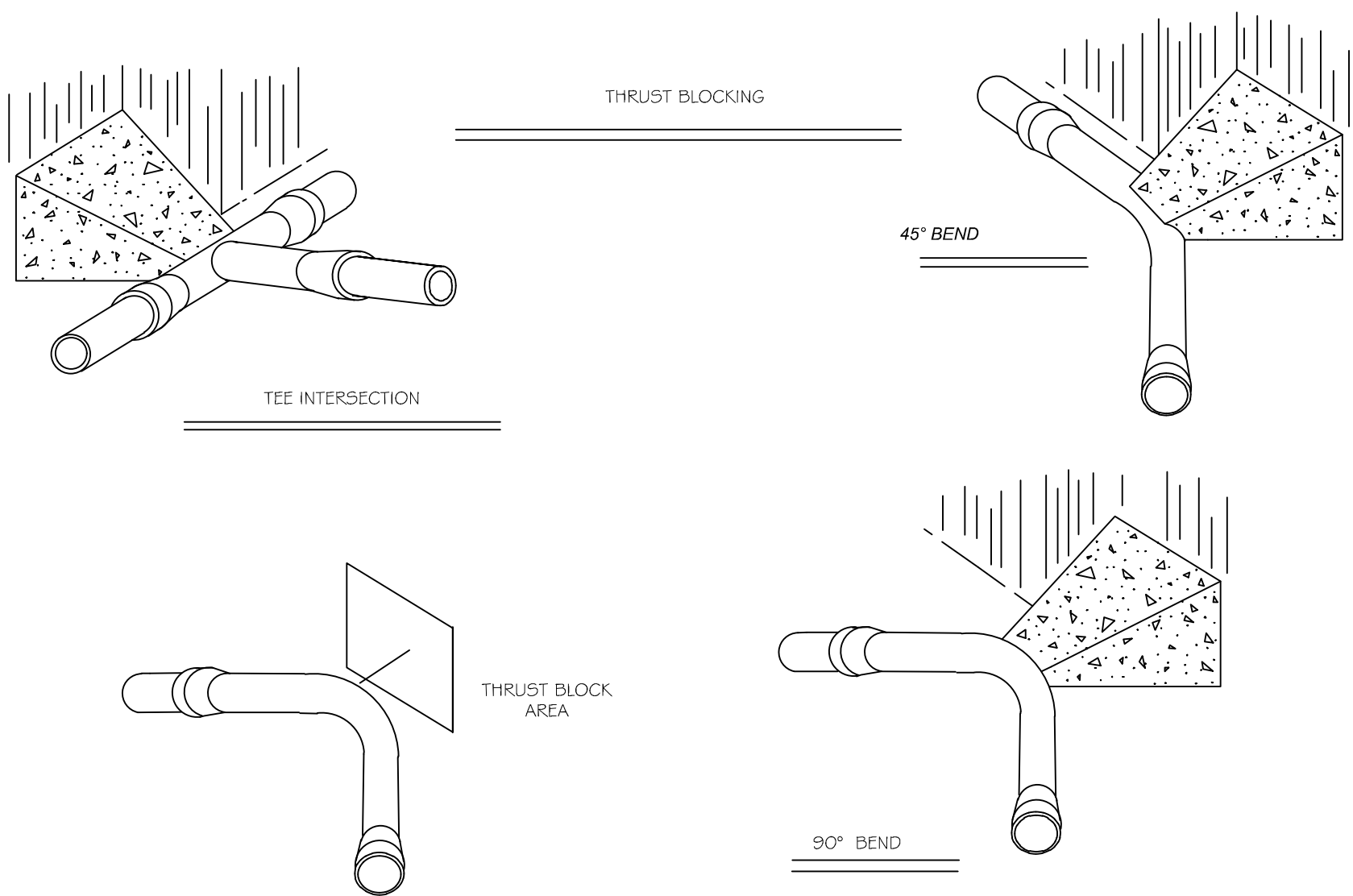
- NOTES:
1. COVER WEIGHT: 1.3 LBS +/- 5%.
 2. LIDS TO BE COATED WITH BITUMINOUS COAL TAR COATING.
 3. HOLE SHALL BE FITTED WITH A METAL GROMMET.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-3	D.W.C.	9-3-99	ABB	2-15-05
	RRH	3-31-00	J.P.S.	10-29-10

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
THRUST BLOCKING DESIGN DATA FOR WATER MAINS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-7	RRH	1-21-00	J.P.S.	11-1-10
	D.H.L.	6-18-08		

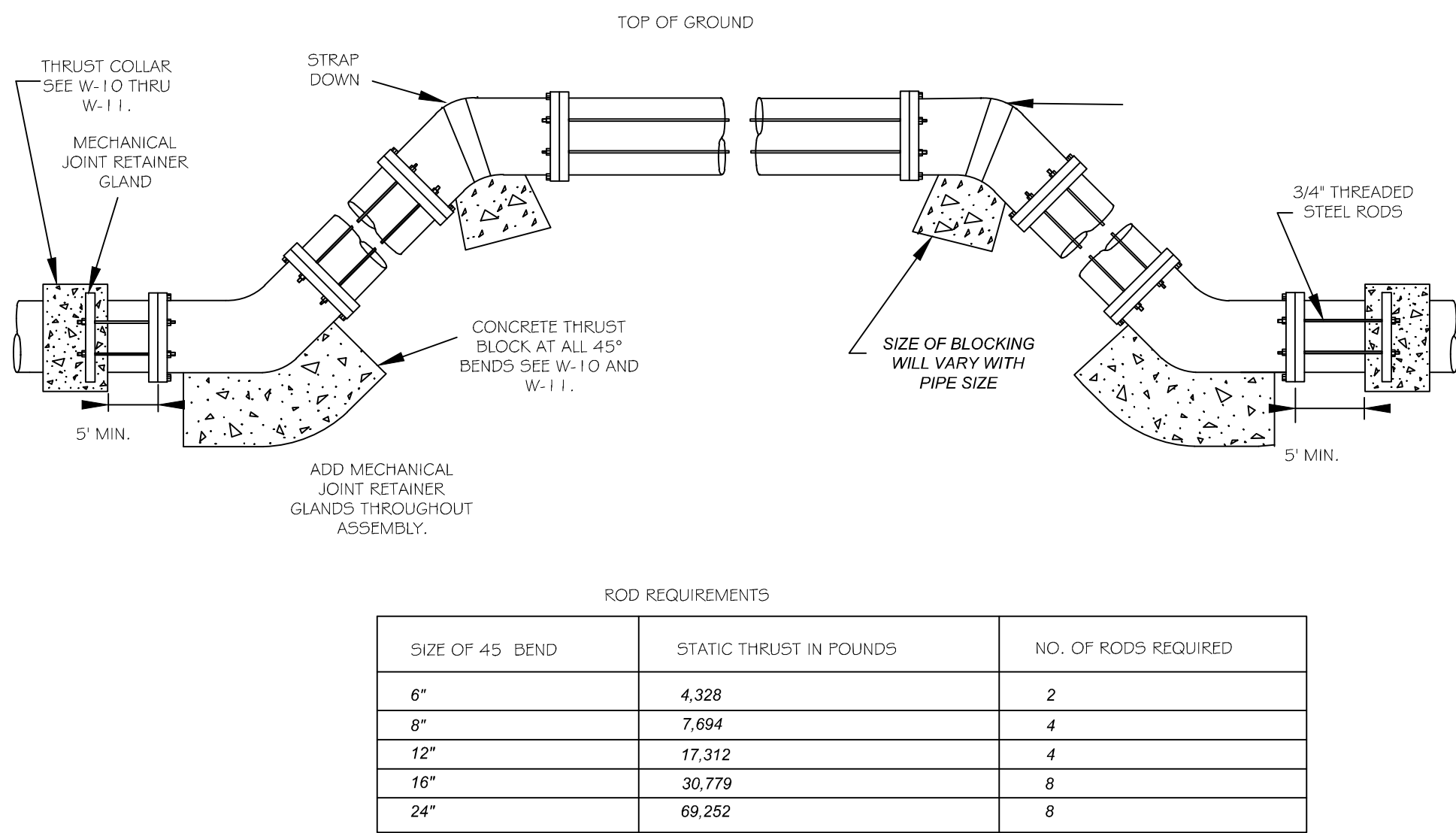
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
THRUST BLOCKING DESIGN QUANTITY TABLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10	D.W.C.	6-23-99	J.P.S.	11-1-10

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER METER BOX DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	11-3-99	ABB	1-20-05
	RRH	3-31-00	J.P.S.	11-4-10



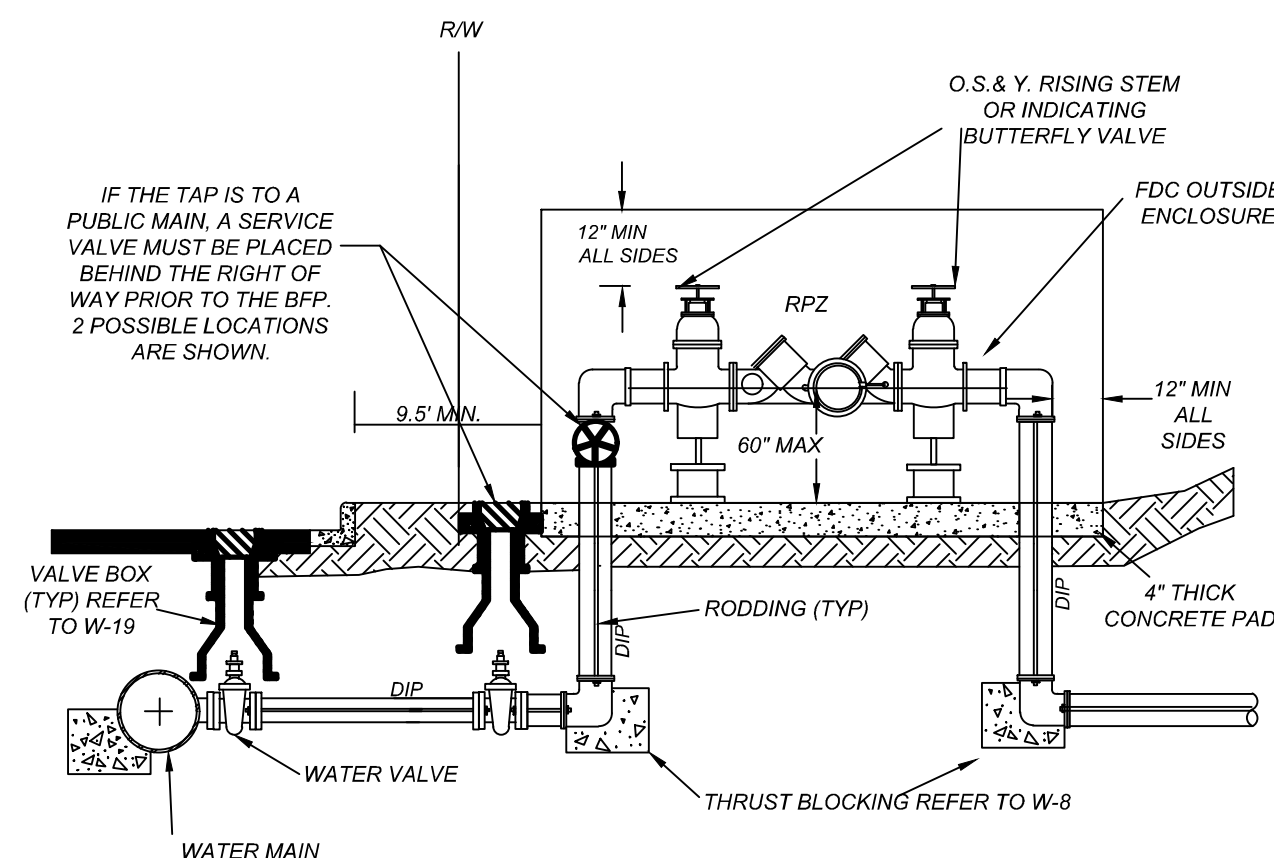
- NOTES:
1. CONCRETE SHALL BE 3000 PSI.
 2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
 3. TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3.
 4. SEE STANDARD THRUST BLOCK TABLES, W-10 THRU W-11, FOR AREA OF CONCRETE REQUIRED.
 5. ALL BENDS AND INTERSECTIONS SHALL HAVE CONCRETE THRUST BLOCKING.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD THRUST BLOCKING VIEWS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-9	D.W.C.	3-1-87	RRH	3-31-00
		9-7-99	D.H.L.	6-18-08



- GENERAL NOTES:
1. STEEL RODS AND BOLTS SHALL BE 3/4\"/>
 2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT BENDS.
 3. RESTRAINED MECHANICAL GLANDS TO BE USED AT ALL FITTINGS.
 4. MUST USE DUCTILE IRON EYE BOLTS WHERE NECESSARY.
 5. 3\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD VERTICAL BEND				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-12	ABB	4-6-04	J.P.S.	11-1-10
	D.H.L.	6-18-08		



1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ABOVE GROUND INSULATED VAULTS MUST BE ASSE 1060 APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
4. RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES, EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.
5. FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.
6. STEEL RODS AND BOLTS SHALL BE 3/4\"/>
7. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.C.A.	12-31-91	A.B.B.	7-10-04
	D.W.C.	11-8-99	D.H.L.	6/18/08

811

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nc811.org or 1-800-632-4949

CLIENT/OWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

REVISIONS

NO.	DATE	DESCRIPTION
2	2023-10-17	TRC & WAKE COUNTY COMMENTS
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES
4	2025-04-02	REVISE BUILDING FOOTPRINT
5	2025-06-24	REVISED PER TOWN COMMENTS
6	2025-08-28	REVISED PER TOWN COMMENTS
7	2025-10-16	REVISED PER TOWN COMMENTS

PROJECT NO. OUT-1502

FILENAME: OUT1502-DTL3a

DRAWN BY: STH

SCALE: N.T.S.

DATE: 06-24-2025

SHEET NO. C-8

COOKOUT
FRESH HAMBURGERS

1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

CITY OF RALEIGH DETAILS


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[illegible]

STANDARD LADDER DETAIL
NOT TO SCALE

PLAN
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DOWN TO 2.5% REDUCE CAN BE CUT
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Detention Stage Storage Table

Contech Engineered Solutions, LLC Engineer:

Jak

Date:

6/19/2025

Site Information

Project Name

Cook Out - Zebulon

Project State

NC REV2

Project Location

Zebulon

Enter Pipe I.D. = **48** in.
Enter Desired Increment = **1** in.


Total Volume/LF
12.57

Total CMP Length = **998** ft.
System Invert = **330.15** ft.

Inch Num	Water Level (in.)	Inc Area (sq. ft.)	Hyd Rad (ft.)	Top Width (ft.)	Volume (cf)	WS Elevation (ft.)
1	1	0.06	0.06	1.14	64	330.23
2	2	0.18	0.11	1.60	179	330.32
3	3	0.33	0.16	1.94	326	330.40
4	4	0.50	0.21	2.21	499	330.48
5	5	0.69	0.26	2.44	693	330.57
6	6	0.91	0.31	2.65	905	330.65
7	7	1.13	0.36	2.92	1132	330.73
8	8	1.38	0.41	2.98	1374	330.82
9	9	1.63	0.46	3.12	1628	330.90
10	10	1.90	0.50	3.25	1893	330.98
11	11	2.17	0.54	3.36	2168	331.07
12	12	2.46	0.59	3.46	2452	331.15
13	13	2.75	0.63	3.56	2744	331.23
14	14	3.05	0.67	3.64	3043	331.32
15	15	3.36	0.71	3.71	3348	331.40
16	16	3.67	0.74	3.77	3659	331.48
17	17	3.98	0.78	3.83	3975	331.57
18	18	4.30	0.82	3.87	4296	331.65
19	19	4.63	0.85	3.91	4619	331.73
20	20	4.96	0.88	3.94	4946	331.82
21	21	5.29	0.91	3.97	5275	331.90
22	22	5.62	0.94	3.99	5606	331.98
23	23	5.95	0.97	4.00	5938	332.07
24	24	6.28	1.00	4.00	6271	332.15
25	25	6.62	1.03	4.00	6603	332.23
26	26	6.95	1.05	3.99	6935	332.32
27	27	7.28	1.07	3.97	7266	332.40
28	28	7.61	1.09	3.94	7595	332.48
29	29	7.94	1.11	3.91	7922	332.57
30	30	8.26	1.13	3.87	8246	332.65
31	31	8.58	1.15	3.83	8566	332.73
32	32	8.90	1.16	3.77	8882	332.82
33	33	9.21	1.18	3.71	9193	332.90
34	34	9.52	1.19	3.64	9498	332.98
35	35	9.82	1.20	3.56	9797	333.07
36	36	10.11	1.21	3.46	10089	333.15

WQVadj WSE

These results are submitted to you as a guideline only, without liability on the part of CONTECH Construction Products Inc. for accuracy or suitability to any particular application, and are subject to your verification.



COWI
ENGINEERED SOLUTIONS

The Stormwater Management
StormFilter

Equivalent Orifice Diameter:

The following equations back-calculate from the total worst-case StormFilter flow rate and head to determine an equivalent orifice diameter that can be used to represent the StormFilter when designed on a volume/mass basis.

Total Outflow (cfs)	0.127
Orifice Coefficient	0.61
Max. Head on cartridges (ft)	5.85
Equivalent Diameter, D (ft)	0.117
Equivalent Diameter, D (in)	1.402

$$Q = cA\sqrt{2Gh}$$


$$Q = (0.61) \left(\frac{D^2}{4} \pi \right) \sqrt{2(32.2)h}$$

$$D = \left(\frac{4Q}{(0.61)\pi \sqrt{2(32.2)h}} \right)^{\frac{1}{2}}$$

This equivalent orifice, however, is not a physical orifice. It is simply a method for accounting for the flow through the Volume StormFilter in routing calculations when required.


37	37	10.39	1.21	3.36	10373	333.23
38	38	10.67	1.22	3.25	10648	333.32
39	39	10.94	1.22	3.12	10913	333.40
40	40	11.19	1.22	2.98	11167	333.48
41	41	11.43	1.21	2.82	11409	333.57
42	42	11.66	1.21	2.65	11636	333.65
43	43	11.87	1.19	2.44	11848	333.73
44	44	12.07	1.18	2.21	12042	333.82
45	45	12.24	1.16	1.94	12215	333.90
46	46	12.39	1.13	1.60	12362	333.98
47	47	12.50	1.10	1.14	12478	334.07
48	48	12.57	1.00	0.00	12541	334.15


NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES	DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT	DDH
6	2025-08-28	REVISED PER TOWN COMMENTS	DDH
7	2025-10-16	REVISED PER TOWN COMMENTS	JMW



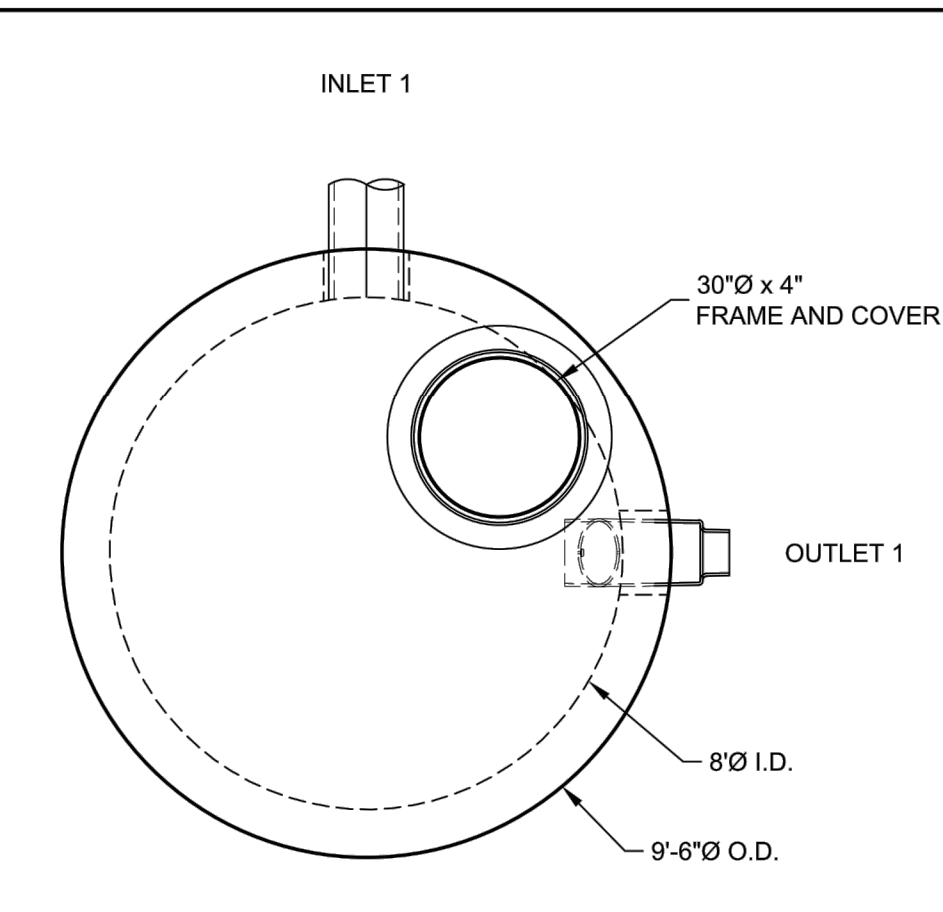
Sambatek
www.sambatek.com
Engineering | Surveying | Planning | Environmental

CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

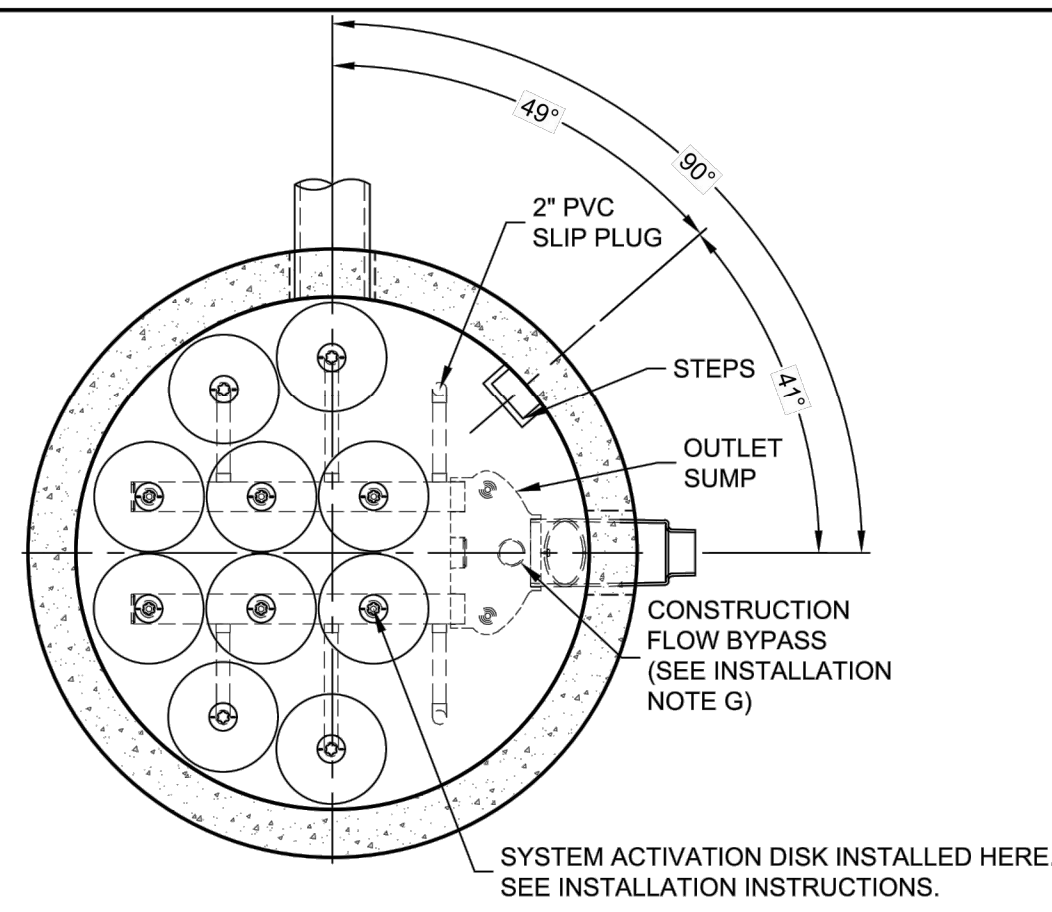
 COOK OUT FRESH HAMBURGERS		1200 NORTH ARENDELL AVENUE ZEBULON, NORTH CAROLINA	SCM DETAILS
PROJECT NO.	OUT-1502		
FILENAME:	OUT11502-DTL4		
DRAWN BY:	STH		
SCALE:	N.T.S.		
DATE:	06-24-2025		
SHEET NO.	C-9		



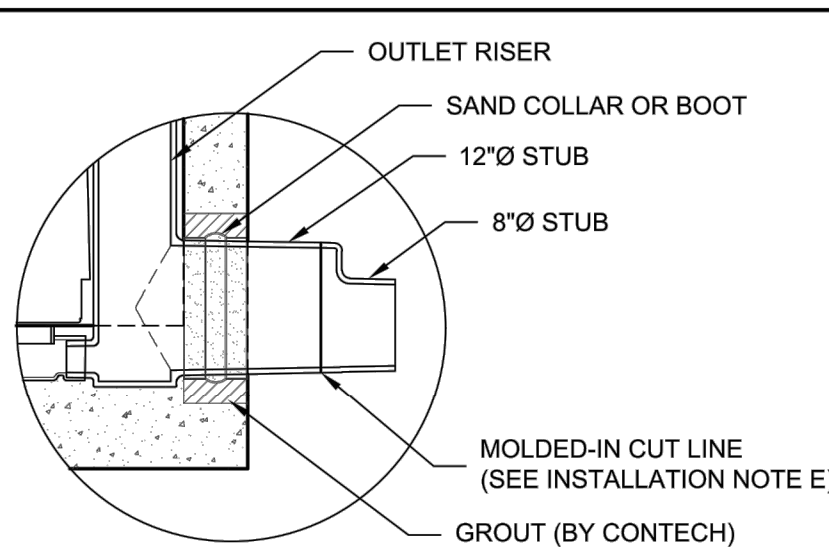
\\QA001\NET\CONTECH\ENR\PROJECTS\ACTIVE\761691\B1691-10\STORMFILTERDRAWINGS\PROPOSAL\761691-10-SFMH96-PRO-A.DWG 6/19/2025 5:27 AM



TOP SLAB PLAN VIEW
CARTRIDGES AND FLOW KIT NOT SHOWN



PLAN VIEW
TOP SLAB NOT SHOWN FOR CLARITY



OUTLET DETAIL
(ILLUSTRATION ONLY)

MATERIAL LIST (PROVIDED BY CONTECH)

COUNT	DESCRIPTION	INSTALLED BY
10	18" PHOSPHOSORB CARTRIDGE	CONTECH
14	VOLUME GPM RESTRICTOR DISK (PURPLE POLY DISK)	CONTECH
4	2" PVC SLIP PLUG	CONTECH
1	43A FLOWKIT	CONTECH
1	SF ACTIVATION DISK	CONTECH
1	18" SEALED OUTLET RISER	CONTECH
5	STEPS, P10CTS, LANE LADDER, OR EQUIV.	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
1	30"Ø x 4" FRAME AND COVER, EJ#41600483, OR EQUIV.	CONTRACTOR

SITE DESIGN DATA

WATER QUALITY VOLUME	2655.8 CF
FILTER MEDIA TYPE	PHOSPHOSORB

PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7-INCHES.** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **38 SECONDS**. SPECIFIC FLOW RATE SHALL BE **1 GPM/SF (MAXIMUM)**. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF OF MEDIA (MAXIMUM)**.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

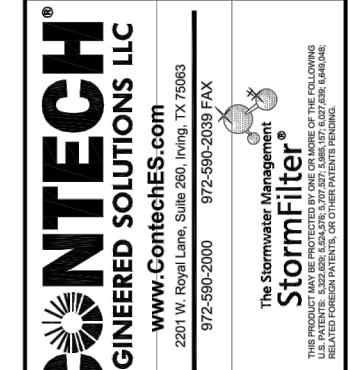
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S). ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HDPE OUTLET STUB. IF OUTLET PIPE IS LARGER THAN 8 INCHES, CONTRACTOR TO REMOVE THE 8 INCH OUTLET STUB AT MOLDED IN CUT LINE. COUPLING BY FERNCO OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO INSTALL SUPPLIED PLUG IN CONSTRUCTION FLOW BYPASS WHEN SYSTEM IS BROUGHT ON LINE (PRESSURE FIT ONLY, DO NOT GLUE).

STRUCTURE WEIGHT

APPROXIMATE HEAVIEST PICK = 30000 LBS. OF 2 PIECES
BASE SECTION SHIPPED WITH CARTRIDGES INSTALLED
MAX FOOTPRINT = Ø9'-6"

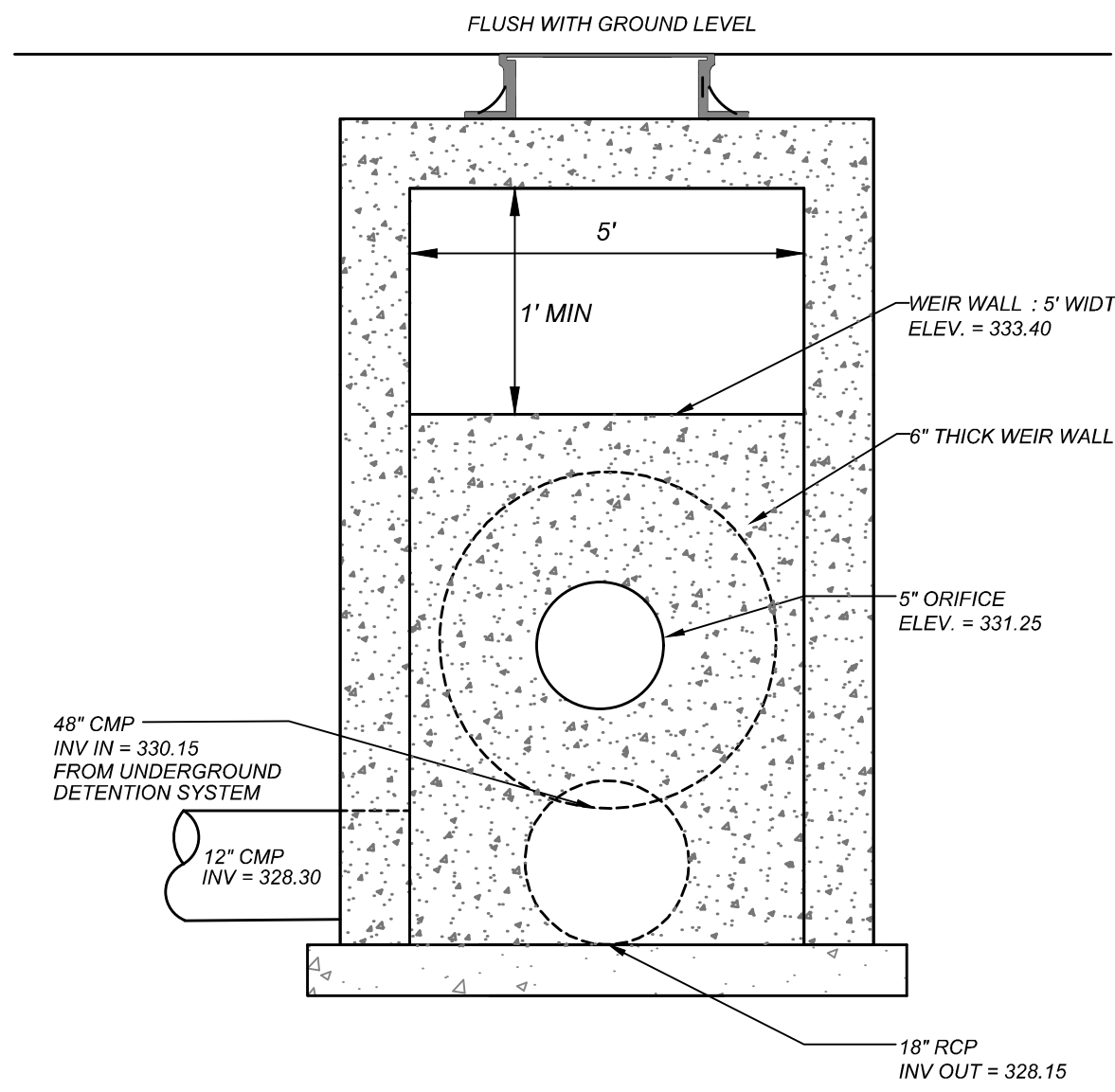
CONTECH
PROPOSAL
DRAWING

BARG
LAYOUT 1A
5761 / 452888

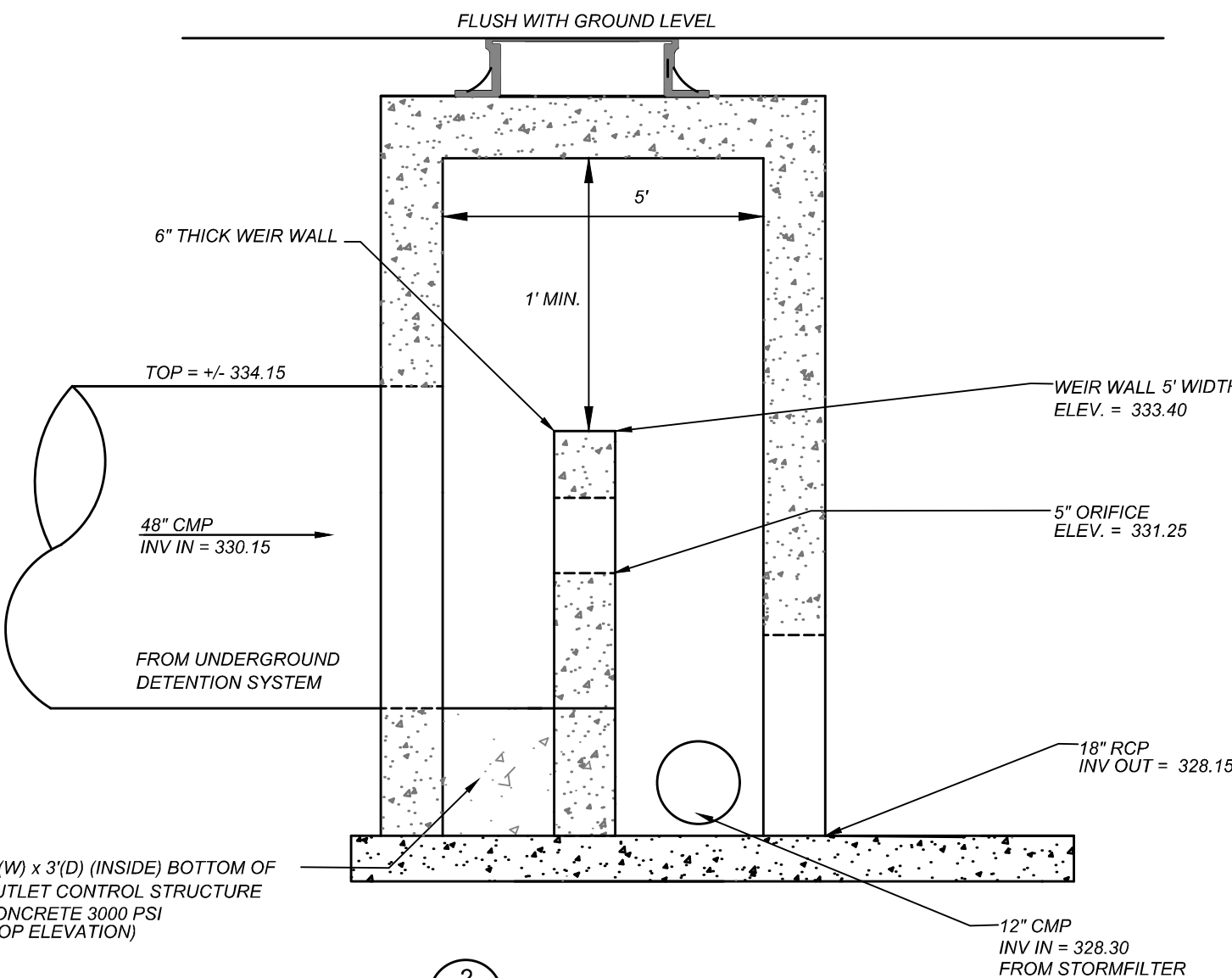


DATE:	06/19/25	SCALE:	1/4" = 1'-0"
DESIGNED:	JAK	DRAWN:	JAK
CHECKED:		APPROVED:	
PROJECT No.:	761691	SEQUENCE No.:	10
SHEET:	1	OF	1

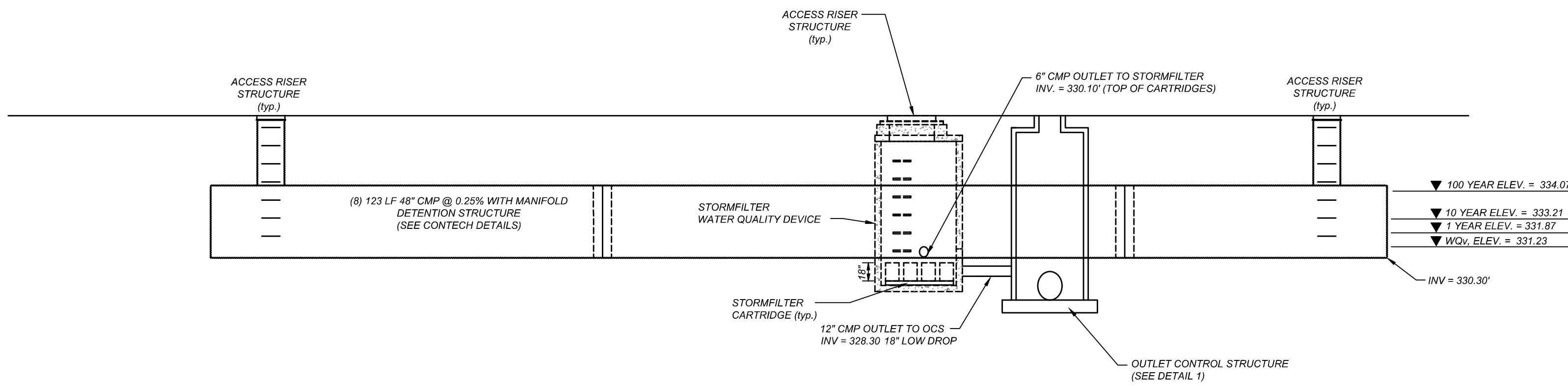
STORMFILTER SFMH96 - 761691-10
COOK OUT - ZEBULON
ZEBULON, NC
for SYSTEM: WQ-9



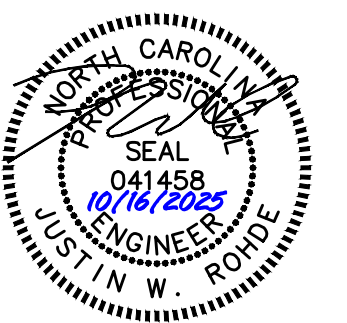
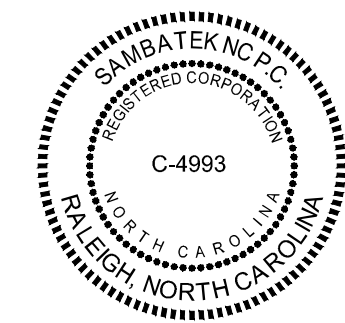
1
C-3 SECTION VIEW
N.T.S.



2
C-3 SECTION VIEW
N.T.S.



3
C-3 UNDERGROUND DETENTION AND TREATMENT SYSTEM SECTION VIEW
N.T.S.



NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TWC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVESTURN LANES	DDH
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CLIENT OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-DTL4a
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	06-24-2025
SHEET NO.	

C-9a

SITE PLAN GENERAL NOTES

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN 8312 CREDMOOR ROAD RALEIGH, NORTH CAROLINA PHONE 919-848-6121; FAX 919-848-3745
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.

22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONDITIONS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

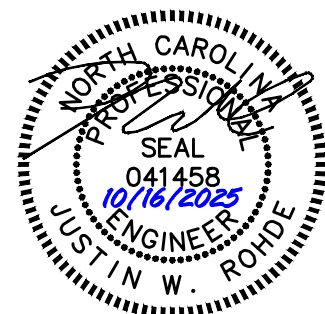
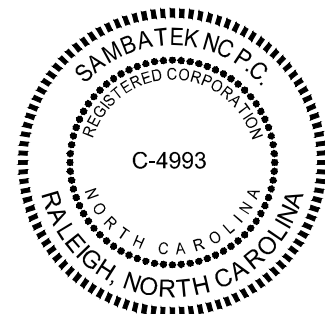
UTILITY PLAN GENERAL NOTES

1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4"FT FOR 4" LINES AND 2) 1/8"FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO R/W, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE "K" COPPER.
15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
21. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
22. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
23. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
24. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
25. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE "WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4"FT, 6" - 1/8"FT.
26. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDERS CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
27. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
28. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
29. CONTRACTOR SHALL NOTIFY THE LOCAL LOCATE SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
30. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
31. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE TOWN OF STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" I-2, 8" ABC OR BETTER.

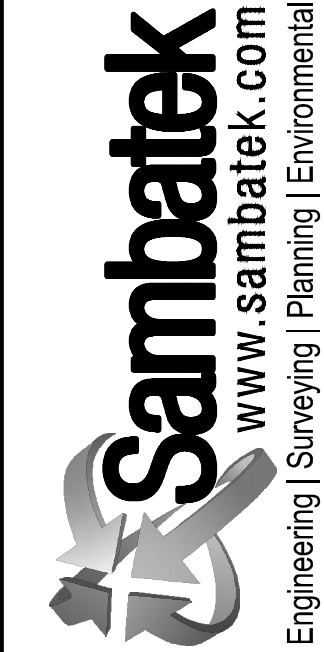
35. RELATION OF WATER MAINS TO SEWERS:
- A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION. IN WHICH CASE:
- 1) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
- 2) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
- B. CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- C. CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICES. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.
38. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD, REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

DRAINAGE STRUCTURE NOTES

1. BOXES SHALL COMPLY WITH LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. ANY NONSTANDARD BOX IS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. THE MAXIMUM HEIGHT OF AN UN-REINFORCED MASONRY DRAINAGE STRUCTURE WITH 8" WALLS SHALL BE LIMITED TO 8'-0" FROM INVERT OF THE OUTLET PIPE TO THE TOP OF THE CASTING. DEPTHS GREATER THAN 8'-0" SHALL HAVE WALLS 12" THICK. BASINS OVER 12' IN TOTAL DEPTH SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. FOUR INCH WALLS ARE NOT ALLOWED ON DRAINAGE STRUCTURES. BOTTOM SLAB ON STRUCTURES SHALL BE REINFORCED WHEN BOX DEPTHS EXCEEDS 8 FT.
4. STEPS ARE TO BE PROVIDED ON ALL BASINS DEEPER THAN 42".
5. STEPS ARE TO BE PS-1-PF AS MANUFACTURED BY M.A. INDUSTRIES OR AN APPROVED EQUAL. LOCATE ON NON-PIPE WALLS.
6. MORTAR IN MASONRY BOXES IS TO BE TYPE M.
7. CLAY BRICK STRUCTURES ARE NOT ALLOWED.
8. CONCRETE PIPE IS TO BE MINIMUM CLASS III.
9. CONCRETE BUILDING BRICK IS TO MEET ASTM C-55, GRADE N, TYPE 1.
10. BASINS LOCATED IN WET AREAS, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER, SHALL HAVE WEEP HOLES AS SHOWN ON DETAILS.
11. ALL CAST-IN-PLACE PRECAST CONCRETE DRAINAGE STRUCTURES LOCATED IN PAVED AREAS ACCESSIBLE TO TRUCK LOADINGS TO BE DESIGNED TO MEET AASHTO HS 20-44 LOADING. SEE MANUFACTURERS DETAILS FOR WALL, TOP AND BOTTOM THICKNESS.



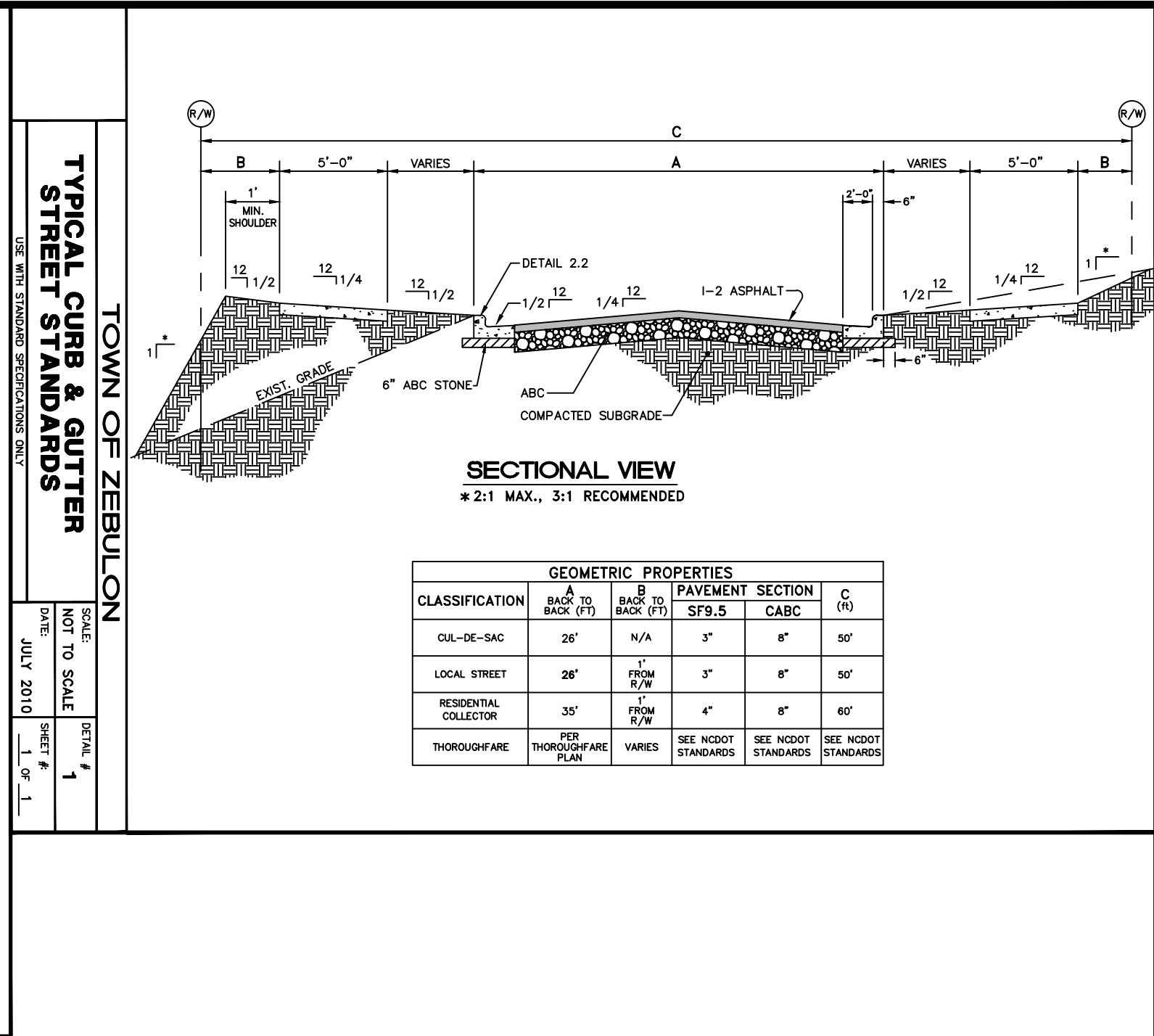
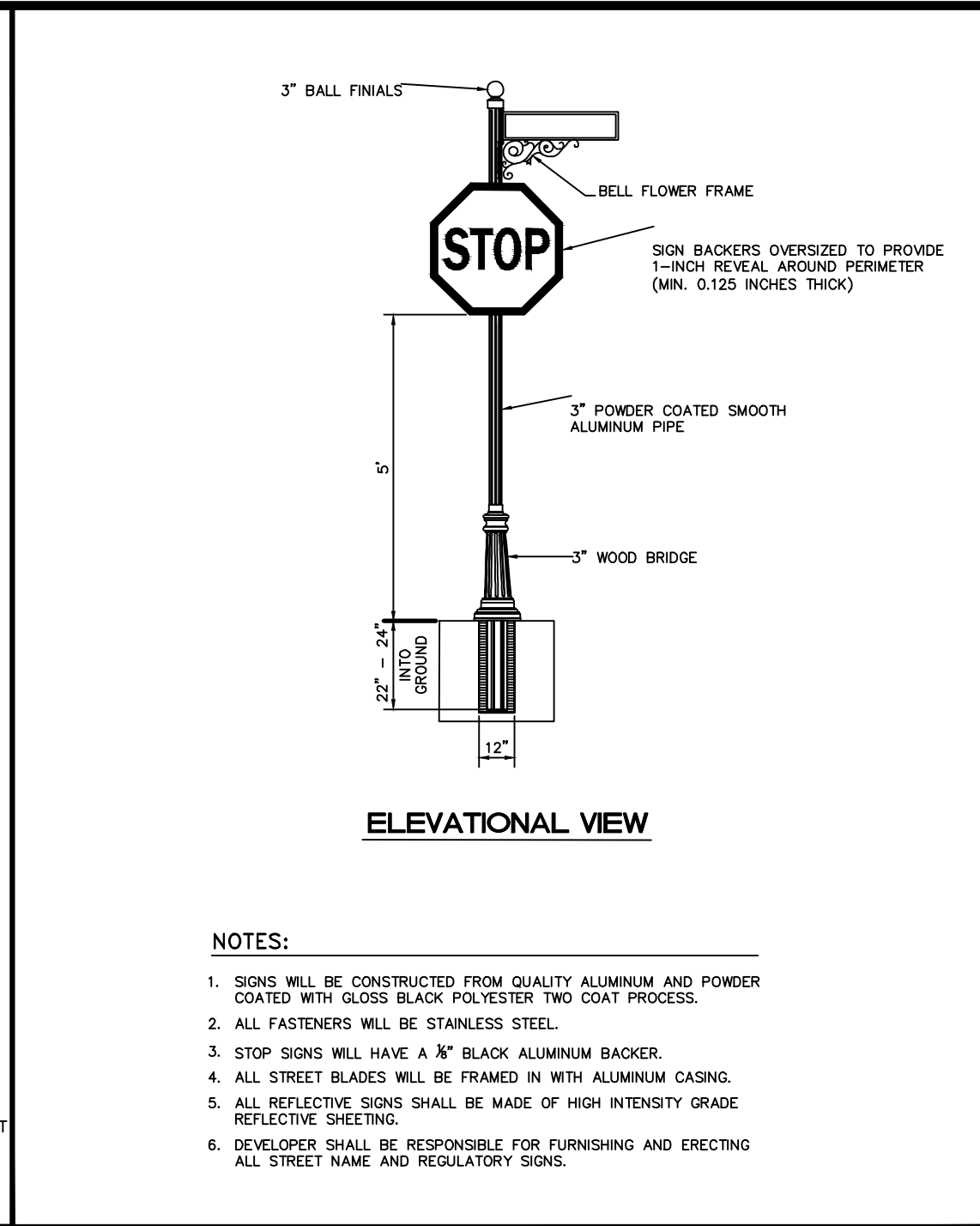
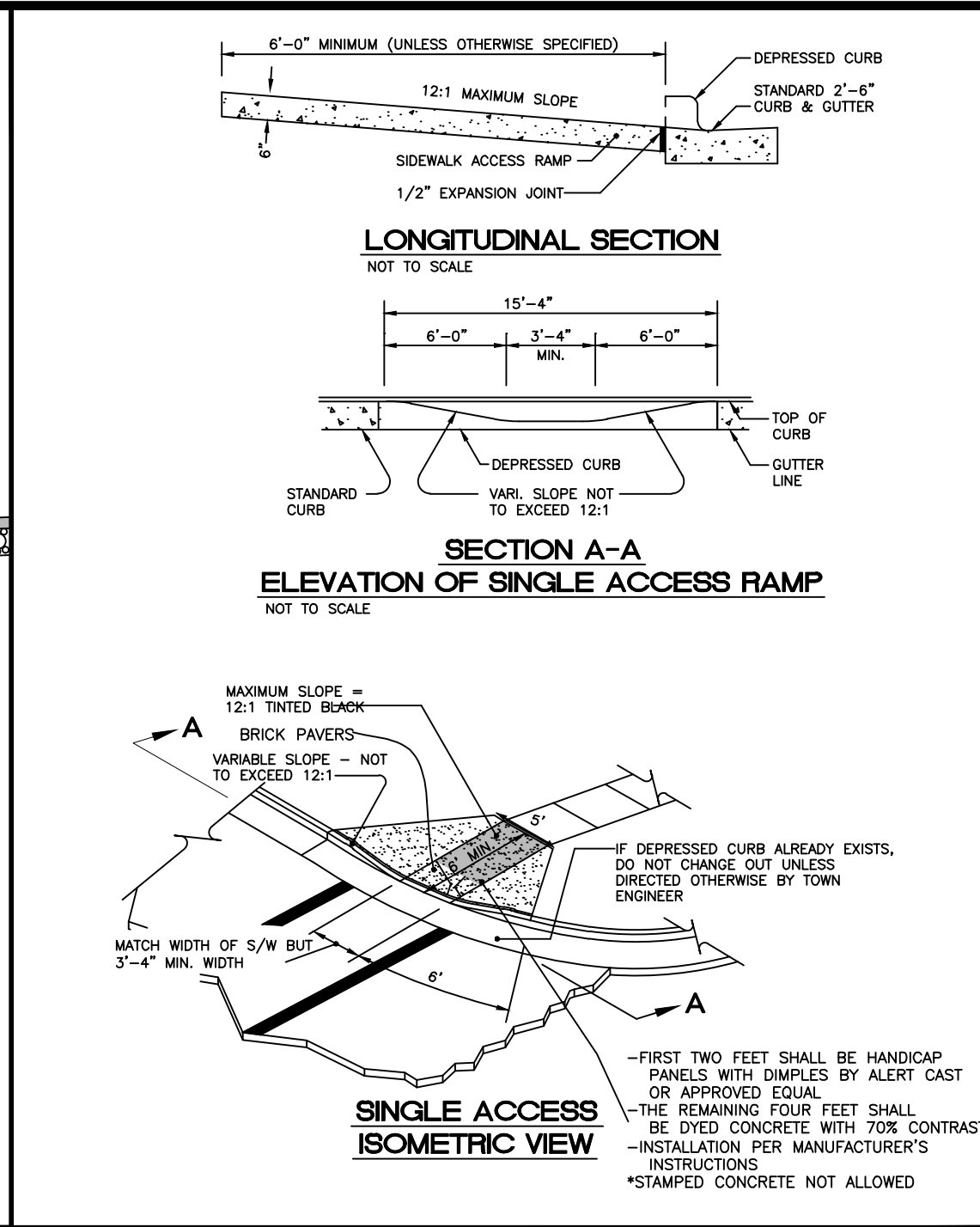
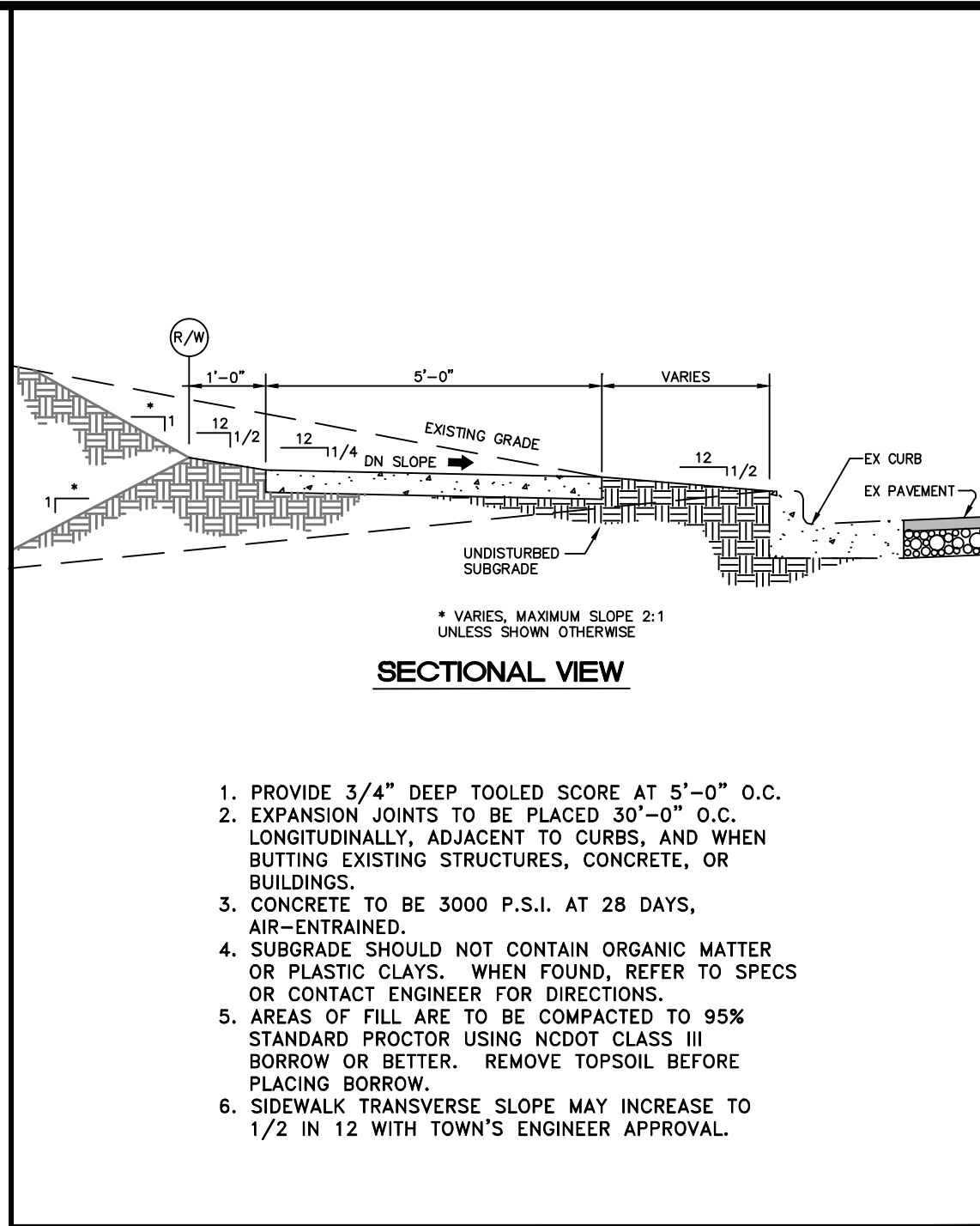
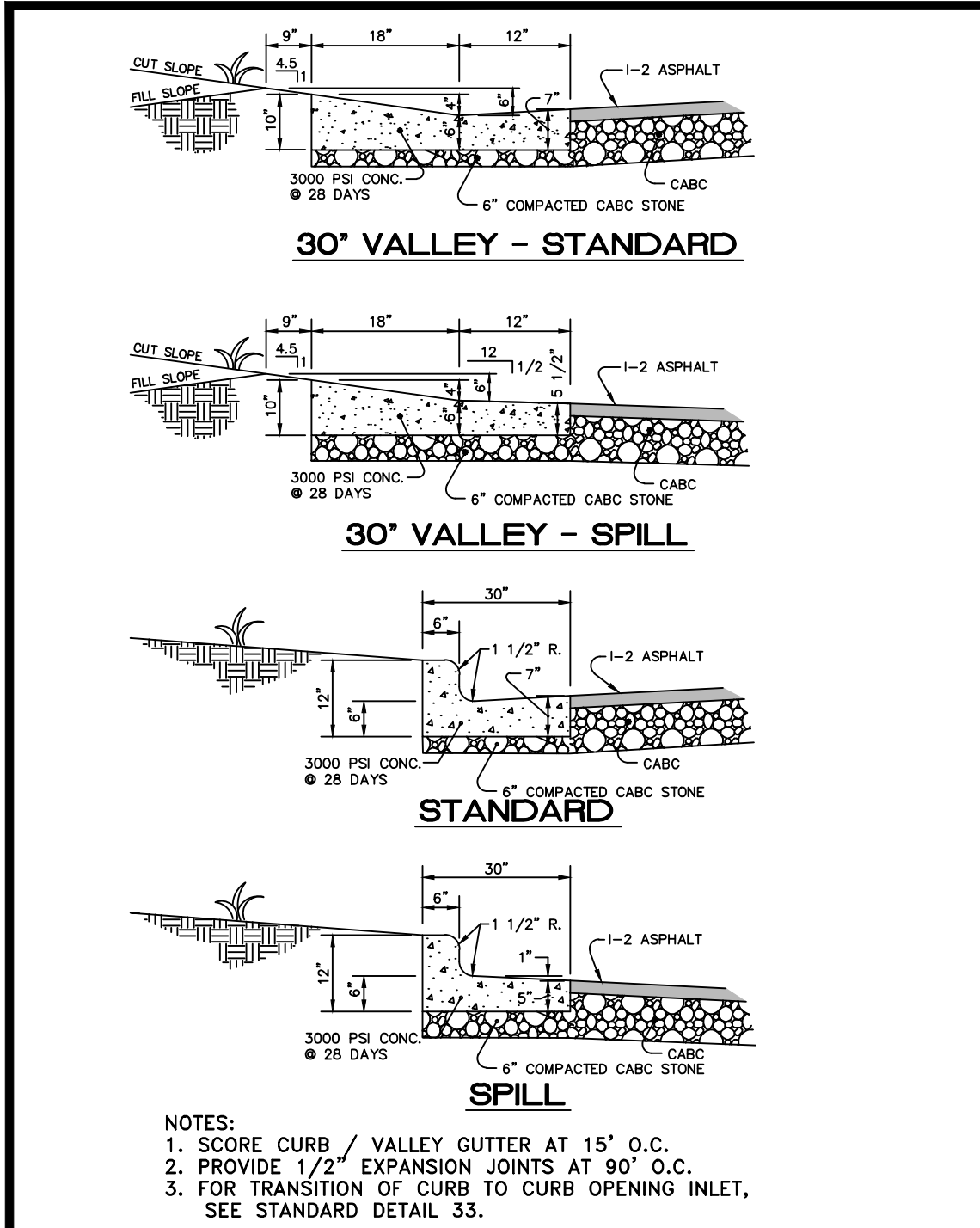
REVISIONS		DATE	DESCRIPTION
2	2023-10-17	TWC & WAKE COUNTY COMMENTS	
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES	
4	2025-04-02	REVISE BUILDING FOOTPRINT	
5	2025-06-24	REVISE BUILDING FOOTPRINT	
6	2025-06-28	REVISED PER TOWN COMMENTS	
7	2025-10-16	REVISED PER TOWN COMMENTS	
NO.		DATE	



CLIENT/OWNER:
COOK OUT
15 LAURA LANE SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-DTL5
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	06-24-2025
SHEET NO.	C-10

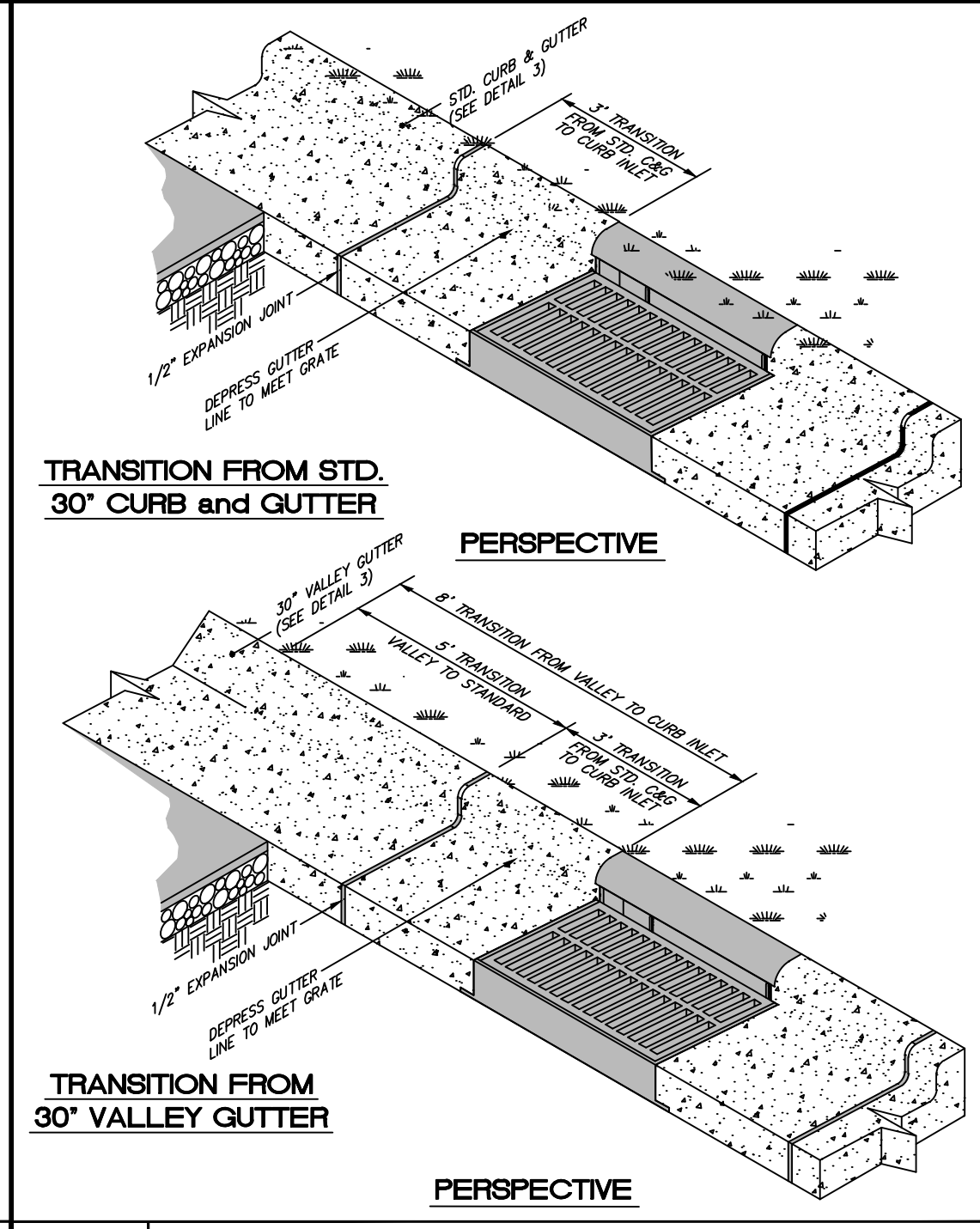
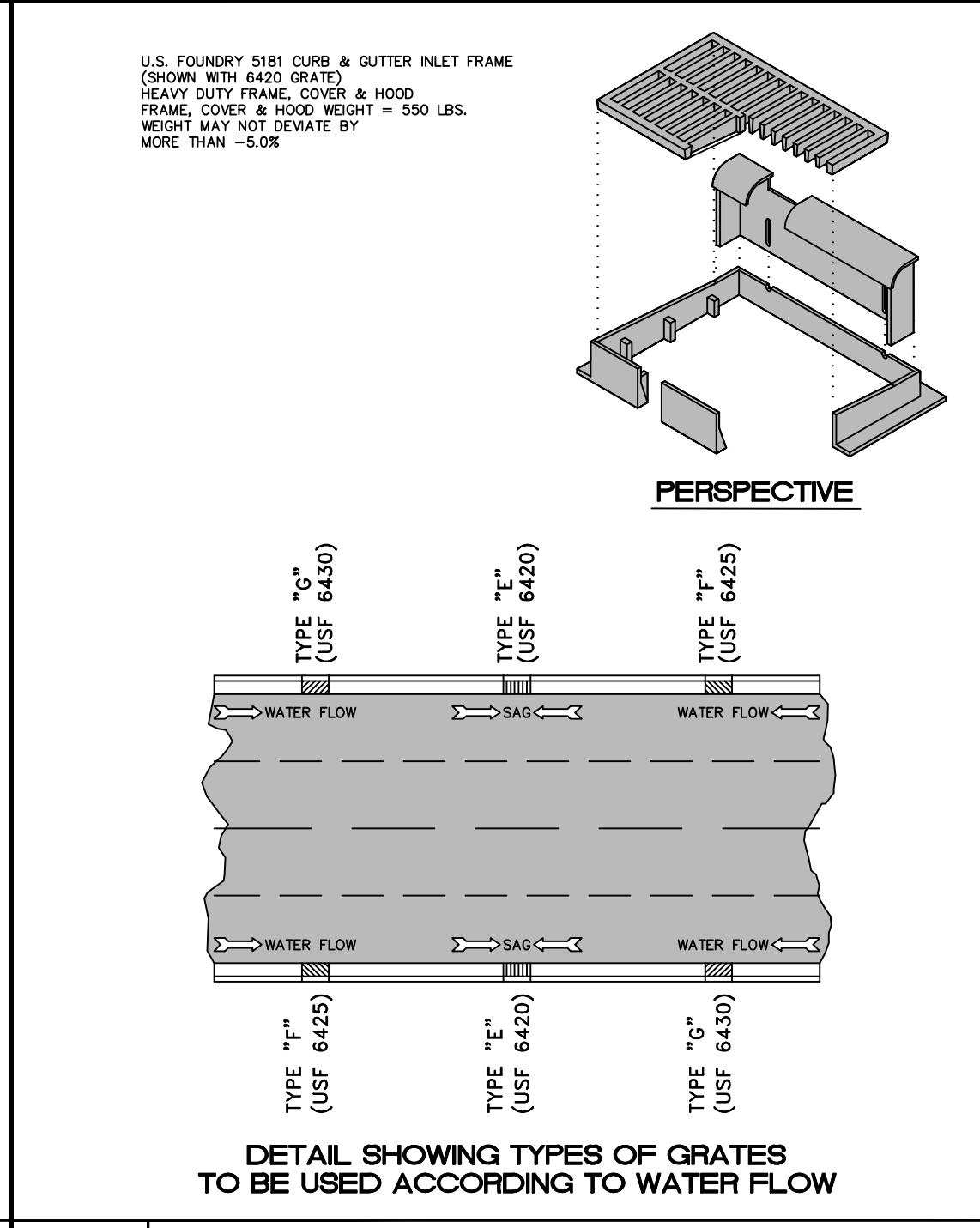
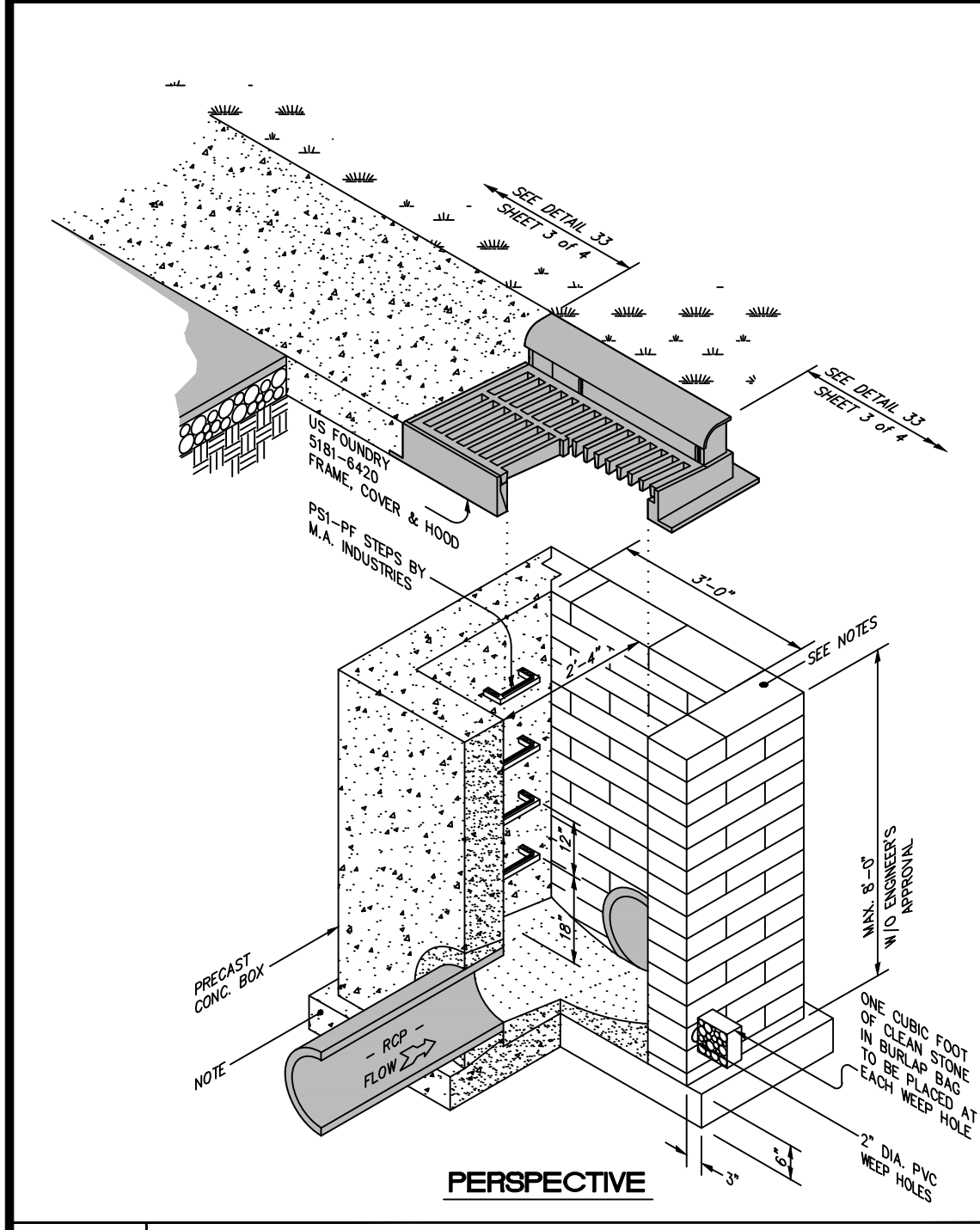


TOWN OF ZEBULON			
STD. CURB & GUTTER & VALLEY GUTTER DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 3	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 1	

TOWN OF ZEBULON			
TYP. SIDEWALK In CUT or FILL SECTIONS	SCALE: NOT TO SCALE	DRAWN BY: 13	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 1	

TOWN OF ZEBULON			
SINGLE HANDICAP RAMP DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 20	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 1	

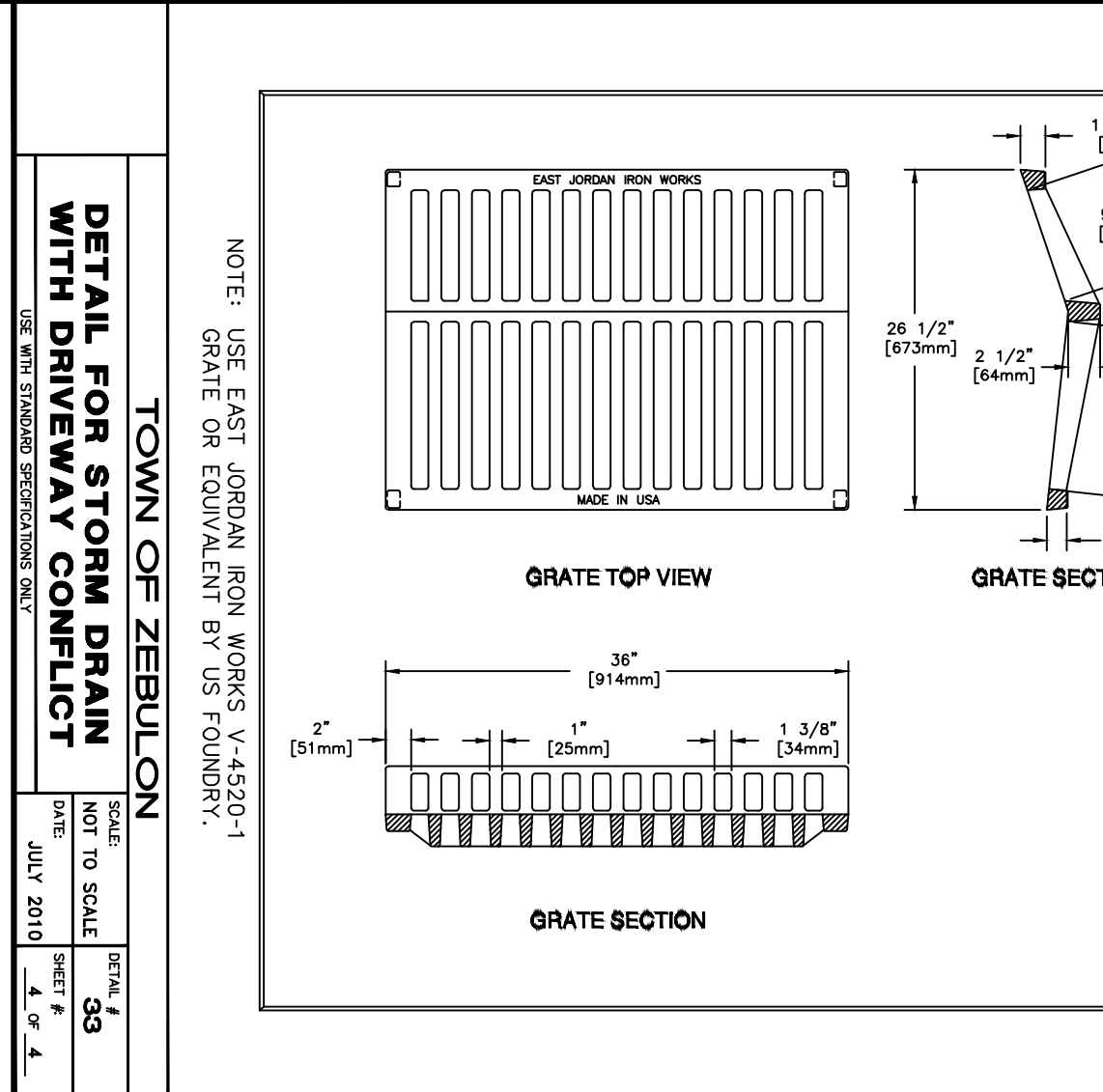
TOWN OF ZEBULON			
PREMIUM SIGN INSTALLATION DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 31	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 1	



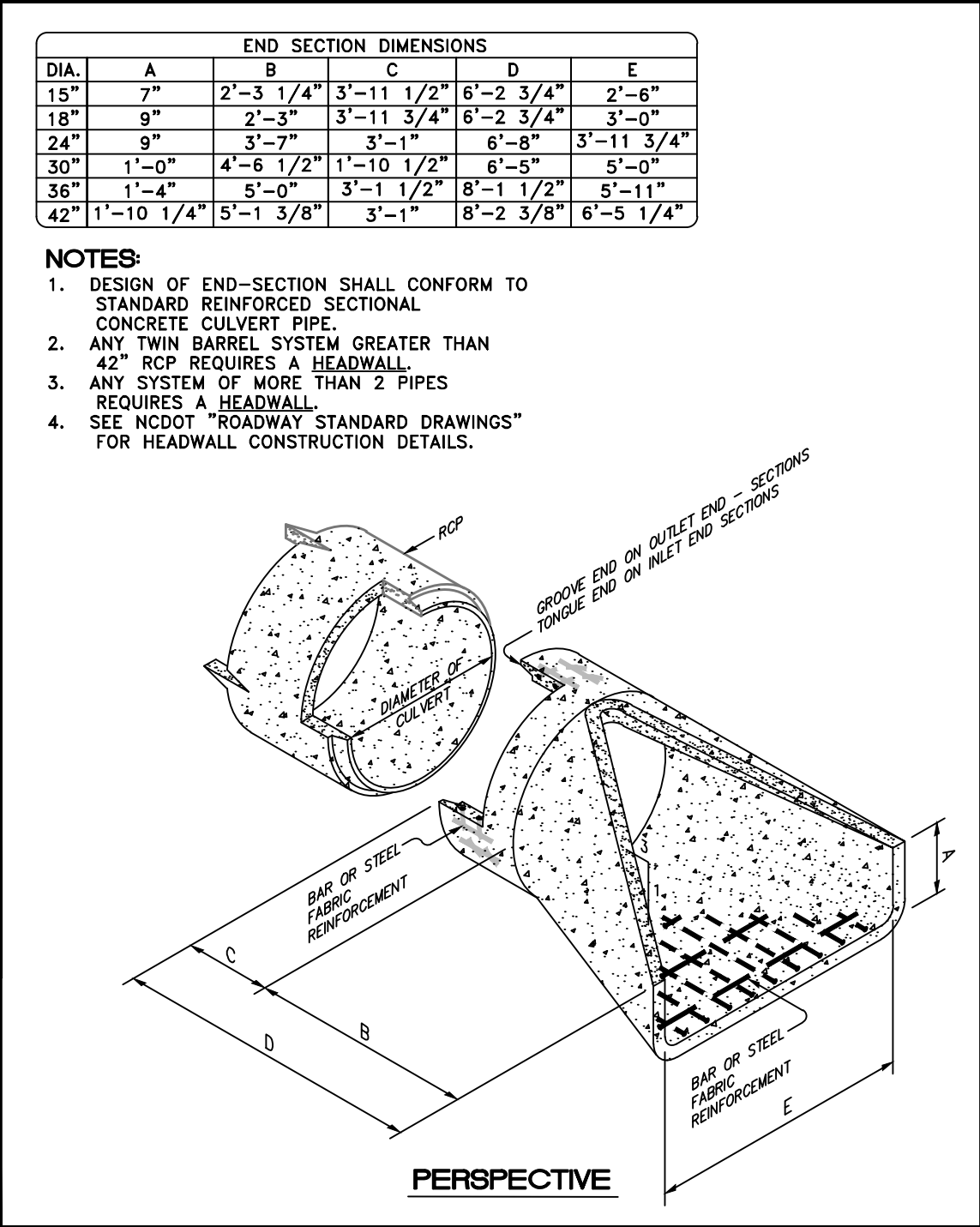
TOWN OF ZEBULON			
STD. C&G INLET W/HOOD DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 33	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 4	

TOWN OF ZEBULON			
STD. C&G INLET W/HOOD DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 33	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 2 OF 4	

TOWN OF ZEBULON			
STD. TRANSITION FROM INLET TO STD. C&G / VALLEY GUTTER	SCALE: NOT TO SCALE	DRAWN BY: 33	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 3 OF 4	



EAST JORDAN IRON WORKS, INC.	
P.O. BOX 430	
EAST JORDAN, VA 22827	
1-800-874-4100	
FAX 231-535-4458	
DRAWN BY: DATE:	
SAW 12/09/00	
APPROVED: DATE:	
V-4520-1 GRATE	
PRODUCT NO. 44520130	
CATALOG NO. V-4520-1	
REF. PRODUCT DRAWING 44520130	
EST. WT. GRATE: 235 LBS 107kg	
OPEN AREA 458 SQ IN 2955 sq cm	
MATERIAL SPEC: GRATE - GRAY IRON ASTM A48 CL35	
LOAD RATING HEAVY DUTY	



TOWN OF ZEBULON			
STD. FLARED END SECTIONS DESIGN AID DETAIL	SCALE: NOT TO SCALE	DRAWN BY: 35	
USE WITH STANDARD SPECIFICATIONS ONLY	DATE: JULY 2010	SHEET # 1 OF 1	

REVISIONS

NO.	DATE	DESCRIPTION
2	2023-10-17	TWC & WAKE COUNTY COMMENTS
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES
4	2025-04-02	REVISE BUILDING FOOTPRINT
5	2025-06-24	REVISE BUILDING FOOTPRINT
6	2025-08-28	REVISED PER TOWN COMMENTS
7	2025-10-16	REVISED PER TOWN COMMENTS

CLIENTOWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

PROJECT NO.: OUT-1502

FILENAME: OUT1502-DTL6

DRAWN BY: STH

SCALE: N.T.S.

DATE: 06-24-2025

SHEET NO.: C-11

811

Know what's below.
Call before you dig.
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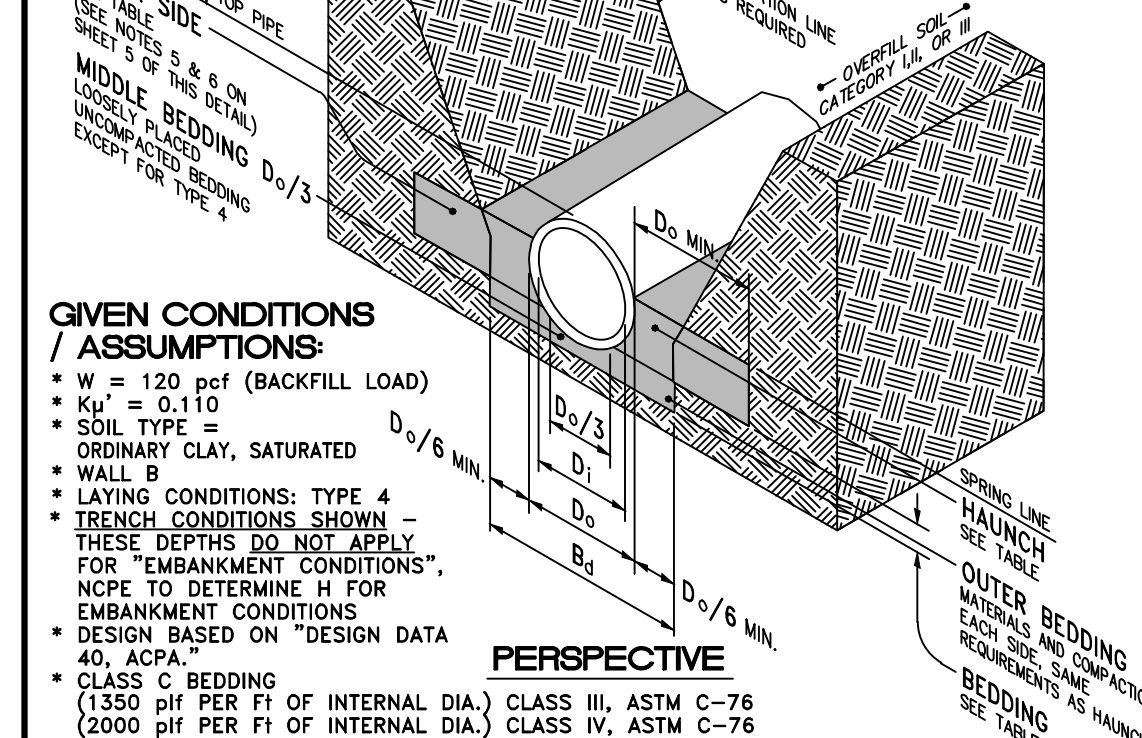
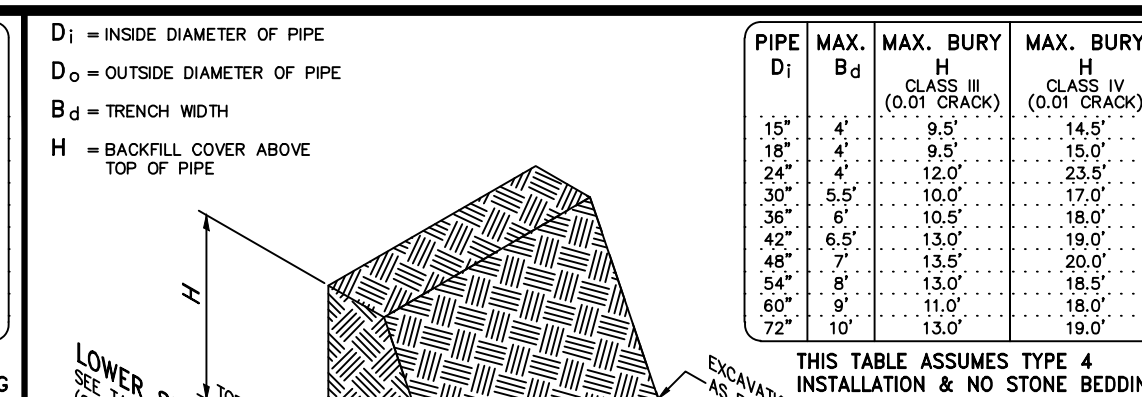
COOKOUT
FRESH HAMBURGERS

1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

TOWN OF ZEBULON DETAILS

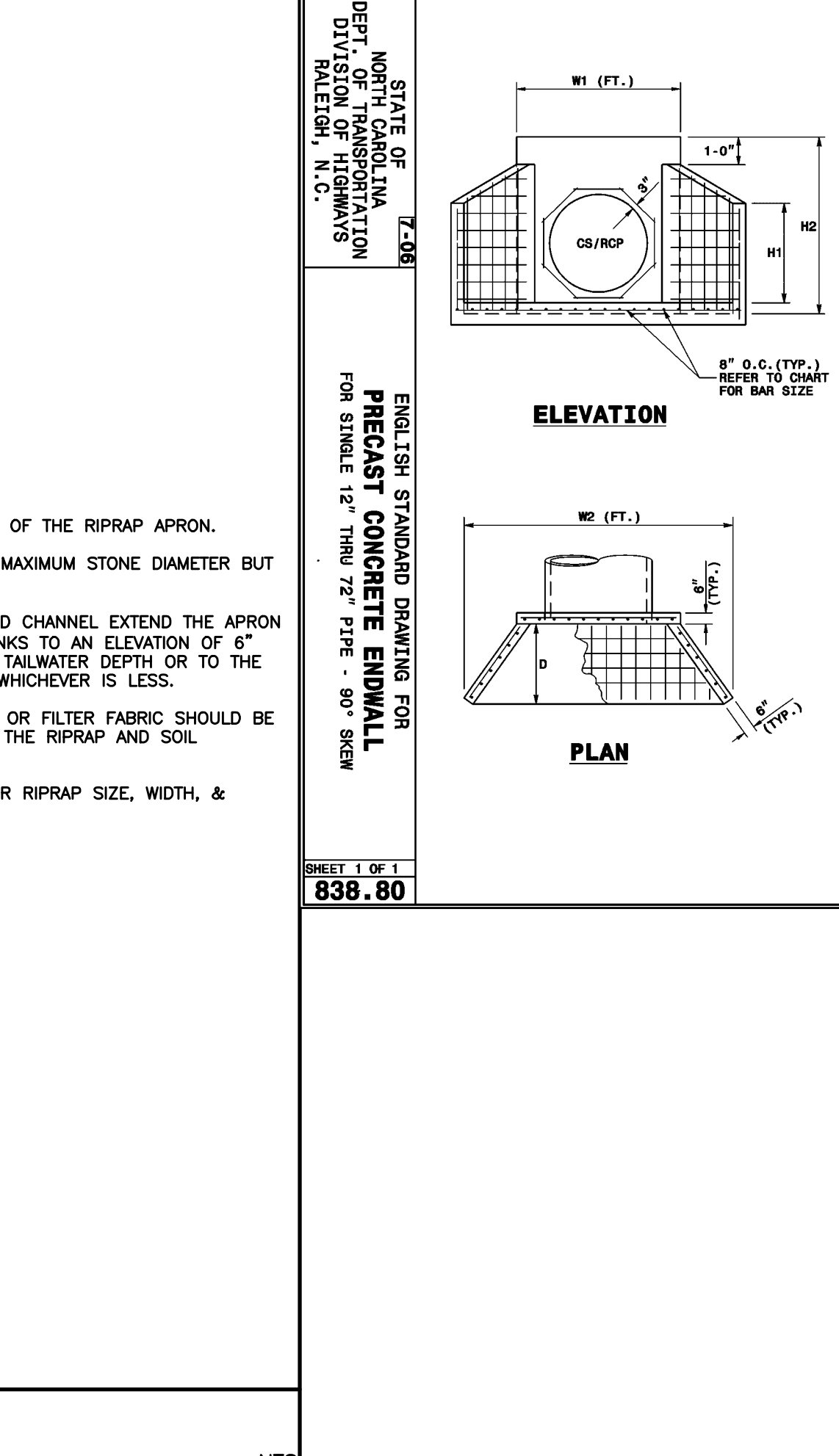
Sambatek
www.sambatek.com

Engineering | Surveying | Planning | Environmental



1. GREATER DEPTHS ARE ACHIEVABLE BY EITHER CONTROLLING BACKFILL TYPE, NARROWING TRENCH WIDTH BUT SUPPLY SUFFICIENT ROOM FOR COMPACTION, IMPROVING BEDDING OR LOADING TO ULTIMATE LOAD (D_u), FOR OTHER BURIES THAT ARE SHOWN (H), NORTH CAROLINA PERMITS TO PROVIDE CALCS ON PIPE BURY THAT EXCEED THOSE GIVEN IN THIS CHART FOR THE CONDITIONS IN WHICH IT IS PROPOSED TO BE USED.
2. THIS TABLE OF BURY DEPTHS (H) APPLIES EQUALLY TO A CLASS C STONE BEDDING, TYPE 4, LAYING CONDITIONS
3. MINIMUM COVER NOT SHOWN
4. MAXIMUM BURY, TUBES FOR "TRENCH CONDITIONS" PER THE DETAIL SHOWN THIS SHEET

TOWN OF ZEBULON			
STD. TRENCH INSTALLATION FOR CONCRETE PIPE (FOR ENGINEER'S USE)		SCALE: NOT TO SCALE	DETAIL # 36
DATE: JULY 2010		SHEET # 2 OF 5	



Installation Type⁴	Bedding Thickness	Haunch and Outer Bedding	Lower Side
Type 1	D _u /24 minimum, not less than 75 mm (3"). If rock foundation, use D _u /12 minimum, not less than 150 mm (6").	90% Category I	90% Category I, 90% Category II, or 100% Category III
Type 2	D _u /24 minimum, not less than 75 mm (3"). If rock foundation, use D _u /12 minimum, not less than 150 mm (6").	90% Category I or 95% Category II	85% Category I, 90% Category II, or 95% Category III
Type 3	D _u /24 minimum, not less than 75 mm (3"). If rock foundation, use D _u /12 minimum, not less than 150 mm (6").	85% Category I, 90% Category II, or 95% Category III	85% Category I, 90% Category II, or 95% Category III
Type 4	D _u /24 minimum, not less than 75 mm (3"). If rock foundation, use D _u /12 minimum, not less than 150 mm (6").	No compaction required, except if Category III, use 85% Category III	No compaction required, except if Category III, use 85% Category III

Notes:

1. Compaction and soils symbols – i.e. “98% Category 1” refers to Category 1 soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
2. The top 150 mm of the subgrade shall be no lower than 0.1 H below finished grade or, for roadways, its top shall be no lower than an elevation of 0.3 m (1') below the bottom of the pavement base material.
3. Soil in bedding and haunch zones shall be compacted to at least the same compaction as specified for the majority of soil in the backfill zone.
4. The trench width shall be wider than shown if required for adequate space to attain the specified compaction in the haunch and bedding zone.
5. For trench walls that are within 10 degrees of vertical, the compaction or firmness specified in the trench walls shall be maintained for the entire trench.
6. For trench walls with greater than 10 degrees slopes that consist of embankment, the lower side shall be compacted to at least the same compaction as specified for the soil in the backfill zone.
7. Type 4 installation is for relatively high quality material & high compaction effort.
Type 4 installation = little or no control over material and compaction.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVES/TURN LANES	DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT	DDH
6	2025-08-28	REVISED PER TOWN COMMENTS	DDH
7	2025-10-16	REVISED PER TOWN COMMENTS	JMM

TOWN OF ZEBULON		
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)	SCALE:	DET:
	NOT TO SCALE	
	DATE:	SHEET:
	JULY 2010	
USE WITH STANDARD SPECIFICATIONS ONLY		

TOWN OF ZEBULON		
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)	SCALE: NOT TO SCALE	DETAIL # 36
	DATE: JULY 2010	SHEET #: 5 OF 5
USE WITH STANDARD SPECIFICATIONS ONLY		

1. THE ENCRACHER/CONTRACTOR ON TO DODGWOOD AND JONES SHALL PROVIDE TRAFFIC CONTROL DEVICES, LANE CLOSURES, ROAD CLOSURES AND JONES SHALL PROVIDE TRAFFIC CONTROL DEVICES, LANE CLOSURES, ROAD CLOSURES, POSITIVE PROTECTION AND/OR ANY OTHER WARNING OR CLOSURES, POSITIVE PROTECTION AND/OR ANY OTHER WARNING OR POSITIVE PROTECTION DEVICES NECESSARY FOR THE SAFETY OF POSITIVE PROTECTION DEVICES NECESSARY FOR THE SAFETY OF ROAD USERS DURING CONSTRUCTION AND ANY SUBSEQUENT ROAD USERS DURING CONSTRUCTION AND ANY SUBSEQUENT MAINTENANCE. THIS SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST MANUALLY OF TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND AMENDMENTS OR SUPPLEMENTS THERETO. NO WORK SHALL BE PERFORMED IN THE RIGHT OF WAY UNLESS THIS REQUIREMENT IS SATISFIED. TOWN OF ZEBULON RESERVES THE RIGHT TO REQUIRE A WRITTEN TRAFFIC CONTROL PLAN FOR ENCROACHMENT OPERATIONS.
2. ALL FLAGGING OPERATIONS WITHIN TOWN OF ZEBULON RIGHT OF WAY REQUIRE QUALIFIED AND TRAINED WORK ZONE FLAGGER.
3. WHEN THE PROJECT HAS BEEN COMPLETED FOR A PERIOD OF ONE YEAR, UPON WRITTEN REQUEST BY THE ENCRACHER/CONTRACTOR TO THE DIRECTOR OF PUBLIC WORKS OR CONSTRUCTION INSPECTOR, A FINAL INSPECTION AND REVIEW WILL BE CONDUCTED BY TOWN OF ZEBULON.
4. ANY PERSONNEL OR EQUIPMENT WORKING WITHIN FIVE FEET OF A TRAVEL LANE SHALL REQUIRE A FULL LANE CLOSURE. NO ROADWAY OF TRAFFIC SHALL BE CLOSED OR RESTRICTED BETWEEN THE HOURS OF 6:00 AM TO 8:30 AM AND 4:00 PM TO 6:00 PM MONDAY THROUGH FRIDAY. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.
5. ALL MATERIALS AND CONSTRUCTION ON DODGWOOD LANE AND JONES STREET SHALL BE IN ACCORDANCE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
6. ANY EXISTING DRIVEWAYS, PAVEMENT, SIDEWALK, CURB AND GUTTER OR DRAINAGE STRUCTURES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION.
7. CONTRACTOR SHALL NOT PLACE EXCAVATED MATERIAL ON THE ROADWAY AT ANY TIME.
8. TOWN OF ZEBULON RESERVES THE RIGHT TO REVERSE, RESTRICT, SUSPEND AND/OR VOID RIGHT TO COMPLETE WORK ON TOWN ROW IF THE EXECUTION AND/OR OPERATION OF SAID PERMIT IS FOUND TO BE A HAZARD TO THE TRAVELING PUBLIC.

<p>ENGLISH STANDARD DRAWING FOR</p> <p>PRECAST CONCRETE ENDWALL</p> <p>FOR SINGLE 12" THRU 72" PIPE - 90° SKEW</p>	<p>Z-08 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.</p>
<p>SHEET 1 OF 1</p> <p>838.80</p>	

SHEET 1 OF 1
838.80

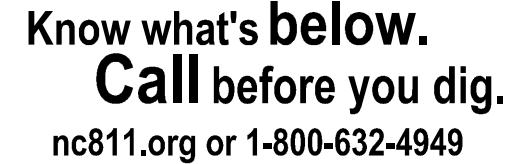
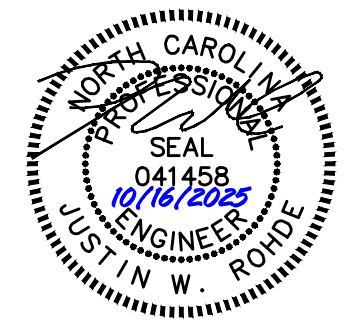
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COOK OUT
FRESH HAMBURGERS

200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

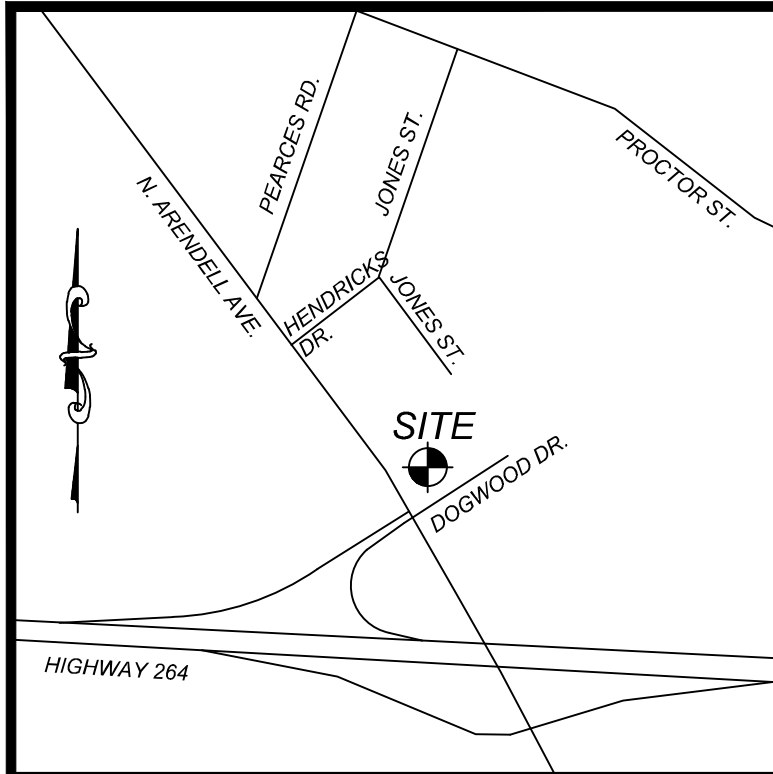
TOWN OF ZEBULON DETAILS

TOWN OF ZEBULON DETAILS



PROJECT NO.	OUT-1502
FILENAME:	OUT1502-DTL6a
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	06-24-2025
SHEET NO.	613

C-12



VICINITY MAP
NTS

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

LANDSCAPE ISLAND NOTE:

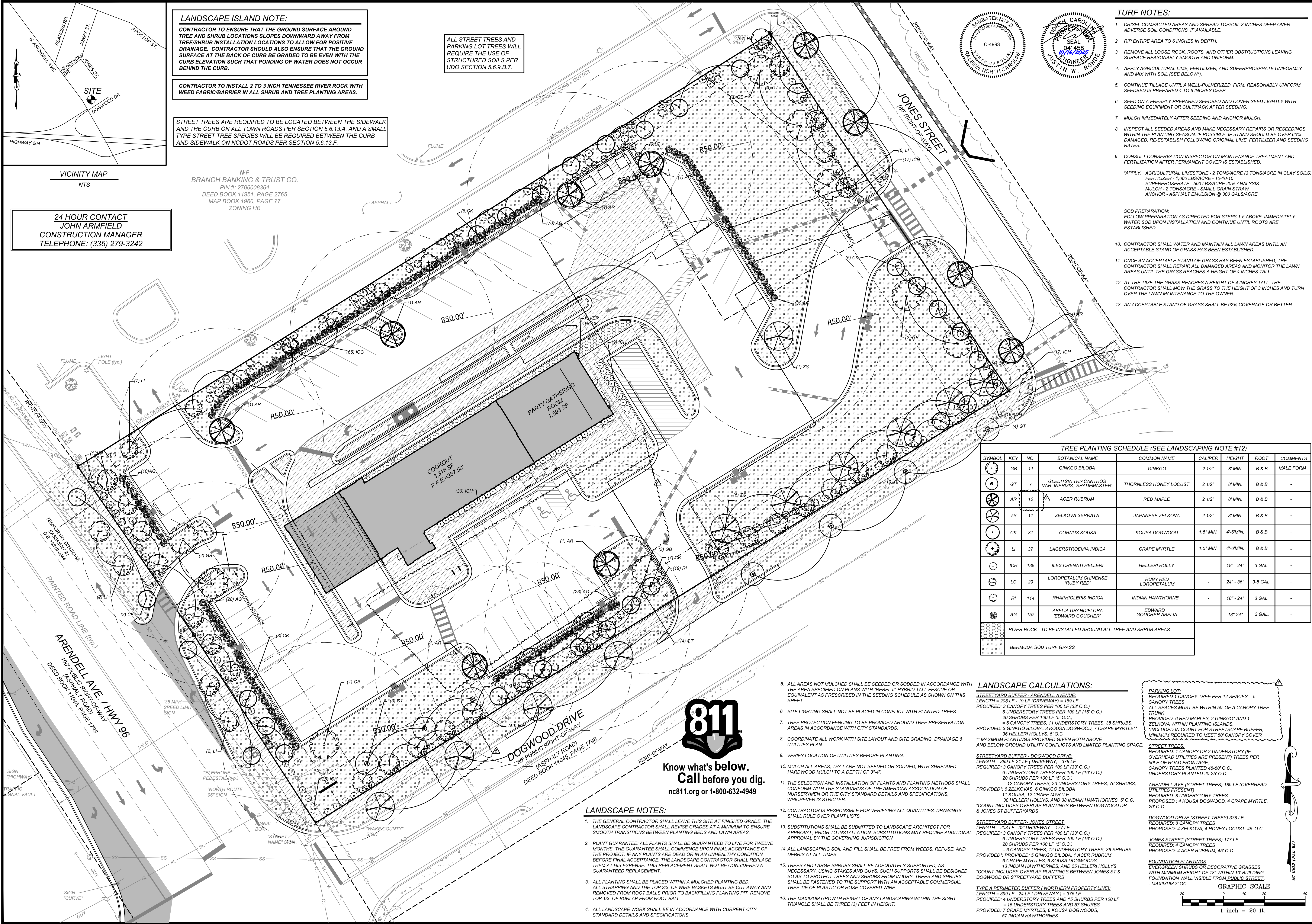
CONTRACTOR TO ENSURE THAT THE GROUND SURFACE AROUND TREE AND SHRUB LOCATIONS SLOPES DOWNWARD AWAY FROM TREE/SHRUB INSTALLATION LOCATIONS TO ALLOW FOR POSITIVE DRAINAGE. CONTRACTOR SHOULD ALSO ENSURE THAT THE GROUND SURFACE AT THE BACK OF CURB BE GRADED TO BE EVEN WITH THE CURB ELEVATION SUCH THAT PONDING OF WATER DOES NOT OCCUR BEHIND THE CURB.

CONTRACTOR TO INSTALL 2 TO 3 INCH TENNESSEE RIVER ROCK WITH WEED FABRIC/BARRIER IN ALL SHRUB AND TREE PLANTING AREAS.

STREET TREES ARE REQUIRED TO BE LOCATED BETWEEN THE SIDEWALK AND THE CURB ON ALL TOWN ROADS PER SECTION 5.6.13.A. AND A SMALL TYPE STREET TREE SPECIES WILL BE REQUIRED BETWEEN THE CURB AND SIDEWALK ON NCDOT ROADS PER SECTION 5.6.13.F.

ALL STREET TREES AND PARKING LOT TREES WILL REQUIRE THE USE OF STRUCTURED SOILS PER UDO SECTION 5.6.9.B.7.

N/F
BRANCH BANKING & TRUST CO.
PIN #: 2706008364
DEED BOOK 11951, PAGE 2765
MAP BOOK 1960, PAGE 77
ZONING HB



TURF NOTES:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL. (SEE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- *APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 LBS/ACRE - 10-10-10
SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS
MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

TREE PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
GB	11		GINKGO BILOBA	GINKGO	2 1/2"	8' MIN.	B & B	MALE FORM
GT	7		GLEDTISIA TRIACANTHOS VAR. INERMIS, 'SHADEMASTER'	THORNLESS HONEY LOCUST	2 1/2"	8' MIN.	B & B	-
AR	10		ACER RUBRUM	RED MAPLE	2 1/2"	8' MIN.	B & B	-
ZS	11		ZELKOVA SERRATA	JAPANESE ZELKOVA	2 1/2"	8' MIN.	B & B	-
CK	31		CORNUS KOUSA	KOUSA DOGWOOD	1.5" MIN.	4'-6' MIN.	B & B	-
LI	37		LAGERSTROEMIA INDICA	CRAPPE MYRTLE	1.5" MIN.	4'-6' MIN.	B & B	-
ICH	138		ILEX CRENATI HELLERI	HELLERI HOLLY	-	18" - 24"	3 GAL.	-
LC	29		LOROPETALUM CHINENSE RUBRY RED	RUBY RED LOKOPETALUM	-	24" - 36"	3-5 GAL.	-
RI	114		RHAPHIOLEPIS INDICA	INDIAN HAWTHORNE	-	18" - 24"	3 GAL.	-
AG	157		ABELIA GRANDIFLORA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	-	18"-24"	3 GAL.	-
			RIVER ROCK - TO BE INSTALLED AROUND ALL TREE AND SHRUB AREAS.					
			BERMUDA SOD TURF GRASS					

- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL II" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY. USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.

LANDSCAPE NOTES:

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.

LANDSCAPE CALCULATIONS:

STREETYARD BUFFER - ARENDELL AVENUE:
LENGTH = 208 LF - 19 LF (DRIVEWAY) = 189 LF
REQUIRED: 3 CANOPY TREES PER 100 LF (33 O.C.)
6 UNDERSTORY TREES PER 100 LF (16" O.C.)
20 SHRUBS PER 100 LF (5" O.C.)
= 6 CANOPY TREES, 11 UNDERSTORY TREES, 38 SHRUBS.
PROVIDED: 3 GINKGO BILOBA, 3 KOUSA DOGWOOD, 7 CRAPPE MYRTLE, 36 HELLERI HOLLYS, 5" O.C.
** MAXIMUM PLANTINGS PROVIDED GIVEN BOTH ABOVE AND BELOW GROUND UTILITY CONFLICTS AND LIMITED PLANTING SPACE

STREETYARD BUFFER - DOGWOOD DRIVE:
LENGTH = 389 LF - 21 LF (DRIVEWAY) = 378 LF
REQUIRED: 3 CANOPY TREES PER 100 LF (33" O.C.)
6 UNDERSTORY TREES PER 100 LF (16" O.C.)
20 SHRUBS PER 100 LF (5" O.C.)
= 12 CANOPY TREES, 23 UNDERSTORY TREES, 76 SHRUBS.
PROVIDED: 6 ZELKOVAS, 6 GINKGO BILOBA, 11 KOUSA, 12 CRAPPE MYRTLE, 38 HELLERI HOLLYS, AND 38 INDIAN HAWTHORNES, 5" O.C.
*COUNT INCLUDES OVERLAP PLANTINGS BETWEEN DOGWOOD DR & JONES ST BUFFERYARDS

STREETYARD BUFFER - JONES STREET
LENGTH = 208 LF - 32' DRIVEWAY = 177 LF
REQUIRED: 3 CANOPY TREES PER 100 LF (33" O.C.)
6 UNDERSTORY TREES PER 100 LF (16" O.C.)
20 SHRUBS PER 100 LF (5" O.C.)
= 6 CANOPY TREES, 12 UNDERSTORY TREES, 36 SHRUBS
PROVIDED: 5 GINKGO BILOBA, 1 ACER RUBRUM, 6 CRAPPE MYRTLES, 6 KOUSA DOGWOODS, 13 INDIAN HAWTHORNES, AND 25 HELLERI HOLLYS.
*COUNT INCLUDES OVERLAP PLANTINGS BETWEEN JONES ST & DOGWOOD DR STREETYARD BUFFERS

TYPE A PERIMETER BUFFER (NORTHERN PROPERTY LINE):
LENGTH = 399 LF - 24 LF (DRIVEWAY) = 375 LF
REQUIRED: 4 UNDERSTORY TREES AND 15 SHRUBS PER 100 LF
= 15 UNDERSTORY TREES AND 57 SHRUBS
PROVIDED: 7 CRAPPE MYRTLES, 8 KOUSA DOGWOODS, 57 INDIAN HAWTHORNES

PARKING LOT:
REQUIRED: 1 CANOPY TREE PER 12 SPACES = 5 CANOPY TREES
ALL SPACES MUST BE WITHIN 50' OF A CANOPY TREE TRUNK
PROVIDED: 6 RED MAPLES, 2 GINKGO* AND 1 ZELKOVA WITHIN PLANTING ISLANDS.
*INCLUDED IN COUNT FOR STREETSCAPE BUFFER, MINIMUM REQUIRED TO MEET 50' CANOPY COVER

STREET TREES:
REQUIRED: 1 CANOPY OR 2 UNDERSTORY (IF OVERHEAD UTILITIES ARE PRESENT) TREES PER 50 LF OF ROAD FRONTAGE
CANOPY TREES PLANTED 45-50' O.C., UNDERSTORY PLANTED 20-25' O.C.

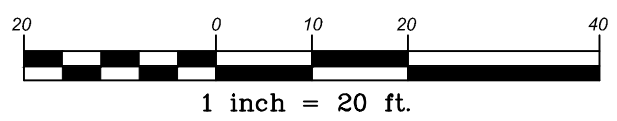
ARENDELL AVE. (STREET TREES) 189 LF (OVERHEAD UTILITIES PRESENT)
REQUIRED: 8 UNDERSTORY TREES
PROPOSED: 4 KOUSA DOGWOOD, 4 CRAPPE MYRTLE, 20" O.C.

DOGWOOD DRIVE (STREET TREES) 378 LF
REQUIRED: 8 CANOPY TREES
PROPOSED: 4 ZELKOVA, 4 HONEY LOCUST, 45" O.C.

JONES STREET (STREET TREES) 177 LF
REQUIRED: 4 CANOPY TREES
PROPOSED: 4 ACER RUBRUM, 45" O.C.

FOUNDATION PLANTINGS:
EVERGREEN SHRUBS OR DECORATIVE GRASSES WITH MINIMUM HEIGHT OF 18" WITHIN 10' BUILDING FOUNDATION WALL VISIBLE FROM PUBLIC STREET.
- MAXIMUM 5' O.C.

GRAPHIC SCALE



REVISIONS

NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LINES	DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT	DDH
6	2025-08-28	REVISED PER TOWN COMMENTS	DDH
7	2025-10-16	REVISED PER TOWN COMMENTS	JMW

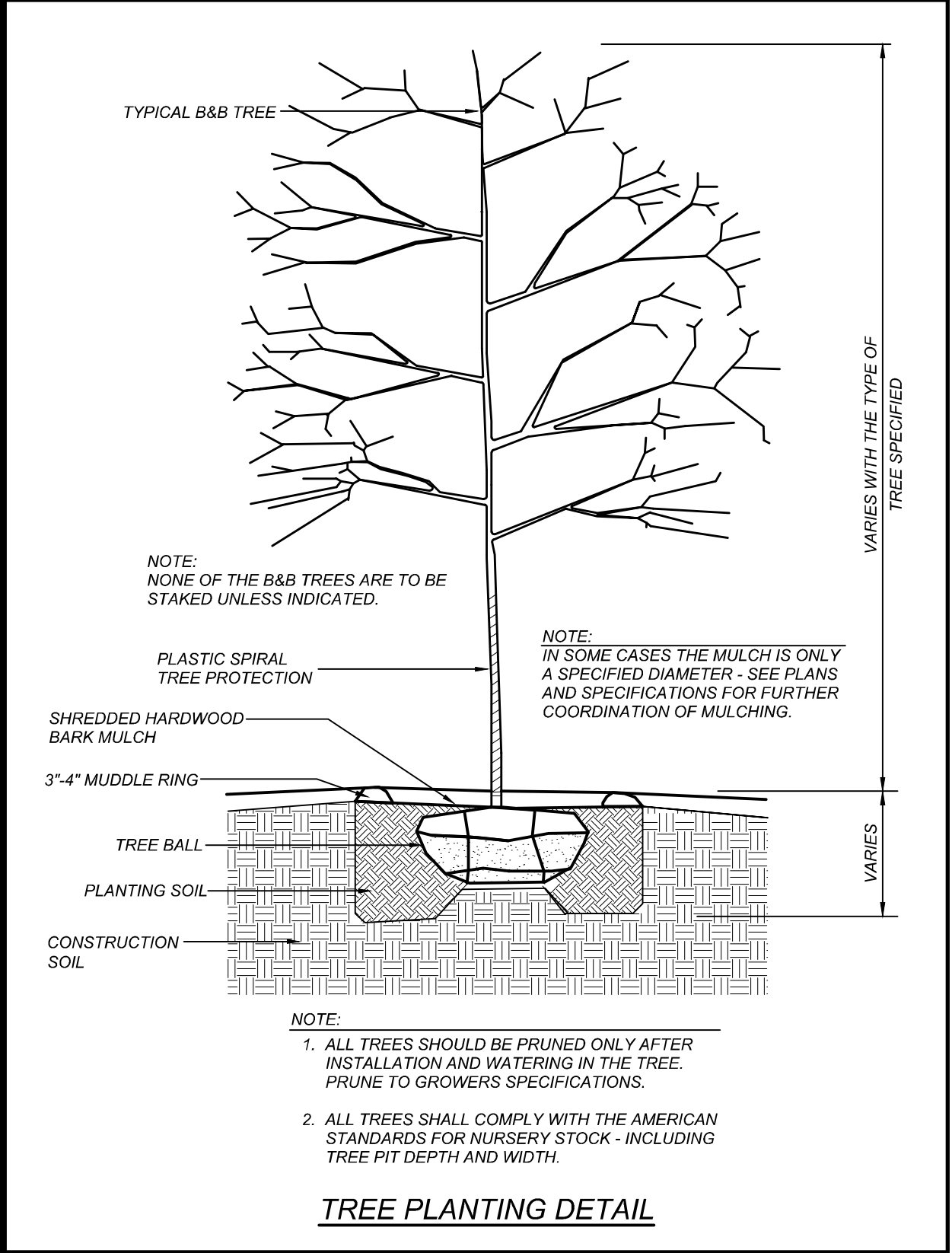
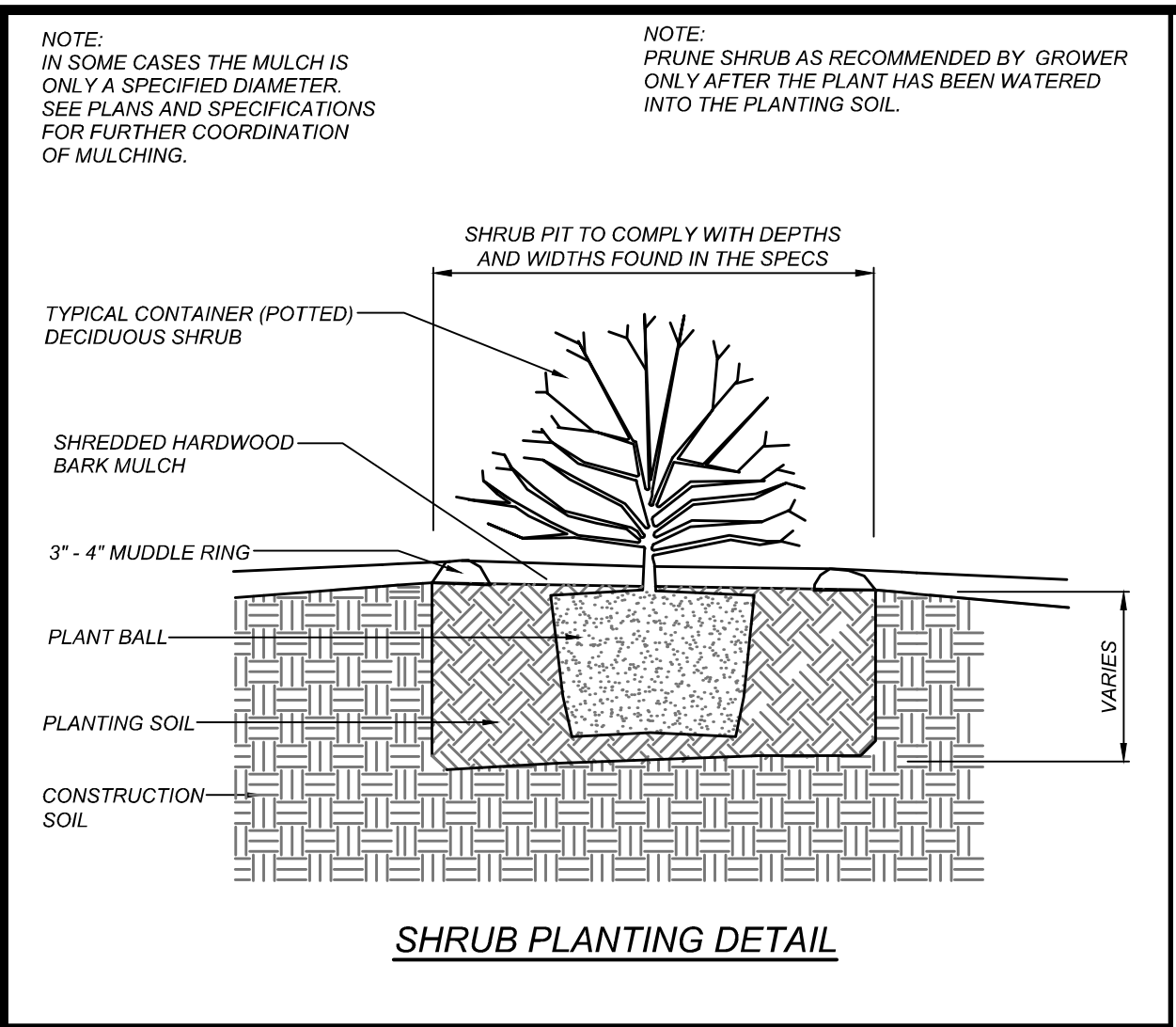
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

PROJECT NO.: OUT-1502
FILENAME: OUT1502-LS
DRAWN BY: STH
SCALE: 1"= 20'
DATE: 06-24-2025
SHEET NO.: C-13

LANDSCAPE PLAN

1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

Sambatek
www.sambatek.com
Engineering | Surveying | Planning | Environmental



PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11s)

SEEDING MIXTURE

SPECIES	RATE (lb/acre)
CENTPEDE GRASS	10-20 LB/ACRE (SEED) OR 33 BU/ACRE (SPRIGS)

SEEDING DATES:
MAR - JUNE
(SPRIGGING CAN BE DONE THROUGH JULY WHERE WATER IS AVAILABLE FOR IRRIGATION.)

SOIL AMENDMENTS
ALL LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10.

SPRIGGING
PLANT SPRIGS IN FURROWS WITH A TRACTOR-DRAWN TRANSPLANTER OR BROADCAST BY HAND.
FURROWS SHOULD BE 4-6 INCHES DEEP AND 2 FT APART. PLACE SPRIGS ABOUT 2 FT APART IN THE ROW WITH ONE END AT OR ABOVE GROUND LEVEL.
BROADCAST AT RATES SHOWN ABOVE, AND PRESS SPRIGS INTO THE TOP 1/2 - 2 INCHES OF SOIL WITH A DISK SET STRAIGHT SO THAT SPRIGS ARE NOT BROUGHT BACK TOWARD THE SURFACE.

MULCH
DO NOT MULCH.

MAINTENANCE
FERTILIZE VERY SPARINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEDEGRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

ALL STREET TREES AND PARKING LOT TREES WILL REQUIRE THE USE OF STRUCTURED SOILS PER ODO SECTION 5.6.9.B.7.

- TURF NOTES:**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- *APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) FERTILIZER - 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

- LANDSCAPE NOTES:**
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
 - PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
 - ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 - ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
 - ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL 1" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
 - SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
 - TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
 - COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
 - VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
 - MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3" - 4".
 - THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
 - SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
 - ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
 - TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
 - THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.
 - PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS: FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES 1 INCH AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D5268 WITH A PH RANGE OF 5.5 TO 7, AND A MIN. 4 PERCENT ORGANIC MATERIAL.

Seeding Specifications

NPDES Stormwater Discharge Permit for Construction Activities (NCGO1 - 4/1/19)
NCDEQ/Division of Energy, Mineral and Land Resources

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slopes

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
-Temporary grass seed covered with straw or other mulches and tackifiers	-Permanent grass seed covered with straw or other mulches and tackifiers
-Hydroseeding	-Geotextile fabrics such as permanent soil reinforcement matting
-Rolled erosion control products with or without temporary grass seed	-Hydroseeding
-Appropriately applied straw or other mulch	-Shrubs or other permanent plantings covered with mulch
-Plastic sheeting	-Uniform and evenly distributed ground cover sufficient to restrain erosion
	-Structural methods such as concrete, asphalt or retaining walls
	-Rolled erosion control products with grass seed

Seedbed Preparation:

- Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
- Rip the entire area to six inches deep.
- Remove all loose rock, roots and other obstructions, leaving surface reasonably smooth and uniform.
- Apply agricultural lime, fertilizer and superphosphate uniformly and mix with soil (see mixture below).
- Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared four to six inches deep.
- Seed on a freshly prepared seedbed and cover seed lightly with seeding equipment or cultipack after seeding.
- Mulch immediately after seeding and anchor mulch.

- Inspect all seeded areas and make necessary repairs or reseeding within the planting season, if possible. If stand should be more than 60% damaged, re-establish following the original lime, fertilizer and seeding rates.
- Consult Wake County Soil & Water or NC State Cooperative Extension on maintenance treatment and fertilization after permanent cover is established.

Mixture

Agricultural Limestone 2 tons/acre (3 tons/acre in clay soils)

Fertilizer 1,000 lbs/acre – 10-10-10

Superphosphate 500 lbs/acre – 20% analysis

Mulch 2 tons/acre – small grain straw

Anchor Asphalt emulsion at 400 gals/acre

Seeding Schedule

For Shoulders, Side Ditches, Slopes (Max 3:1):

Date	Type	Planting Rate
Aug 15– Nov 1	Tall Fescue	300 lbs/acre
Nov 1– Mar 1	Tall Fescue & Abruzzi Rye	300 lbs/acre
Mar 1– Apr 15	Tall Fescue	300 lbs/acre
Apr 15– Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1– Aug 15	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

Date	Type	Planting Rate
Mar 1– Jun 1	Sericea Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Sericea Lespedeza);
Mar 1– Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1– Jun 30	Or add Weeping Love grass	10 lbs/acre
Mar 1– Jun 30	Or add Hulled Common Bermudagrass	25 lbs/acre
Jun 1– Sept 1	Tall Fescue AND Browntop Mullet or Sorghum-Sudan Hybrids***	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Mullet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Sept 1– Mar 1	Sericea Lespedeza (unhulled – unscarified) AND Tall Fescue	70 lbs/acre (Sericea Lespedeza); 120 lbs/acre (Tall Fescue)
Nov 1– Mar 1	AND Abruzzi Rye	25 lbs/acre

Consult Wake County Soil & Water Conservation District or NC State Cooperative Extension for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those that do well under local conditions; other seeding rate combinations are possible.

*** TEMPORARY: Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow more than 12" in height before mowing; otherwise, fescue may be shaded out.

REVISIONS							BY
NO.	DATE	DESCRIPTION	DDH	DDH	DDH	DDH	
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH	DDH	DDH	DDH	
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANE	DDH	DDH	DDH	DDH	
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH	DDH	DDH	DDH	
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7	2025-10-16	REVISED PER TOWN COMMENTS	DDH	DDH	DDH	DDH	



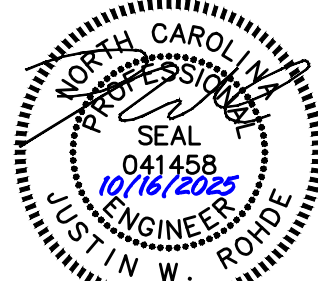
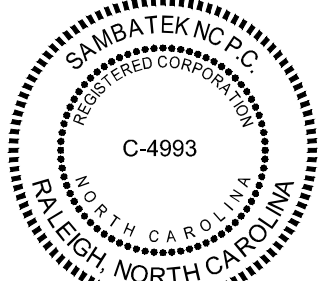
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

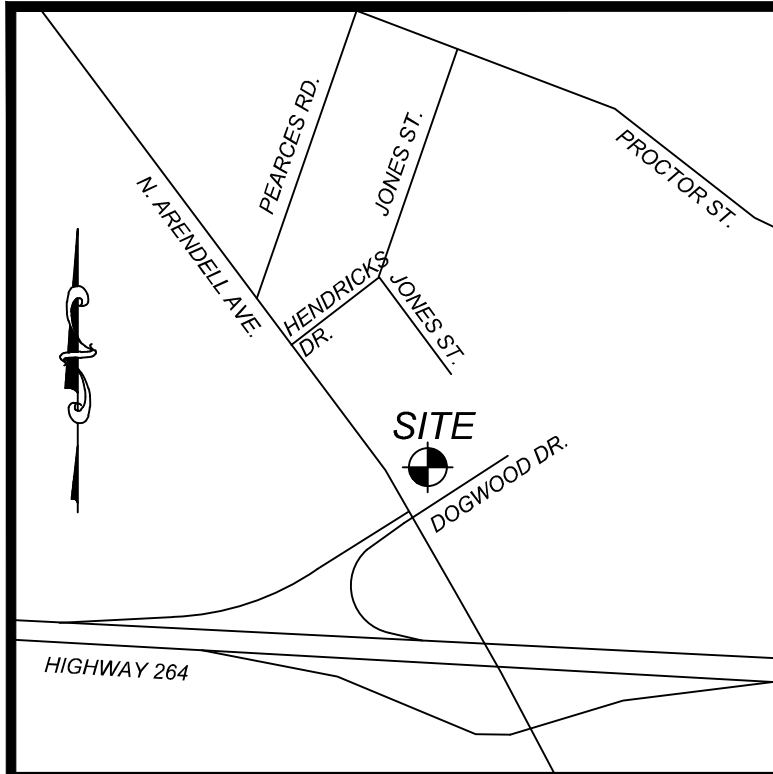
COOKOUT
FRESH HAMBURGERS
1200 NORTH ARENDELL AVENUE
ZEBULON, NORTH CAROLINA
LANDSCAPE DETAILS AND NOTES

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-LS2
DRAWN BY:	STH
SCALE:	1"= 20'
DATE:	06-24-2025
SHEET NO.	C-14

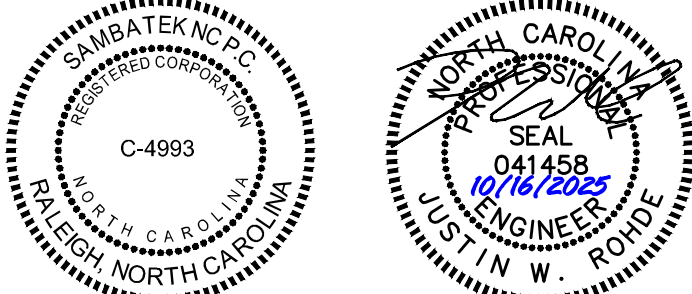


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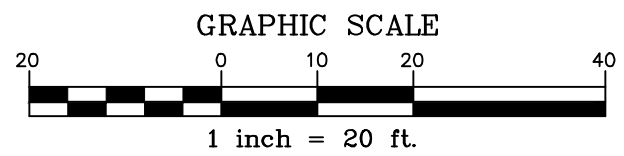
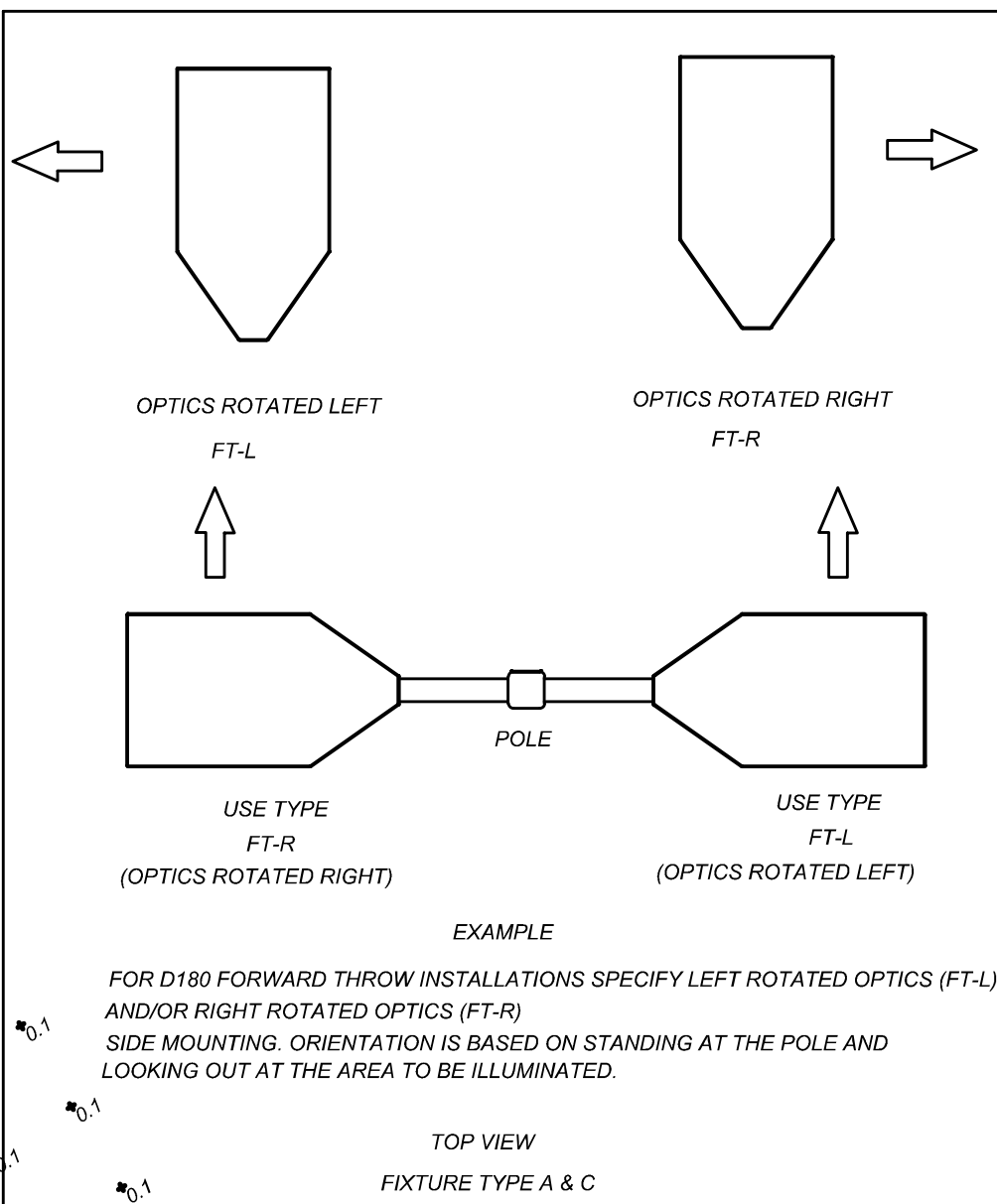
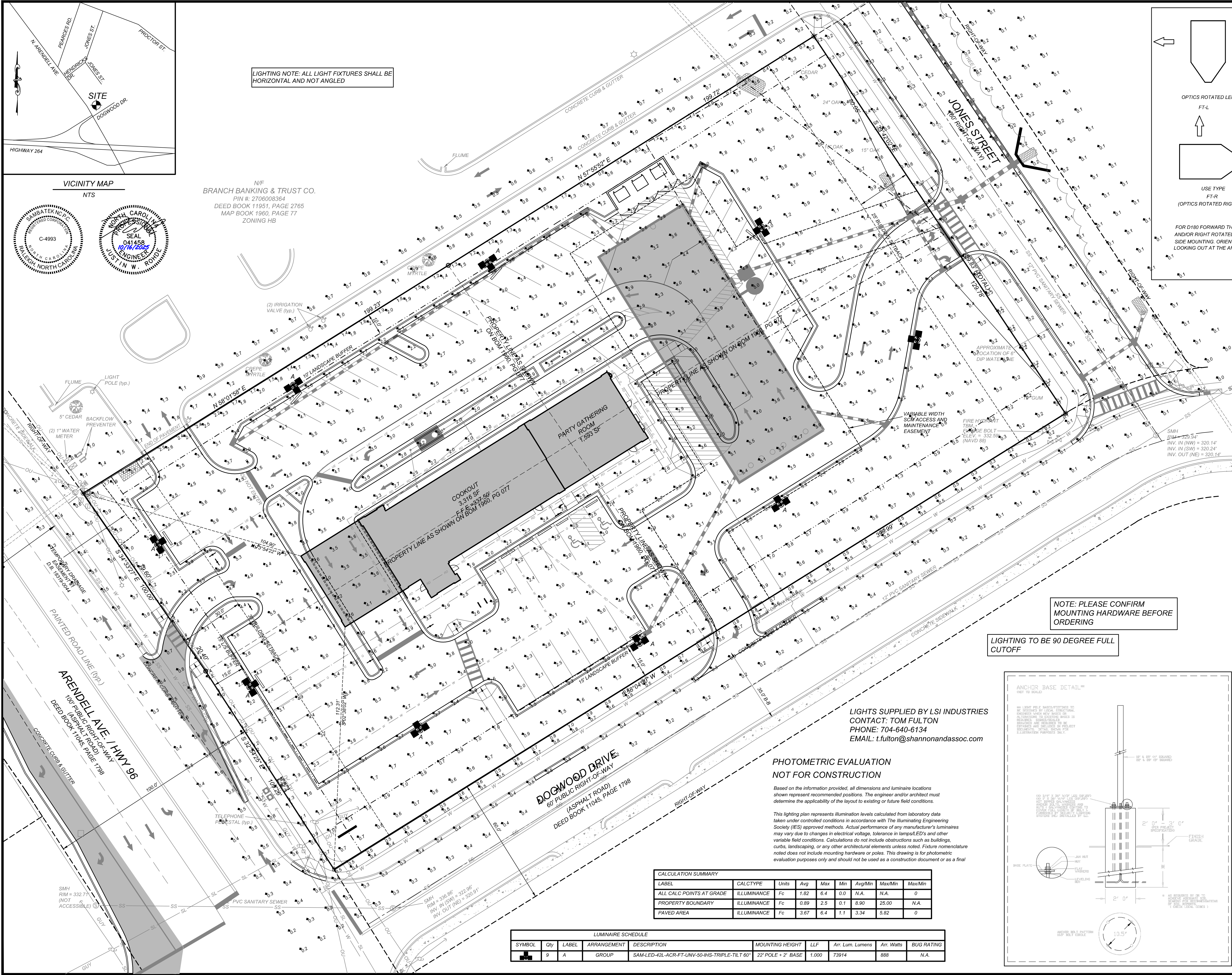


VICINITY MAP
NTS



N/F
BRANCH BANKING & TRUST CO.
PIN #: 2706008364
DEED BOOK 11951, PAGE 2765
MAP BOOK 1960, PAGE 77
ZONING HB

LIGHTING NOTE: ALL LIGHT FIXTURES SHALL BE HORIZONTAL AND NOT ANGLED



NOTE: PLEASE CONFIRM MOUNTING HARDWARE BEFORE ORDERING

LIGHTING TO BE 90 DEGREE FULL CUTOFF

LIGHTS SUPPLIED BY LSI INDUSTRIES
CONTACT: TOM FULTON
PHONE: 704-640-6134
EMAIL: t.fulton@shannonandassoc.com

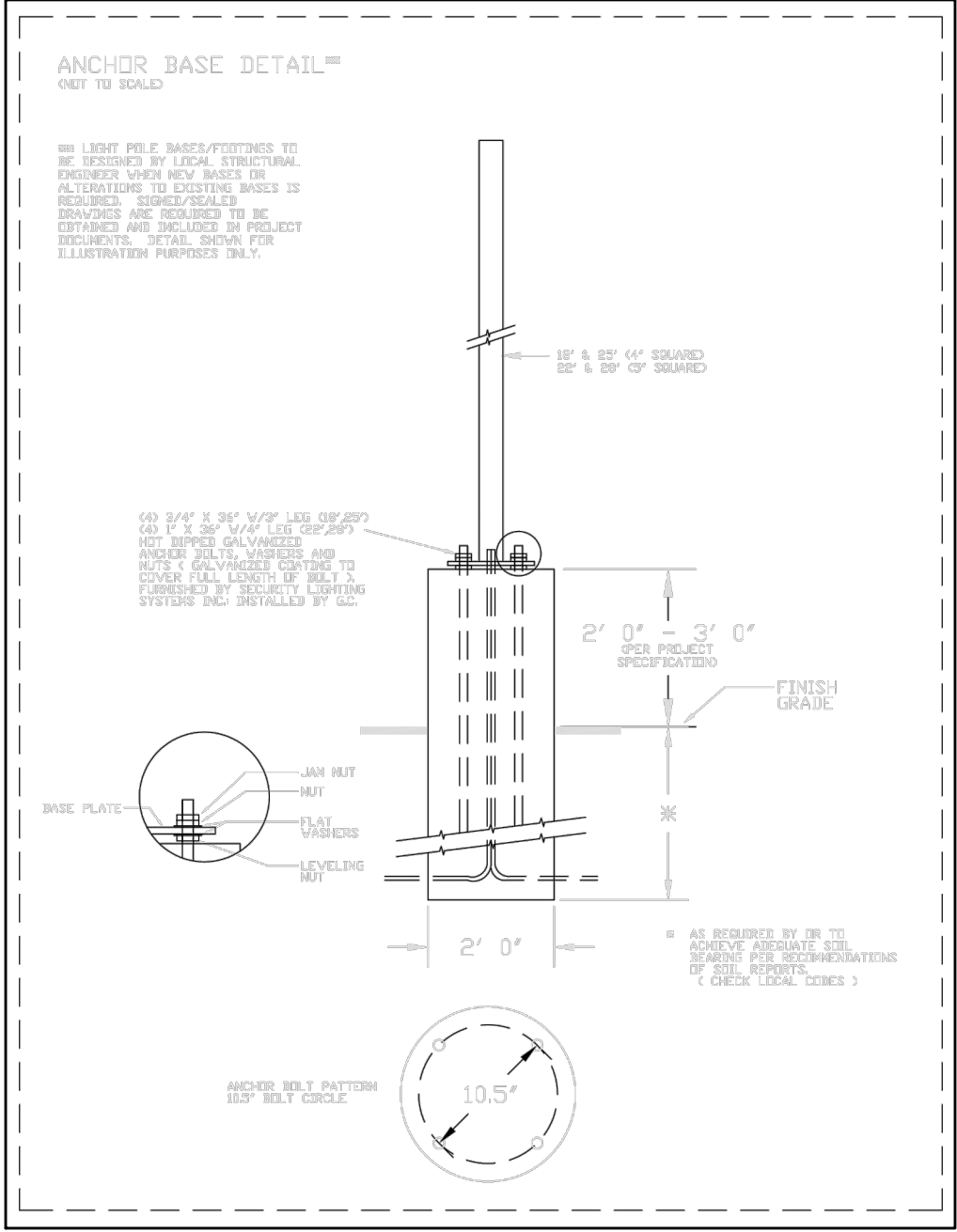
PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final

CALCULATION SUMMARY							
LABEL	CALCTYPE	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	ILLUMINANCE	Fc	1.82	6.4	0.0	N/A	N/A
PROPERTY BOUNDARY	ILLUMINANCE	Fc	0.89	2.5	0.1	8.90	25.00
PAVED AREA	ILLUMINANCE	Fc	3.67	6.4	1.1	3.34	5.82

LUMINAIRE SCHEDULE							
SYMBOL	Qty	LABEL	ARRANGEMENT	DESCRIPTION	MOUNTING HEIGHT	LLF	Arr. Lum. Lumens
[Symbol]	9	A	GROUP	SAM-LED-42L-ACR-FT-UNV-50-IHS-TRIPLE-TILT 60°	22' POLE + 2' BASE	1,000	73914
							Arr. Watts
							888
							BUG RATING
							N.A.



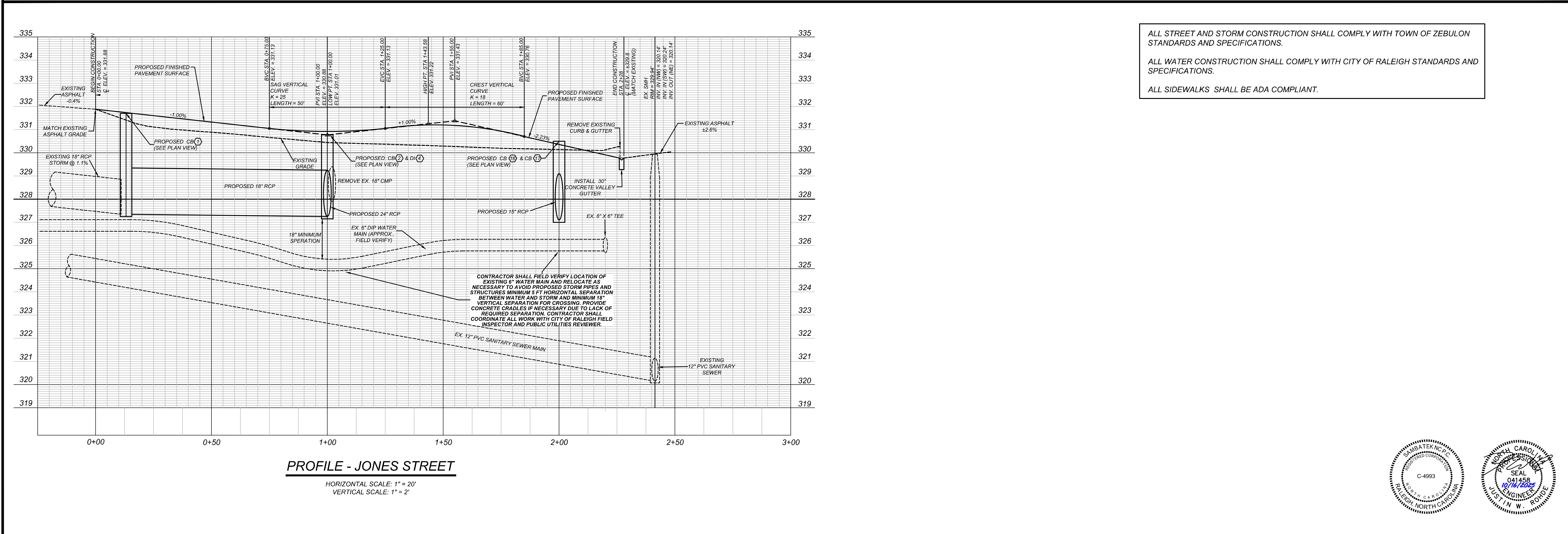
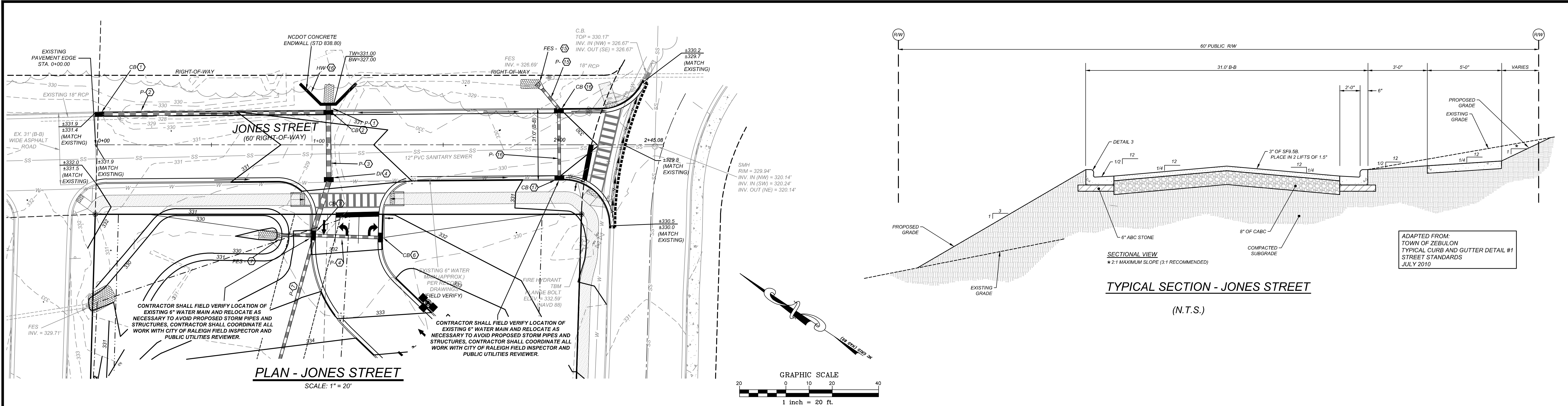
LIGHTING PROPOSAL LO-156278-1
COOKOUT RESTAURANT ZEBULON, NC
DATE: 06-24-2025
SHEET NO. 1 OF 1
SCALE: 1"=20'

REVISIONS			
NO.	DATE	DESCRIPTION	BY
2	2023-10-17	TFC & WAKE COUNTY COMMENTS	DDH
3	2024-09-26	REV. ENTRANCE DRIVE/TURN LANES	DDH
4	2025-04-02	REVISE BUILDING FOOTPRINT	DDH
5	2025-06-24	REVISE BUILDING FOOTPRINT	DDH
6	2025-08-28	REVISED PER TOWN COMMENTS	DDH
7	2025-10-16	REVISED PER TOWN COMMENTS	JMW



CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649

PROJECT NO. OUT-1502
FILENAME: OUT1502-LI
DRAWN BY: STH
SCALE: 1"=20'
DATE: 06-24-2025
SHEET NO. 1 OF 1
C-15



REVISIONS			
1	2023-06-08	REVISED PER TOWN AND WAKE EC	KL
2	2023-10-17	TRC & WAKE COUNTY COMMENTS	DDH
NO.	DATE	DESCRIPTION	BY

Engineering | Surveying | Planning | Environmental

COOK OUT
1200 ARENDELL AVENUE
ZEBULON, NORTH CAROLINA

PLAN AND PROFILE - JONES STREET
STATION 0+00.00 THRU 2+45.08

CLIENT:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, N.C. 27360
PHONE: (336) 215-7025
FAX: (336) 474-1849

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-PP1
DRAWN BY:	RCN
DESIGNED BY:	WBB
HORIZONTAL SCALE:	1" = 20'
VERTICAL SCALE:	1" = 2'
DATE:	10-07-15

SHEET NO.

P-1



344 CELO KNOB TRAIL
KERNERSVILLE, NC 27284
336.613.9569
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ZEBULON
WAKE COUNTY

1200 NORTH ARENDELL AVE.
ZEBULON, NC

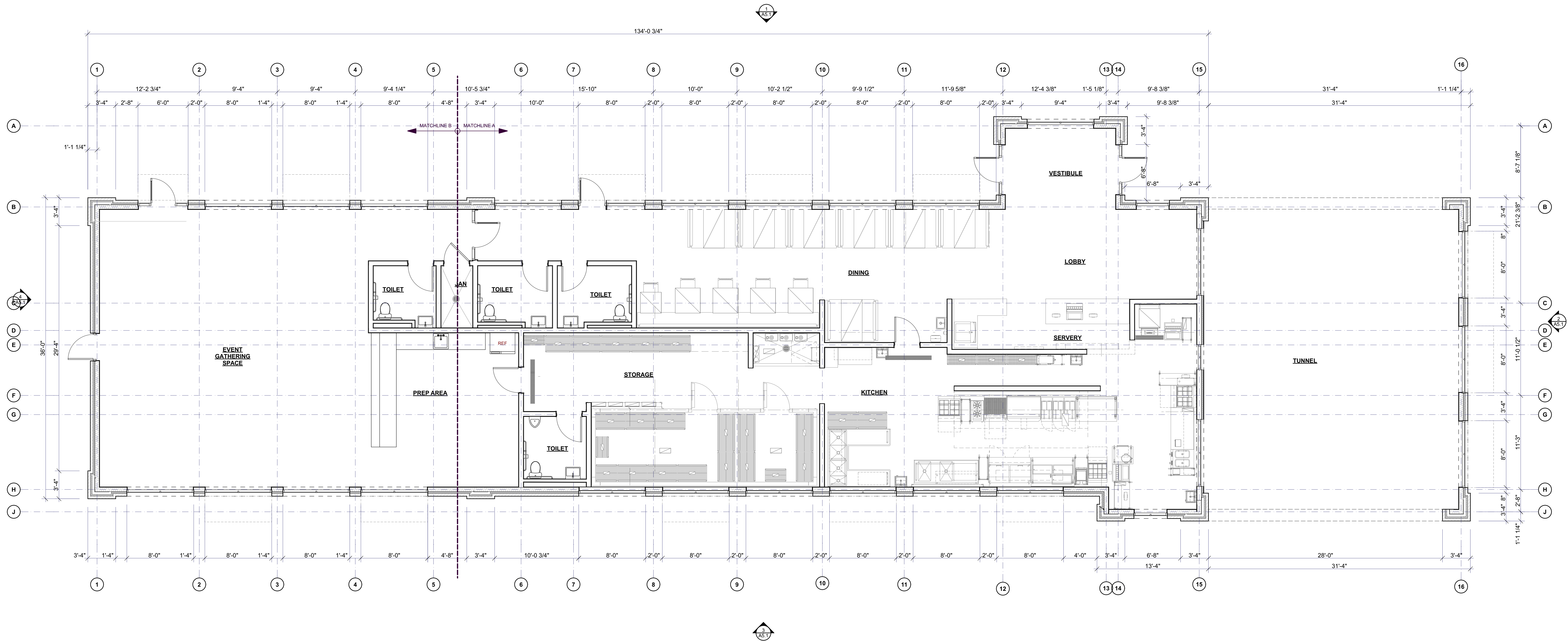
REVISIONS:

PRELIMINARY FOR REVIEW
NOT FOR CONSTRUCTION

ISSUE DATE: 06-13-2025

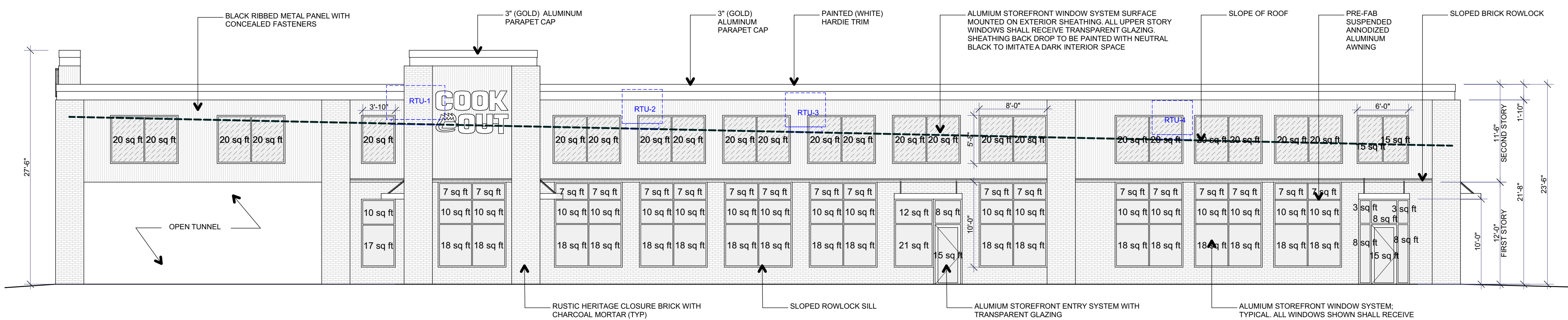
SHEET TITLE
OVERALL FLOOR
PLAN

A2.0





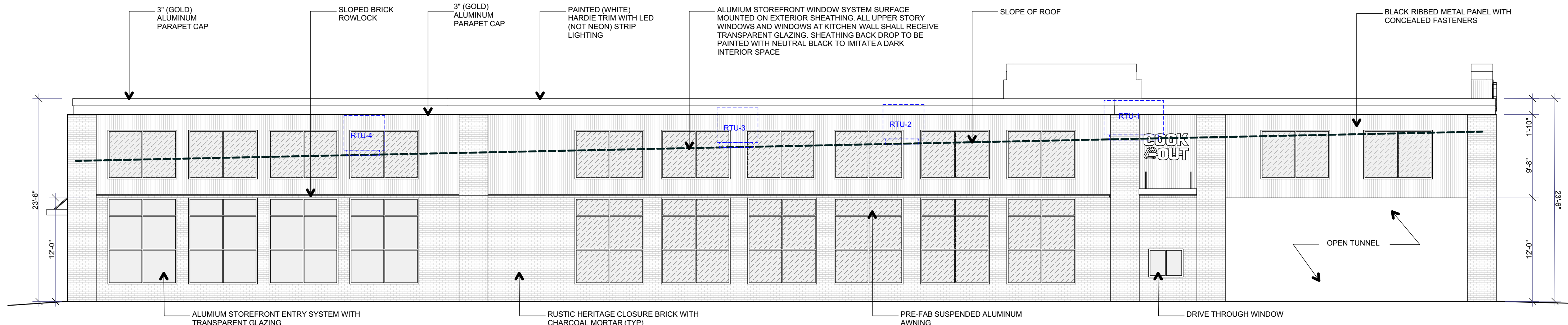
8
A5.1
EXTERIOR PERSPECTIVE
NOT TO SCALE



1
A5.1
SIDE (STREET) ELEVATION
SCALE: 1/8" = 1'-0"

FIRST STORY SURFACE AREA:	1,660 sq ft
FIRST STORY TRANSPARENCY:	758 sq ft
PERCENTAGE OF TRANSPARENCY:	45.6%
COMPLIES WITH MINIMUM 40% TRANSPARENCY	

SECOND STORY SURFACE AREA:	1,902 sq ft
SECOND STORY TRANSPARENCY:	490 sq ft
PERCENTAGE OF TRANSPARENCY:	25.7%
COMPLIES WITH MINIMUM 25% TRANSPARENCY	



3
A5.1
SIDE ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- INDICATES RIBBED METAL PANEL WITH CONCEALED FASTENERS; SEE FINISH SPECIFICATIONS
- INDICATES TRANSPARENT GLAZING WITH SHEATHING BACK DROP PAINTED NEUTRAL BLACK TO IMITATE A DARK INTERIOR SPACE
- INDICATES TRANSPARENT GLAZING INTO INTERIOR SPACE
- INDICATES WOOD ARCHITECTURAL PANEL; SEE FINISH SPECIFICATIONS ~~DELETED FROM SCOPE~~
- INDICATES BRICK VENEER; SEE FINISH SPECIFICATIONS

BRICK VENEER SPECIFICATION:	
MANUFACTURER:	STATESVILLE BRICK CO.
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK
MORTAR COLOR:	AUTHENTIC TUMBLED SERIES CHARCOAL (TYPE S)

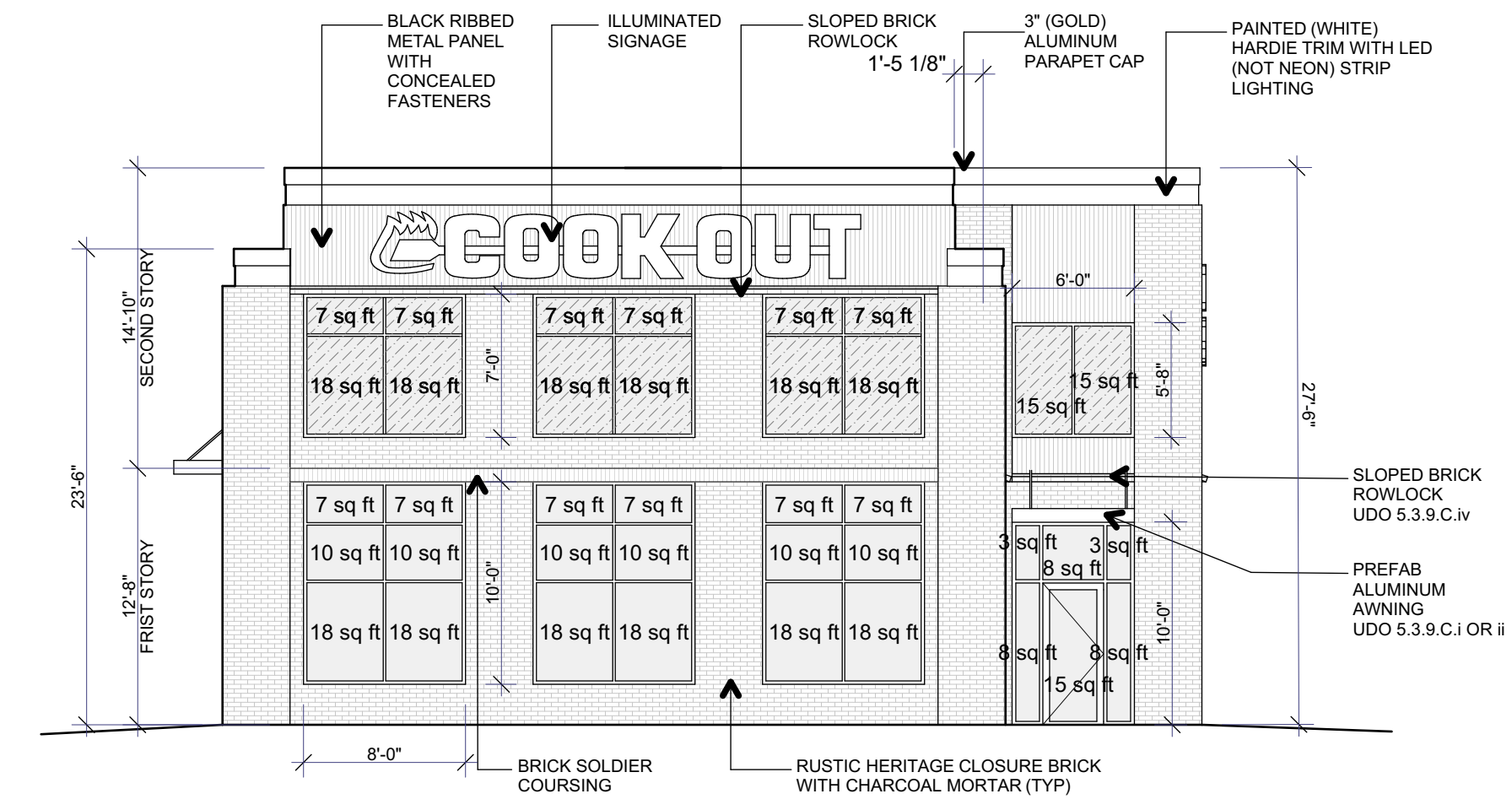
NICHHA ARCHITECTURAL WALL PANEL SPECIFICATION:	
PANEL SERIES:	VINTAGEWOOD
FINISH / COLOR:	MATTE / SPRUCE
PANEL ORIENTATION:	VERTICAL
MATERIAL TYPE:	FIBER CEMENT DELETED FROM SCOPE

PREFERRED METAL PANEL SPECIFICATION:	
MANUFACTURER:	BERTRIDGE
PRODUCT:	HR-16
COLOR:	MATTE BLACK METAL
PATTERN:	INSTALL VERTICALLY

PLAN COLOR:	BLACK
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 6990
PRODUCT NAME:	CAVIAR
PAINT FINISH:	FLAT

PLAN COLOR:	WHITE
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 7070
PRODUCT NAME:	SITE WHITE
PAINT FINISH:	FLAT

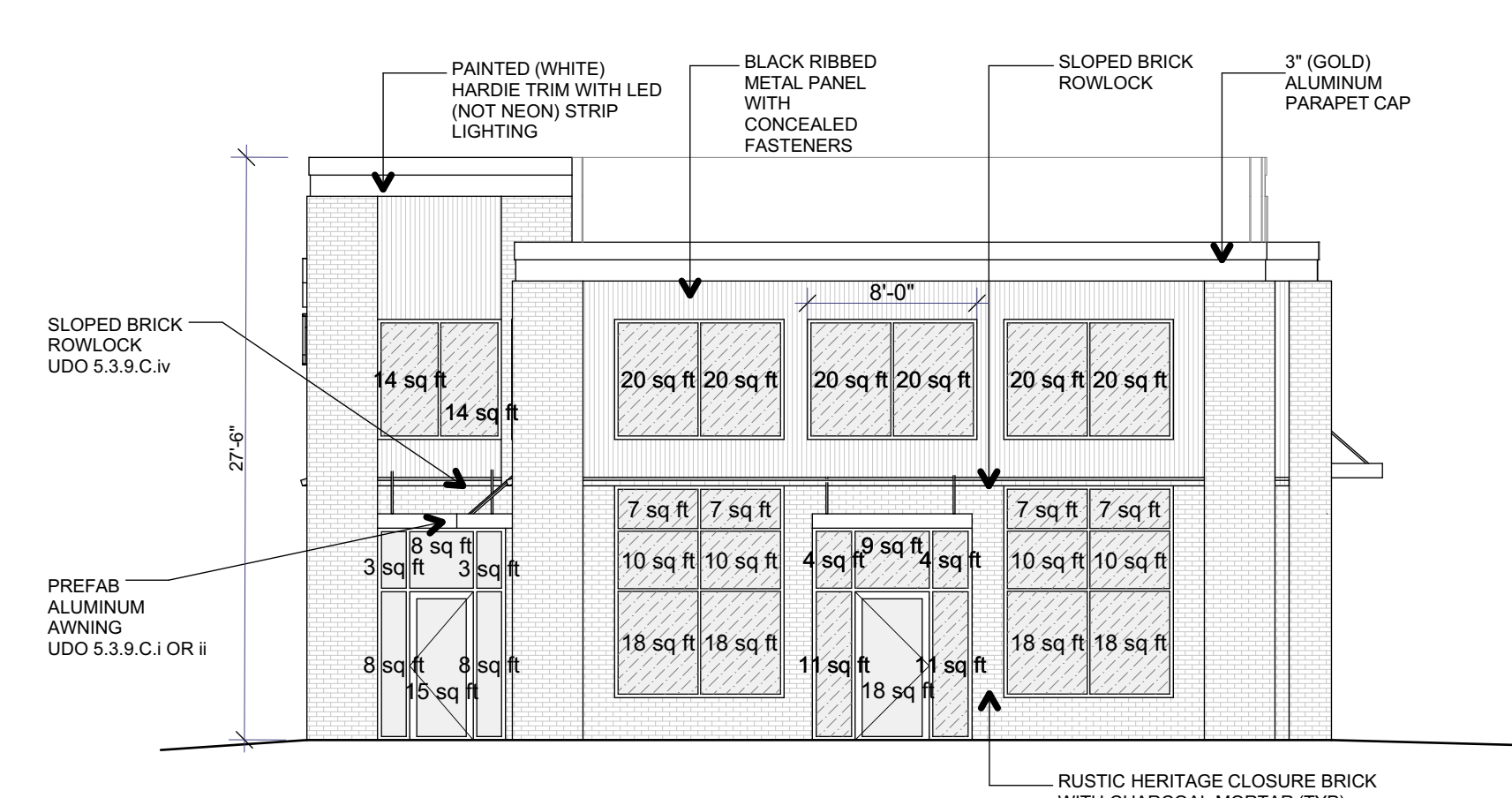
PLAN COLOR:	GOLD
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	PER OWNER
PRODUCT NAME:	PER OWNER
PAINT FINISH:	FLAT



2
A5.1
FRONT (STREET) ELEVATION
SCALE: 1/8" = 1'-0"

FIRST STORY SURFACE AREA:	599 sq ft
FIRST STORY TRANSPARENCY:	255 sq ft
PERCENTAGE OF TRANSPARENCY:	42.5%
COMPLIES WITH MINIMUM 40% TRANSPARENCY	

SECOND STORY SURFACE AREA:	718 sq ft
SECOND STORY TRANSPARENCY:	180 sq ft
PERCENTAGE OF TRANSPARENCY:	25.0%
COMPLIES WITH MINIMUM 25% TRANSPARENCY	



4
A5.1
REAR ELEVATION
SCALE: 1/8" = 1'-0"

FIRST STORY SURFACE AREA:	599 sq ft
FIRST STORY TRANSPARENCY:	242 sq ft
PERCENTAGE OF TRANSPARENCY:	40.4%
COMPLIES WITH MINIMUM 40% TRANSPARENCY	

SECOND STORY SURFACE AREA:	522 sq ft
SECOND STORY TRANSPARENCY:	148 sq ft
PERCENTAGE OF TRANSPARENCY:	28.3%
COMPLIES WITH MINIMUM 25% TRANSPARENCY	

REVISIONS:

PRELIMINARY FOR REVIEW
NOT FOR CONSTRUCTION

ISSUE DATE: 08-29-2025

SHEET TITLE

EXTERIOR
ELEVATIONS

A5.1