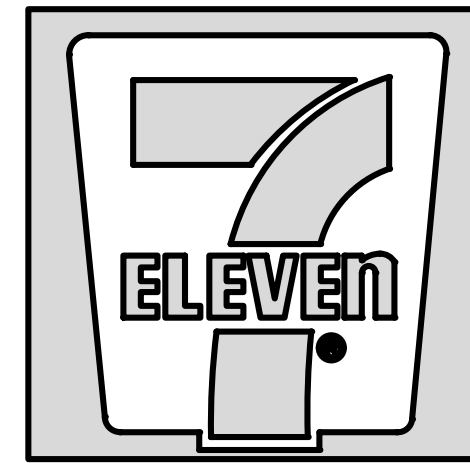


CONSTRUCTION DOCUMENTS

Proposed

7-Eleven Store #42378



1106 N. Arendell Avenue
Zebulon, North Carolina
Wake County

DEVELOPER

C4 CStore Holdings III, LLC
Nick Carroll
801 East Boulevard
Charlotte, NC 28202
(502) 693-0396
ncarroll@csere.com

CIVIL ENGINEER

Bowman North Carolina, Ltd.
4006 Barrett Drive, Suite 104
Raleigh, NC 27609
(919) 553-6570
mlowder@bowman.com
FIRM# F-1445

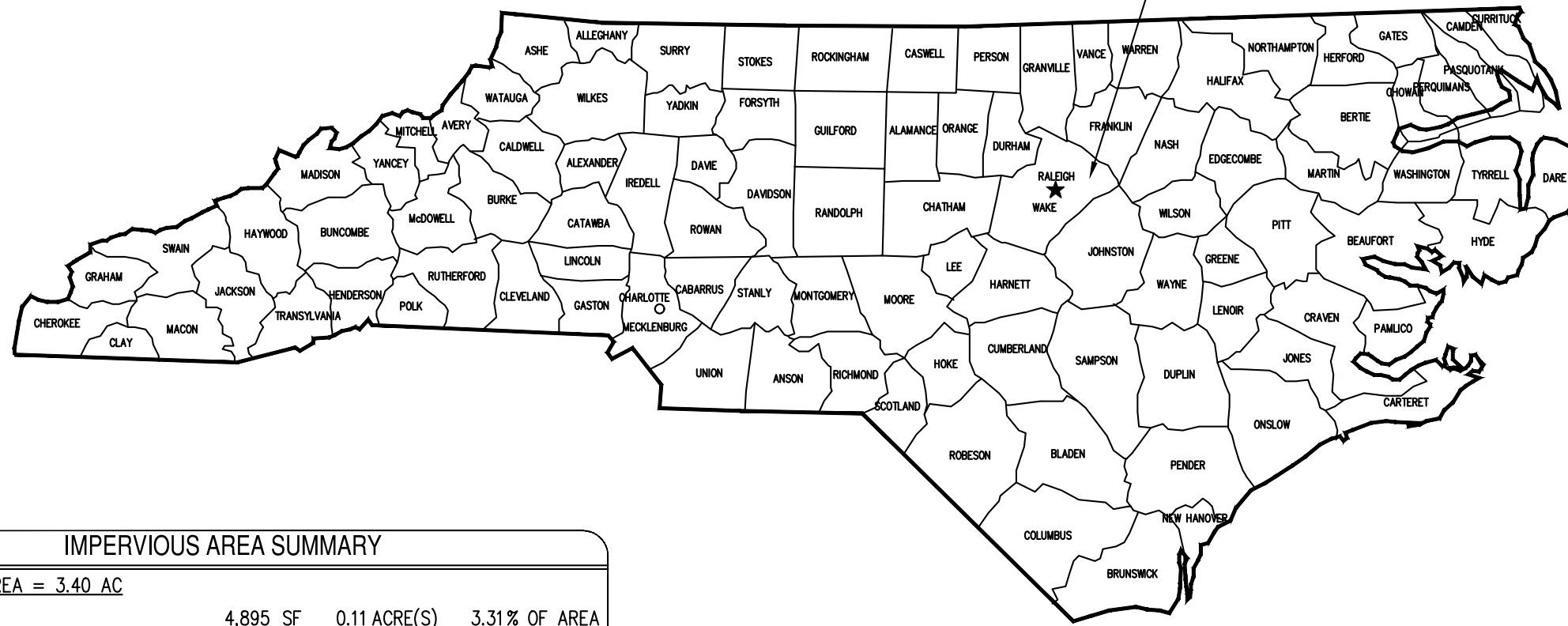
CURRENT PROPERTY OWNERS

Carl Victor Tart, Jr. and Vickie Newton Tart Burlington
7815 Roxboro Road
Bahama, NC 27503-9045

WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS
DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS
NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS
SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS
STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

SITE



IMPERVIOUS AREA SUMMARY

ON-SITE AREA = 3.40 AC			
BUILDINGS	4,895 SF	0.11 ACRE(S)	3.31 % OF AREA
SIDEWALK	4,125 SF	0.09 ACRE(S)	2.79 % OF AREA
PAVEMENT	69,870 SF	1.60 ACRE(S)	47.18 % OF AREA
TOTAL IMPERVIOUS AREA	78,890 SF	1.81 ACRE(S)	53.27 % OF AREA
GREEN/OPEN SPACE	69,213 SF	1.59 ACRE(S)	46.73 % OF AREA
EXISTING ON-SITE IMPERVIOUS AREA	5,724 SF	0.13 ACRE(S)	
INCREASE IN IMPERVIOUS AREA	73,166 SF	1.68 ACRE(S)	
OFF-SITE IMPERVIOUS (PUBLIC ROW)			
SIDEWALK	4,730 SF	0.11 ACRE(S)	
PAVEMENT	20,830 SF	0.48 ACRE(S)	
TOTAL OFF-SITE IMPERVIOUS AREA	25,560 SF	0.59 ACRE(S)	

PROJECT DEVELOPMENT DATA

STREET ADDRESS:	1106 N ARENDELL AVE
PIN:	2705-19-1832
REID:	0069358
DEED BOOK/PAGE:	1465/154 & 2755/492
ZONING DISTRICT:	HC-C (HEAVY COMMERCIAL-CONDITIONAL)
(ZONING CASE: ORDINANCE	2024-07 - CONDITIONAL ZONING 2023-03)
SITE AREA:	3.40 AC (3.86 AC - 0.46 AC R/W DEDICATION)
LATITUDE & LONGITUDE:	35°50'11.0"N 78°19'17.4"W
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT (FORMERLY SINGLE FAMILY)
PROPOSED BUILDING USE:	CONVENIENCE STORE WITH GASOLINE SALES
GROSS BUILDING AREA:	4,896 SF
MINIMUM LOT SIZE:	6000 SF
MINIMUM LOT WIDTH:	50 FT
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	5 FT
MINIMUM REAR SETBACK:	25 FT
MAXIMUM LOT COVERAGE:	80%
MAXIMUM BUILDING HEIGHT:	50 FT
OPEN SPACE REQUIRED:	3% OF DEVELOPMENT AREA 3% OF 3.40 AC = 0.10 AC
PARKING REQUIREMENT:	
TOTAL REQUIRED:	1 FOR EVERY 200 SF 4,901 SF/200 = 25 SPACES
PARKING SPACES PROVIDED:	35
PARKING SPACE DIMENSIONS:	10 FT X 19 FT MINIMUM
STACKING SPACES REQUIRED:	1 ON EACH SIDE OF OUTERMOST GAS PUMP
STACKING SPACE DIMENSIONS:	9 FT X 25 FT
MIN DRIVE AISLE:	24 FT
ACCESSIBLE SPACES PROVIDED:	2
BICYCLE PARKING:	1 PER 20 OFF-STREET PARKING SPACES 2 SPACES PROVIDED
LANDSCAPE BUFFERS:	40FT TYPE D BUFFER ADJACENT TO RESIDENTIAL
STREETSCAPE BUFFER:	15 FT WIDTH

PUBLIC IMPROVEMENT QUANTITY TABLE

	WATER MAIN	SEWER MAIN
LENGTH OF PIPE (L.F.)	405 L.F.	365 L.F.
STUB COUNT	1 SERVICE STUB 1 TIE-IN TO EXISTING MAIN	1 SERVICE STUB 1 TIE-IN TO EXISTING MAIN
MANHOLES	N/A	2

ZONING CONDITIONS (ORDINANCE 2024-07 - CONDITIONAL ZONING 2023-03)

- DEVELOPMENT OF THE PROPERTY FOR A CONVENIENCE STORE WITH GASOLINE SALES USE SHALL BE SUBSTANTIALLY AS SHOWN ON THE CONCEPT PLAN APPROVED AS A PART OF THIS ZONING REQUEST AND AS SHOWN ON A SITE/DEVELOPMENT PLAN APPROVED SUBSEQUENT AND PURSUANT TO THIS ZONING. DEVELOPMENT OF THE USE ON THE PROPERTY AS DESCRIBED ABOVE SHALL NOT BE SUBJECT TO THE USE-SPECIFIC STANDARD IN UDO 4.3.5.2.1, MORE SPECIFICALLY THIS CONDITION PERMITS GASOLINE PUMP ISLAND TO BE LOCATED BETWEEN THE BUILDING AND STREET AS SHOWN ON THE CONCEPT PLAN.
- THIS ZONING AND THE ASSOCIATED SITE/BUILDING DESIGN PROPOSED AS A PART OF THE REQUEST CONSIDERS CERTAIN UDO REQUIREMENTS IN RELATION TO: THE NATURE OF THE PROPOSED COMMERCIAL USE WHICH IS PERMITTED BY-RIGHT UNDER THE EXISTING HC ZONING; THE PROPERTY BEING ADJACENT TO STREET RIGHTS-OF-WAY ON THREE SIDES, SUBJECTING PROPOSED DEVELOPMENT AT THIS LOCATION TO ADDITIONAL STANDARDS NOT APPLICABLE TO THE SAME DEVELOPMENT TYPE THROUGHOUT ALL HC ZONING; AND, ASPECTS OF THE PROPOSED SITE/BUILDING DESIGN THAT EXCEED THE MINIMUM UDO REQUIREMENTS AS SHOWN AND DESCRIBED IN THE DOCUMENTS SUBMITTED AS A PART OF THE ZONING REQUEST. BASED ON CONSIDERATION OF THESE FACTORS, VARIATION IN THE FENESTRATION REQUIREMENTS FOR THE SOUTH, WEST, AND EAST BUILDING FACADES IS ALLOWED AS SHOWN ON PLANS APPROVED AS PART OF THIS ZONING, MORE SPECIFICALLY:
 - SOUTH WALL: 28% TRANSPARENCY/GLAZING PROVIDED (MINIMUM 30% REQUIRED); WALL DOES NOT FACE AN ADJACENT STREET.
 - WEST WALL: 33% TRANSPARENCY/GLAZING PROVIDED (MINIMUM 30% REQUIRED); USE OF SPANDREL GLAZING DUE TO INTERIOR LAYOUT REQUIREMENTS FOR SPECIFIC BUILDING USE; CANOPIES ARE PROVIDED ABOVE GLAZING ON THIS FACADE
 - EAST WALL: NO TRANSPARENCY PROVIDED (VIEW OF WALL FROM THE ADJACENT STREET WILL BE SCREENED BY MULTIPLE DIFFERENT DESIGN ASPECTS REQUIRED BY THE UDO AND OTHER FEATURES INCLUDING: REQUIRED DUMPSTER ENCLOSURE AND LANDSCAPE SCREENING; STREET TREES; CANOPY AND UNDERSTORY TREES AND SHRUBS WITHIN THE REQUIRED STREET BUFFER; AND THE PROPOSED FUELING AREA AND ASSOCIATED STRUCTURES).
- THE DEVELOPER SHALL CONSTRUCT/PROVIDE THE FOLLOWING TRAFFIC IMPROVEMENTS AS SHOWN ON THE DIAGRAM TITLED: "PROPOSED LAND CONFIGURATIONS AND TRAFFIC CONTROL, ZEBULON 7-ELEVEN, ZEBULON, NC, FIGURE 14", PREPARED BY IMPACT DESIGNS, INC. AGREED UPON BY DEVELOPMENT TEAM, TOWN OF ZEBULON, AND NCDOT ON 7/27/2023. PLANS/DETAILS OF THESE IMPROVEMENTS SHALL BE SHOWN ON THE SITE/CONSTRUCTION PLANS SUBMITTED TO THE TOWN FOR REVIEW SUBSEQUENT TO REZONING.
 - 125-FOOT EASTBOUND RIGHT TURN LANE ON DOGWOOD DRIVE AT SITE ACCESS A.
 - 150-FOOT WESTBOUND LEFT TURN LANE ON DOGWOOD DRIVE AT N ARENDELL AVE.
 - 300-FOOT LEFT TURN LANE ON US 64 HIGHWAY WB OFF-RAMP
 - RETINE TRAFFIC SIGNALS IN THE AM AND PM PEAK HOURS
 - UPGRADE SIGNAL AT N ARENDELL AVE/DOGWOOD DRIVE/US 64 WB RAMP TO ACCOMMODATE NEW LEFT TURN LANES

UTILITY SERVICE NOTES

WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
GENERAL CONTRACTOR TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 919-857-4540

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT:
TELEPHONE:

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-

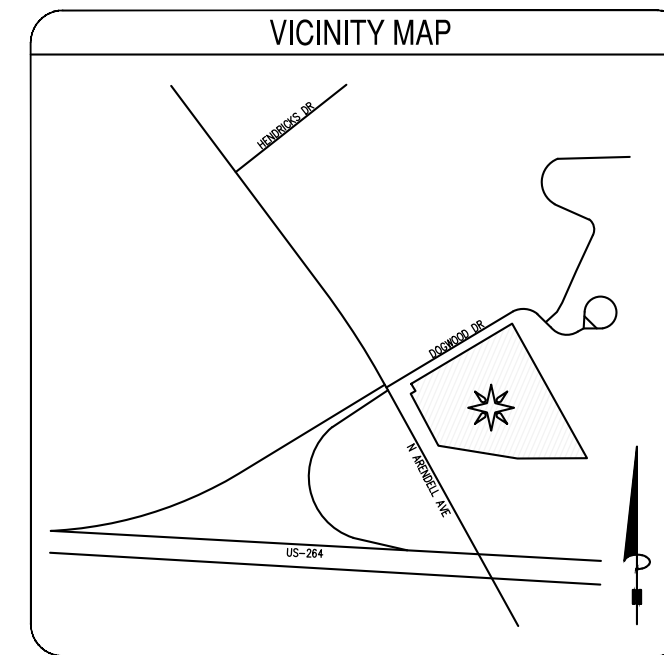
STORMWATER MGMT. S-

FLOOD STUDY S-

DATE _____



ENVIRONMENTAL CONSULTANT SIGNATURE



Index of Drawings

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C2.1	EROSION CONTROL PLAN - INITIAL
C2.2	EROSION CONTROL PLAN - INTERMEDIATE
C2.3	EROSION CONTROL PLAN - FINAL
C2.4	EROSION CONTROL NOTES
C2.5	NC CONSTRUCTION GENERAL PERMIT (NCGOT)
C3.0	SITE PLAN
C3.1	PAVEMENT PLAN
C3.2	ROADWAY PROFILE
C3.3	ROADWAY PLAN (1 OF 2)
C3.4	ROADWAY PLAN (2 OF 2)
C3.5	TRUCK TURN PLAN (WB-50)
C3.6	TRUCK TURN PLAN (WB-67)
C4.0	GRADING PLAN
C4.1	GRADING & DRAINAGE NOTES
C4.2	CUT-FILL ANALYSIS PLAN
C5.0	UTILITY PLAN
C5.1	UTILITY NOTES
C5.2	SEWER PLAN & PROFILE
C5.3	WATER PLAN & PROFILE
C6.0	EROSION CONTROL DETAILS
C6.1	EROSION CONTROL DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
C6.4	CONSTRUCTION DETAILS
C6.5	OFFSITE CONSTRUCTION DETAILS
C6.6	OFFSITE CONSTRUCTION DETAILS
C6.7	OFFSITE CONSTRUCTION DETAILS
C6.8	GRADING & DRAINAGE DETAILS
C6.9	SEWER DETAILS
C6.10	SEWER DETAILS
C6.11	SEWER DETAILS
C6.12	WATER DETAILS
C6.13	STORMWATER MANAGEMENT DETAILS
C6.14	STORMWATER MANAGEMENT DETAILS
C7.0	LANDSCAPING PLAN
C7.1	LANDSCAPING NOTES
C8.0	LIGHTING PLAN
RI.00	SHELL PLAN
RI.01	REVIEW BOARD ELEVATIONS
RI.01	REVIEW BOARD ELEVATIONS

PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4087
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5404
Authorization to Construct See digital signature

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for **contacting the Public Utilities Department at (919)996-4540** at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

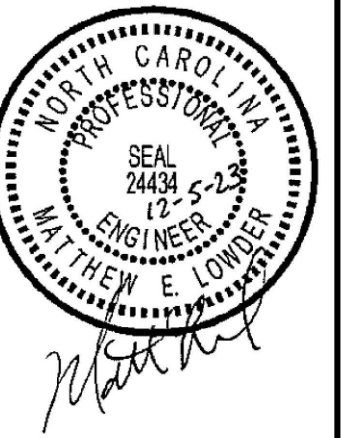
Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

PRECONSTRUCTION NOTE
A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

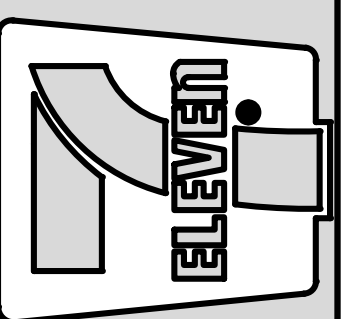


Know what's below.
Call before you dig.

Bowman
Bowman North Carolina Ltd.
4006 Barrett Drive, Suite 104
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	07/23/23	BRN
2	TOWN OF ZEBULON REVIEW	07/23/23	BRN

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM	
DGNR. BRM & MCB	
PM/DP: ML	
R/W/R: ML	
ISSUE DATE: 12/5/2023	
ADDRESS	1106 N ARENDELL AVE ZEBULON, NC 27597
SHEET TITLE	COVER SHEET
DRWG. NO.	C0.0

- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 - THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
 - THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 - CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
 - REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
 - REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
 - THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
 - INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
 - SAWOUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWOUT EXISTING PAVEMENT.
 - ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 - ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 - THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

N/F
 OWNER:
 COOK OUT-ZEBULON INC
 1200 N ARENDELL AVE
 PIN: 2706008192
 DB 18079 PG 631

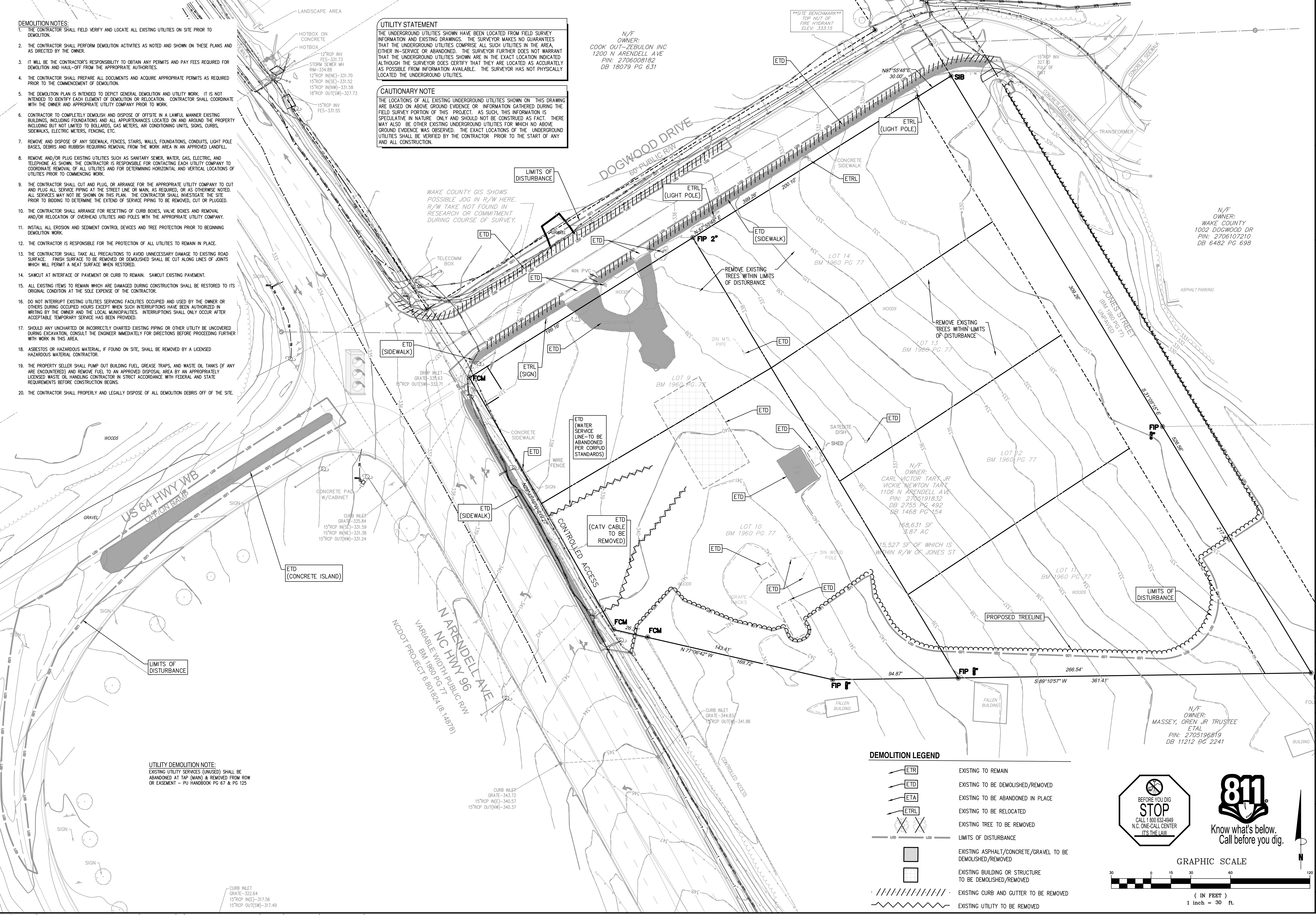
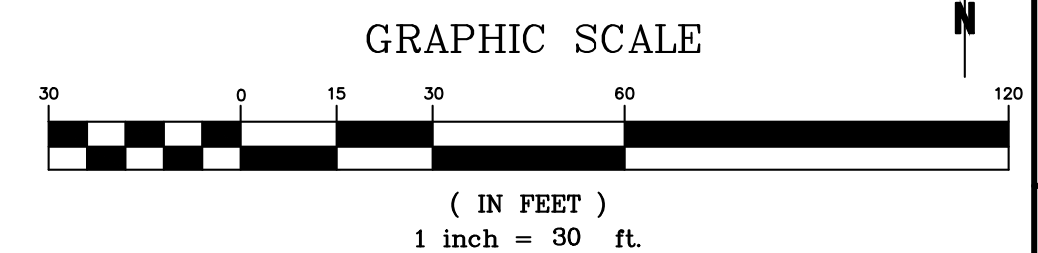
N/F
 OWNER:
 WAKE COUNTY
 1002 DOGWOOD DR
 PIN: 2706107210
 DB 6482 PG 698

N/F
 OWNER:
 CARL VICTOR TART JR
 WICKIE NEWTON TART
 1108 N ARENDELL AVE
 PIN: 2705191832
 DB 2755 PG 492
 DB 1468 PG 154
 168,631 SF
 3.87 AC
 15,527 SF OF WHICH IS
 WITHIN R/W OF JONES ST

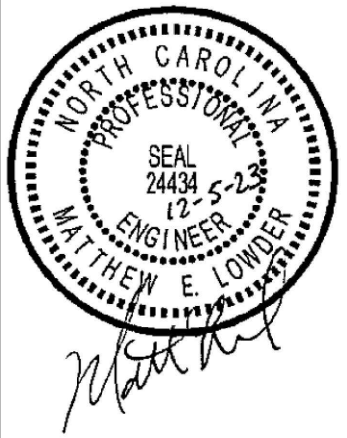
N/F
 OWNER:
 MASSEY, OREN JR TRUSTEE
 ETAL
 PIN: 2705196819
 DB 11212 PG 2241

UTILITY DEMOLITION NOTE:
 EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT TAP (MAIN) & REMOVED FROM ROW OR EASEMENT - PU HANDBOOK PG 67 & PG 125

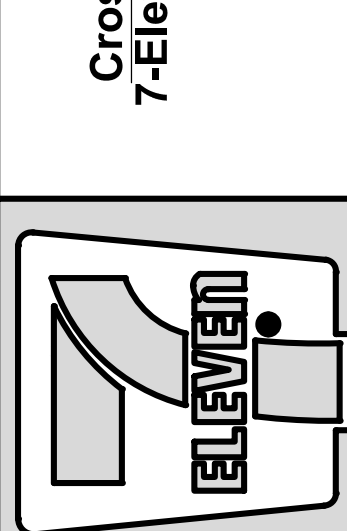
- DEMOLITION LEGEND**
- ETR EXISTING TO REMAIN
 - ETD EXISTING TO BE DEMOLISHED/REMOVED
 - ETA EXISTING TO BE ABANDONED IN PLACE
 - ETRL EXISTING TO BE RELOCATED
 - (Tree symbol) EXISTING TREE TO BE REMOVED
 - (Dashed line) LIMITS OF DISTURBANCE
 - (Hatched area) EXISTING ASPHALT/CONCRETE/GRAVEL TO BE DEMOLISHED/REMOVED
 - (Solid area) EXISTING BUILDING OR STRUCTURE TO BE DEMOLISHED/REMOVED
 - (Dotted line) EXISTING CURB AND GUTTER TO BE REMOVED
 - (Wavy line) EXISTING UTILITY TO BE REMOVED



Bowman
 Bowman North Carolina Ltd.
 4000 Shiloh Rd
 Raleigh, NC 27609
 Phone: (919) 553-6570
 bowman.com
 © Bowman North Carolina Ltd.



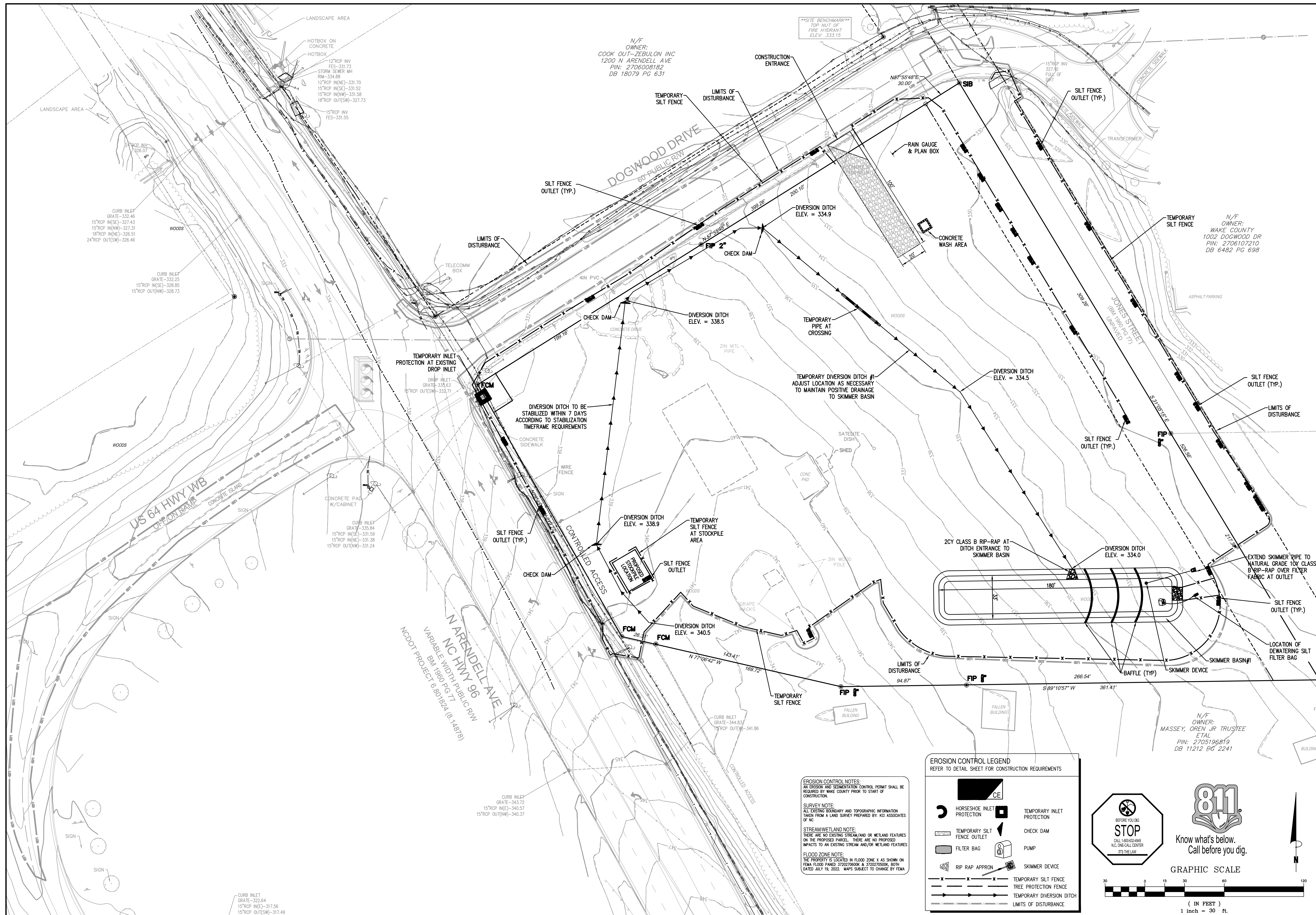
Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	02/23	TOWN OF ZEBULON REVIEW		
2	02/23	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM:
 DGNR, BRM & MCB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 12/5/2023
 ADDRESS:
 1108 N ARENDELL AVE
 ZEBULON, NC 27587

SHEET TITLE:
DEMOLITION PLAN
 DRWG. NO.:
C2.0



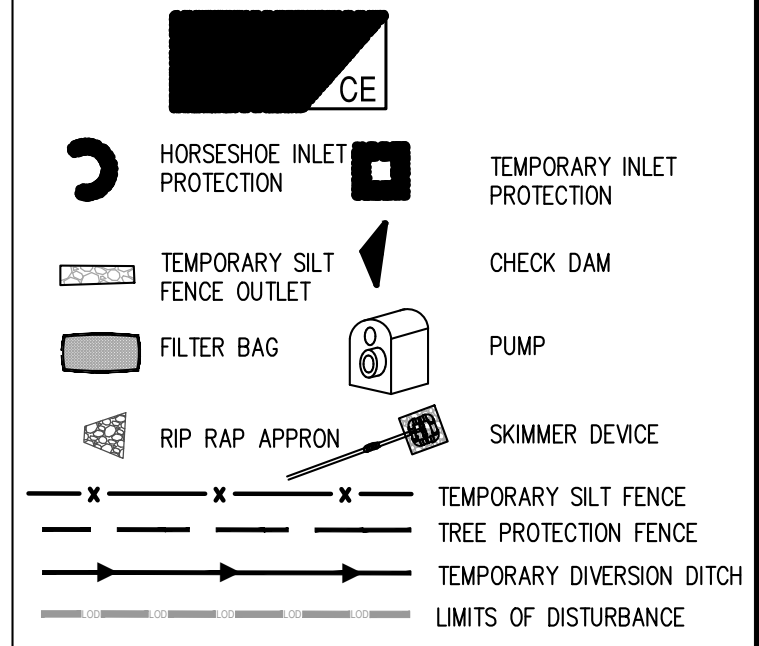
N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

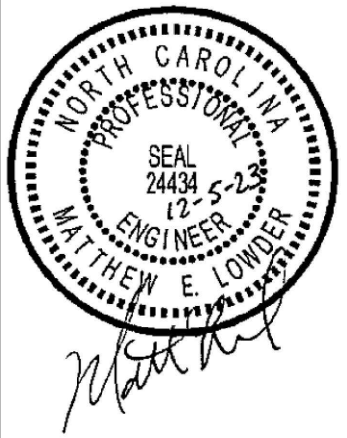
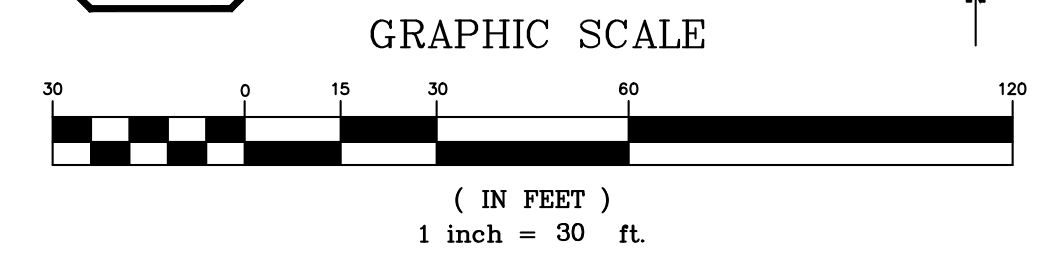
N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196819
DB 11212 PG 2241

N ARENDELL AVE
NC HWY 96
VARIABLE WIDTH PUBLIC RW
BM 1990 PG 77
NCDOT PROJECT 6 801824 (8 14978)

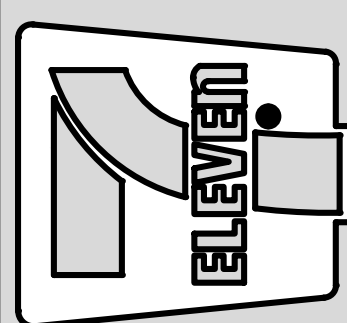
EROSION CONTROL LEGEND
REFER TO DETAIL SHEET FOR CONSTRUCTION REQUIREMENTS



EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.
SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY KCI ASSOCIATES OF NC
STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES
FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANEL 3720270600K & 3720270500K, BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA



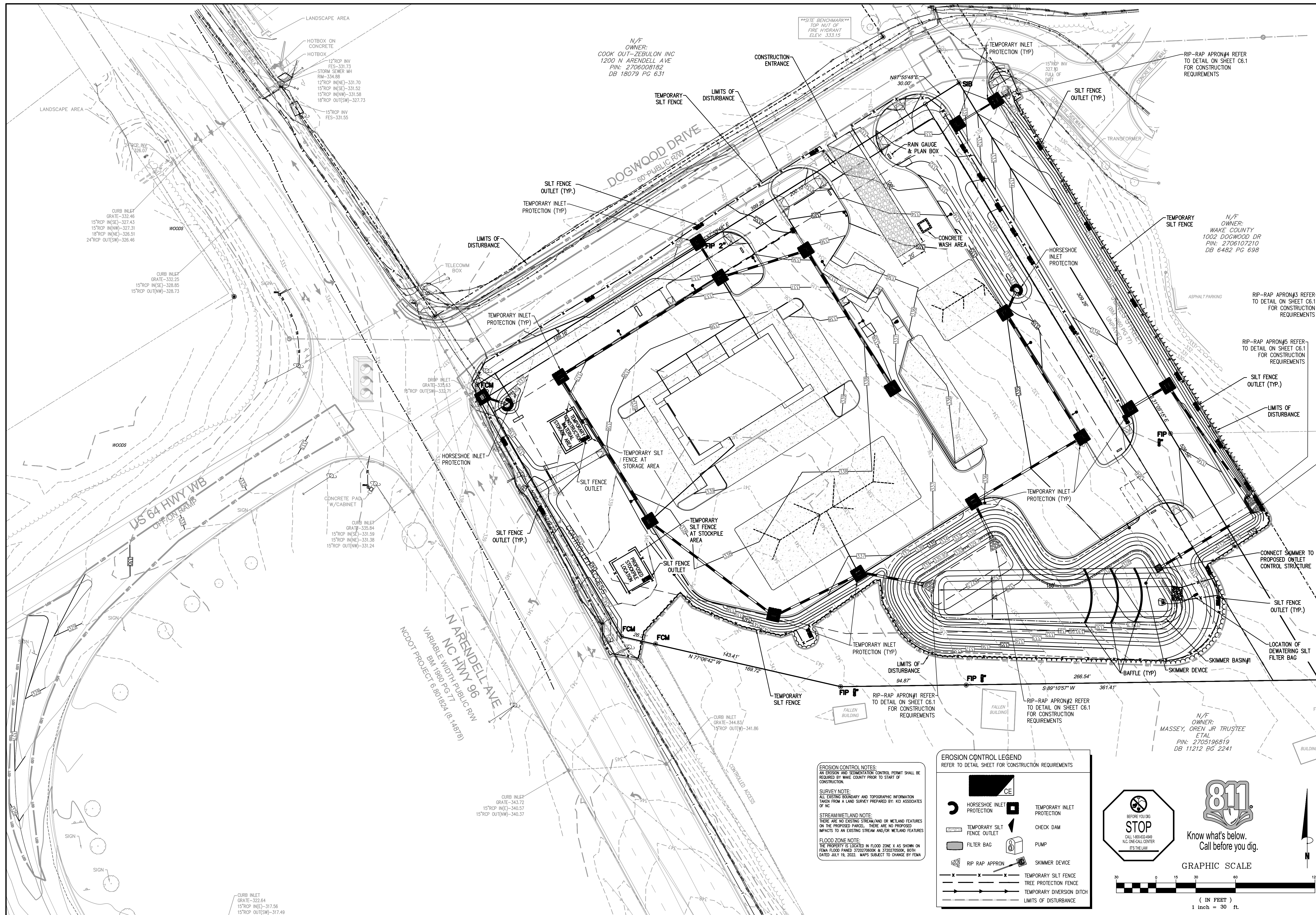
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	02/23	BRM
2	TOWN OF ZEBULON REVIEW	02/23	BRM

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - INITIAL
DRWG. NO.
C2.1



N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

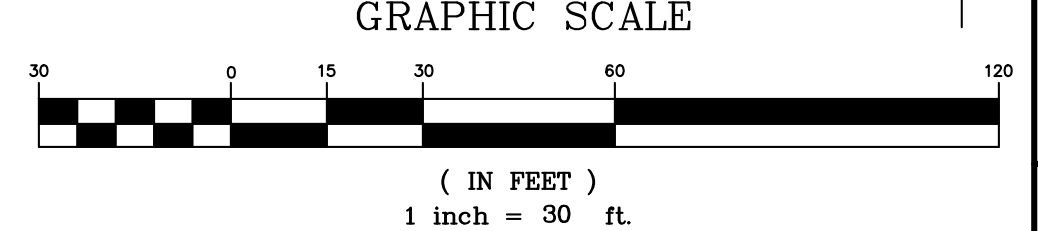
N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196819
DB 11212 PG 2241

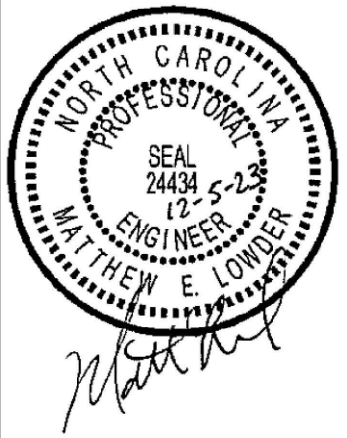
EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.
SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: KCI ASSOCIATES OF NC
STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM/AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES
FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PLANED 3720270600K & 3720270500K. BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA

EROSION CONTROL LEGEND
REFER TO DETAIL SHEET FOR CONSTRUCTION REQUIREMENTS

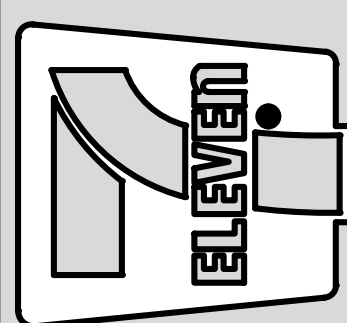
- CE
- HORSESHOE INLET PROTECTION
- TEMPORARY SILT FENCE
- FILTER BAG
- RIP RAP APRON
- TEMPORARY INLET PROTECTION
- CHECK DAM
- PUMP
- SKIMMER DEVICE
- TEMPORARY SILT FENCE
- TREE PROTECTION FENCE
- TEMPORARY DIVERSION DITCH
- LIMITS OF DISTURBANCE



Bowman
Bowman North Carolina Ltd.
4000 SHILOH DR
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



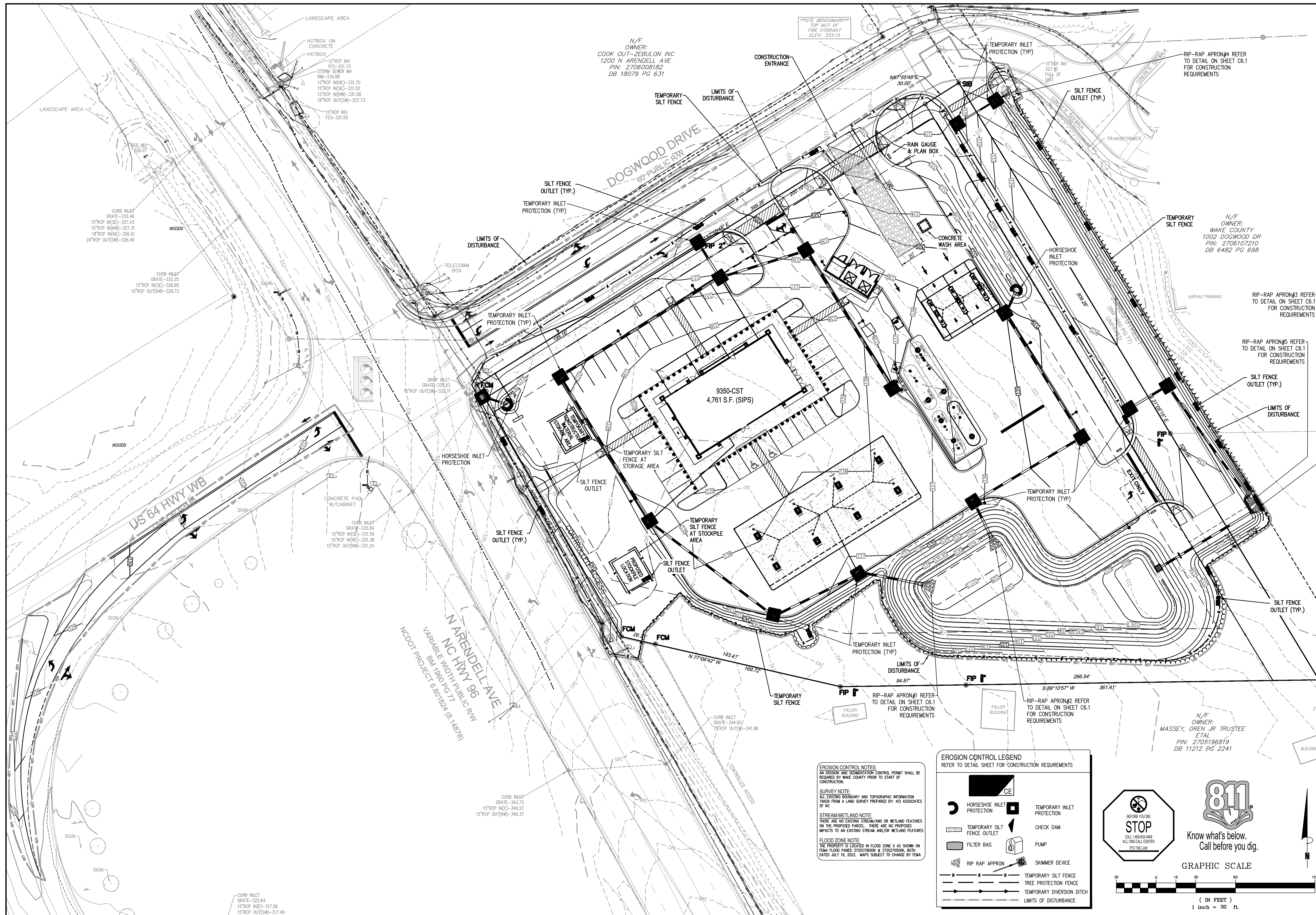
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	02/23	BRM
2	TOWN OF ZEBULON REVIEW	05/23	BRM

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - INTERMEDIATE
DRWG. NO. **C2.2**



N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

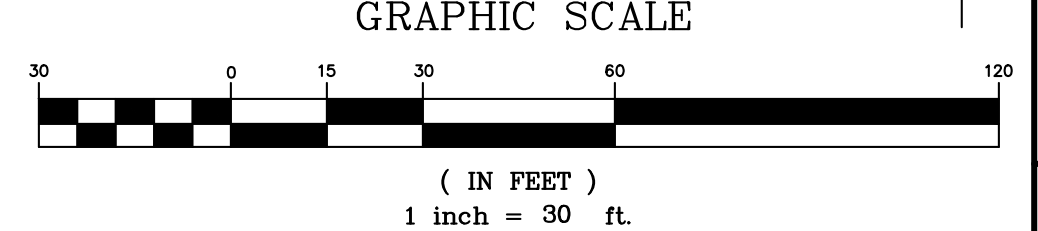
N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196819
DB 11212 PG 2241

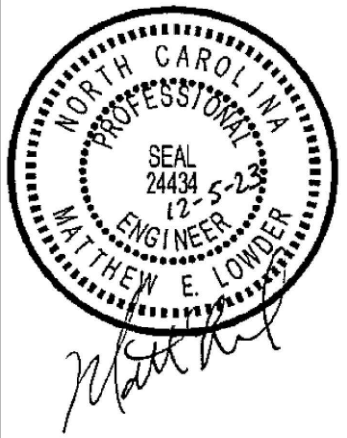
EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.
SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: KCI ASSOCIATES OF NC
STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM/AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES
FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANED 3720270600K & 3720270500K. BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA

EROSION CONTROL LEGEND
REFER TO DETAIL SHEET FOR CONSTRUCTION REQUIREMENTS

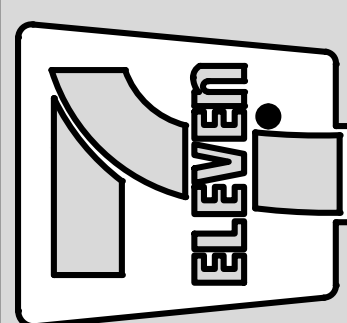
	CE		TEMPORARY INLET PROTECTION
	HORSESHOE INLET PROTECTION		CHECK DAM
	TEMPORARY SILT FENCE OUTLET		PUMP
	FILTER BAG		SKIMMER DEVICE
	RIP RAP APRON		TEMPORARY SILT FENCE
	TREE PROTECTION FENCE		TEMPORARY DIVERSION DITCH
	LIMITS OF DISTURBANCE		



Bowman
Bowman North Carolina Ltd.
4000 SHILOH DR
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	02/23	BRM
2	TOWN OF ZEBULON REVIEW	05/23	BRM

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - FINAL

DRWG. NO.
C2.3

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO1 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E. GROUND STABILIZATION
Required Ground Stabilization Timelines

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQP) Zones	7	None
(c) Slopes steeper than 3:1	7	
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1. -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQP Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQP Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRollered erosion control products with or without temporary grass seedsAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingStraw or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining wallsRollered erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structure.

EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

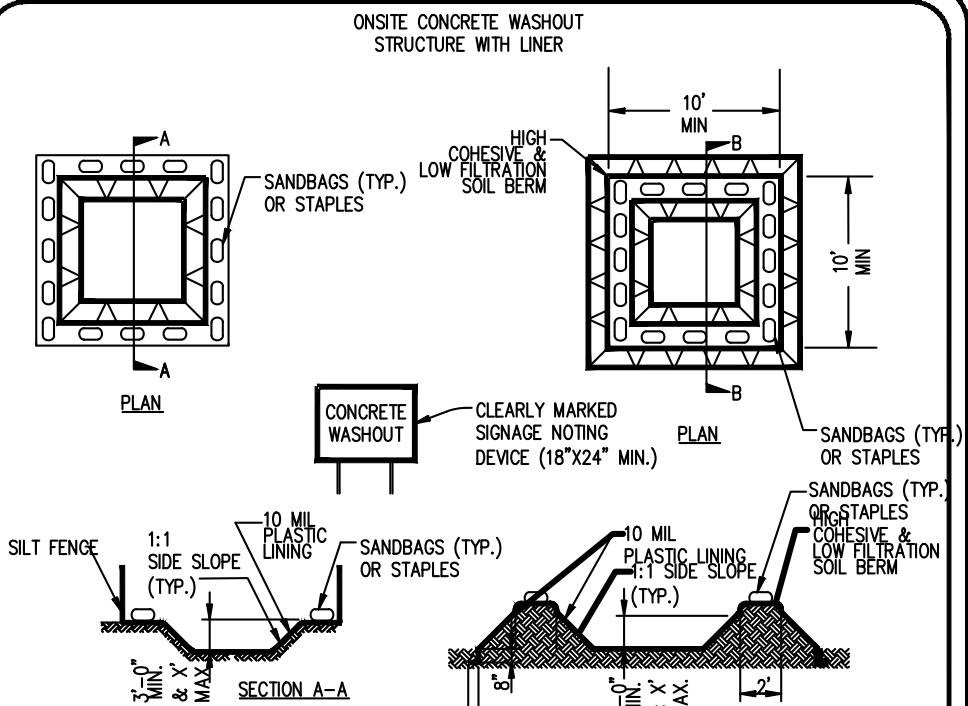
LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint wasteholds at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, staked and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating units.

ERTHREN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with all fence installed along top of slope with a minimum offset of five feet from the face of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING
EFFECTIVE: 04/01/19



1. ACTUAL LOCATION DETERMINED IN FIELD
2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURE'S CAPACITY.
3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICES (18\"/>

- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
 - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
 - Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
 - Install temporary concrete washout per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standards/details are not available, use one of the types of temporary concrete washouts provided on this detail.
 - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
 - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
 - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
 - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
 - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
 - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater basins, ground water or surface water. If a spill occurs, clean area immediately.
 - Do not stockpile these materials on-site.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
 - Place hazardous waste containers under cover or in secondary containment.
 - Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A. SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	1. Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a rain inspection is needed). There on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-measuring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective action taken.
(3) Stormwater discharge outlets (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outlets inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective action taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. An explanation to clear up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective action taken, and 3. Action taken to clear up or stabilize the sediment that has left the site limits.
(5) Stream or wetland onsite or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: a. Description, evidence and date of corrective actions taken, and b. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit. 2. An explanation to clear up or stabilize the sediment that has left the site limits.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/installation of perimeter EESC measures, sheeting and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe and an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B. RECORDKEEPING
1. EESC Plan Documentation
The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC Plan.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report that lists each EESC Measure shown on the approved EESC Plan. This documentation is required upon the initial installation of the EESC Measures or if the EESC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC Plan.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EESC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC Measures.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

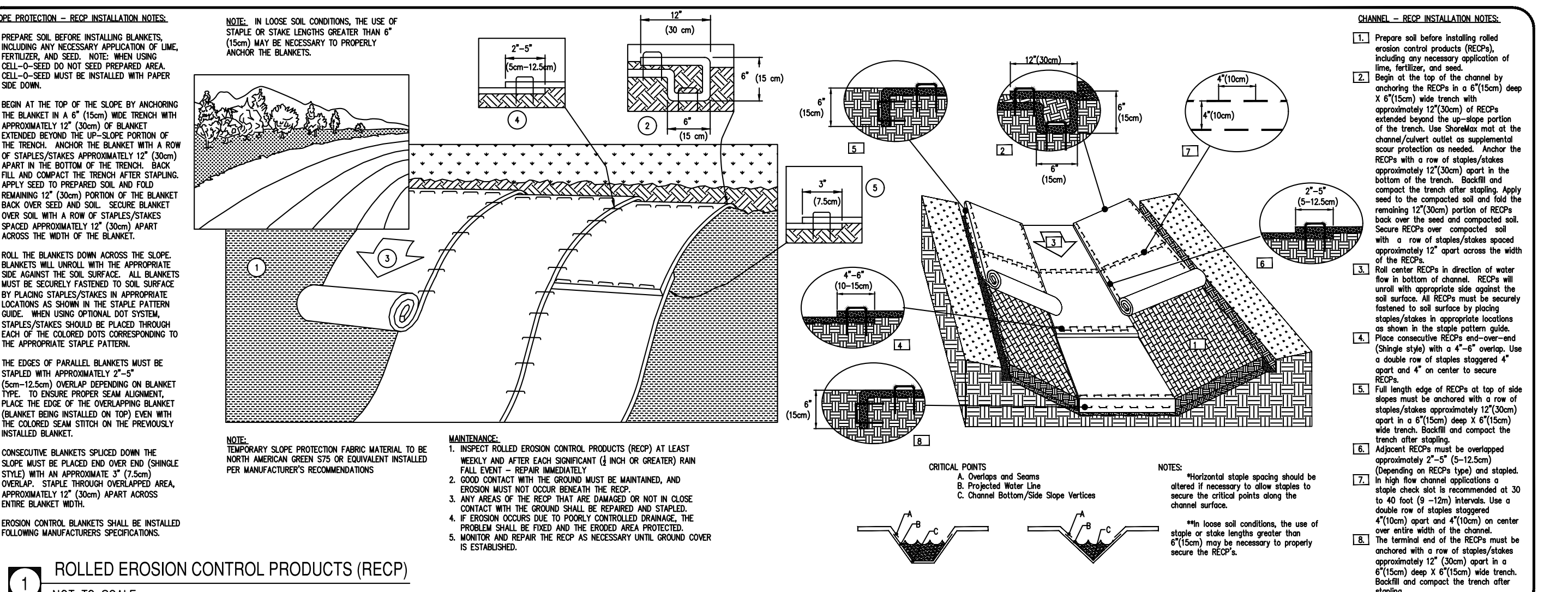
- The General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-documented records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

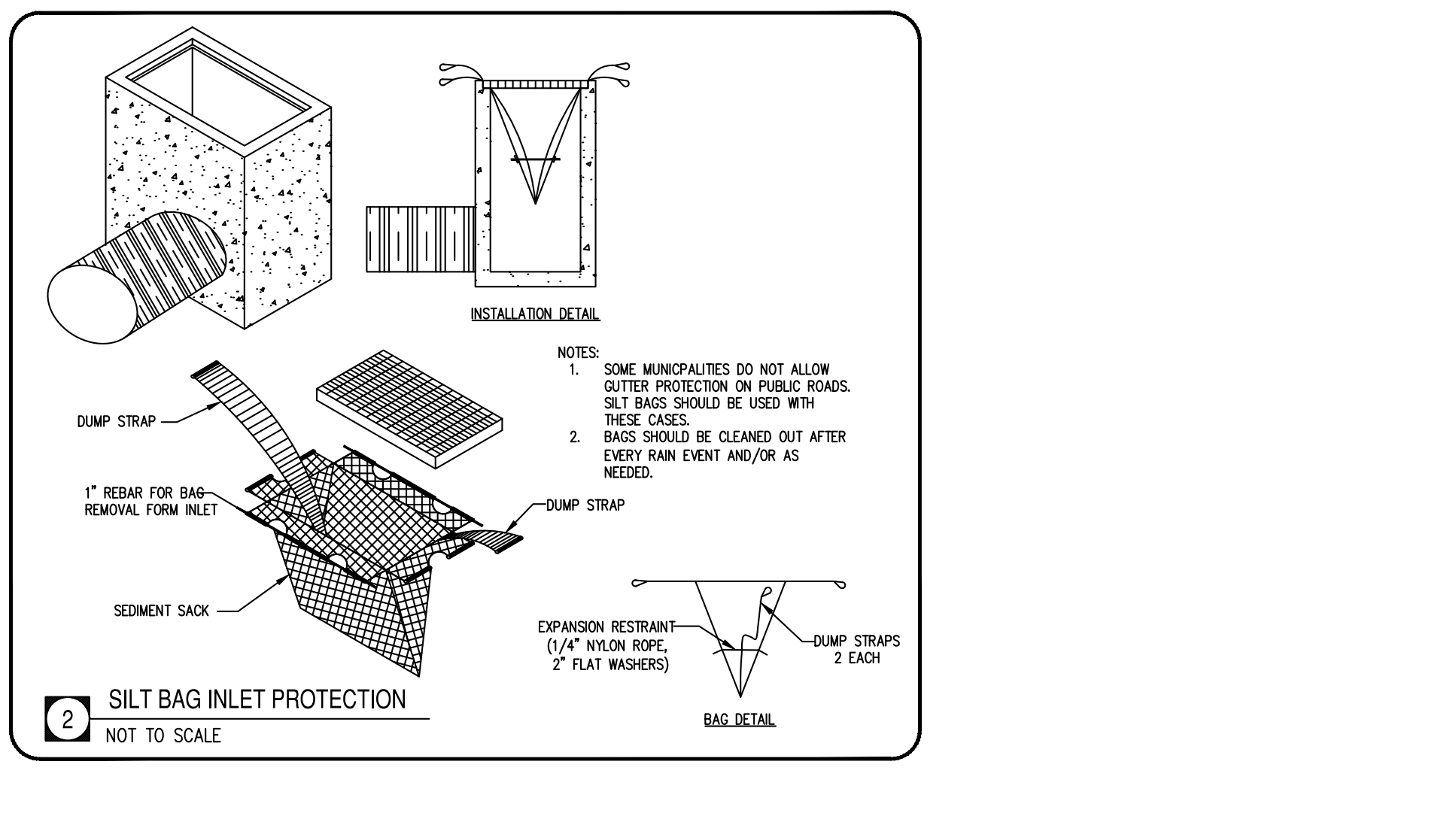
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The EESC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the EESC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (4) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, wet tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pile is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Fine sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING
EFFECTIVE: 04/01/19

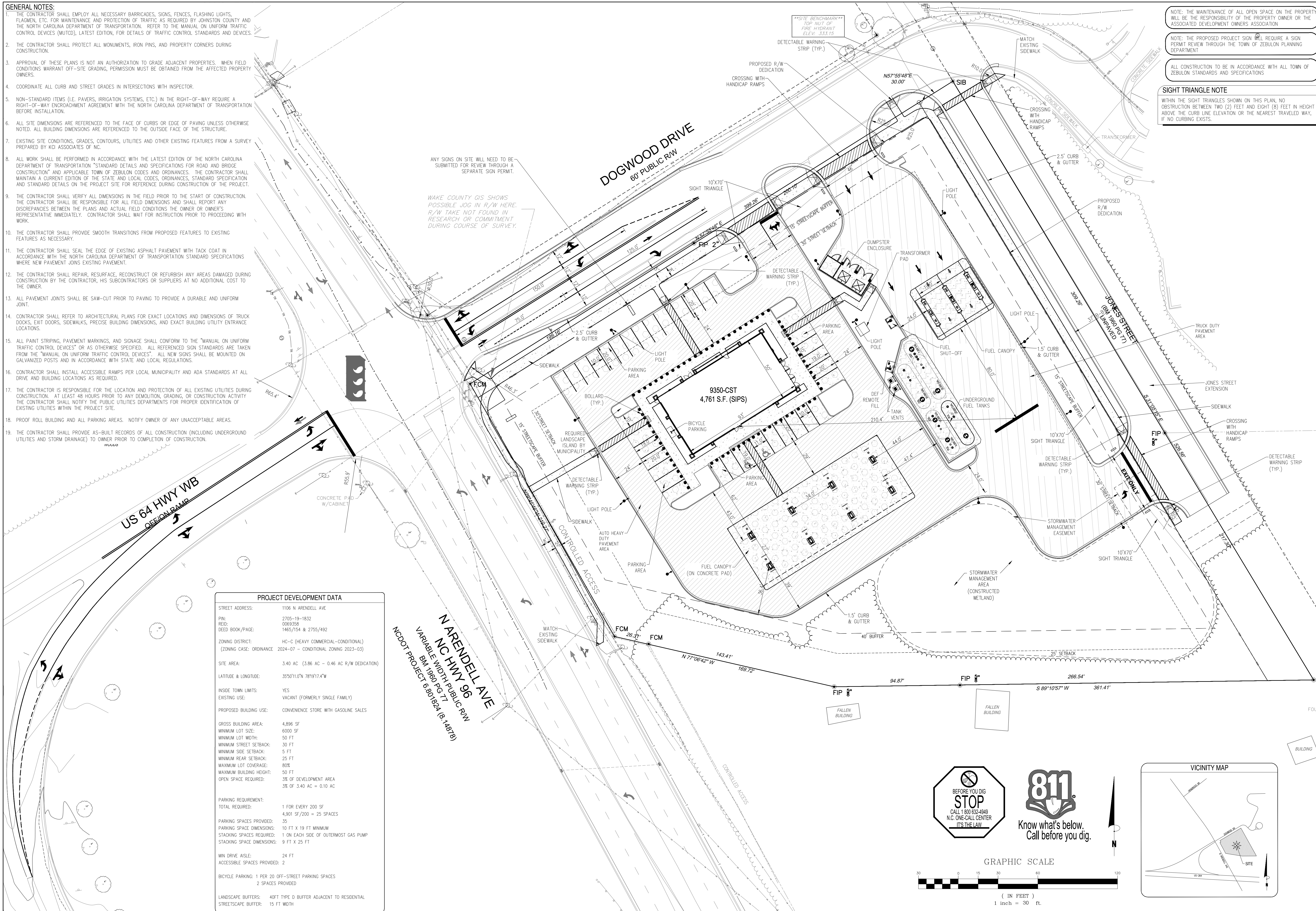


1. ROLLED EROSION CONTROL PRODUCTS (RECP) NOT TO SCALE



2. SILT BAG INLET PROTECTION NOT TO SCALE

- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY JOHNSTON COUNTY AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
 - NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
 - ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
 - EXISTING SITE CONDITIONS, GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM A SURVEY PREPARED BY KCI ASSOCIATES OF NC.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
 - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY OWNER OF ANY UNACCEPTABLE AREAS.
 - THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORM DRAINAGE) TO OWNER PRIOR TO COMPLETION OF CONSTRUCTION.



PROJECT DEVELOPMENT DATA

STREET ADDRESS:	1106 N ARENDELL AVE
PIN:	2705-19-1832
REID:	0069358
DEED BOOK/PAGE:	1465/154 & 2755/492
ZONING DISTRICT:	HC-C (HEAVY COMMERCIAL-CONDITIONAL)
(ZONING CASE: ORDINANCE)	2024-07 - CONDITIONAL ZONING 2023-03
SITE AREA:	3.40 AC (3.86 AC - 0.46 AC R/W DEDICATION)
LATITUDE & LONGITUDE:	35°50'11.0"N 78°19'17.4"W
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT (FORMERLY SINGLE FAMILY)
PROPOSED BUILDING USE:	CONVENIENCE STORE WITH GASOLINE SALES
GROSS BUILDING AREA:	4,896 SF
MINIMUM LOT SIZE:	6000 SF
MINIMUM LOT WIDTH:	50 FT
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	5 FT
MINIMUM REAR SETBACK:	25 FT
MAXIMUM LOT COVERAGE:	80%
MAXIMUM BUILDING HEIGHT:	50 FT
OPEN SPACE REQUIRED:	3% OF DEVELOPMENT AREA 3% OF 3.40 AC = 0.10 AC
PARKING REQUIREMENT:	
TOTAL REQUIRED:	1 FOR EVERY 200 SF 4,901 SF/200 = 25 SPACES
PARKING SPACES PROVIDED:	35
PARKING SPACE DIMENSIONS:	10 FT X 19 FT MINIMUM
STACKING SPACES REQUIRED:	1 ON EACH SIDE OF OUTERMOST GAS PUMP
STACKING SPACE DIMENSIONS:	9 FT X 25 FT
MIN DRIVE AISLE:	24 FT
ACCESSIBLE SPACES PROVIDED:	2
BICYCLE PARKING:	1 PER 20 OFF-STREET PARKING SPACES 2 SPACES PROVIDED
LANDSCAPE BUFFERS:	40FT TYPE D BUFFER ADJACENT TO RESIDENTIAL
STREETSCAPE BUFFER:	15 FT WIDTH

NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION.

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

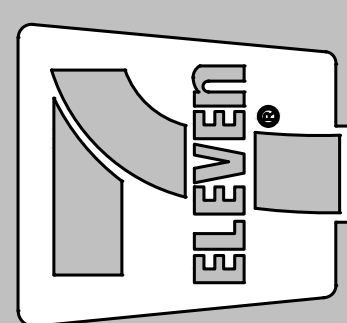
SIGHT TRIANGLE NOTE

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

Bowman
Bowman North Carolina Ltd.
4000 S. I-85 DR
Suite 114
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	DESCRIPTION
1	BRM	12/23	TOWN OF ZEBULON REVIEW
2	BRM/MCB	12/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
SITE PLAN

DRWG. NO.
C3.0

PAVEMENT SECTIONS

Asphalt Pavement Section Recommendations

Pavement Type	Material Designation	Light Duty Pavement (in.)
Auto Flexible	Asphalt Surface Course (S9.5B)	2
	Aggregate Base Course	8
Truck Flexible	Asphalt Surface Course (S9.5B)	2
	Asphalt Intermediate Course (I19.0C)	3
	Aggregate Base Course	8

Pavement Type	Material Description	Pavement (in.)
Auto Heavy Duty	Asphalt Surface Course (S9.5B)	1
	Asphalt Intermediate Course (I19.0C)	2.5
	Aggregate Base Course	8

Concrete Pavement Section Recommendations

Pavement Type	Material Designation	Heavy Duty Concrete Pavement, Plain Jointed (in.)
Auto Rigid	Portland Cement Concrete (4,000 psi, air-entrained)	5
	Aggregate Base Course	8
Truck Rigid	Portland Cement Concrete (4,000 psi, air-entrained)	7
	Aggregate Base Course	8

NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION.

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT.

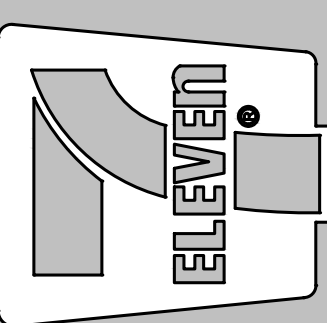
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.

SIGHT TRIANGLE NOTE

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	REVISION DESCRIPTION
1	BRM	12/23	TOWN OF ZEBULON REVIEW
2	BRM/MCB	12/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.: N/A

VERSION OR PROJECT ID: N/A

DESIGN TEAM: DGNR, BRM & MCB

PM/DP: ML

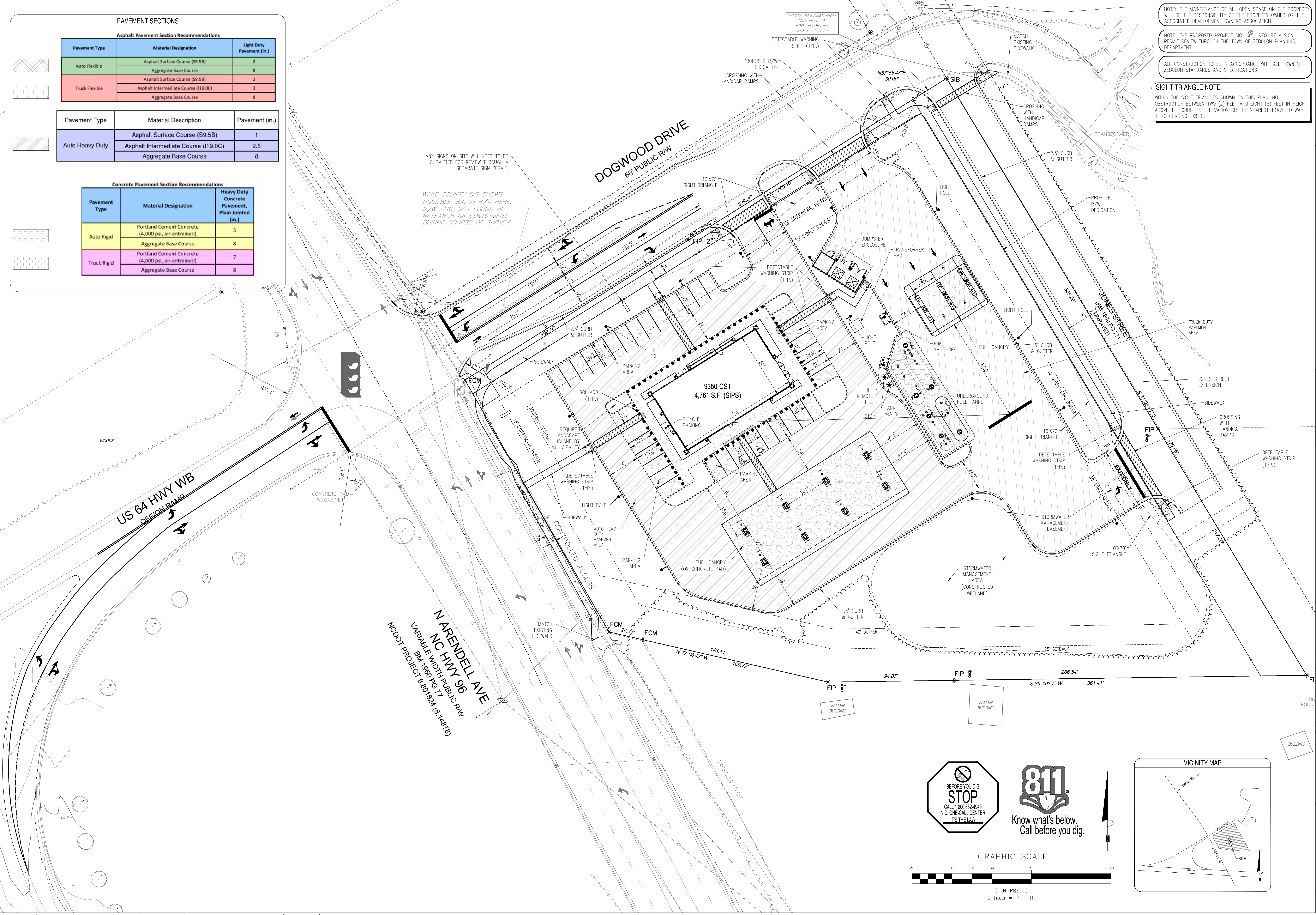
RVWR: ML

ISSUE DATE: 12/5/2023

ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE: PAVEMENT PLAN

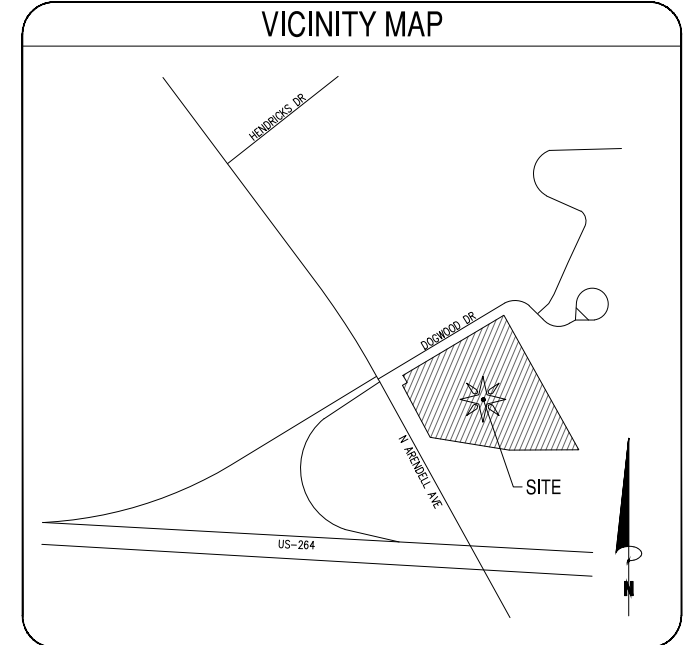
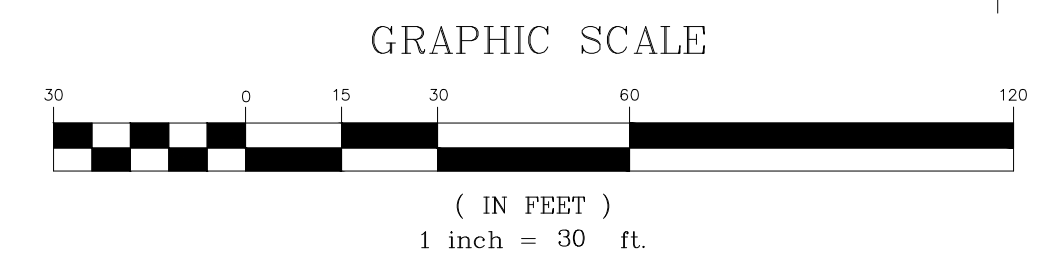
DRWG. NO. C3.1

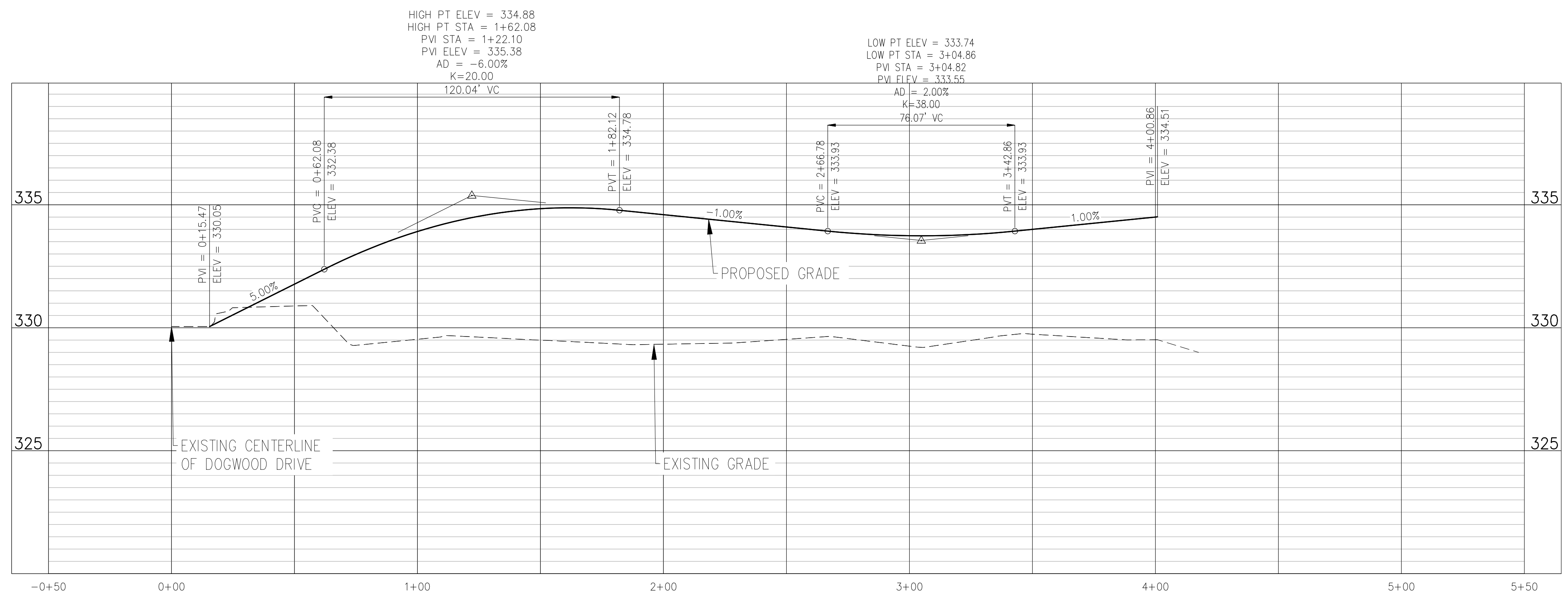
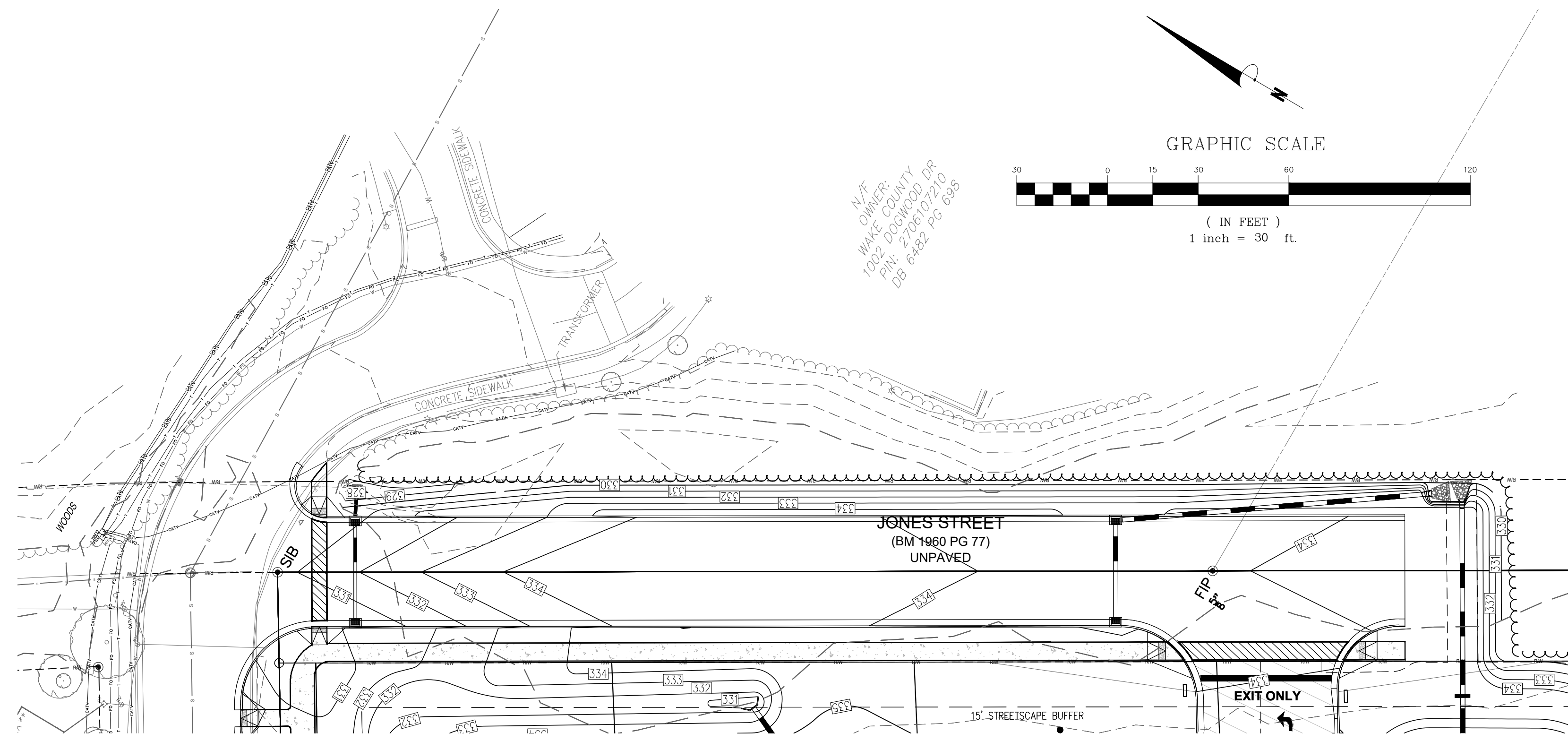


ANY SIGNS ON SITE WILL NEED TO BE SUBMITTED FOR REVIEW THROUGH A SEPARATE SIGN PERMIT.

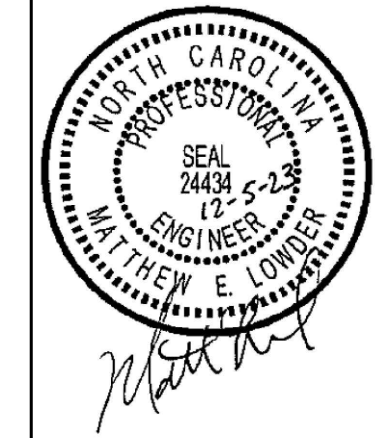
WAKE COUNTY GIS SHOWS POSSIBLE JOG IN R/W HERE. R/W TAKE NOT FOUND IN RESEARCH OR COMMITMENT DURING COURSE OF SURVEY.

N ARENDELL AVE
NC HWY 96
VARIABLE WIDTH PUBLIC RW
BM 1900 PG 77
NODOT PROJECT 6001824 (S. 14878)

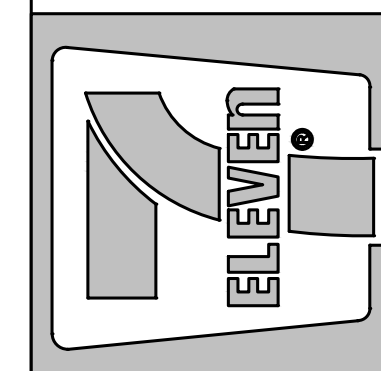




JONES STREET ROAD (1) PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



Crosland Southeast
7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY

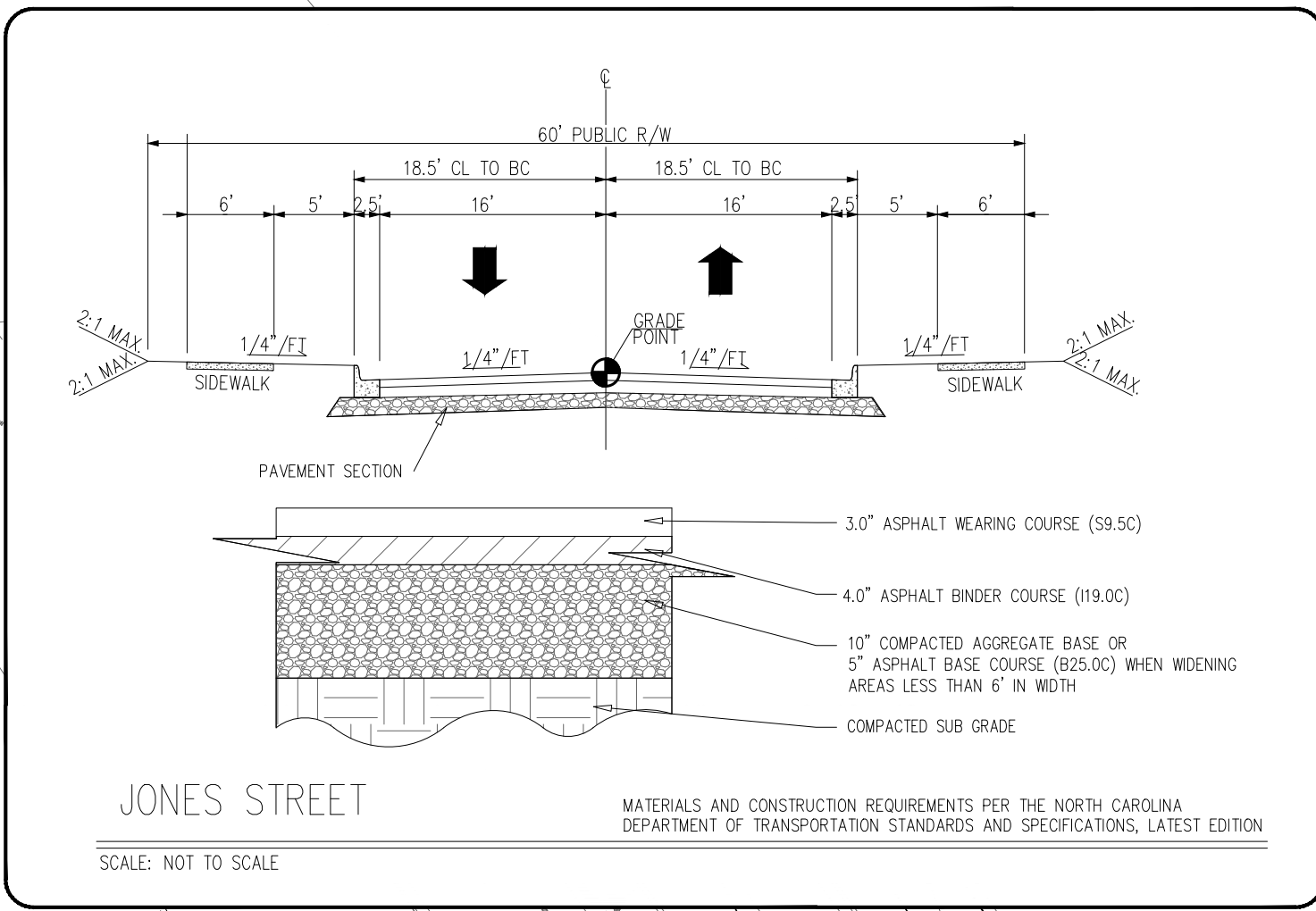


MARK	REVISION	DATE	DESCRIPTION
1	BRM	12/23	TOWN OF ZEBULON REVIEW
2	BRM/MCB	12/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM
 DGNR, BRM & MCB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 12/5/2023
 ADDRESS
 1106 N ARENDELL AVE
 ZEBULON, NC 27587

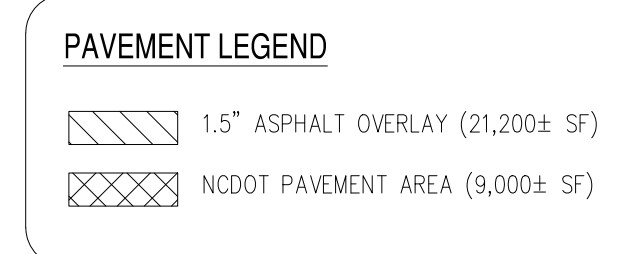
SHEET TITLE
ROADWAY PROFILE
 DRWG. NO. **C3.2**





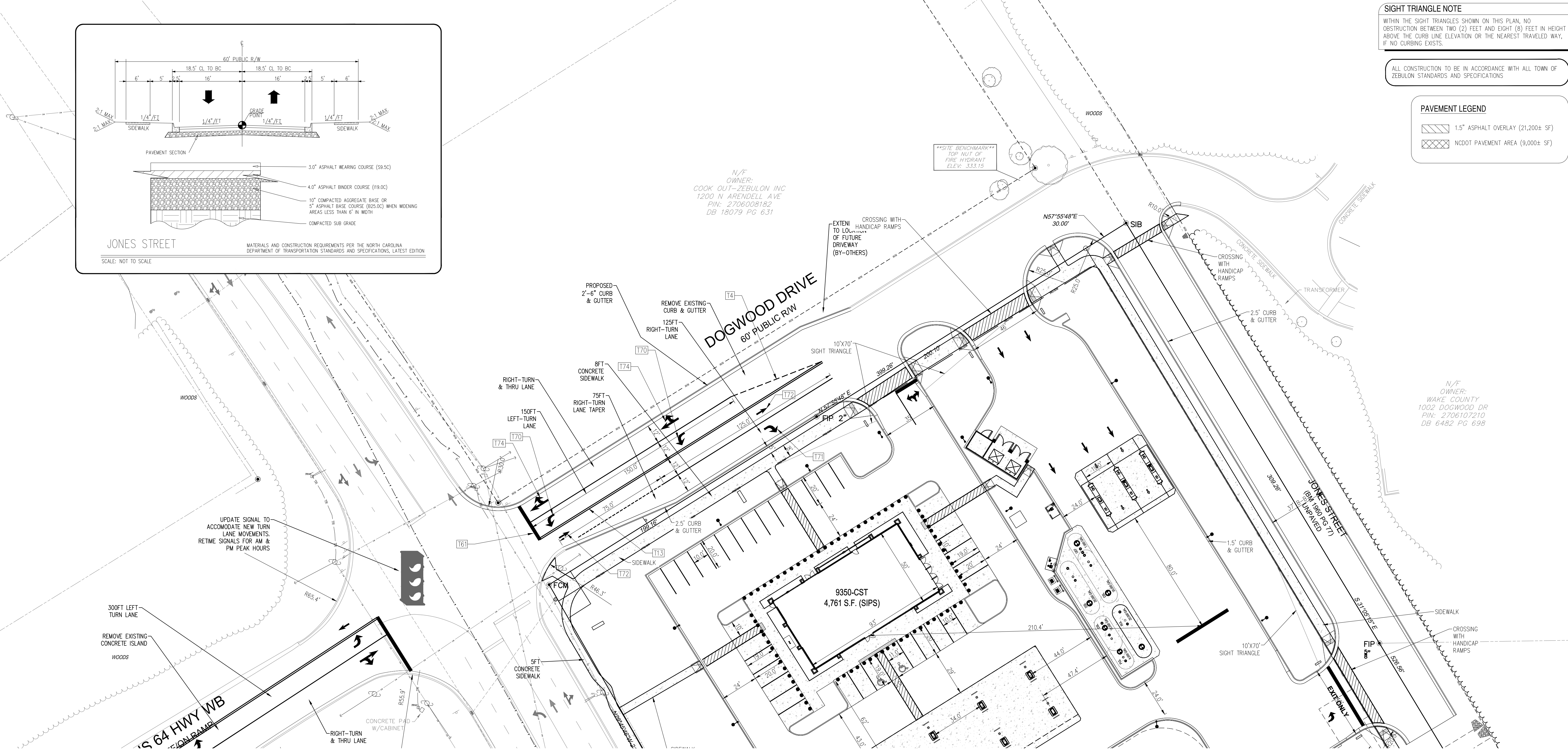
SIGHT TRIANGLE NOTE
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 6.31

N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698



PAVEMENT MARKING SCHEDULE

T1	WHITE EDGE LINE (4", 90ML)	---
T13	DOUBLE YELLOW CENTERLINE (4", 90ML)	==
T14	YELLOW SINGLE CENTERLINE (4", 90ML)	- - -
T11	YELLOW SINGLE CENTERLINE (4", 90ML)	- - -
T11	3" WHITE MIN-SHIP LINE (4", 90ML)	- - - - -
T14	3" WHITE MIN-SHIP LINE (4", 90ML)	- - - - -
T13	10" WHITE SHIP LINE (4", 90ML)	- - - - -
T13	10" WHITE SHIP LINE (4", 90ML)	- - - - -
T2	WHITE SOLID LANE LINE (4", 90ML)	---
T2	WHITE SOLID LANE LINE (4", 90ML)	---
T70	LEFT TURN LANE ARROW (90ML)	↶
T70	LEFT TURN LANE ARROW (90ML)	↶
T71	RIGHT TURN LANE ARROW (90ML)	↷
T71	RIGHT TURN LANE ARROW (90ML)	↷
T72	STRAIGHT ARROW (90ML)	→
T72	STRAIGHT ARROW (90ML)	→
T73	COMBO LEFT/STRAIGHT TURN LANE ARROW (90ML)	↶→
T73	COMBO LEFT/STRAIGHT TURN LANE ARROW (90ML)	↶→
T74	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90ML)	↷→
T74	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90ML)	↷→
T42	YELLOW DIAGONAL LINES (8", 90ML)	///
T42	YELLOW DIAGONAL LINES (8", 90ML)	///
T43	WHITE DIAGONAL LINES (8", 90ML)	///
T43	WHITE DIAGONAL LINES (8", 90ML)	///
T14	3" YELLOW MIN-SHIP LINES (4", 90ML)	- - - - -
T14	3" YELLOW MIN-SHIP LINES (4", 90ML)	- - - - -
T12	YELLOW SHIP CENTER LINES (4", 90ML)	- - - - -
T12	YELLOW SHIP CENTER LINES (4", 90ML)	- - - - -
T16	STOP BAR (24", 90ML)	—
T16	STOP BAR (24", 90ML)	—
T102	12" YIELD LINE SYMBOL (90ML)	▽▽
T102	12" YIELD LINE SYMBOL (90ML)	▽▽

ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS

CONTRACTOR TO INSTALL MARKINGS PER NCDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.

TRAFFIC CONTROL NOTES:
THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 10' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

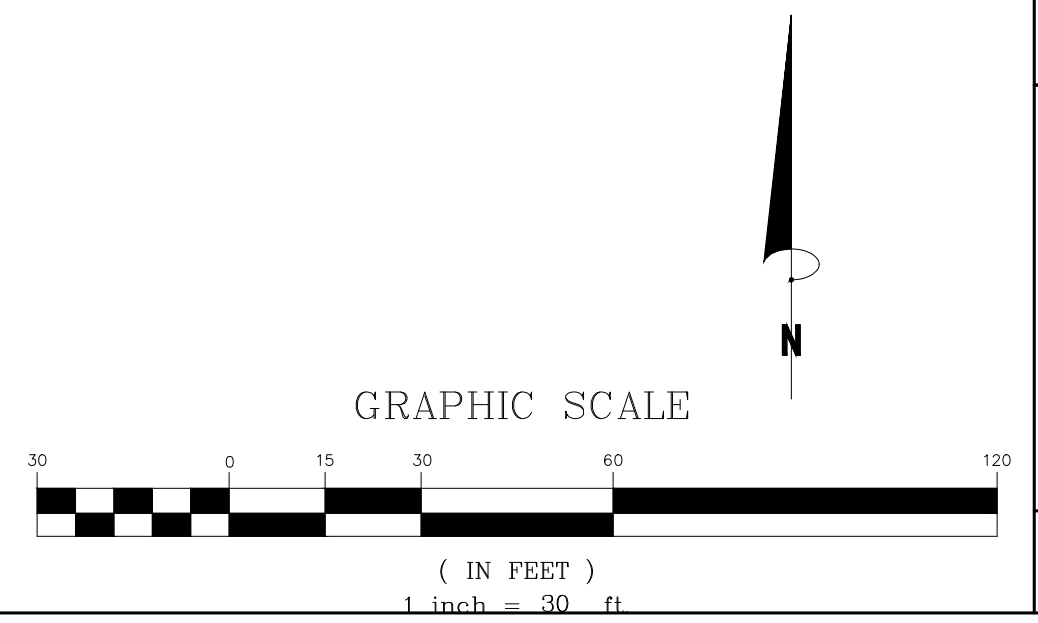
WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN RADIUS, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS

ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS.

MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

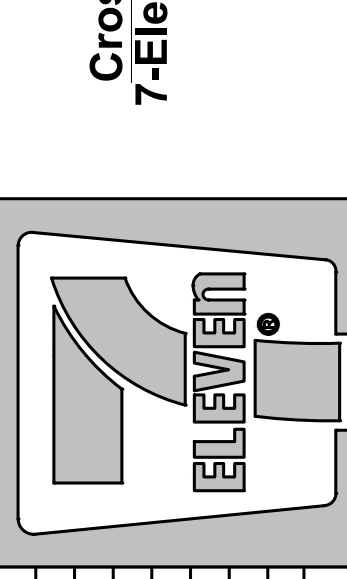
- NCDOT ROADWAY STANDARD DRAWINGS TO REFERENCE**
- 200.02 METHOD OF CLEARING - METHOD II
 - 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
 - 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
 - 840.71 CONCRETE AND BRICK PIPE PLUG
 - 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
 - 848.01 CONCRETE SIDEWALK
 - 848.05 WHEELCHAIR RAMP - CURB CUT
 - 852.01 CONCRETE ISLANDS
 - 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
 - 1101.01 WORK ZONE ADVANCE WARNING SIGNS
 - 1101.02 TEMPORARY LANE CLOSURES
 - 1101.04 TEMPORARY SHOULDER CLOSURES
 - 1101.05 WORK ZONE VEHICLE ACCESSES
 - 1101.11 TRAFFIC CONTROL DESIGN TABLES
 - 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
 - 1115.01 FLASHING ARROW PANELS
 - 1130.01 DRUMS
 - 1135.01 CONES
 - 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
 - 1150.01 FLAGGERS
 - 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
 - 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
 - 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
 - 1205.05 PAVEMENT MARKINGS TURN LANES
 - 1205.07 PAVEMENT MARKINGS PEDESTRIAN CROSSWALKS



Bowman
Bowman North Carolina Ltd.
400 S. Main St. 11th Fl.
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	REVISION DESCRIPTION
1	ISSUED	02/23/23	TOWN OF ZEBULON REVIEW
2	REVISED	02/23/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM:
DGNR, BRM & MCB

PM/DP: ML

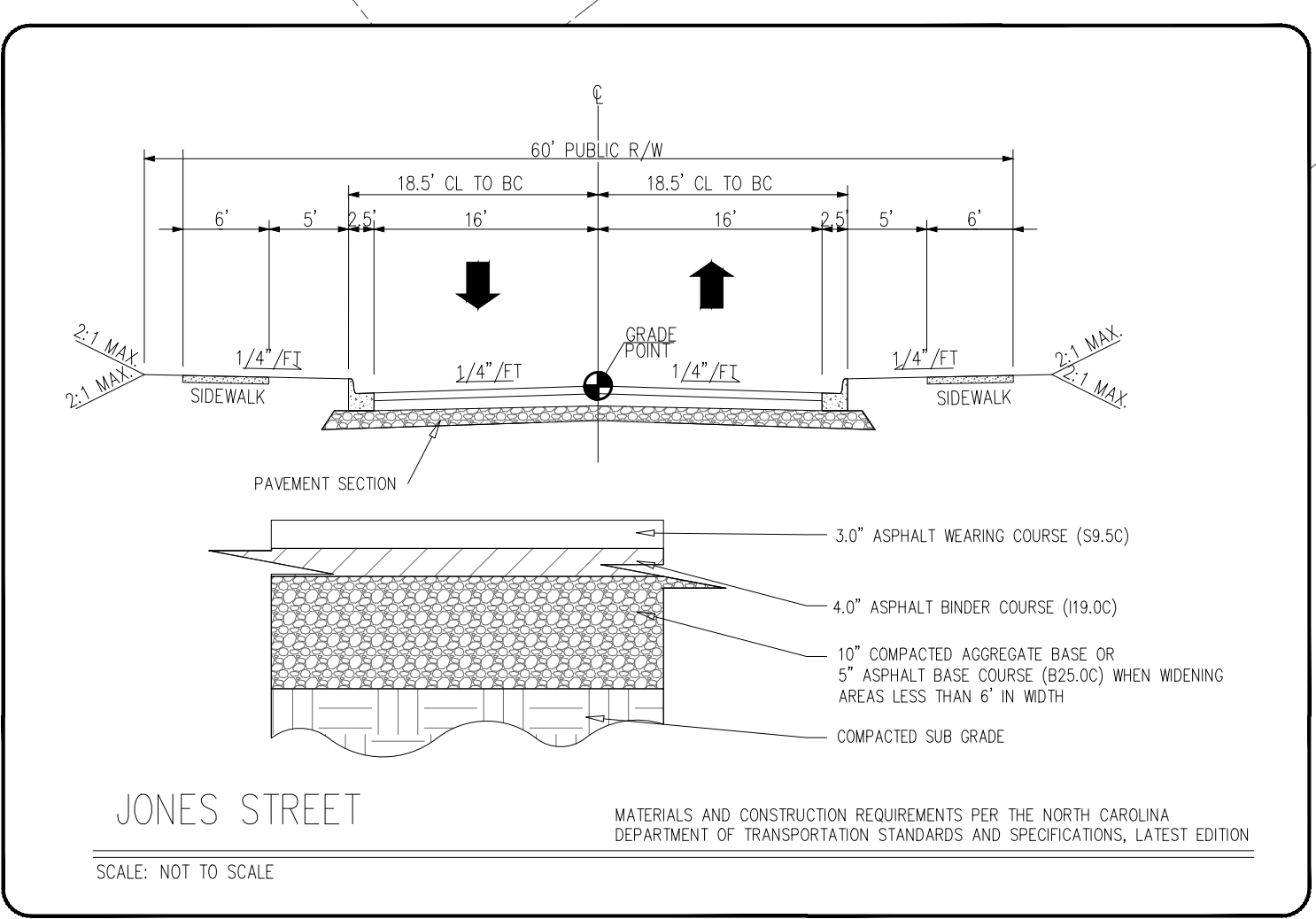
RVWR: ML

ISSUE DATE: 12/5/2023

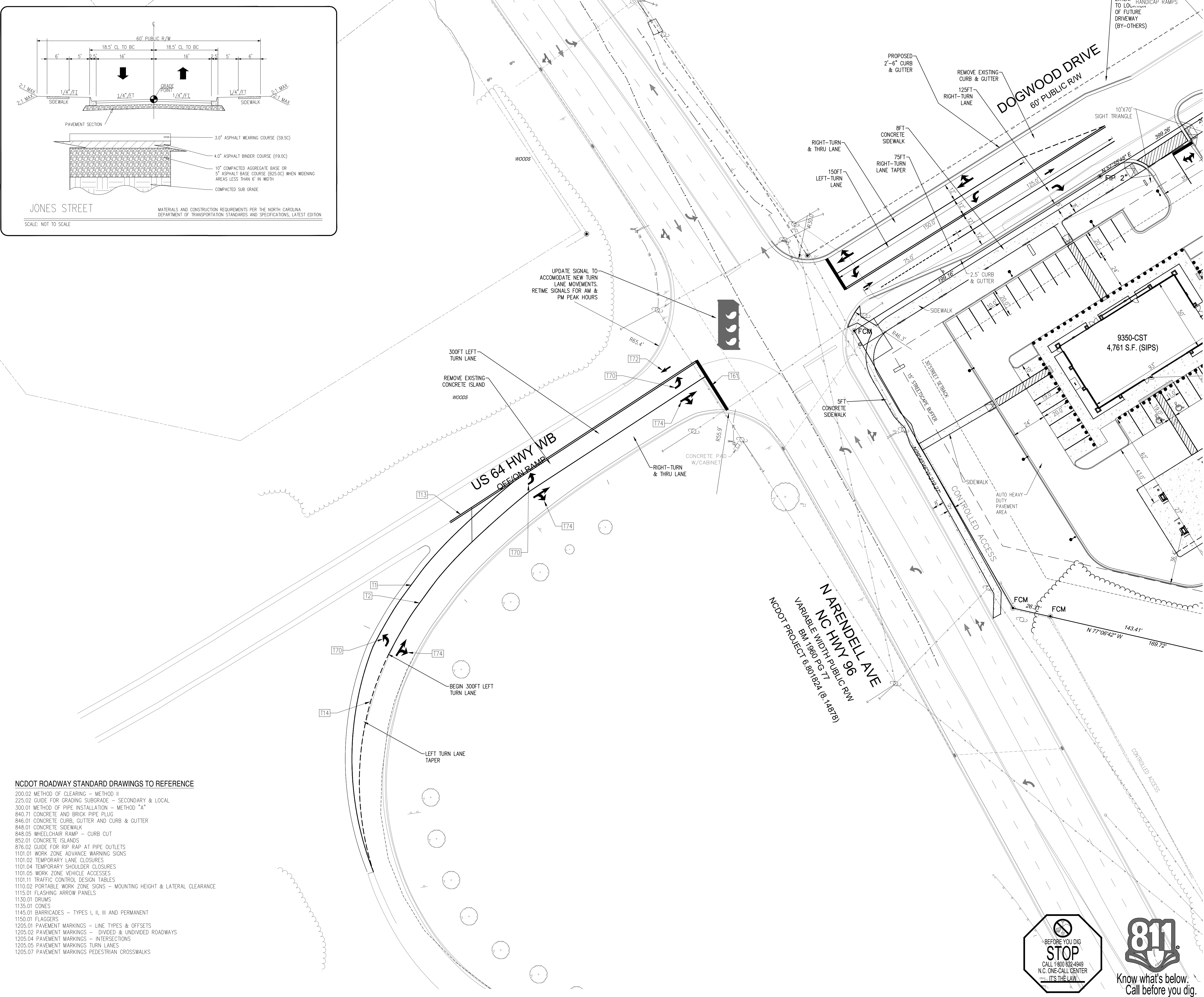
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27597

SHEET TITLE:
ROADWAY PLAN (1 OF 2)

DRWG. NO.:
C3.3

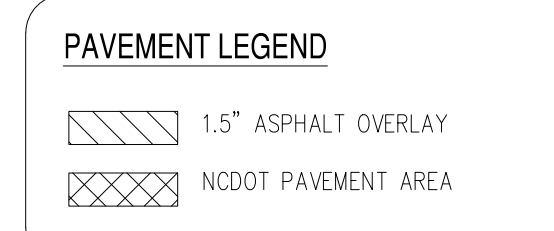


- NCDOT ROADWAY STANDARD DRAWINGS TO REFERENCE**
- 200.02 METHOD OF CLEARING - METHOD II
 - 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
 - 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
 - 840.71 CONCRETE AND BRICK PIPE PLUG
 - 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
 - 848.01 CONCRETE SIDEWALK
 - 848.05 WHEELCHAIR RAMP - CURB CUT
 - 852.01 CONCRETE ISLANDS
 - 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
 - 1101.01 WORK ZONE ADVANCE WARNING SIGNS
 - 1101.02 TEMPORARY LANE CLOSURES
 - 1101.04 TEMPORARY SHOULDER CLOSURES
 - 1101.05 WORK ZONE VEHICLE ACCESSES
 - 1101.11 TRAFFIC CONTROL DESIGN TABLES
 - 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
 - 1115.01 FLASHING ARROW PANELS
 - 1130.01 DRUMS
 - 1135.01 CONES
 - 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
 - 1150.01 FLAGGERS
 - 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
 - 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
 - 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
 - 1205.05 PAVEMENT MARKINGS TURN LANES
 - 1205.07 PAVEMENT MARKINGS PEDESTRIAN CROSSWALKS



SIGHT TRIANGLE NOTE
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



PAVEMENT MARKING SCHEDULE

MARKING	DESCRIPTION	DATE REVISION	REVISION DESCRIPTION
T1	WHITE EDGE LINE (4",90ML) NCDOT STD DETAIL 1205.01		
T13	DOUBLE YELLOW CENTERLINE (4",90ML) NCDOT STD DETAIL 1205.01		
T11	YELLOW SINGLE CENTER LINE (4",90ML) NCDOT STD DETAIL 1205.01		
T4	3" WHITE MINI-SKIP LINE (4",90ML) NCDOT STD DETAIL 1205.01		
T3	10" WHITE SKIP LINE (4",90ML) NCDOT STD DETAIL 1205.01		
T2	WHITE SOLID LANE LINE (4",90ML) NCDOT STD DETAIL 1205.01		
T70	LEFT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08		
T71	RIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08		
T72	STRAIGHT ARROW (90ML) NCDOT STD DETAIL 1205.08		
T73	COMBO LEFT/STRAIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08		
T74	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08		
T42	YELLOW DIAGONAL LINES (8",90ML) NCDOT STD DETAIL 1205.09		
T41	WHITE DIAGONAL LINES (8",90ML) NCDOT STD DETAIL 1205.09		
T14	3" YELLOW MINI-SKIP LINES (4",90ML) NCDOT STD DETAIL 1205.01		
T12	YELLOW SKIP CENTER LINES (4",90ML) NCDOT STD DETAIL 1205.01		
T61	STOP BAR (24",90ML) NCDOT STD DETAIL 1205.01		
T102	12" YIELD LINE SYMBOL (90ML) NCDOT STD DETAIL 1205.08 (THIS SHEET)		

ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS
CONTRACTOR TO INSTALL MARKINGS PER NCDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.

TRAFFIC CONTROL NOTES:
THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 10' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

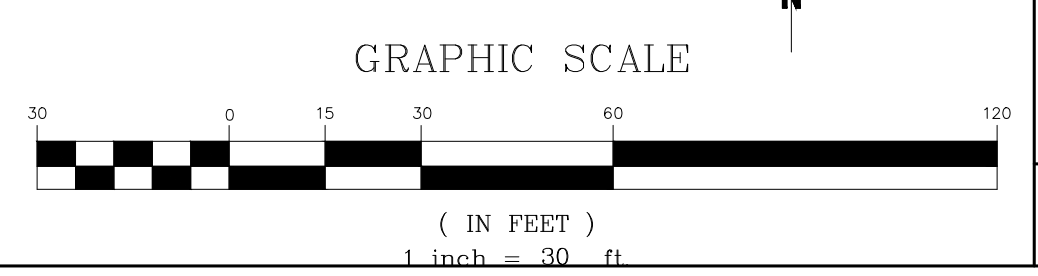
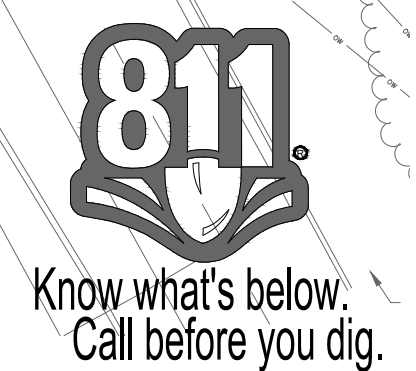
THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN RADI, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS.

ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS.

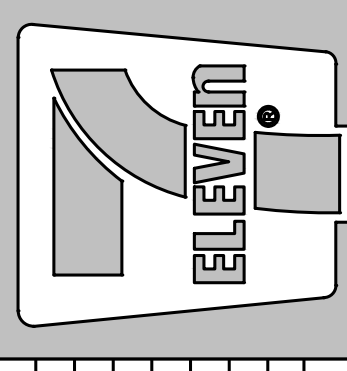
MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).



Bowman
Bowman North Carolina Ltd.
4000 S. I-85
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



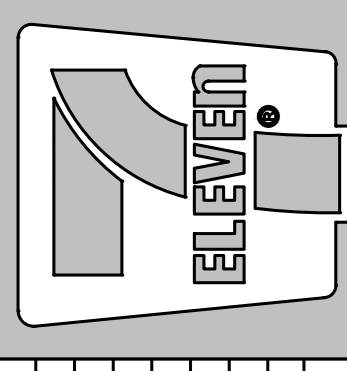
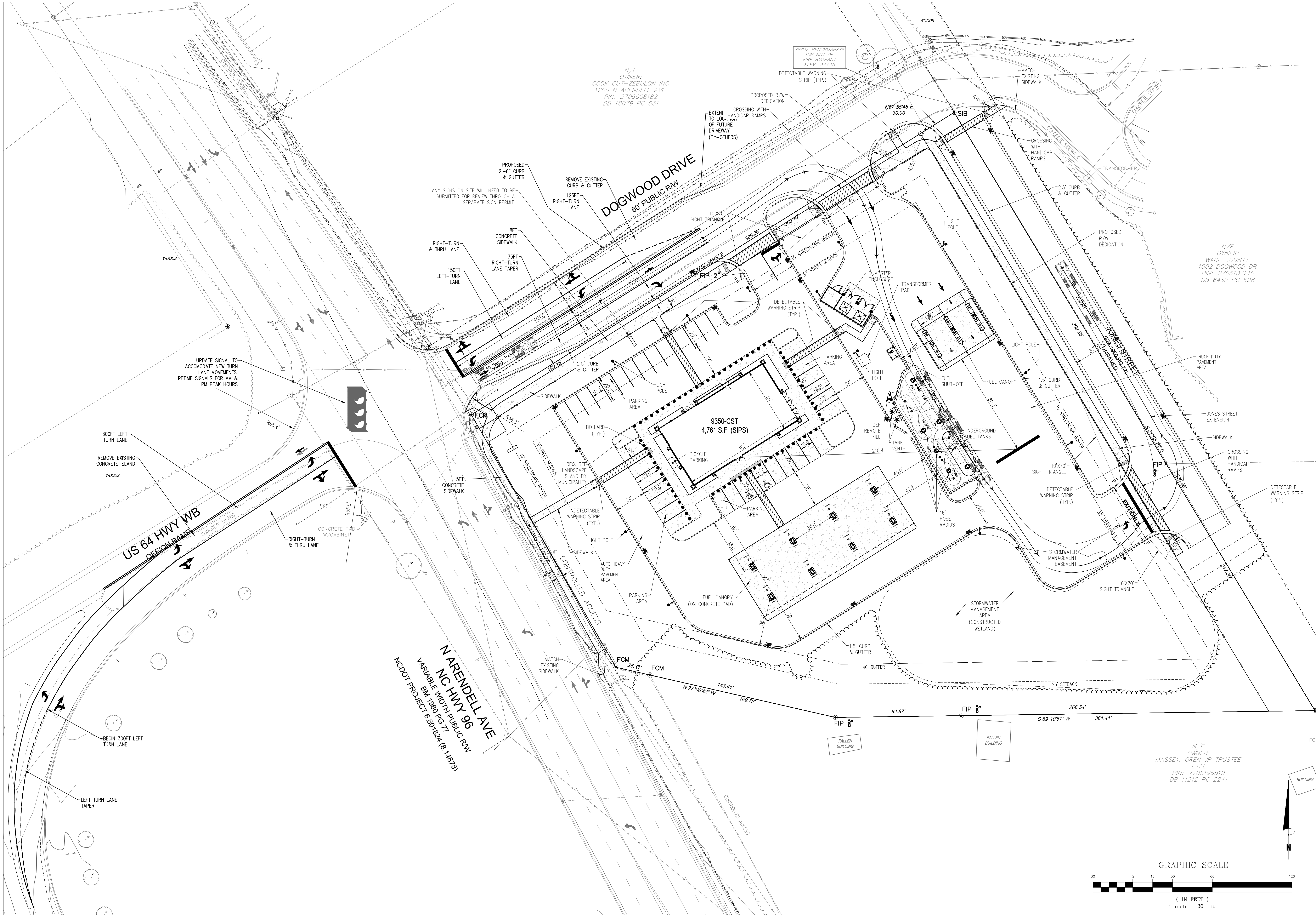
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	DESCRIPTION
1	REVISED		
2	REVISED		

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023
ADDRESS: 1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
ROADWAY PLAN (2 OF 2)
DRWG. NO. **C3.4**

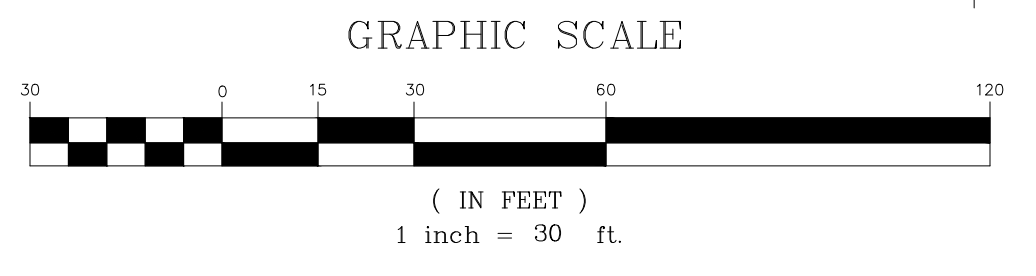


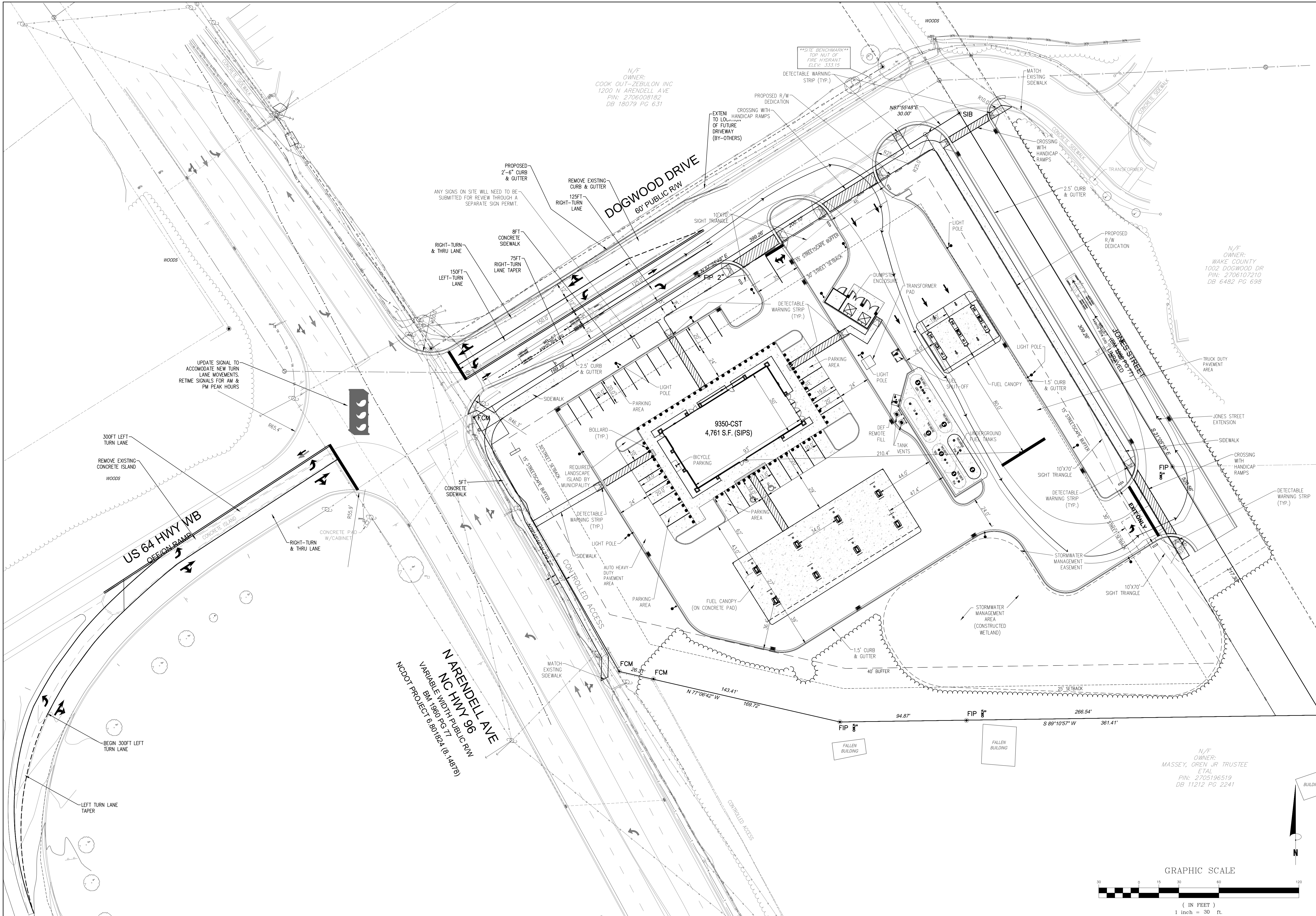
MARK	REVISION	DATE	DESCRIPTION
1	REVISED	12/23/23	TOWN OF ZEBULON REVIEW
2	REVISED	12/23/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
TRUCK TURN PLAN (WB-50)

DRWG. NO.
C3.5





N/O OWNER:
 COOK OUT-ZEBULON INC
 1200 N ARENDELL AVE
 PIN: 2706008182
 DB 18079 PG 6.31

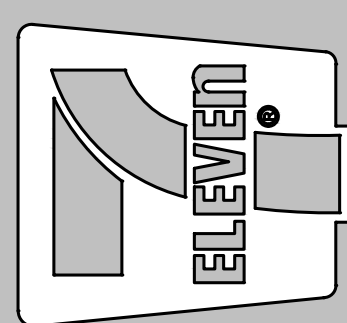
N/O OWNER:
 WAKE COUNTY
 1002 DOGWOOD DR
 PIN: 2706107210
 DB 6482 PG 698

N/O OWNER:
 MASSEY, OREN JR TRUSTEE
 ETAL
 PIN: 2705196519
 DB 11212 PG 2241

Bowman
 Bowman North Carolina Ltd.
 4000 S. I-85
 RALEIGH, NC 27609
 Phone: (919) 553-6570
 bowman.com
 © Bowman North Carolina Ltd.



Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



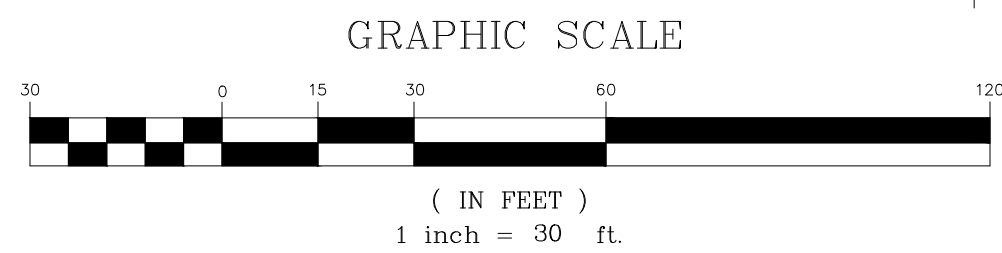
MARK	REVISION	DATE	DESCRIPTION
1	REVISED	02/23/23	TOWN OF ZEBULON REVIEW
2	REVISED	02/23/23	TOWN OF ZEBULON REVIEW

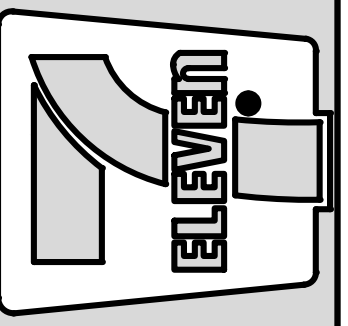
STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

1106 N ARENDELL AVE
 ZEBULON, NC 27587

SHEET TITLE
**TRUCK TURN
 PLAN (WB-67)**

DRWG. NO.
C3.6



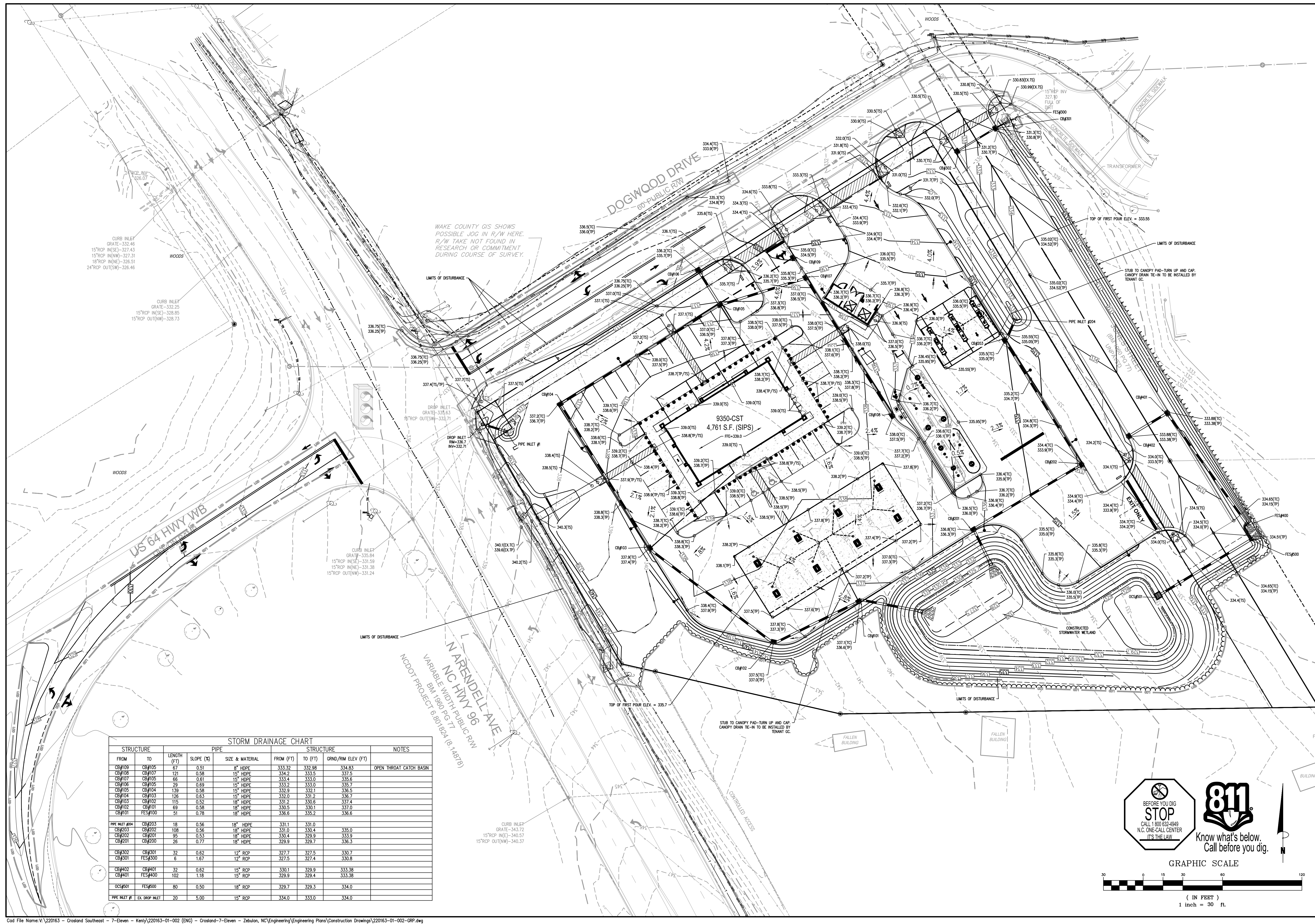


NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	BRM	TOWN OF ZEBULON REVIEW		
2	BRM/MCB	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM:
DGNR, BRM & MCB
P.M./D.P.: ML
R.V.W.R.: ML

ISSUE DATE: 12/5/2023
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27597

SHEET TITLE:
GRADING & DRAINAGE PLAN
DRWG. NO.:
C4.0



STORM DRAINAGE CHART

STRUCTURE		PIPE		STRUCTURE		NOTES	
FROM	TO	LENGTH (FT)	SLOPE (%)	SIZE & MATERIAL	GRND./RIM ELEV (FT)		
CB#109	CB#105	67	0.51	8" HDPE	333.32 332.98	334.83	OPEN THROAT CATCH BASIN
CB#108	CB#107	121	0.58	15" HDPE	334.2 333.5	337.5	
CB#107	CB#105	66	0.61	15" HDPE	333.4 333.0	335.6	
CB#106	CB#105	29	0.69	15" HDPE	333.2 333.0	335.7	
CB#105	CB#104	139	0.58	15" HDPE	332.9 332.1	336.5	
CB#104	CB#103	126	0.63	15" HDPE	332.0 331.2	336.7	
CB#103	CB#102	115	0.52	18" HDPE	331.2 330.6	337.4	
CB#102	CB#101	69	0.58	18" HDPE	330.5 330.1	337.0	
CB#101	FES#100	51	0.78	18" HDPE	336.6 335.2	336.6	
PIPE INLET #204	CB#203	18	0.56	18" HDPE	333.1 331.0	331.0	
CB#203	CB#202	108	0.56	18" HDPE	331.0 330.4	335.0	
CB#202	CB#201	95	0.53	18" HDPE	330.4 329.9	333.9	
CB#201	CB#200	26	0.77	18" HDPE	329.9 329.7	336.3	
CB#302	CB#301	32	0.62	12" RCP	327.7 327.5	330.7	
CB#301	FES#300	6	1.67	12" RCP	327.5 327.4	330.8	
CB#402	CB#401	32	0.62	15" RCP	330.1 329.9	333.38	
CB#401	FES#400	102	1.18	15" RCP	329.9 329.4	333.38	
OC#501	FES#500	80	0.50	18" RCP	329.7 329.3	334.0	
PIPE INLET #1	EX. DROP INLET	20	5.00	15" RCP	334.0 333.0	334.0	

GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

GRADING NOTES:

- REFER TO THE SITE PLAN FOR RELATED NOTES.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
- LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDEED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
- ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
- EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

DRAINAGE NOTES:

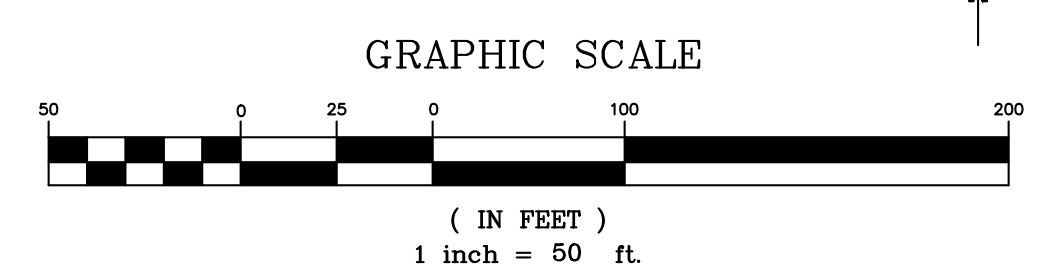
- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
- PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE TOWN OF ZEBULON STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- STORM PIPE SHALL BE AS FOLLOW UNLESS OTHERWISE NOTED:
 - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) – AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
- ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

NO.	REVISION	DATE	DESCRIPTION
1	BRM	12/23	TOWN OF ZEBULON REVIEW
2	BRM&M	12/23	TOWN OF ZEBULON REVIEW

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



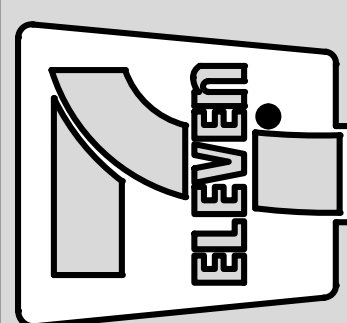
811
Know what's below.
Call before you dig.



Bowman
Bowman North Carolina Ltd.
4000 S. I-85 DR
Suite 114
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



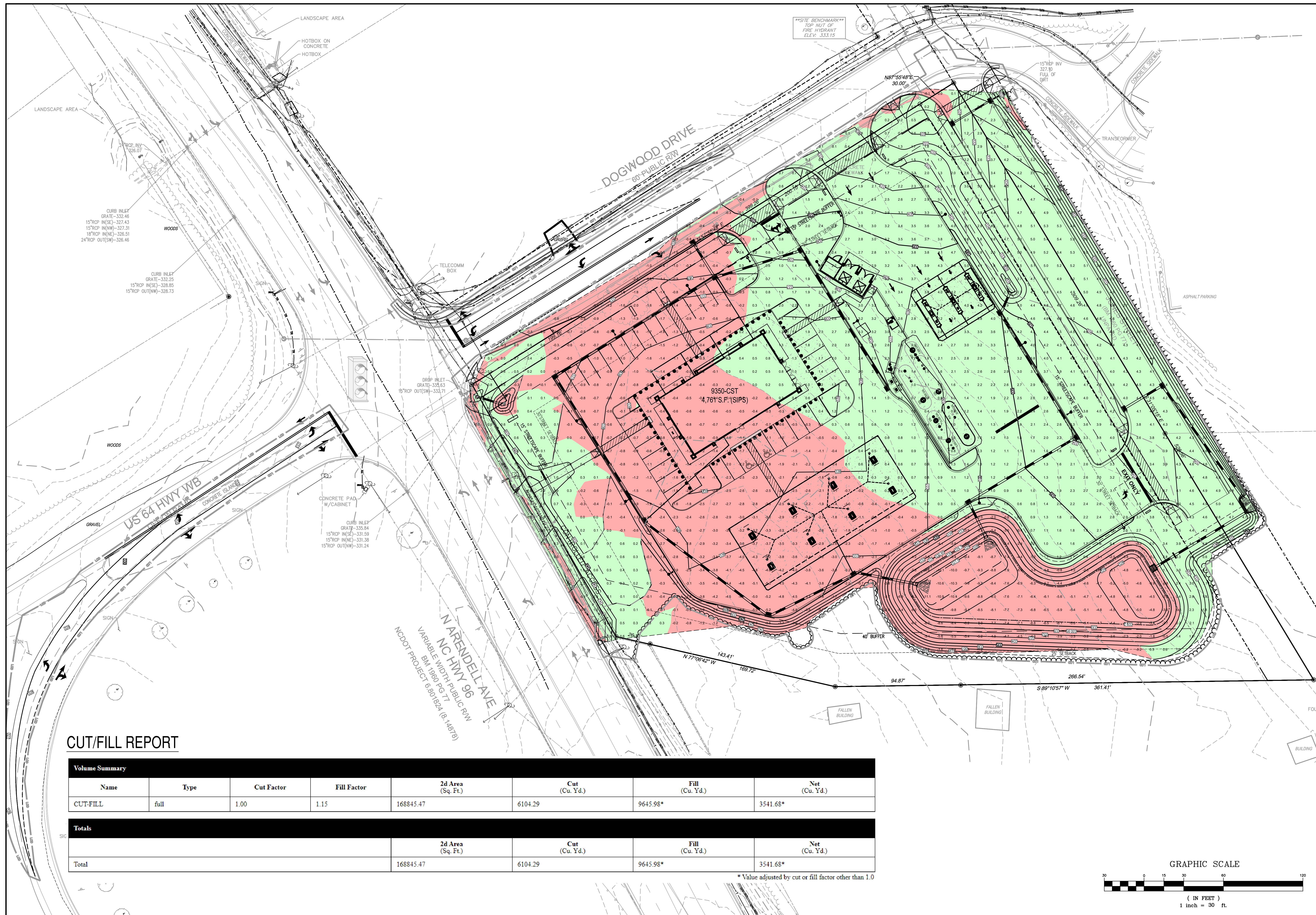
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION	DATE	DESCRIPTION
1	BRM	12/23	TOWN OF ZEBULON REVIEW
2	BRM&M	12/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR, BRM & MICB
P.M./D.P.: ML
R/VWR: ML
ISSUE DATE: 12/5/2023
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

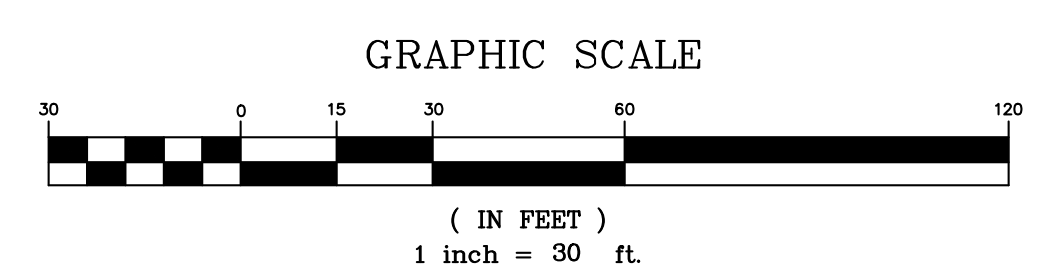
SHEET TITLE
GRADING & DRAINAGE NOTES
DRWG. NO.
C4.1



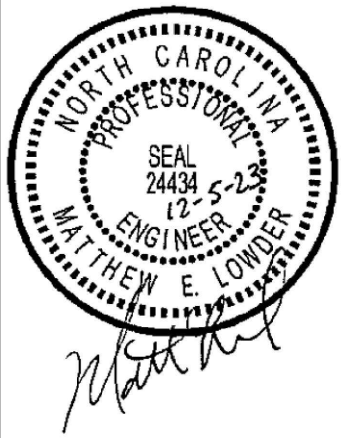
CUT/FILL REPORT

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
CUT-FILL	full	1.00	1.15	168845.47	6104.29	9645.98*	3541.68*
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				168845.47	6104.29	9645.98*	3541.68*

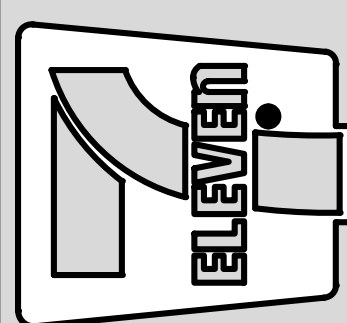
* Value adjusted by cut or fill factor other than 1.0



Bowman
Bowman North Carolina Ltd.
4009 S. I-85
Raleigh, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

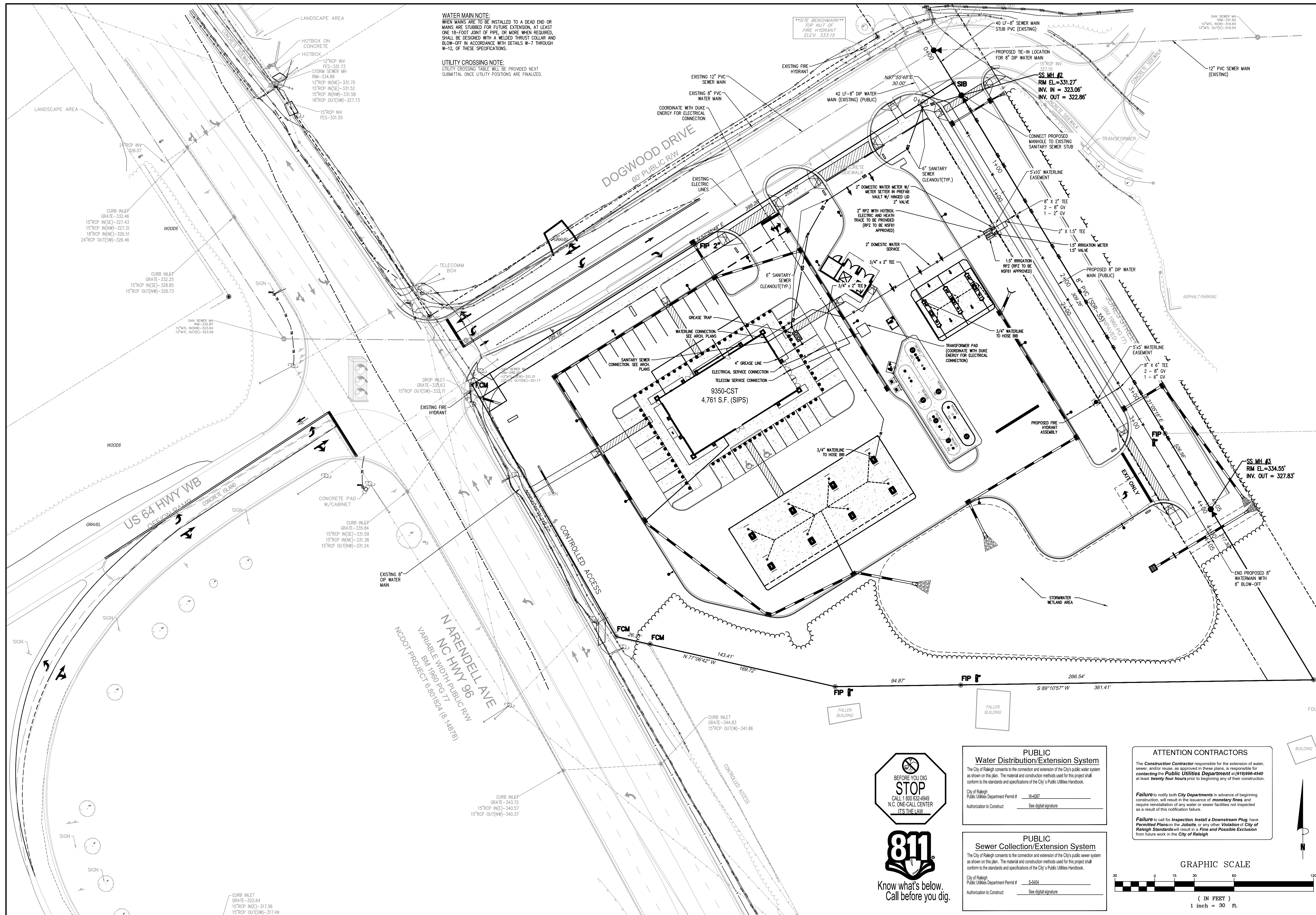


NO.	DATE	REVISION DESCRIPTION
1	02/23/22	TOWN OF ZEBULON REVIEW
2	02/23/22	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE
CUT/FILL ANALYSIS PLAN

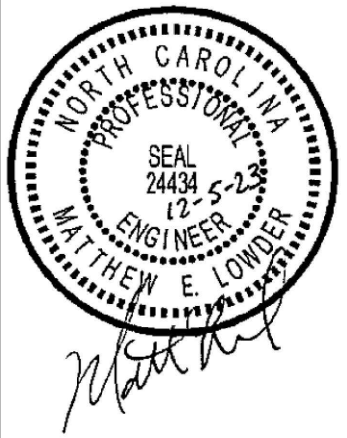
DRWG. NO.
C4.2



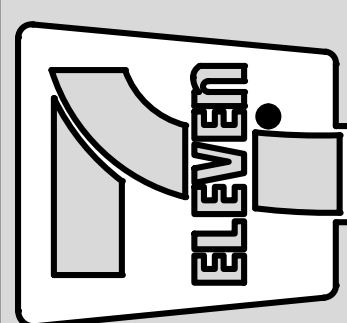
WATER MAIN NOTE:
 WHEN MAINS ARE TO BE INSTALLED TO A DEAD END OR MAINS ARE STUBBED FOR FUTURE EXTENSION, AT LEAST ONE 18-FOOT JOINT OF PIPE, OR MORE WHEN REQUIRED, SHALL BE DESIGNED WITH A WELDED THRUST COLLAR AND BLOW-OFF IN ACCORDANCE WITH DETAILS W-7 THROUGH W-12, OF THESE SPECIFICATIONS.

UTILITY CROSSING NOTE:
 UTILITY CROSSING TABLE WILL BE PROVIDED NEXT SUBMITTAL ONCE UTILITY POSITIONS ARE FINALIZED.

Bowman
 Bowman North Carolina Ltd.
 4000 Shiloh Rd
 Raleigh, NC 27609
 Phone: (919) 553-6570
 bowman.com
 © Bowman North Carolina Ltd.



Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	02/23	BRN
2	TOWN OF ZEBULON REVIEW	02/23	BRN

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID.:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
UTILITY PLAN

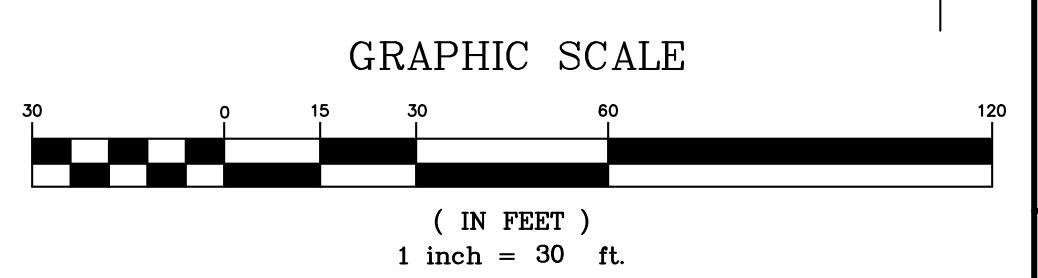
DRWG. NO.
C5.0



PUBLIC Water Distribution/Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # W-4087
 Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # S-5404
 Authorization to Construct See digital signature

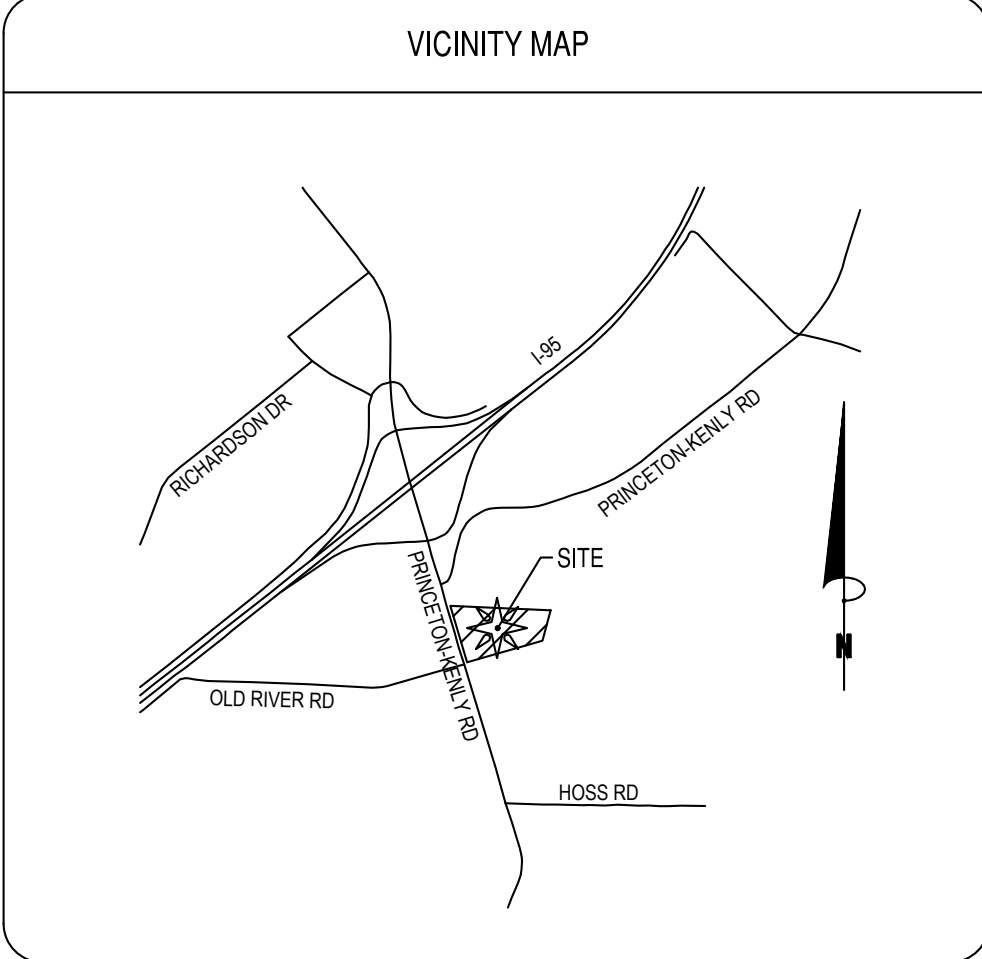
ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



CROSS-CONNECTION NOTE
A CERTIFICATE OF COMPLIANCE FOR ALL BACKFLOWS WILL NEED TO BE DIGITALLY AFFIXED TO THE BUILDING SUBMITTAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

FIRE PROTECTION NOTE
THE PROPOSED BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM

UTILITY NOTE
THE ESTIMATED WATER USAGE FOR THIS SITE IS ____ GPD BASED ON



Project Water System Data:

- Are the total # domestic water services ≥ 15 . OR the total # people served ≥ 25 ?
Yes/No
- Type of development? (select one)
 - Commercial property
 - Residential Condominiums or townhomes
 - Residential Apartments
- NOTE: permitting by City of Raleigh on projects having ≥ 15 domestic water services, OR serving ≥ 25 people, requires Developer NOT to re-sell water (or must have a WR designation from NCUC for Apartment projects only)*

METER NOTE:
CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

HYDRANT NOTE:
ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

FIRE NOTE:
ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX

UTILITY NOTE:
THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS, FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL

UTILITY NOTES:

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS.
- IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
- WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "C" SOFT COPPER. ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON PIPE PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- GRAVITY SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
- CLEAN-OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DPTH.
- ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DPTH, PER CITY OF RALEIGH STANDARDS.
- LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
- WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
- ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCINGS AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWERAGE FACILITIES. A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO NCDOT SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW PLAN GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF RALEIGH AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. COMPENSATION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
- A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE CENTERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 18" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 18" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAN.
- ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
- THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH UTILITY DEPARTMENT.

PUBLIC Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4987
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-6404
Authorization to Construct See digital signature

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department at (919)996-4540** at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines** and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

UTILITY SERVICE NOTES

WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: TELEPHONE
TELEPHONE:

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

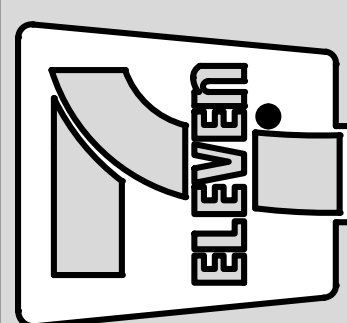
NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: TELEPHONE:

CONDITION OF APPROVAL
A PLAT WILL NEED TO BE RECORDED WITH THE REGISTER OF DEEDS FOR ALL EASEMENT DEDICATIONS

Bowman
Bowman North Carolina Ltd.
4000 State 111 DR
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE REVISION	REVISION DESCRIPTION
1	REVISED
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED
9	REVISED
10	REVISED
11	REVISED
12	REVISED
13	REVISED
14	REVISED
15	REVISED
16	REVISED
17	REVISED
18	REVISED
19	REVISED
20	REVISED
21	REVISED
22	REVISED
23	REVISED
24	REVISED
25	REVISED
26	REVISED
27	REVISED
28	REVISED
29	REVISED
30	REVISED

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR, BRM & MCB

PM/DP: ML

RW/R: ML

ISSUE DATE: 12/5/2023

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
UTILITY NOTES

DRWG. NO.
C5.1

UTILITY SERVICE NOTES

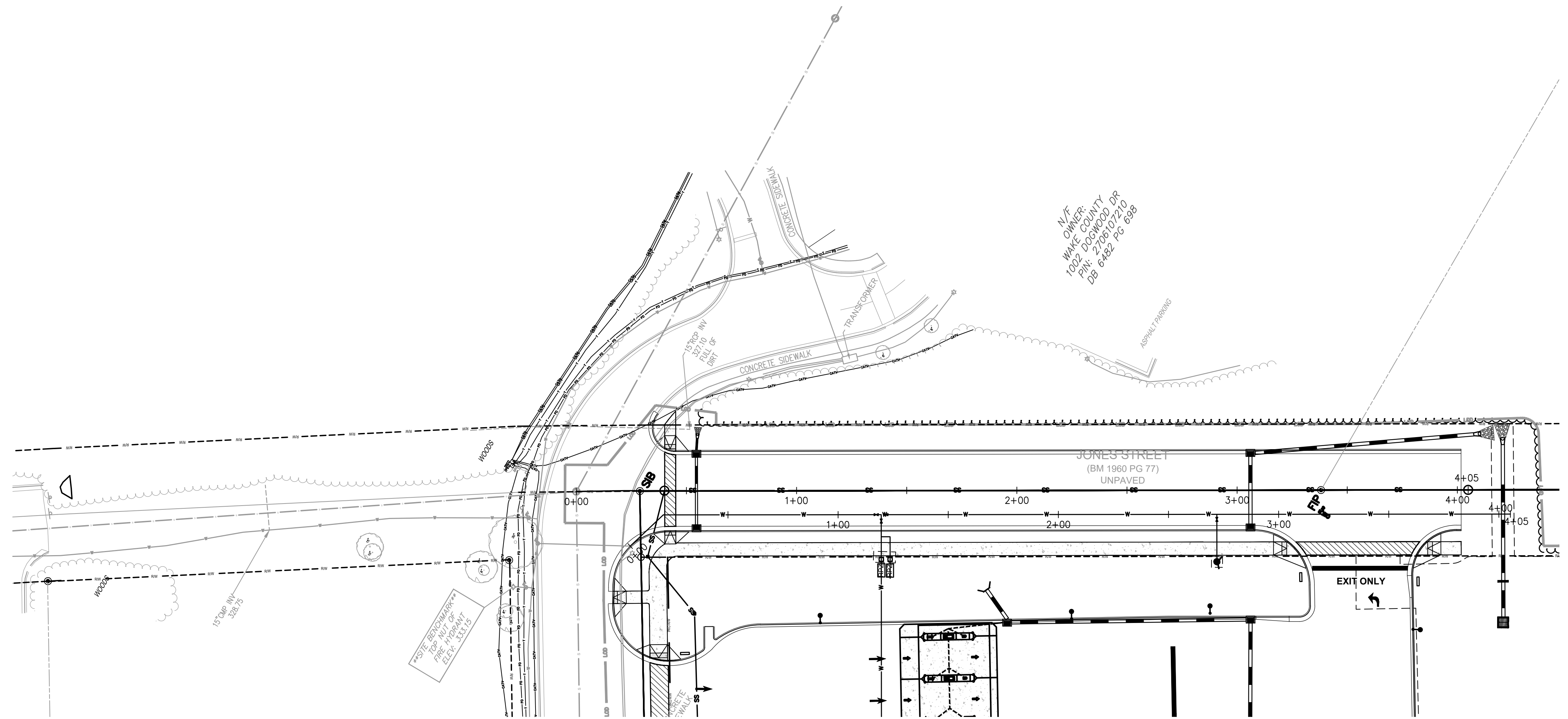
WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

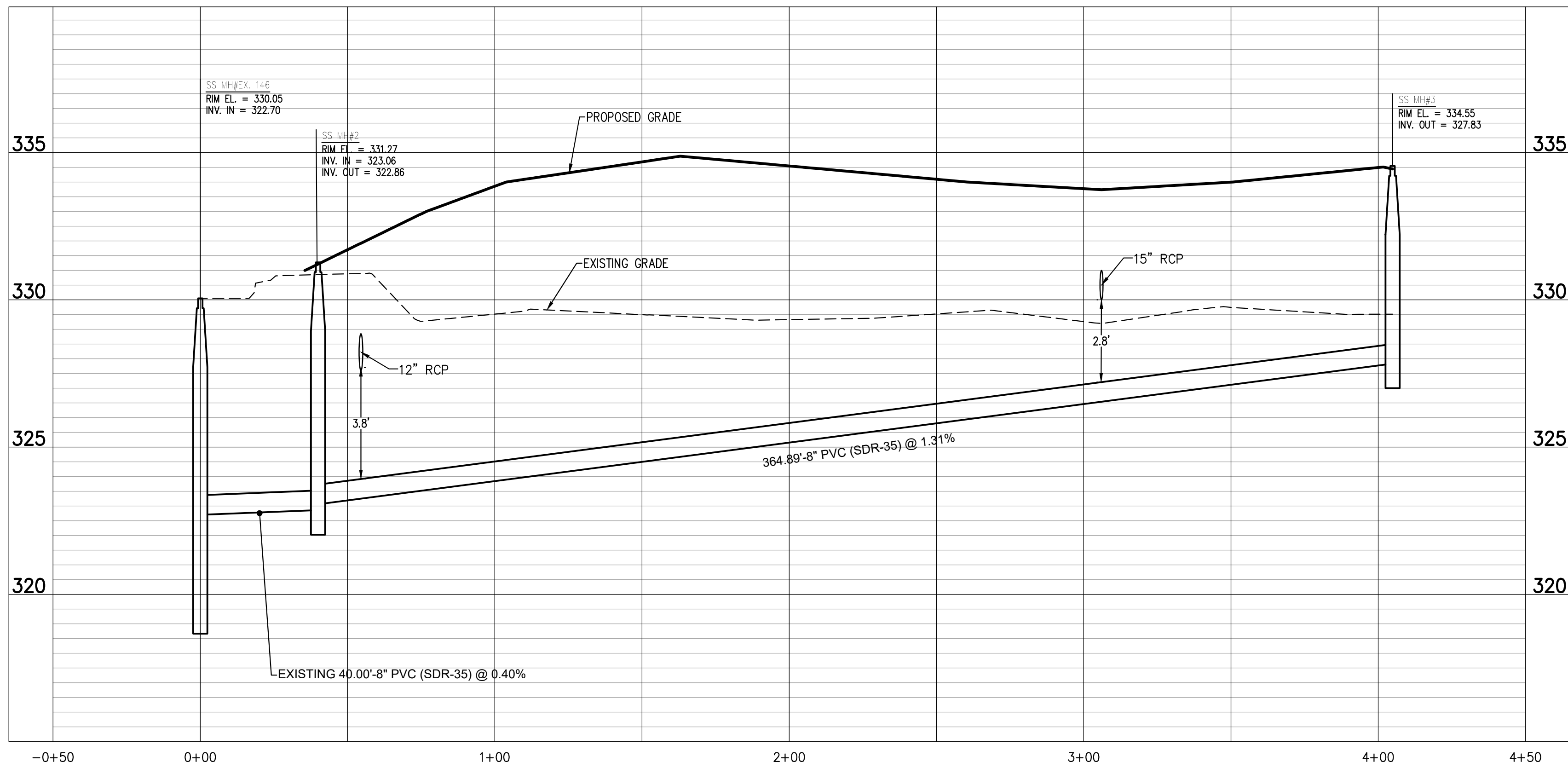
TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT:
TELEPHONE:

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT:
TELEPHONE:



N/K
OWNER:
WAKE COUNTY
1702 DORRWOOD DR
RALEIGH, NC 27609
DB 6402 PG 638



SEWER PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

CONDITION OF APPROVAL
A PLAT WILL NEED TO BE RECORDED WITH THE REGISTER OF DEEDS FOR ALL EASEMENT DEDICATIONS

PUBLIC Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # W-087
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # S-504
Authorization to Construct See digital signature

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines** and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a downstream plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

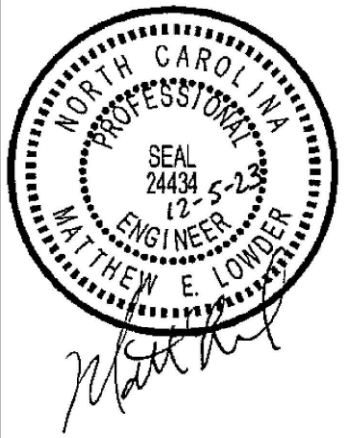
- STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 20' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer crosses over a wetmain, DIP materials or steel encasement installed 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W 41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning taps at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75' near feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCEM, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC / Blag Permit. Contact (919) 996-4516 or fo@raleighnc.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross Connection Coordinator for each device prior to issuance of a UC / Blag Permit. Contact (919) 996-5923 or crossconnection@raleighnc.gov for more information.
 - NOTICE for projects with replaced or oversized mains: If the City's reimbursement for an oversized main or urban main replacement project is \$250,000 or greater - the project must be publicly bid.

811
Know what's below.
Call before you dig.

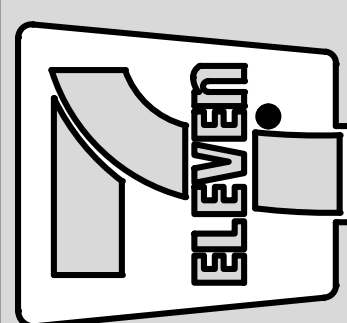
BEFORE YOU DIG STOP
CALL 1-800-633-4349
N.C. ONE-CALL CENTER
IT'S THE LAW.

GRAPHIC SCALE
50 0 25 100 200
(IN FEET)
1 inch = 50 ft.

Bowman
Bowman North Carolina Ltd.
4000 S. DR
Suite 111
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	REVISION DESCRIPTION
1	ISSUE	02/23/23	TOWN OF ZEBULON REVIEW
2	REVISED	02/23/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR, BRM & MCB

PM/DP: ML

RW/R: ML

ISSUE DATE: 12/5/2023

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
SEWER PLAN AND PROFILE

DRWG. NO.
C5.2

UTILITY SERVICE NOTES

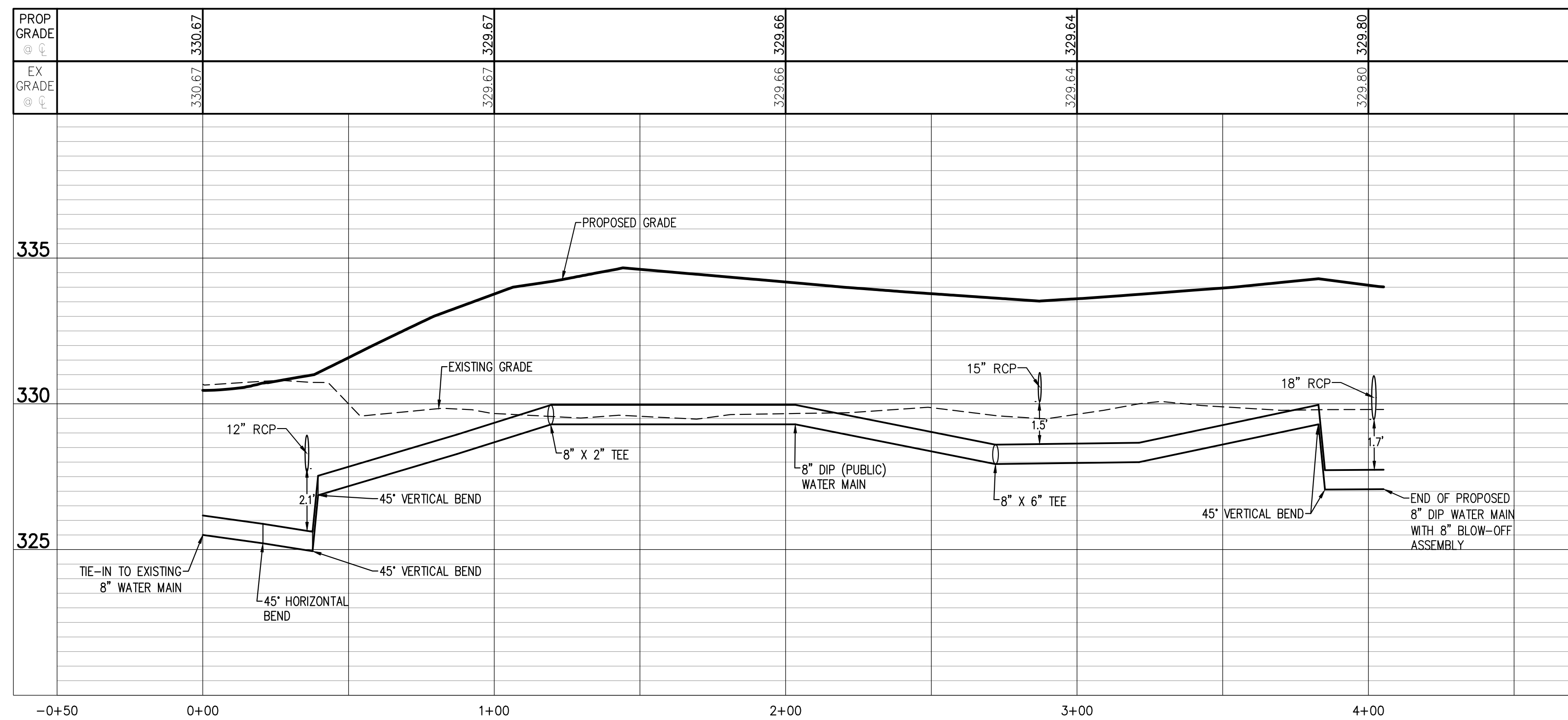
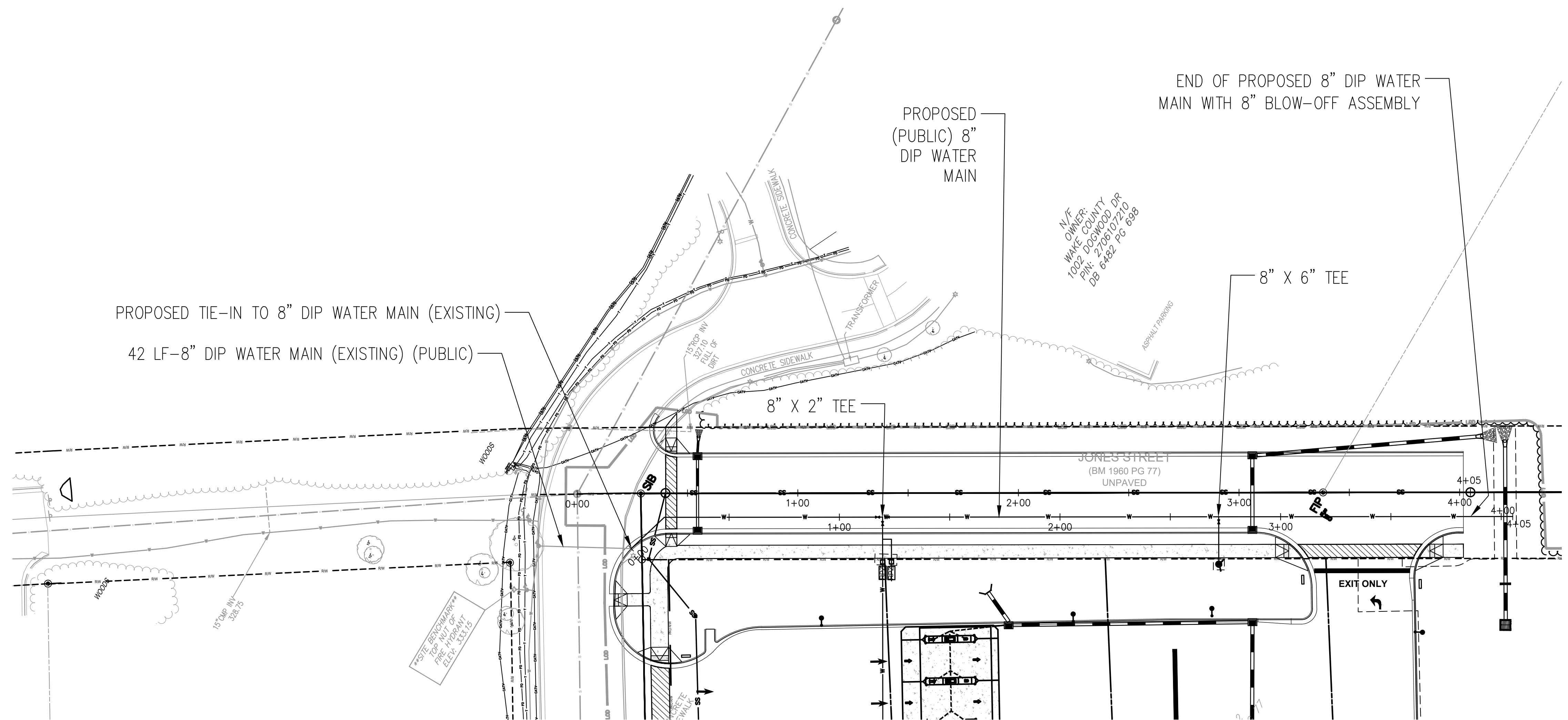
WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: TELEPHONE
TELEPHONE:

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: TELEPHONE:



WATER MAIN PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

CONDITION OF APPROVAL
A PLAT WILL NEED TO BE RECORDED WITH THE REGISTER OF DEEDS FOR ALL EASEMENT DEDICATIONS

PUBLIC Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # W-087
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # S-504
Authorization to Construct See digital signature

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines** and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a downstream plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

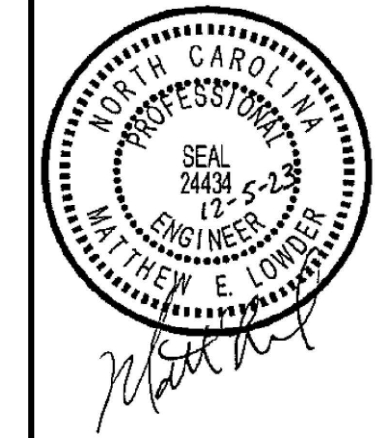
- STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 20' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer crosses over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W 41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning taps at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 2" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCEM, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NQD01 / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more restrictive. A Certificate of Compliance shall also be obtained from the RW Cross Connection Coordinator for issuance of a UC / Big Dip Permit. Contact (919) 996-5923 or crossconnection@raleighnc.gov for more information.
 - NOTICE for projects with replaced or oversized mains: If the City's reimbursement for an oversized main or urban main replacement project is \$250,000 or greater - the project must be publicly bid.

811
Know what's below.
Call before you dig.

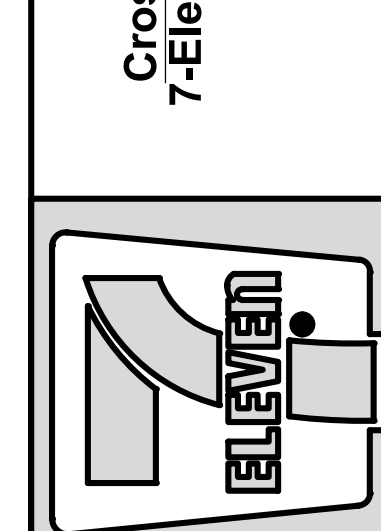
BEFORE YOU DIG STOP
CALL 1-800-633-4349
N.C. ONE-CALL CENTER
IT'S THE LAW.

GRAPHIC SCALE
50 0 25 100 200
(IN FEET)
1 inch = 50 ft.

Bowman
Bowman North Carolina Ltd.
4000 S. DR
Suite 114
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION	DATE	DESCRIPTION
1	ISSUE	02/23/2023	TOWN OF ZEBULON REVIEW
2	REVISED	02/23/2023	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
N/A

DESIGN OR PROJECT ID:
N/A

DESIGN TEAM
DGNR, BRM & MCB

PM/DP: ML

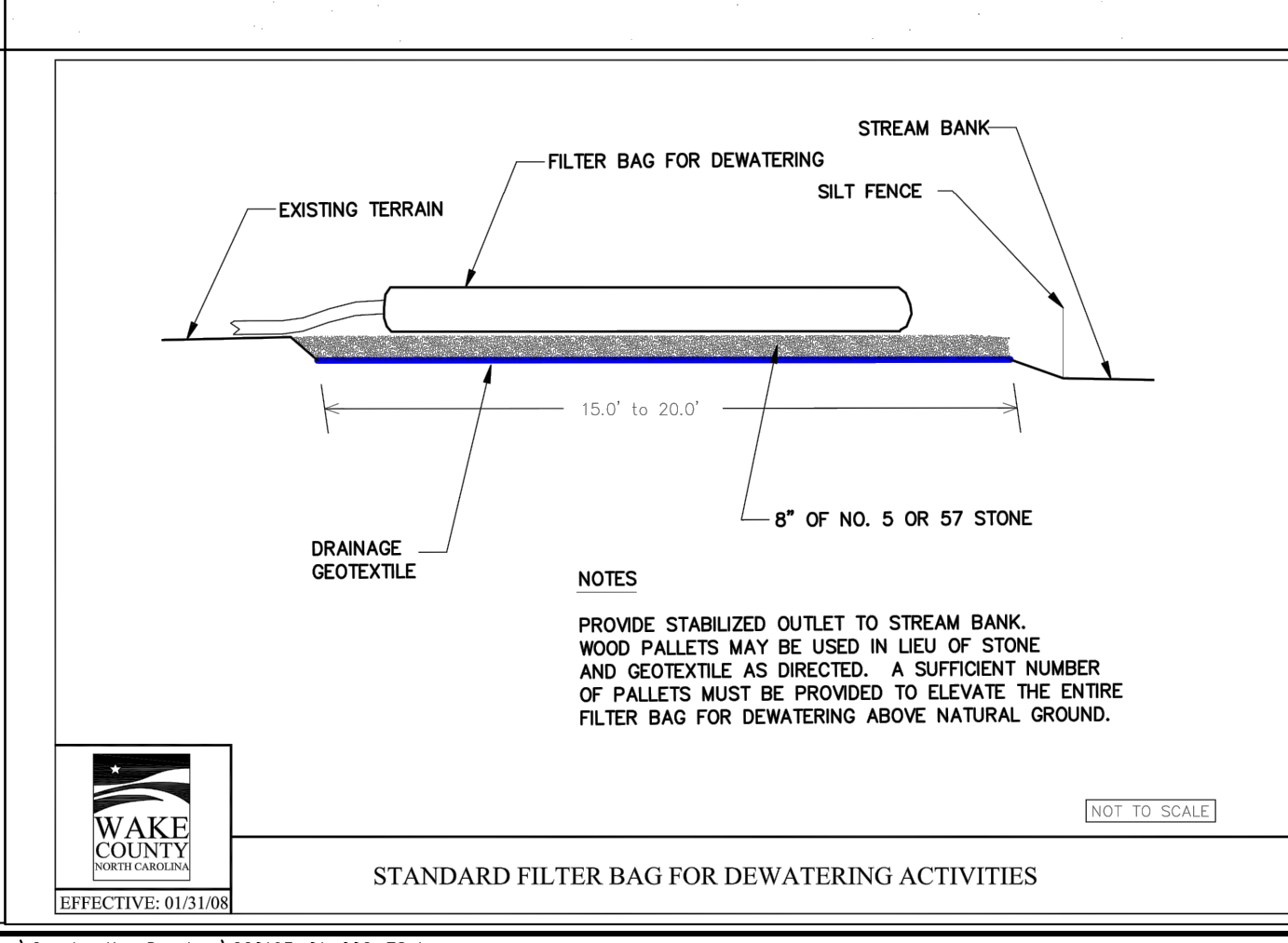
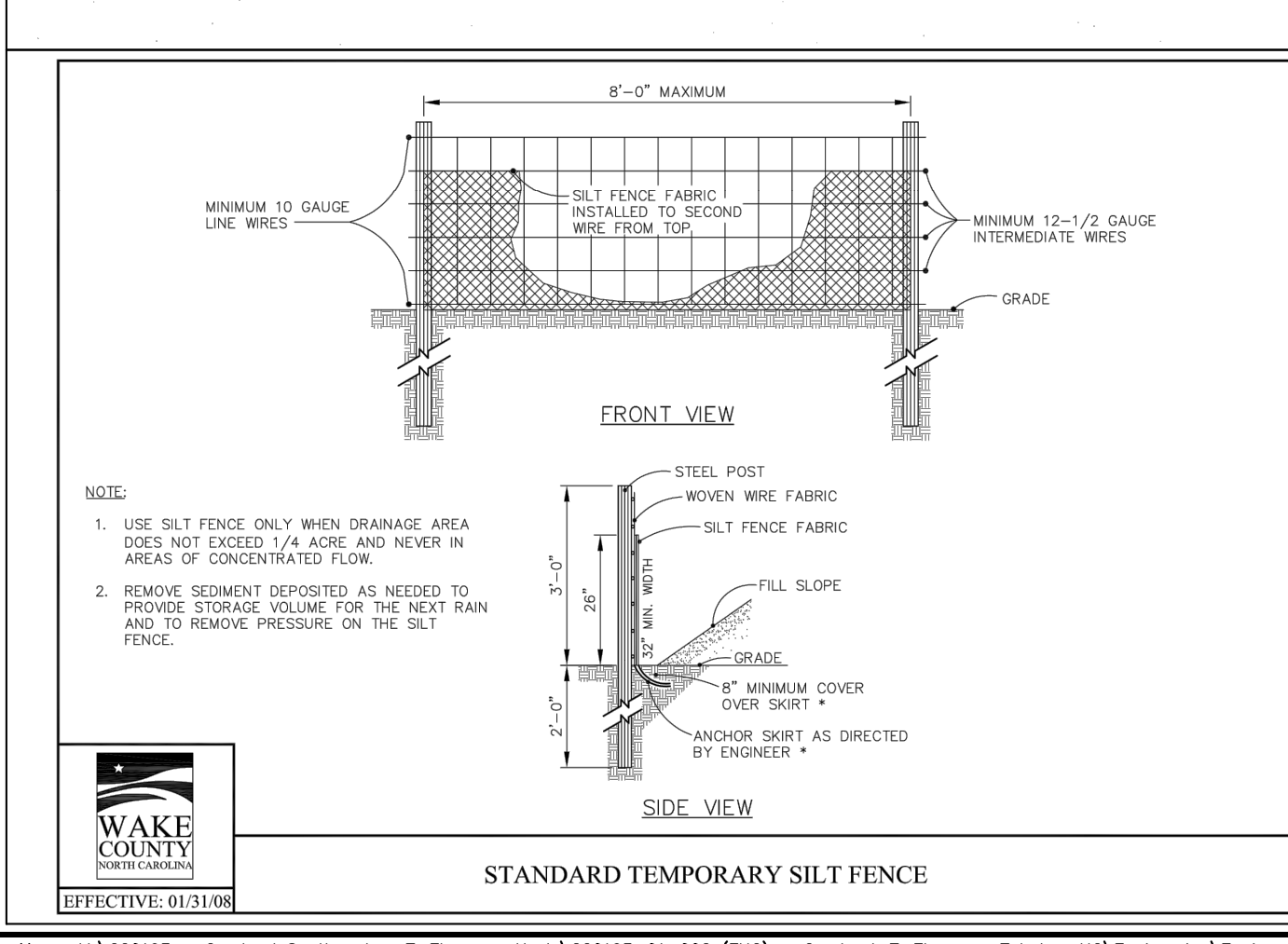
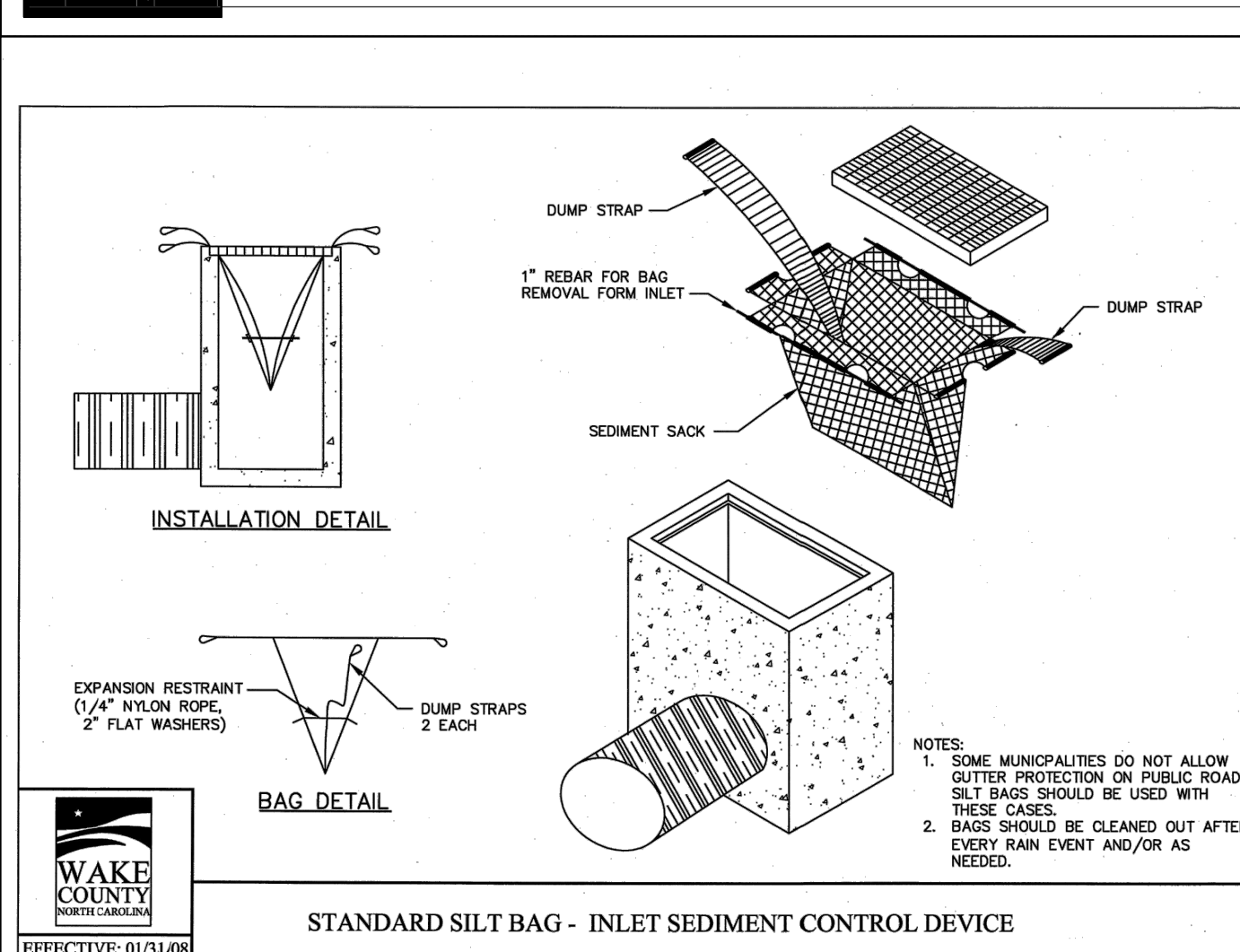
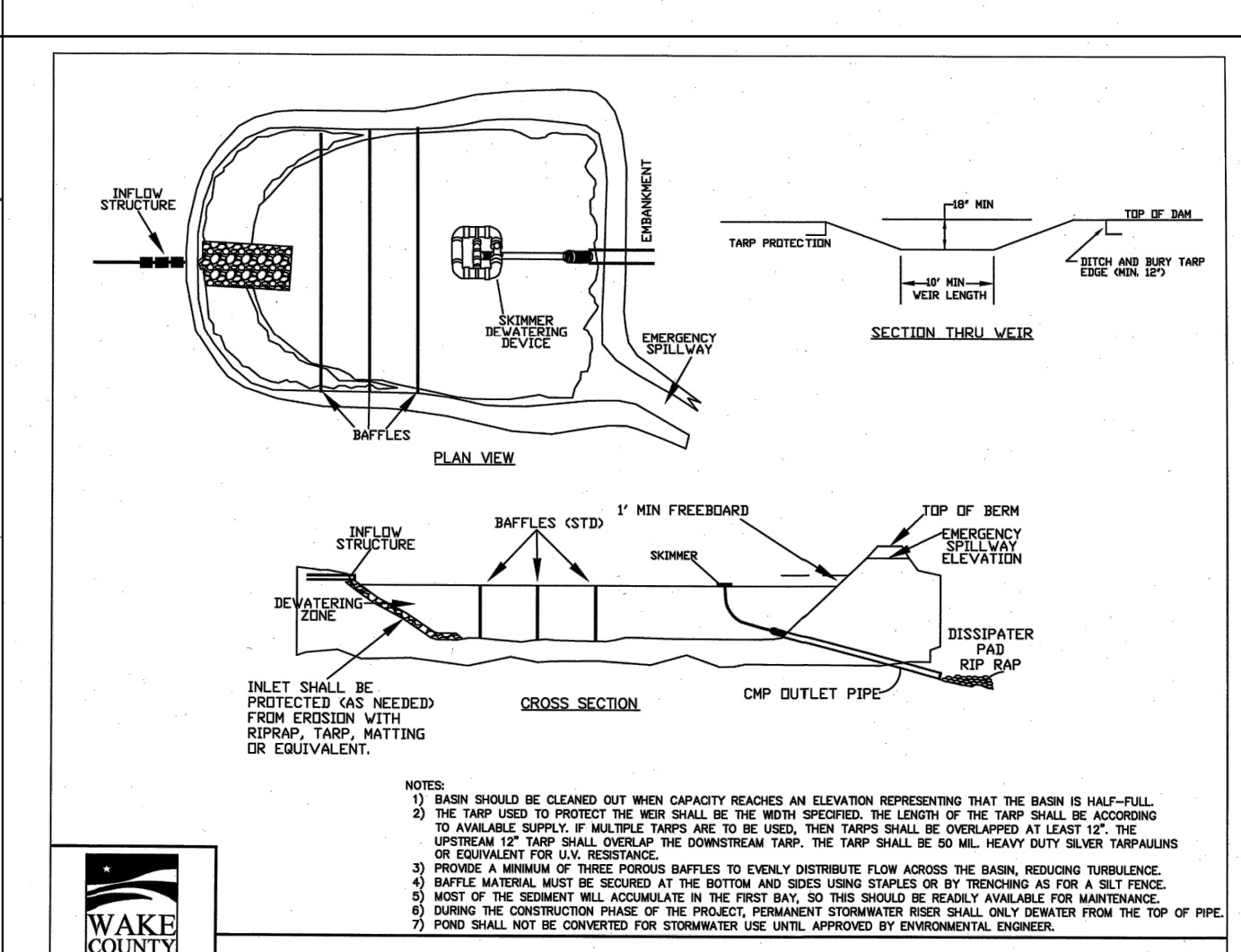
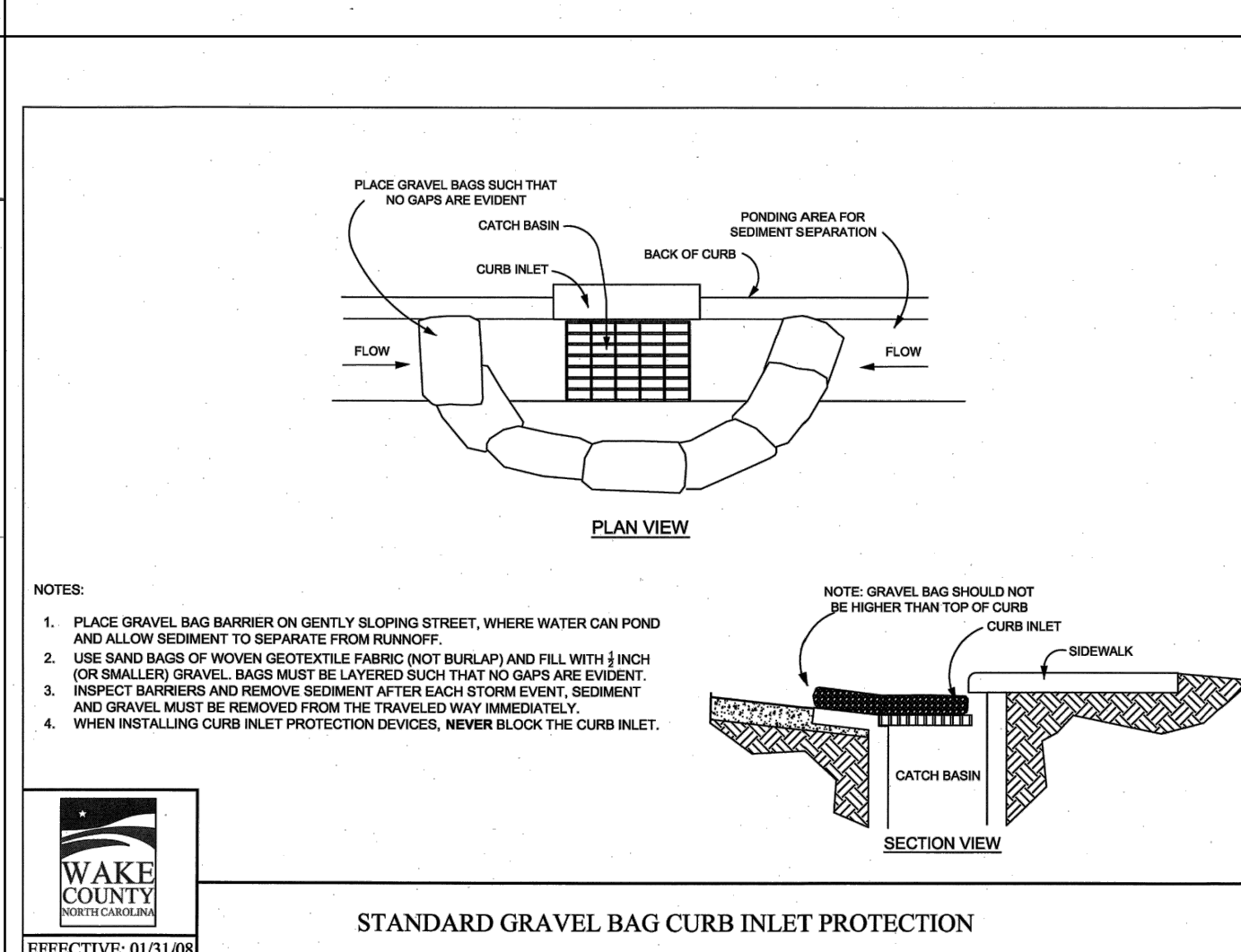
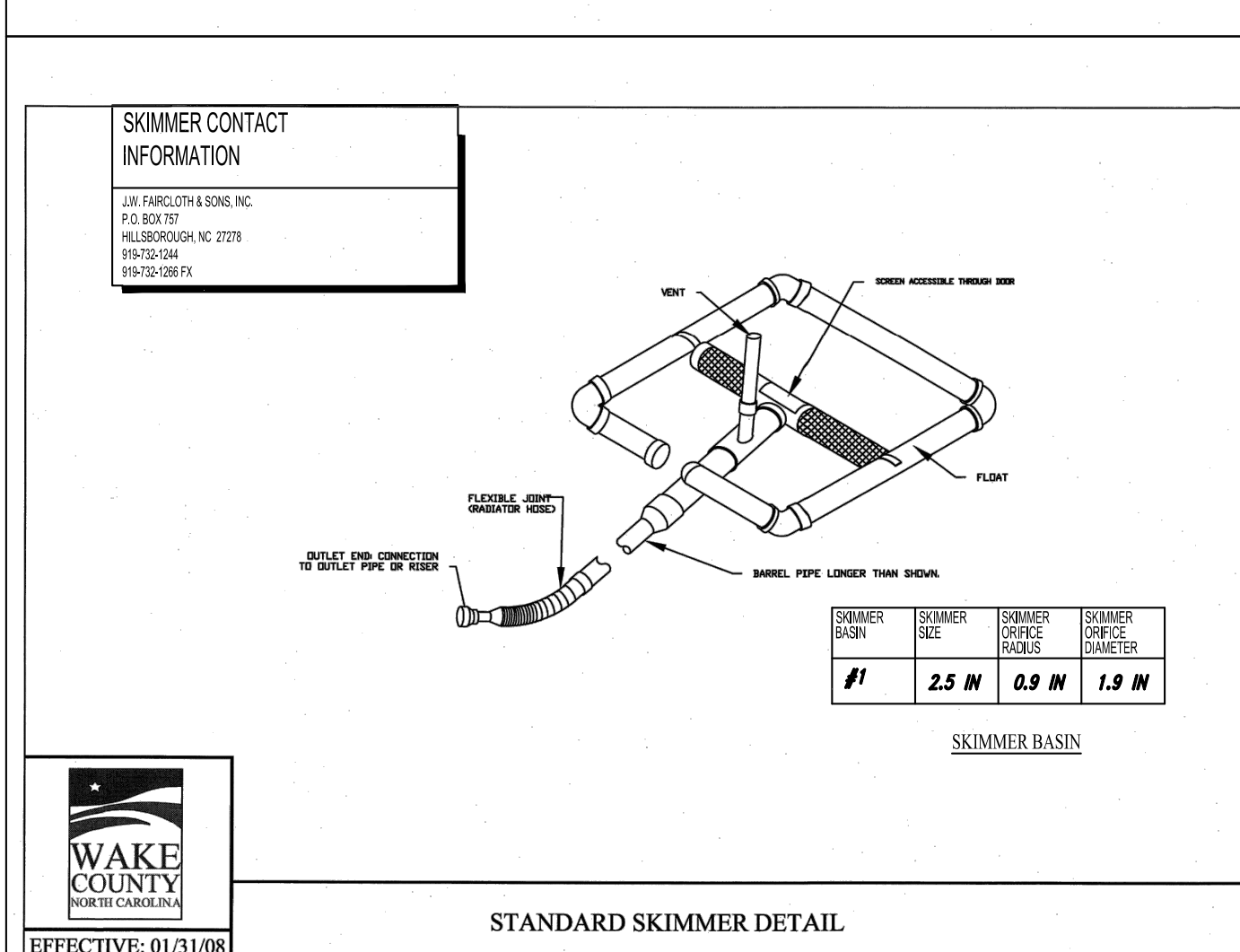
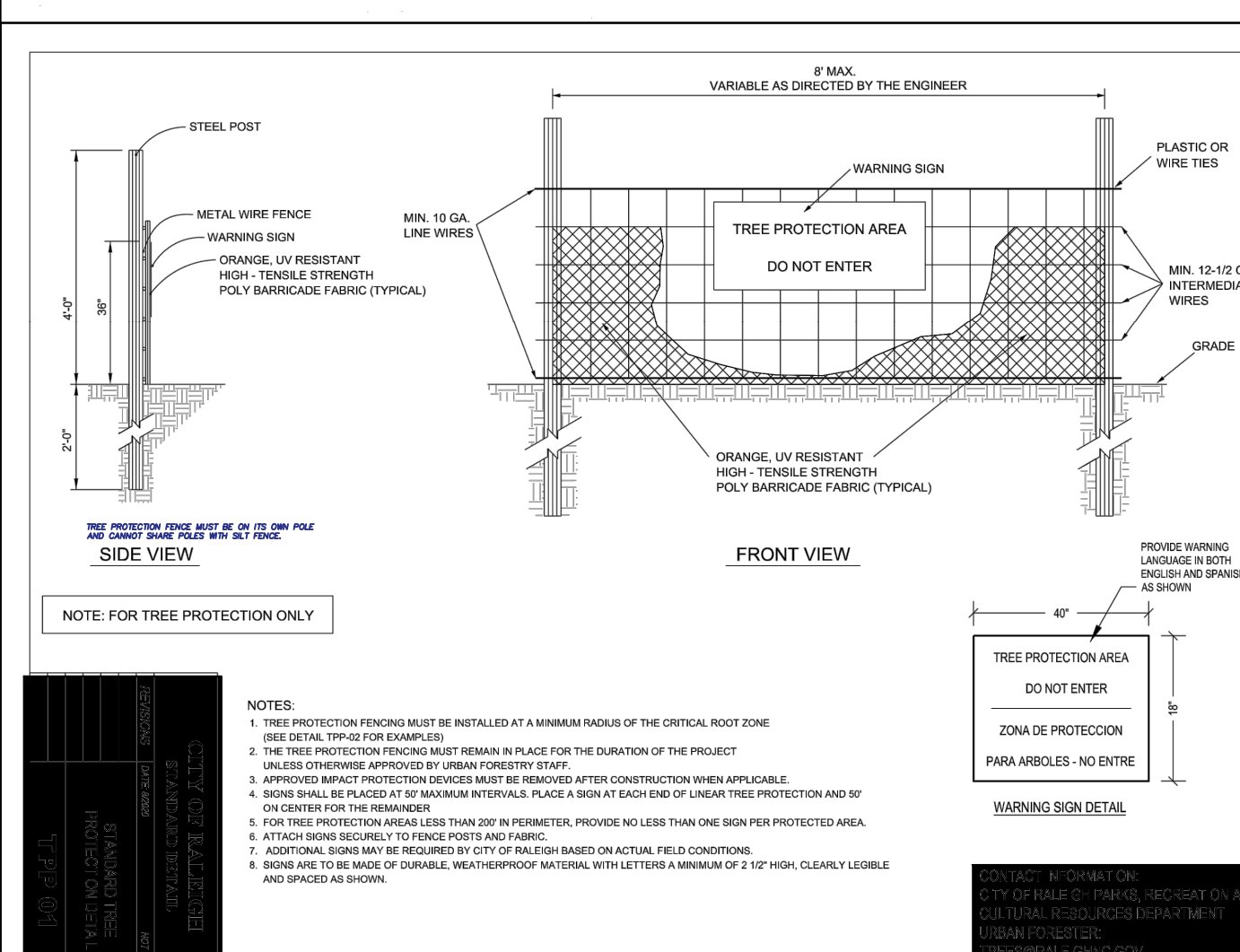
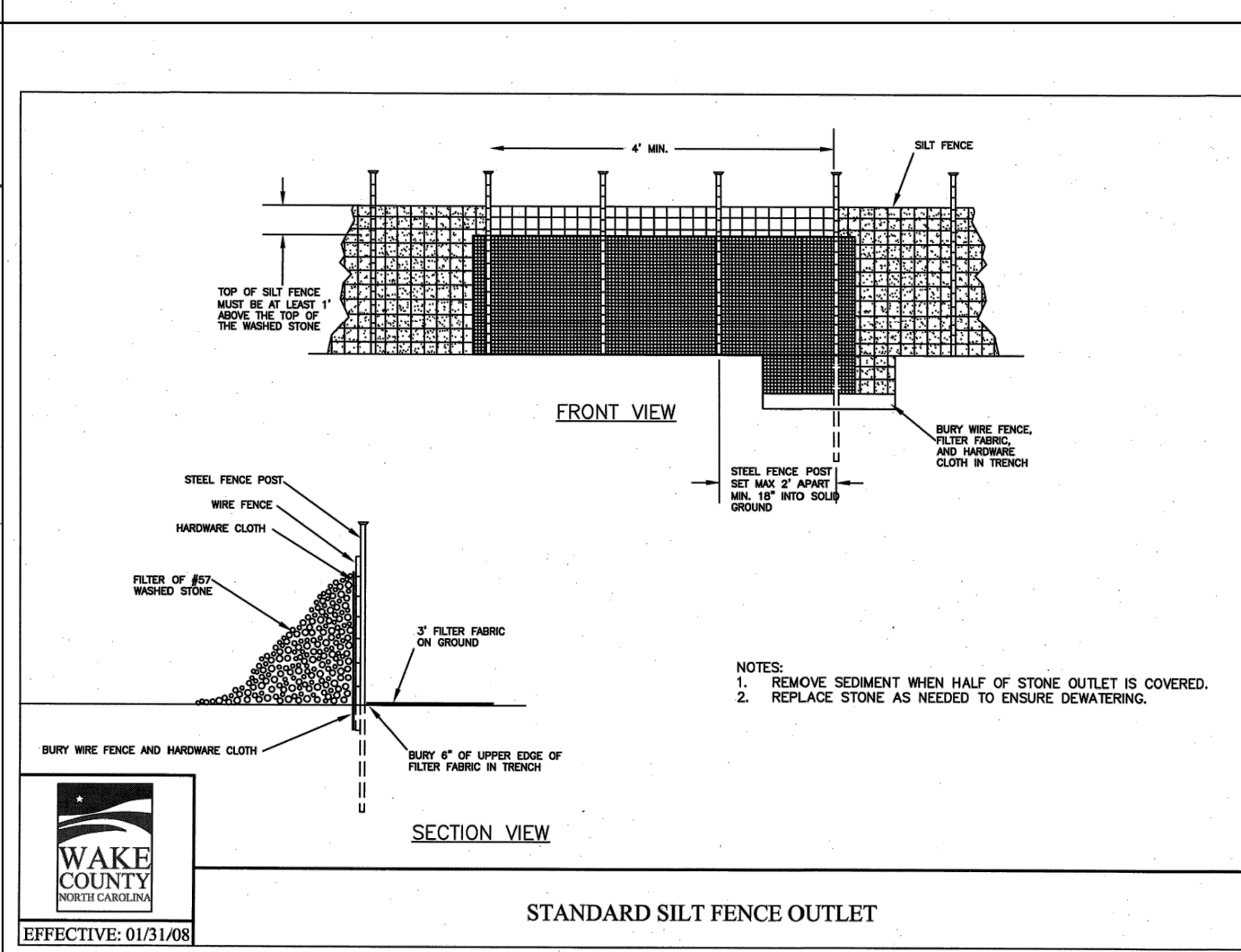
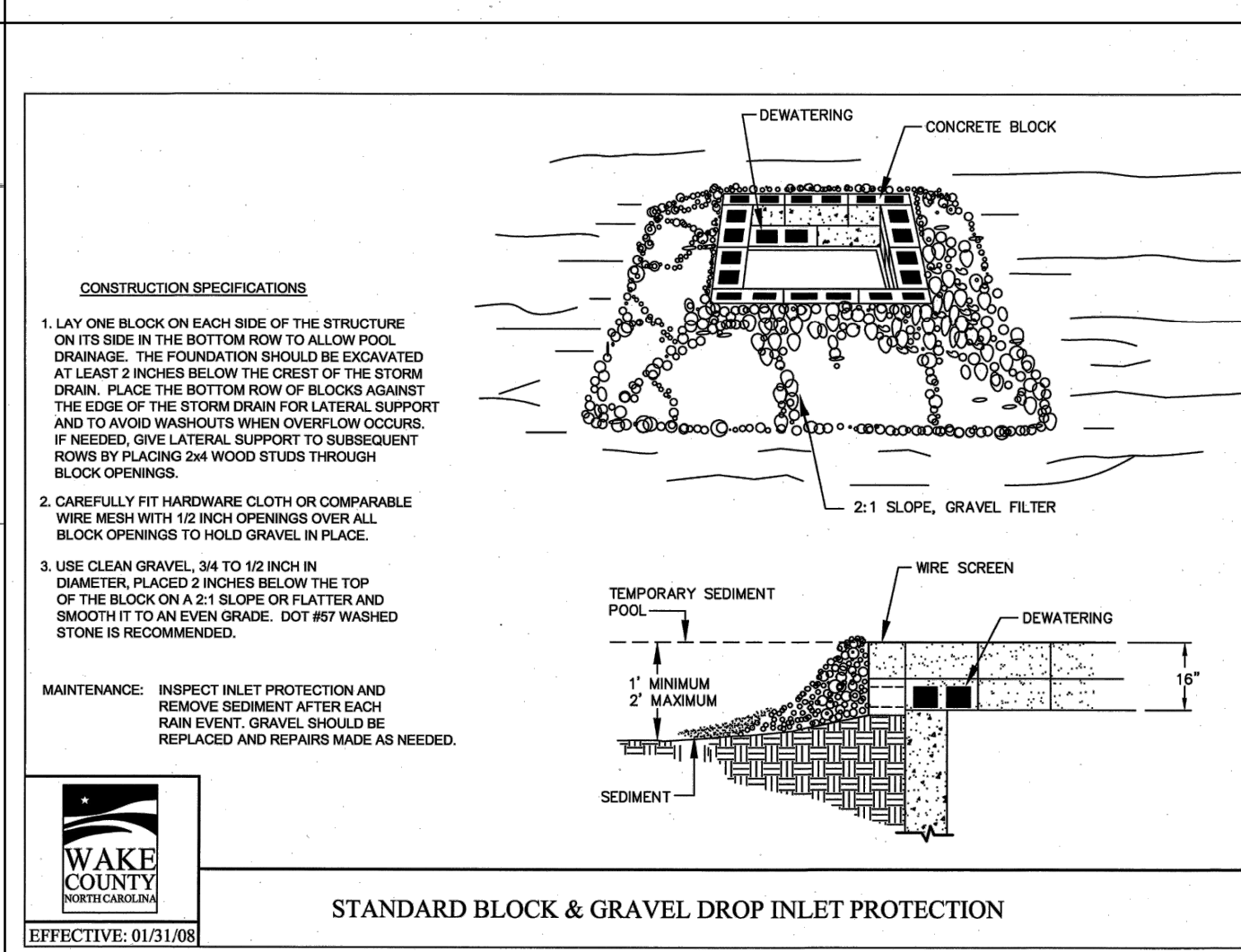
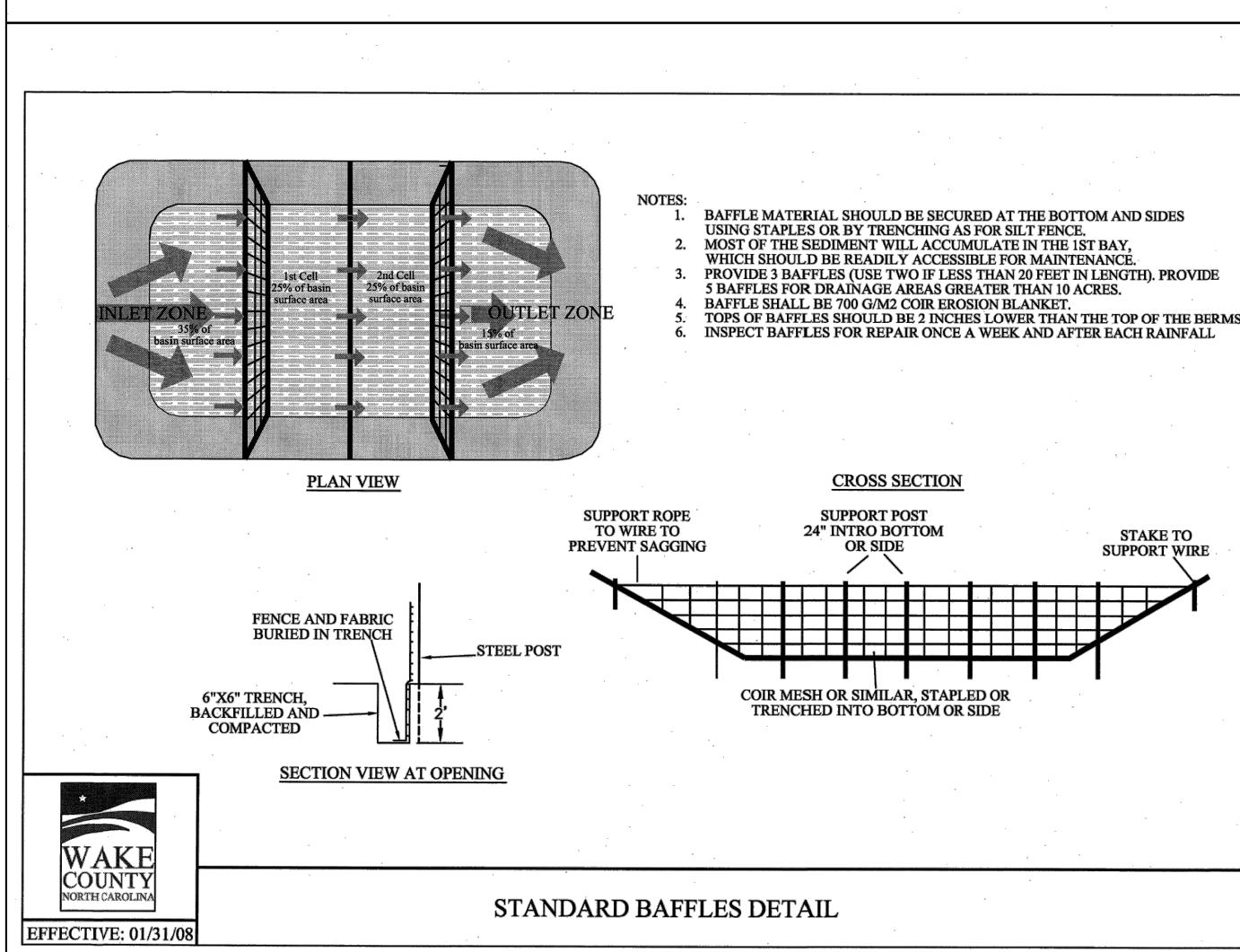
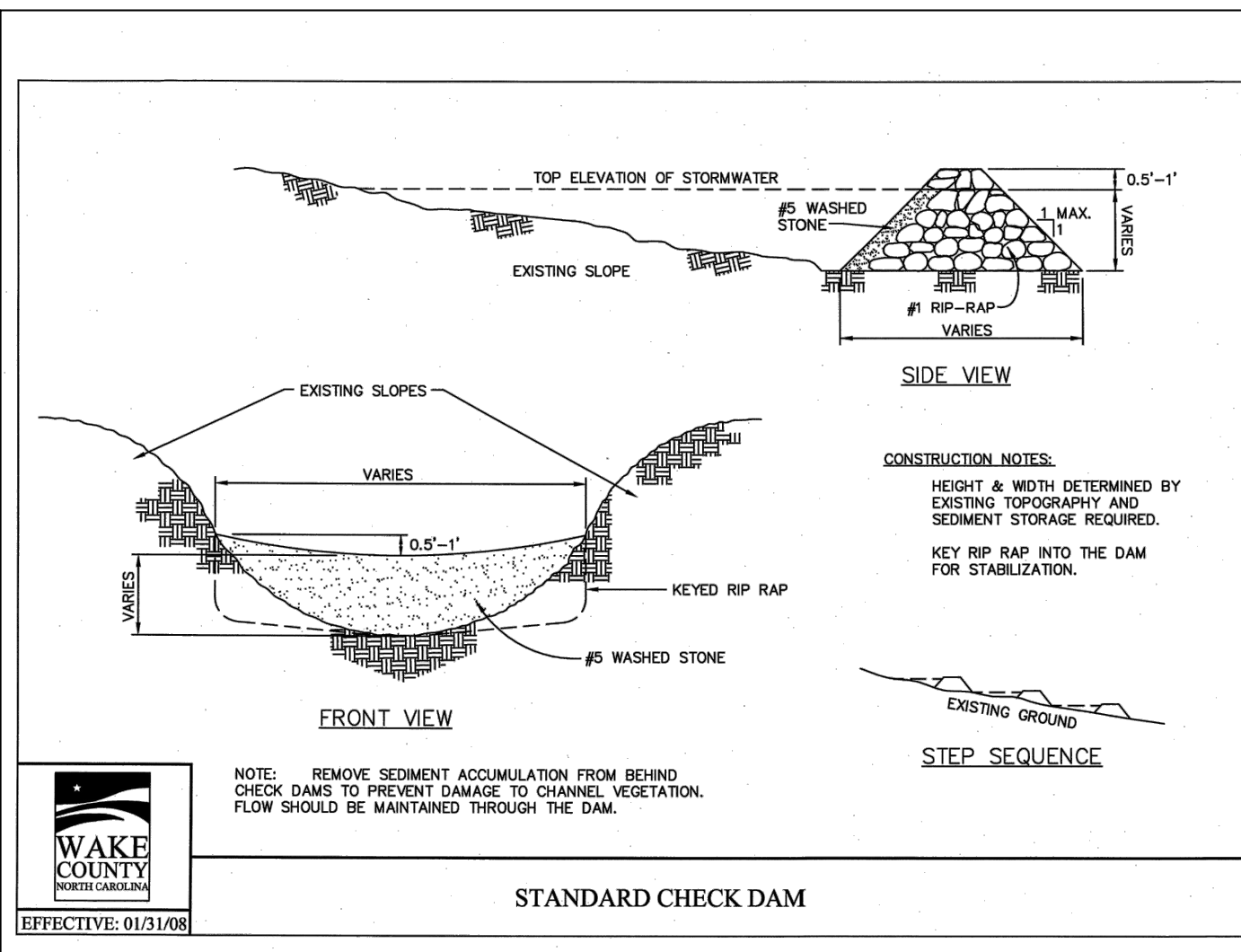
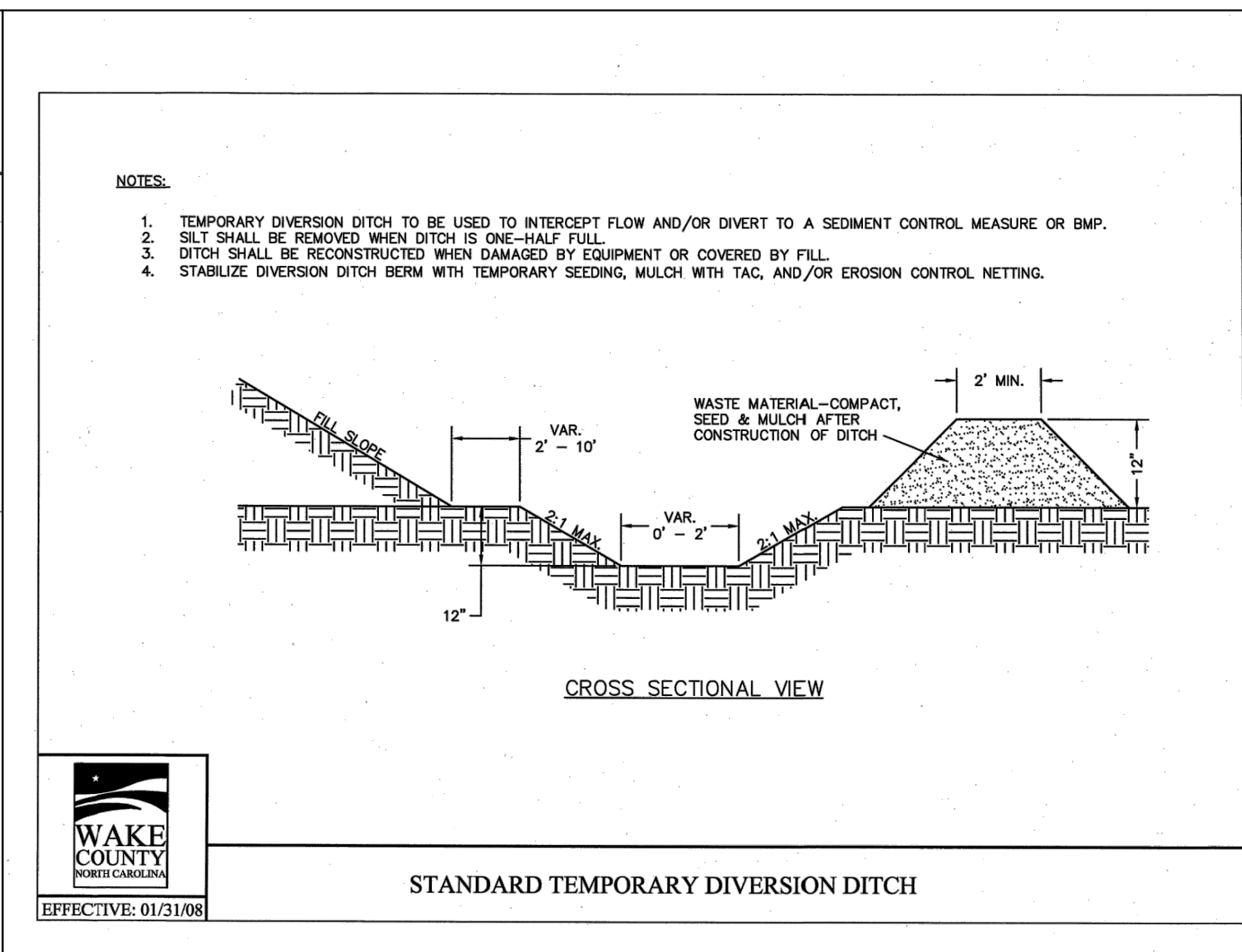
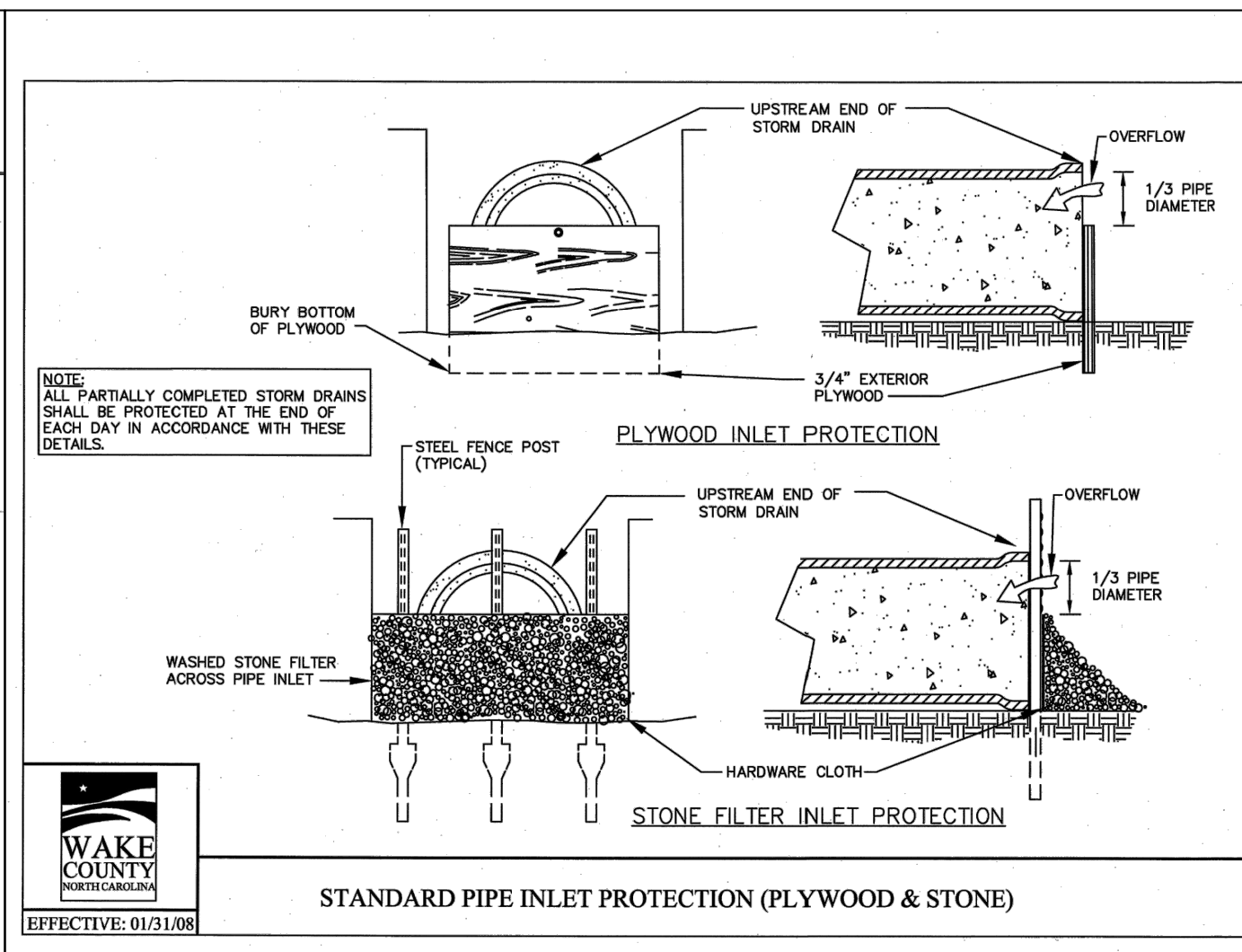
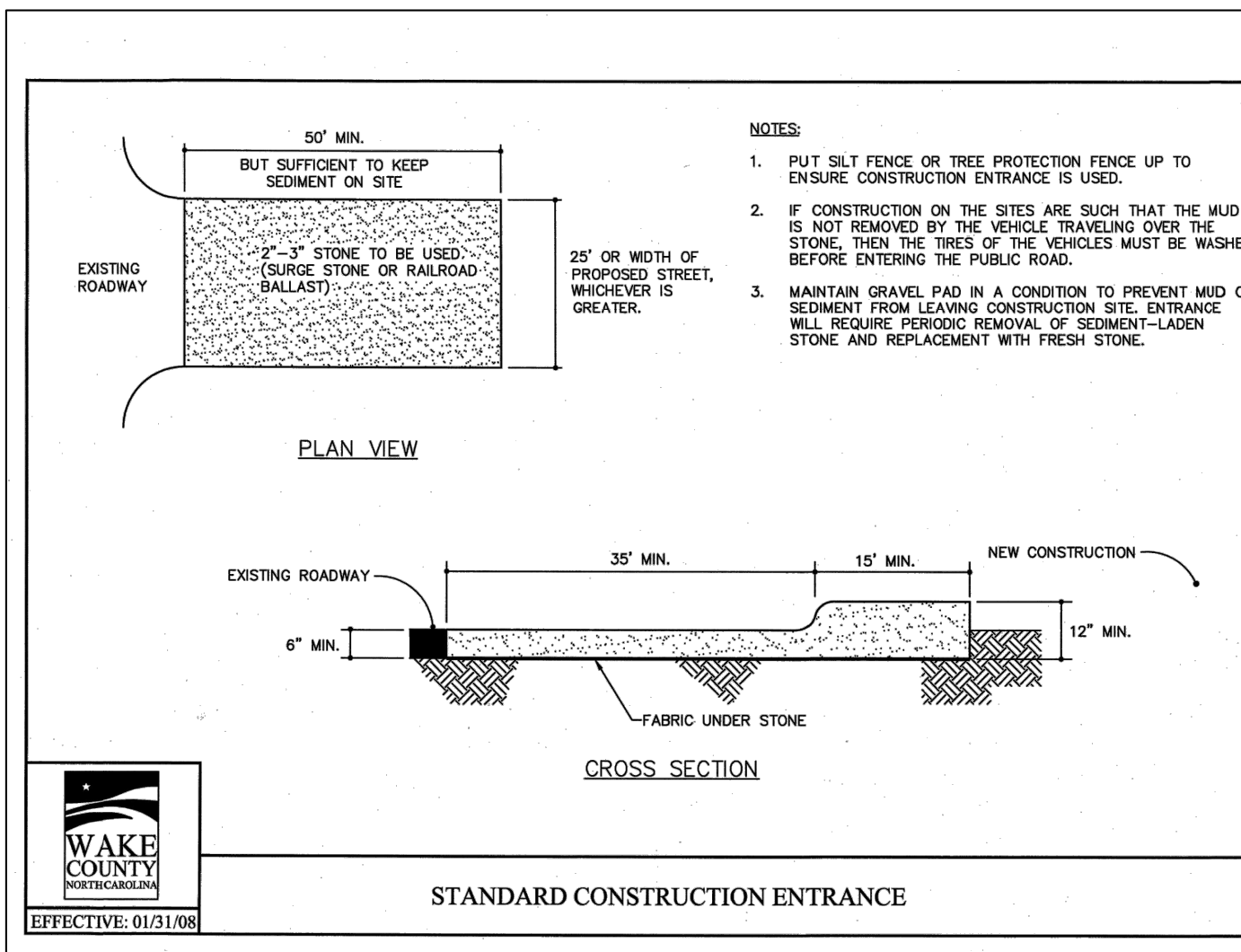
RW/R: ML

ISSUE DATE: 12/05/2023

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
WATER PLAN AND PROFILE

DRWG. NO.
C5.3



NO.	REVISION DESCRIPTION	DATE	BY	REVISION DESCRIPTION	DATE	BY
1	REVISED					
2	REVISED					

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM:
DGNR, BRM & MCB

PM/DP: ML

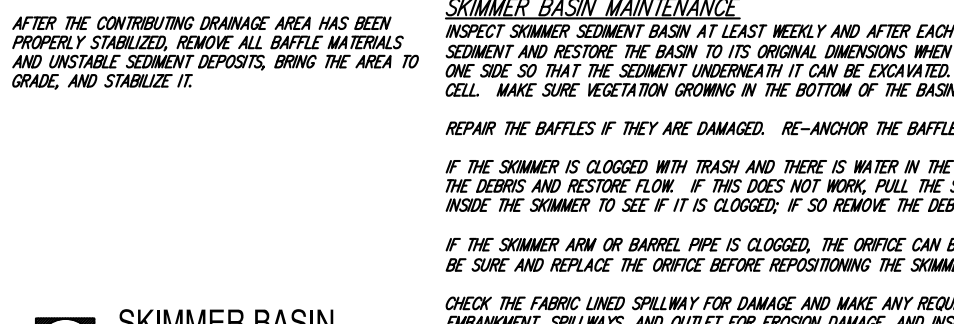
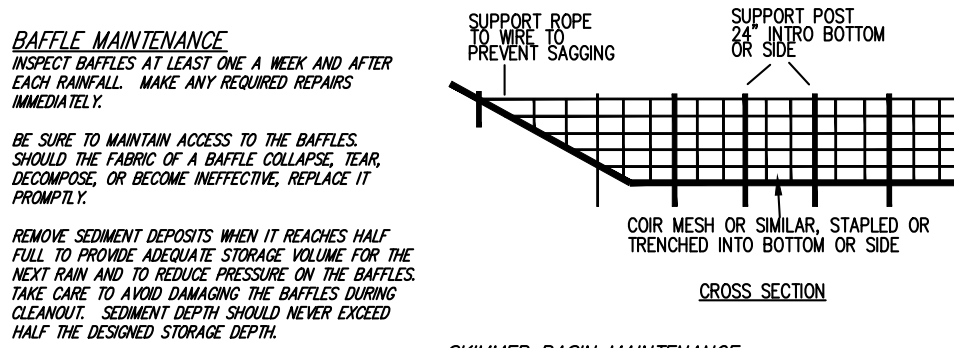
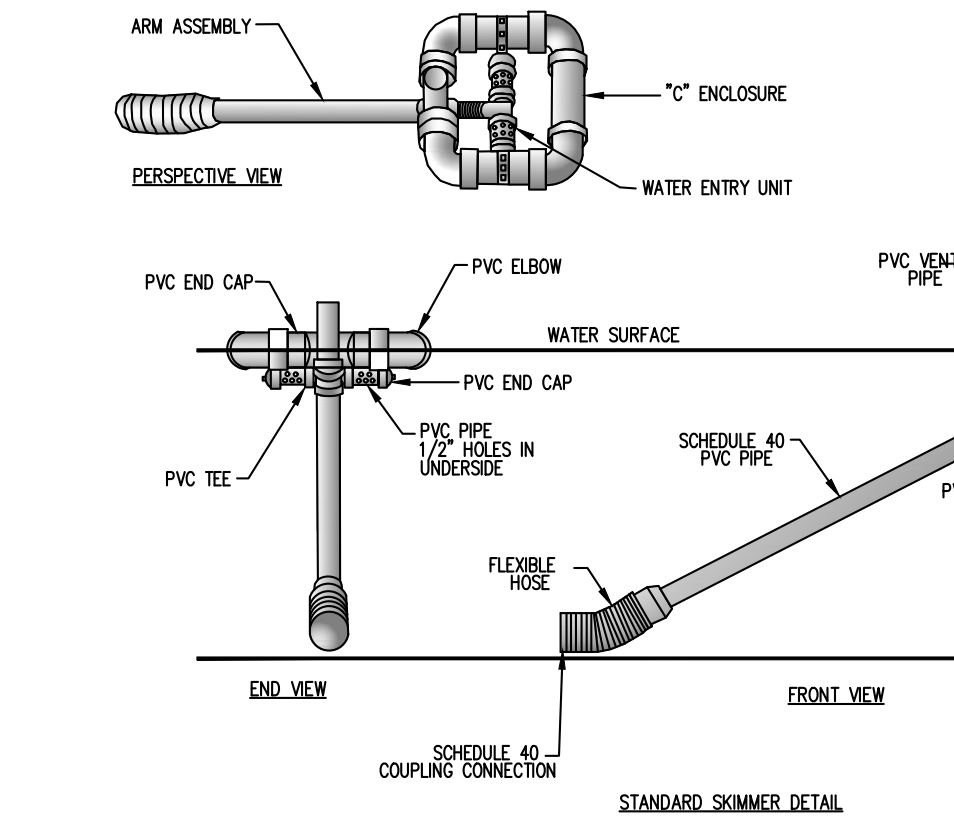
RVWR: ML

ISSUE DATE: 12/5/2023

ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27587

SEDIMENT BASIN REQUIREMENTS:

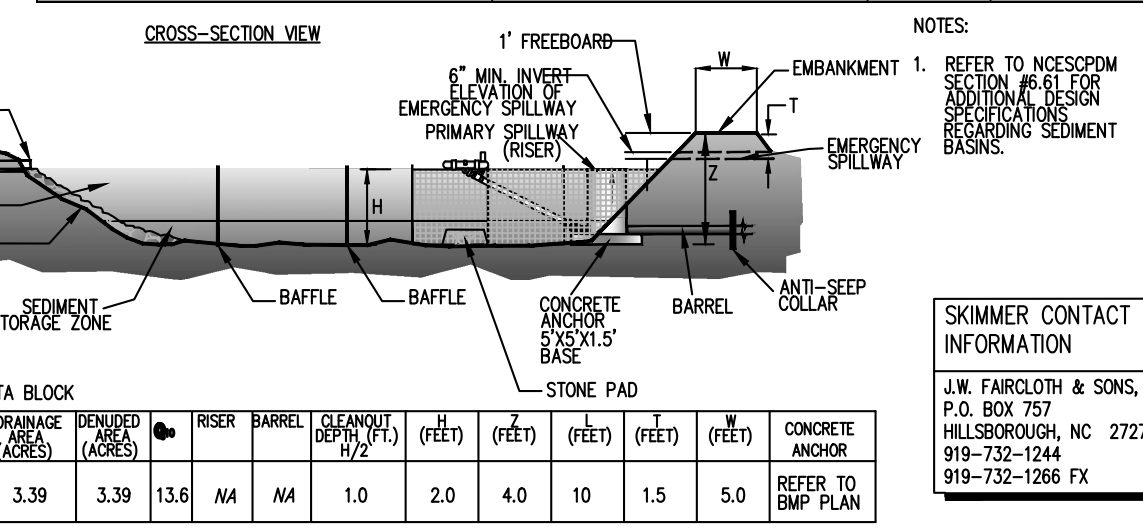
- 1) ALL TREATMENT CHEMICALS MUST BE STORED IN LEAK-PROOF CONTAINERS THAT ARE KEPT UNDER SECONDARY CONTAINMENT STRUCTURES DESIGNED TO PROTECT ADJACENT SURFACE WATERS.
- 2) ALL TREATMENT CHEMICALS MUST BE USED IN ACCORDANCE WITH DOSING SPECIFICATIONS AND APPLICATION RATES PROVIDED BY THE MANUFACTURER, SUPPLIER AND AS SPECIFIED BY THE DESIGN OF WATER QUALITY.
- 3) THE PERMITTEE MUST ONLY USE CHEMICALS THAT HAVE BEEN APPROVED BY THE NC DIVISION OF WATER QUALITY AND POSTED ON THEIR "NORTH CAROLINA DIVISION OF WATER QUALITY APPROVED FINE-FLOCCULANTS LIST" FOUND ON THEIR WEB SITE AT: <http://portal.wcq.nc.gov/web/wq/faq/wq/faq/m>.
- 4) THE PERMITTEE MUST ROUTE STORMWATER TREATED WITH POLYMERS, FLOCCULANTS, OR OTHER TREATMENT CHEMICALS THROUGH SEDIMENT TRAPPING, FILTERING, AND/OR SODIUM SULFIDE TO ENSURE ADEQUATE REMOVAL OF SEDIMENT FLOCCULANT PRIOR TO DISCHARGE TO SURFACE WATERS.
- 5) DISCHARGE REQUIREMENT - DISCHARGES MUST MEET THE STATUTORY REQUIREMENTS OF THE SEDIMENT POLLUTION CONTROL ACT AND UTILIZE THE PROVISIONS OF SECTION 6.74 OF THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL TO ASSURE THAT BUFFERS AND VEGETATED AREAS WILL BE USED TO REDUCE THE POTENTIAL FOR VISIBLE SILTATION OUTSIDE OF THE 25X BUFFER ZONE NEAREST THE LAND-DISTURBING ACTIVITY.



SKIMMERS SHALL BE FABRICATED TO MEET THE FOLLOWING REQUIREMENTS: SKIMMERS SHALL BE FABRICATED TO MEET THE FOLLOWING REQUIREMENTS:

NOT TO SCALE

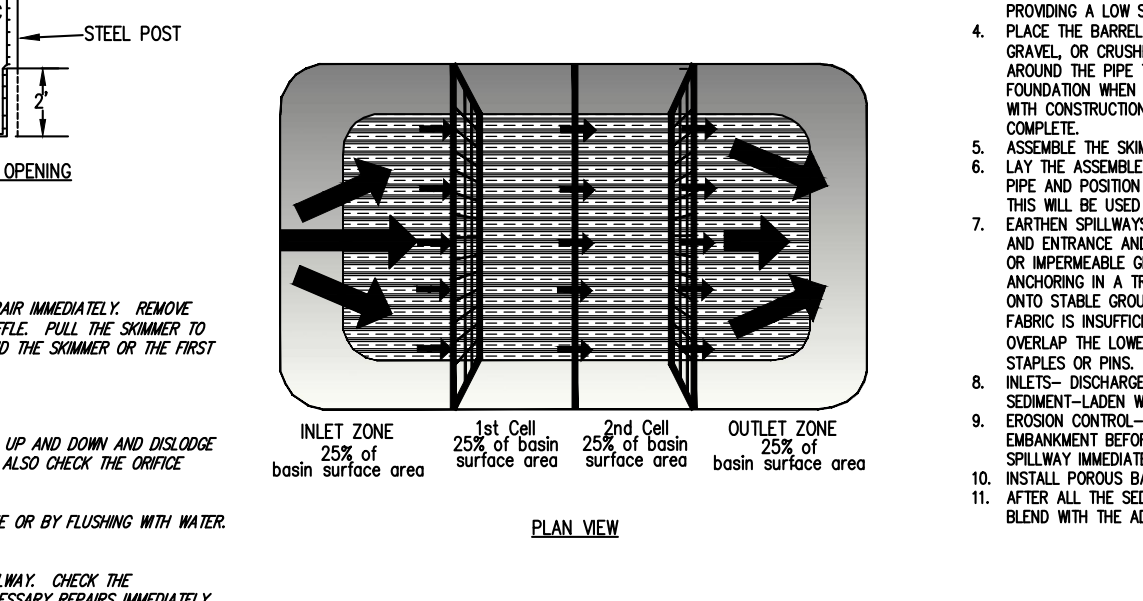
Table with 3 columns: Parameter, Value, Unit. Includes Surface Area Required (5,792 SF), Surface Area Provided (5,940 SF), Volume Required (6,102 CF), Volume Provided (10,240 CF), Storage Depth (2.0 FT), Storage Elevation (180 x 3.3 FT 332.00), Top of Dam (188 x 4.1 FT 334.00), Emcy. Spillway Length (10 FT 332.50), Bottom of Basin (172 x 2.5 FT 330.00), Skimmer Size (2.5 IN), Skimmer Orifice Diameter (1.9 IN), Skimmer Orifice Radius (0.9 IN), Side Slopes (2:1), Days to Drain (3).



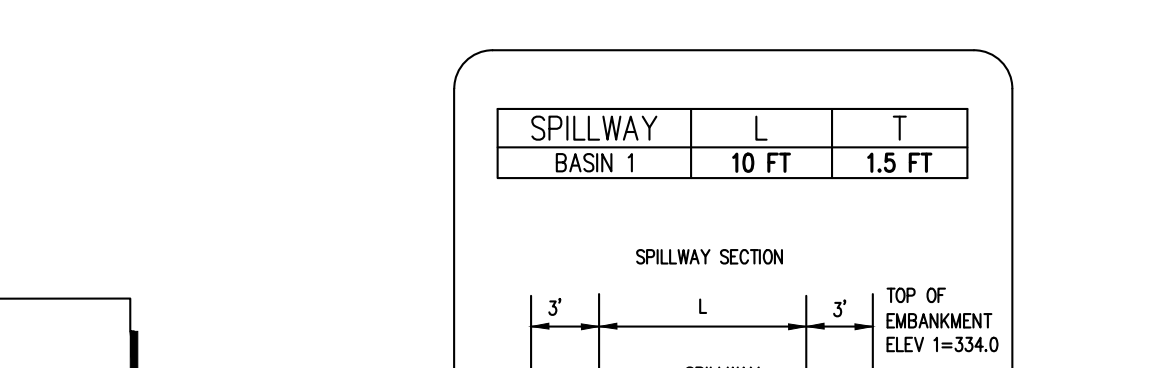
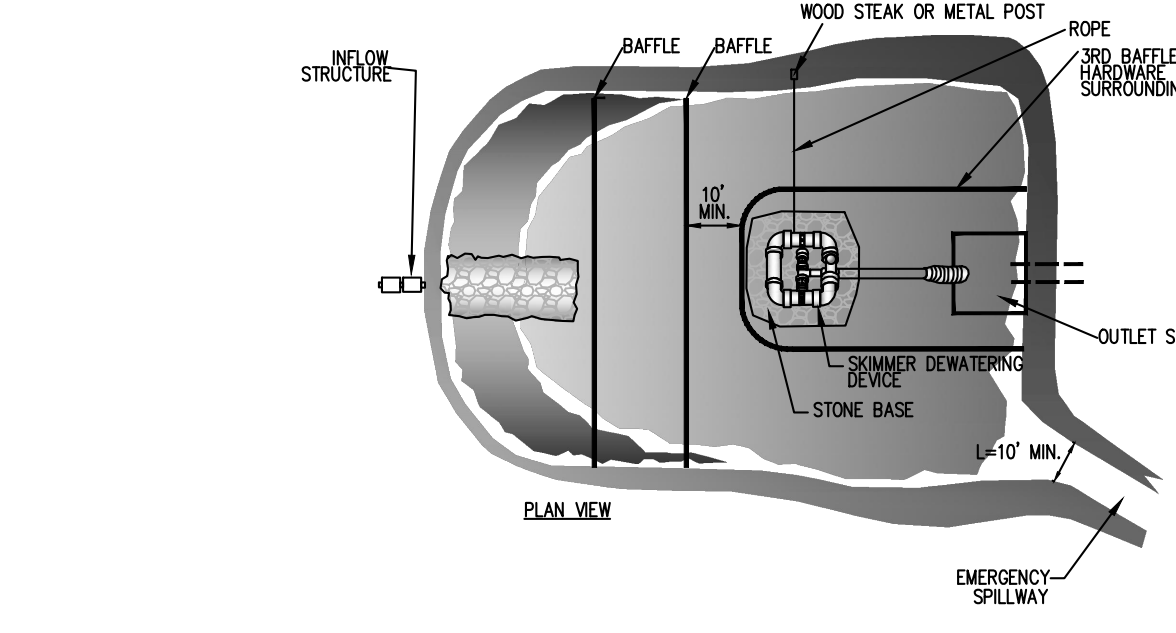
Data Block table with columns: Basin, Drainage Area (Acres), Required Area (Acres), Riser, Barrel, Cleanout (H/2) (Feet), (Feet), (Feet), (Feet), Concrete Anchor, Refer to S&P Plan.

- NOTES: 1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENDING AS FOR SILT FENCE...

CONSTRUCTION SPECIFICATIONS: 1. CLEAR, GRUB AND STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.

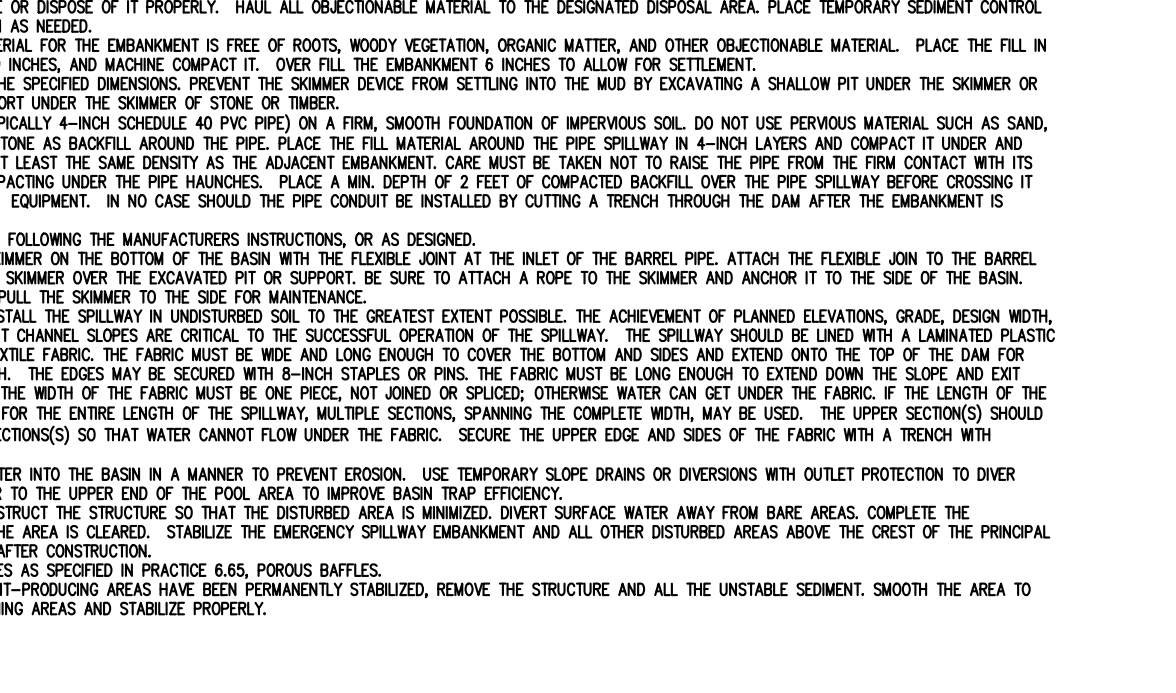


NOT TO SCALE



SKIMMER CONTACT INFORMATION: J.W. FARLOTT & SONS, INC. P.O. BOX 757 HILLSBOROUGH, NC 27788 919-732-1244 919-732-1266 FX

- CONSTRUCTION SPECIFICATIONS: 1. CLEAR, GRUB AND STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.



NOT TO SCALE

- 8. Inspect all seeded areas and make necessary repairs or reseeding within the planting season...
- 9. Consult Wake County Soil & Water or NC State Cooperative Extension on maintenance treatment and fertilization after permanent cover is established.

Seeding Schedule

Table with 4 columns: Date, Type, Planting Rate. Includes entries for Tall Fescue, Abruzzi Rye, Hulled Common Bermudagrass, and Millet or Sorghum-Sudan Hybrids.

Seeding Specifications

- 1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions...

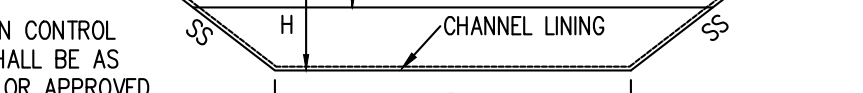


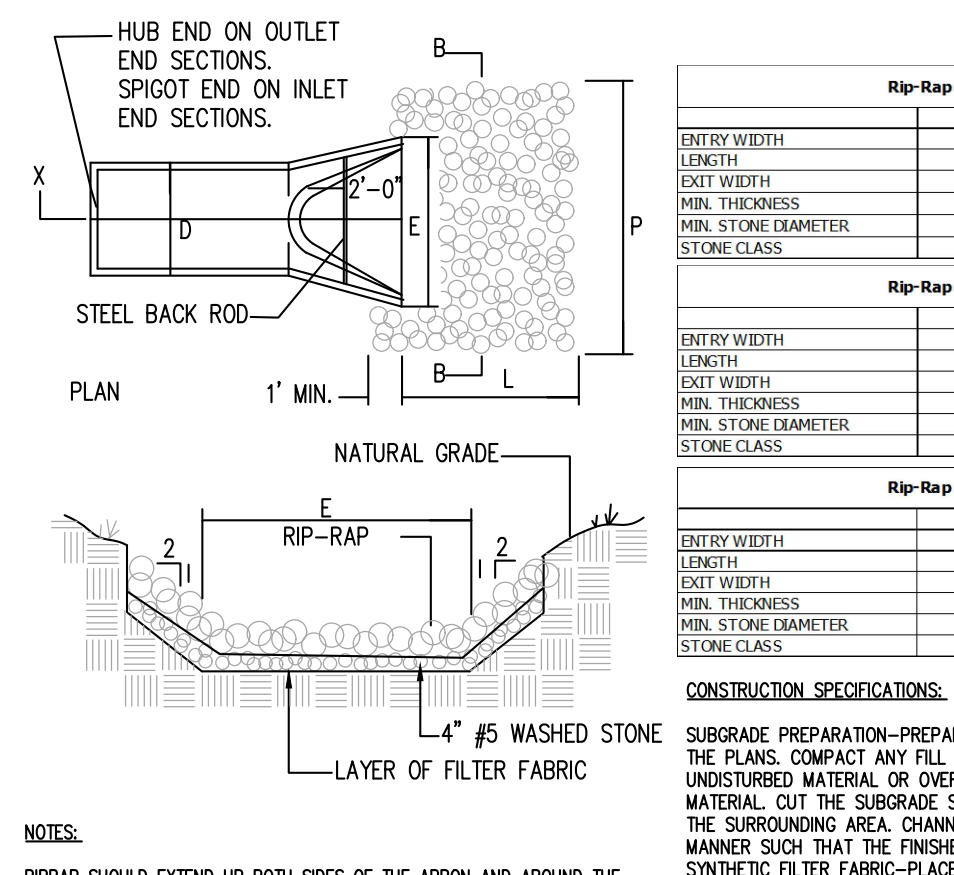
Table with 10 columns: Ditch #, Flow Q(25), Long. Slope(%), H, B, W, SS, Channel Lining. Includes entry for Temporary Ditch #1 with 6.7 CFS flow and D575 channel lining.

EROSION CONTROL MAT SHALL BE AS NOTED OR APPROVED EQUAL.

TEMPORARY DIVERSION DITCH DATA BLOCK REFER TO DETAIL SHEET FOR TEMPORARY DITCH DETAIL.

Table with 4 columns: Material, Rate, Notes. Lists Agricultural Limestone, Fertilizer, Superphosphate, Mulch, and Anchor with their respective application rates.

- 1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions...



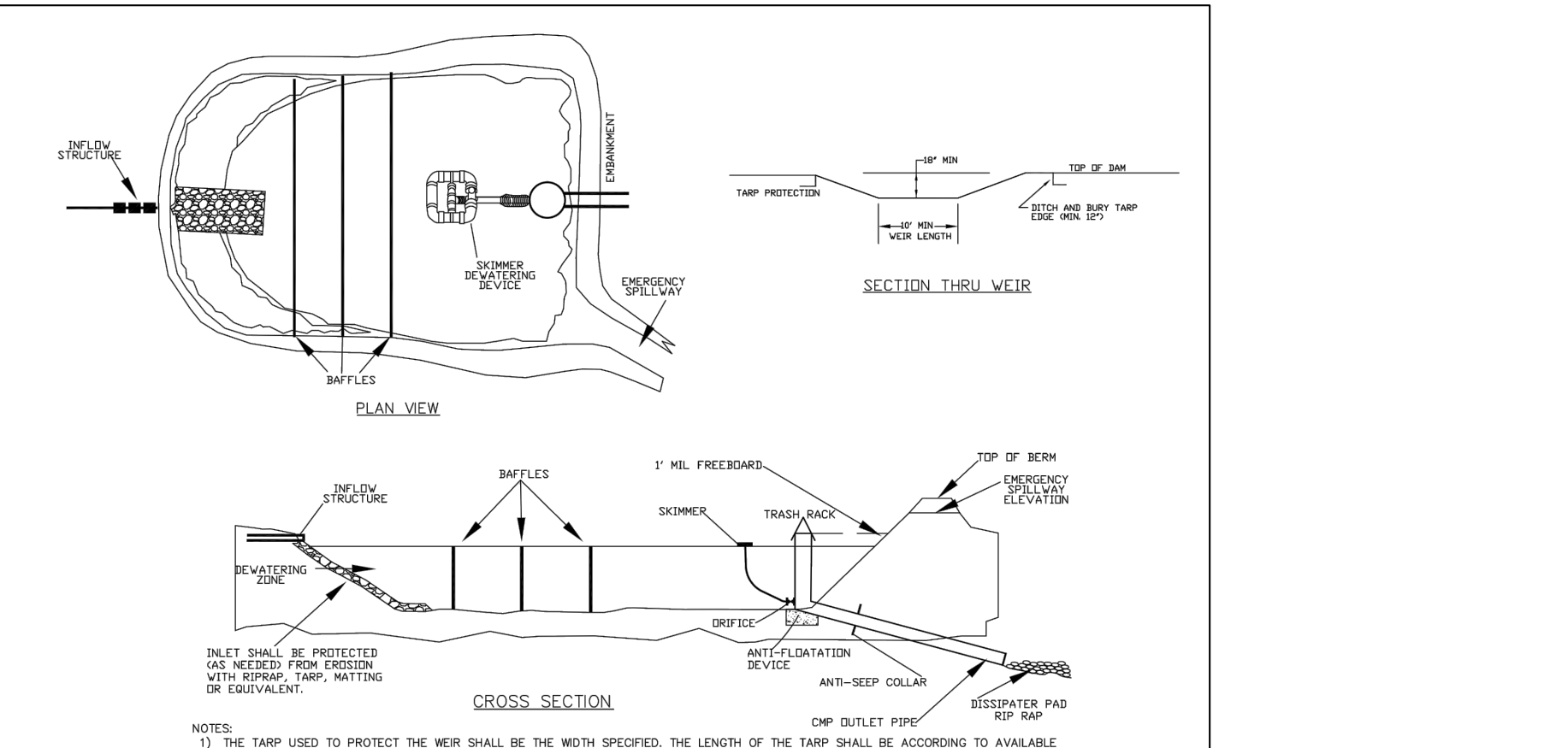
CONSTRUCTION SPECIFICATIONS: SUBGRADE PREPARATION-PREPARE THE SUBGRADE FOR RIPRAP AND FILTER TO THE REQUIRED LINES AND GRADES SHOWN ON THE PLANS.

NOT TO SCALE

Table with 2 columns: Rip-Rap Apron # and Dimensions. Lists dimensions for Aprons #1, #2, #3, and #4.

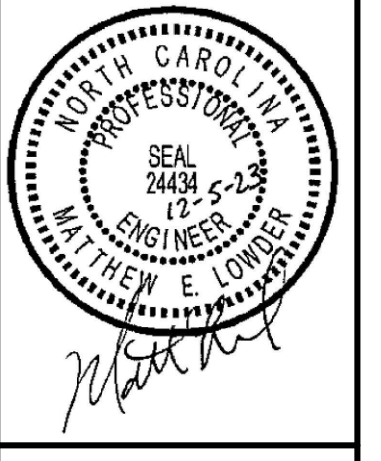
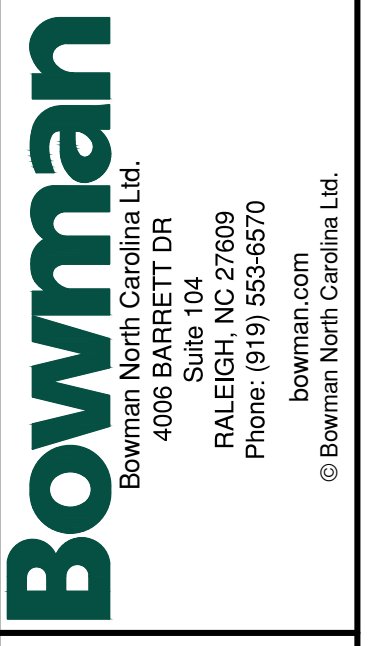
CONSTRUCTION SPECIFICATIONS: SUBGRADE PREPARATION-PREPARE THE SUBGRADE FOR RIPRAP AND FILTER TO THE REQUIRED LINES AND GRADES SHOWN ON THE PLANS.

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS: SUBGRADE PREPARATION-PREPARE THE SUBGRADE FOR RIPRAP AND FILTER TO THE REQUIRED LINES AND GRADES SHOWN ON THE PLANS.

NOT TO SCALE



Crosland Southeast 7-Eleven Store #42378 Zebulon, NC WAKE COUNTY

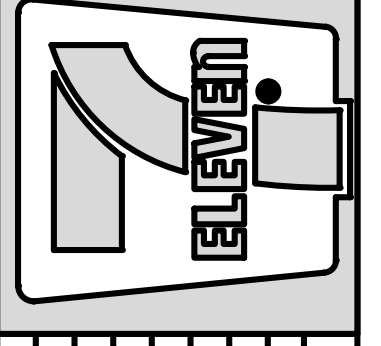


Table with 4 columns: No., Date, Revision Description, Date Entered. Lists revisions for Rip-Rap Apron #1, #2, #3, and #4.

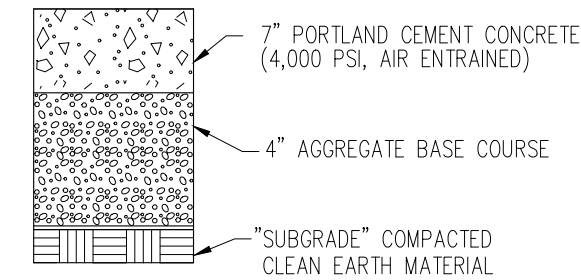
STORE OR BLDG NO.: N/A VERSION OR PROJECT ID: N/A DESIGN TEAM: DGNR, BRM & MCB PM/DP: ML RWR/R: ML ISSUE DATE: 12/5/2023 ADDRESS: 1106 N ARENDELL AVE ZEBULON, NC 27597

SHEET TITLE: EROSION CONTROL DETAILS DRWG. NO.: C6.1

CONCRETE PAVEMENT INSTALLATION

HIGH STRENGTH PAVEMENT DETAIL

HEAVY LOAD TRAFFIC AREAS



PAVING EXECUTION NOTES:

1. LOCATE AND INSTALL CONSTRUCTION, ISOLATION, AND EXPANSION JOINTS AS INDICATED OR REQUIRED.
2. PLACE CONCRETE IN A CONTINUOUS OPERATION WITHIN PLANNED JOINTS OR SECTIONS. DO NOT ADD WATER TO ADJUST SLUMP.
3. FLOAT SURFACES TO TRUE PLANES WITHIN A TOLERANCE OF 1/4 INCH IN 10 FEET.
4. TOOL EDGES AND JOINTS TO A RADIUS OF 1/4 INCH FOR SIDEWALKS.
5. ALLOW CONCRETE PAVING TO CURE FOR A MINIMUM OF 28 DAYS AND DRY BEFORE STARTING PAVEMENT MARKING.
6. APPLY TRAFFIC PAINT WITH MECHANICAL EQUIPMENT TO A MINIMUM WET FILM THICKNESS OF 15 MILS.
7. PROTECT CONCRETE PAVING FROM DAMAGE, EXCLUDE TRAFFIC FROM PAVING FOR AT LEAST 14 DAYS.

CONCRETE PAVING GENERAL NOTES:

1. SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR TANK SLABS.
2. SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR DISPENSER ISLAND SLABS.
3. A GEOTEXTILE FABRIC OR GEORID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
4. UNDISTURBED SOIL OR COMPACTED BACK FILL NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D-1557)

REVISED LOCATION PER CR ADMIN 2022-3000

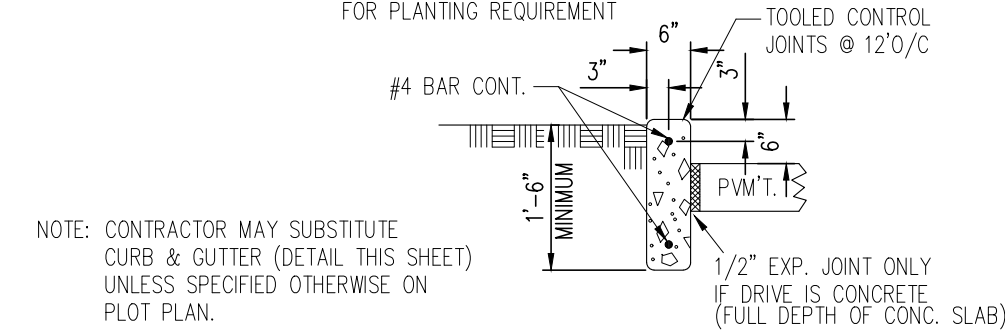
- * CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR PAVEMENT AND FOUNDATION DESIGN AND CONSTRUCTION RECOMMENDATIONS
- ** COMPACTION IS NOT REQUIRED OVER THE TANK PIT(S)

CONCRETE PAVEMENT JOINT DETAILS

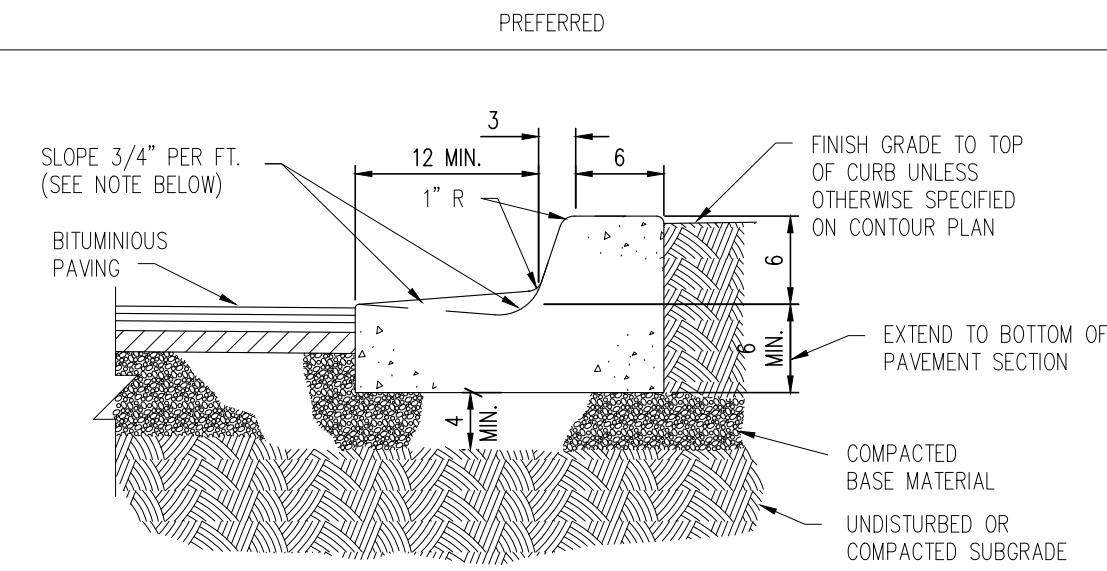
TYPE OF JOINT	USE DESCRIPTION	DETAIL
A. CONTROL JOINT 1. SAWN 2. PREMOLD STRIP 3. HAND FORMED AND SAWN AT CRITICAL JOINTS	USE SPECIFICATION ACI 309R-06 TO PLACE CONTROL JOINTS SO AS TO UNIFORMLY DIVIDE SLABS INTO NOMINAL 12' x 12' (NORMAL STRENGTH) OR 16' x 16' (HIGH STRENGTH) SECTIONS. (SEAL CONTROL JOINTS ONLY IF SPECIFIED ON DRAWINGS OR BY OWNER'S REPRESENTATIVE.)	
B. EXPANSION JOINT (ISOLATION JOINT)	PLACE AGAINST CONCRETE TANK SLAB, ABUTTING ROADWAY PAVEMENTS AND STRUCTURES (BUILDINGS, CANOPY COLUMNS, CATCH BASINS, ETC.)	
C. CONSTRUCTION JOINT	CONSTRUCTION JOINTS MUST BE APPROVED BY OWNER'S REPRESENTATIVE. PLACE WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.	

CONCRETE CURBS

SEE PLOT OR LANDSCAPING PLAN FOR PLANTING REQUIREMENT

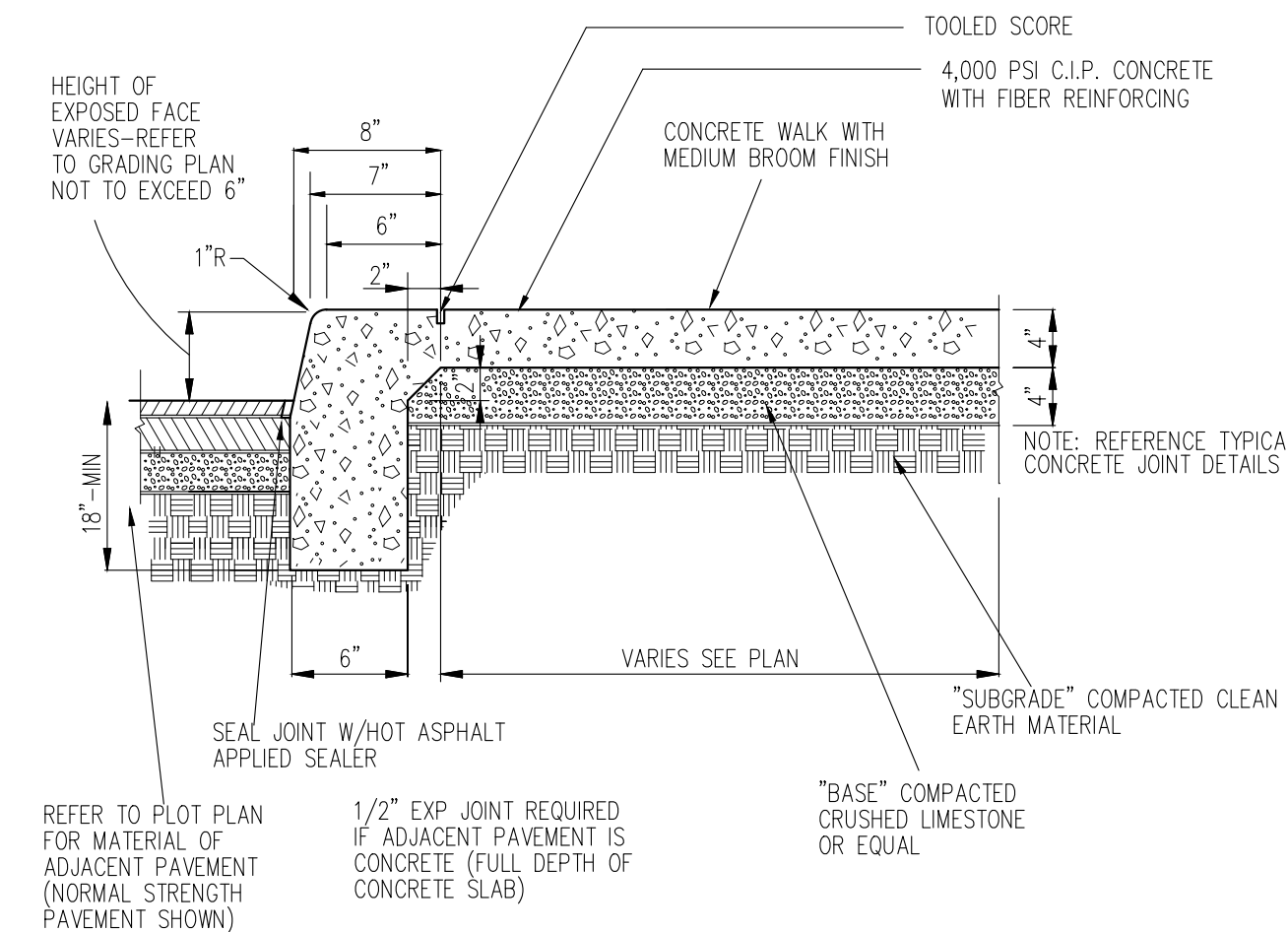


CAST-IN-PLACE CONCRETE CURB

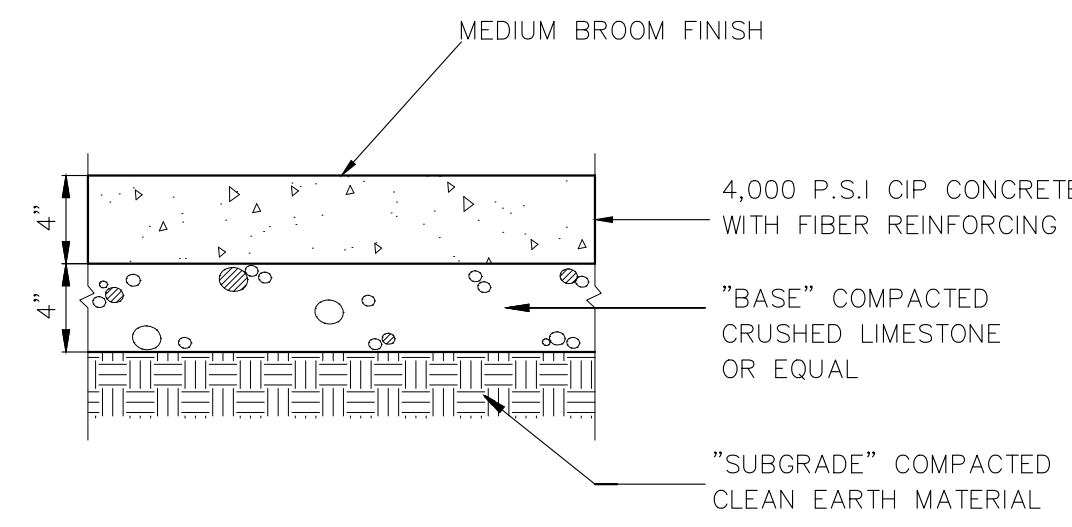


NOTE: GUTTER TO BE SLOPED DOWN GRADIENT TOWARDS CURB WHEN SITE GRADE IS TOWARDS CURB. GUTTER TO BE SLOPED DOWN GRADIENT AWAY FROM CURB WHEN SITE GRADE IS AWAY FROM CURB. MAY BE MACHINE FORMED.

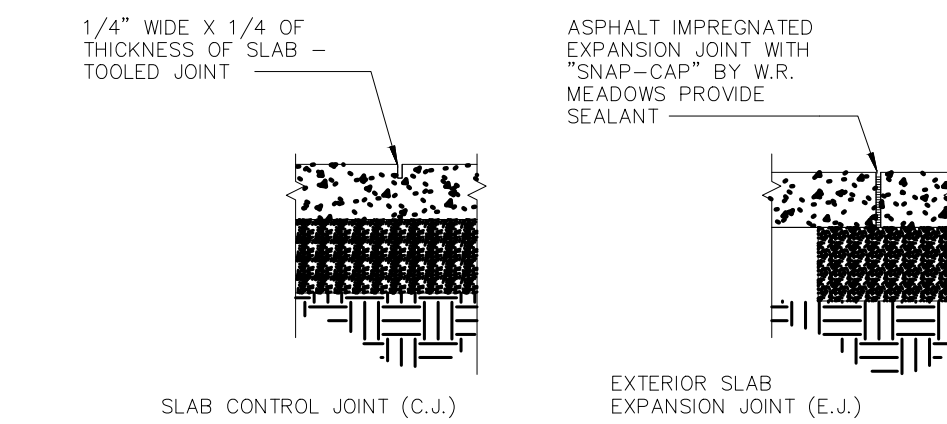
STRAIGHT CONCRETE CURB & GUTTER



- NOTE:
1. TYPICALLY THERE IS 0" CURBING AROUND THE BUILDING
 2. EXCEPTION: CA REQUIRES SIDEWALK CURBING AROUND THE BUILDING

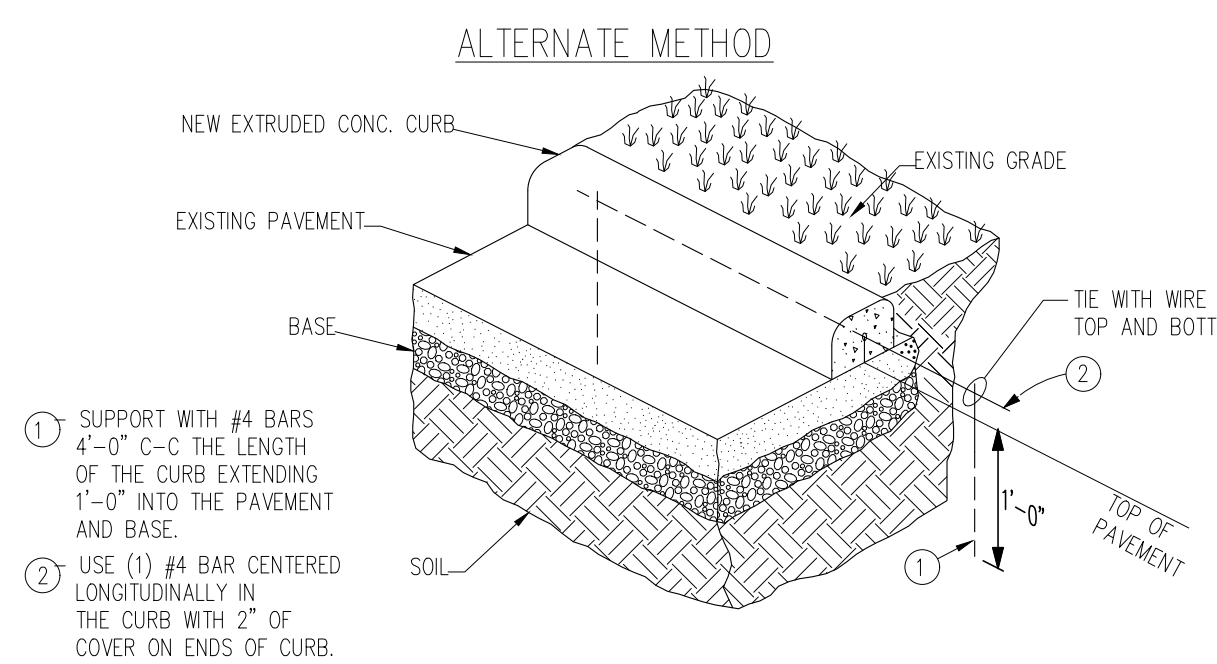
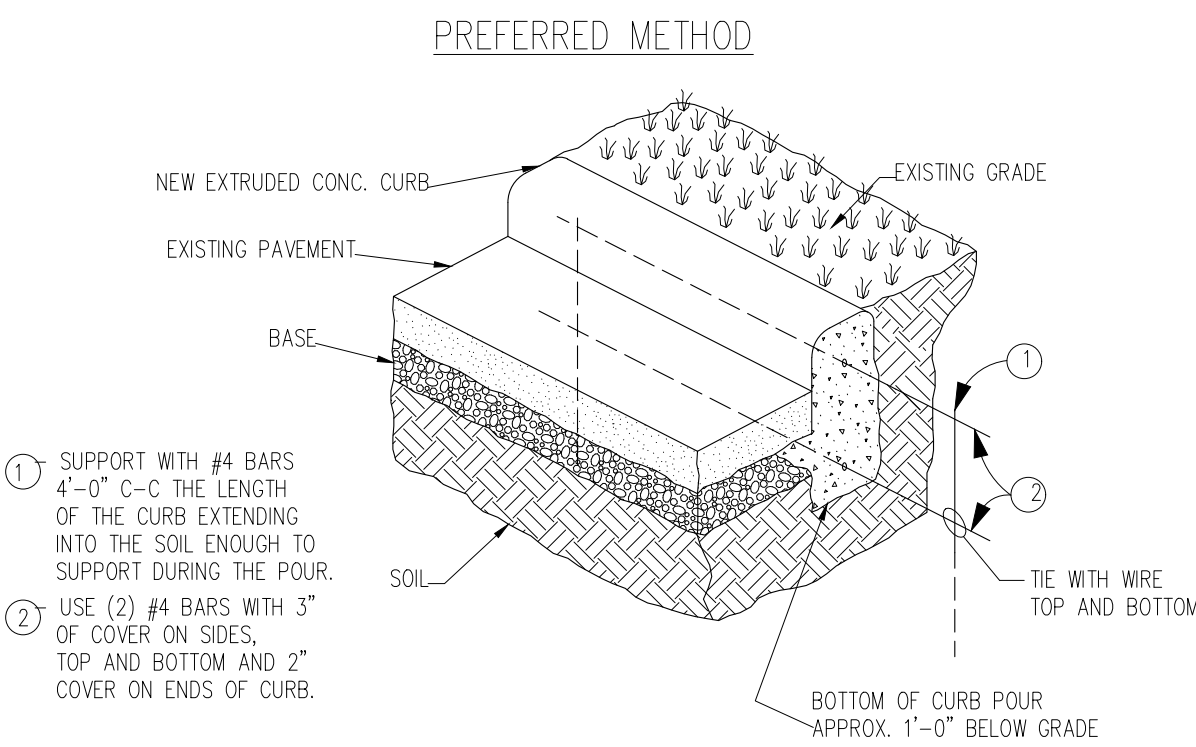


CONCRETE SIDEWALK PAVEMENT



FOR 5' OR 8' WALKS, INSTALL A CONTROL JOINT EVERY 5'. IN 10' WALKS, INSTALL A CONTROL JOINT EVERY 5' AND ONE IN THE CENTER (5' FROM THE BACK OF THE BUILDING FOR EXAMPLE)

SIDEWALK JOINTS



COLD WEATHER CURB INSTALLATION

FOR USE WHEN COLD WEATHER CONDITIONS CAUSE ASPHALT PAVEMENT TO BE PLACED BEFORE THE CONCRETE CURB.

ASPHALT PAVEMENT INSTALLATION

ASPHALT SEALING

1. SURFACE CLEANING:
THE SURFACE TO BE SEALED SHALL BE FREE FROM DIRT AND OTHER FOREIGN MATTER. ANY ACCUMULATIONS OF OIL OR GREASE SHALL BE CLEANED OFF THE PAVEMENT WITH DETERGENT SOLUTION, THE RESIDUE OF WHICH SHALL BE THOROUGHLY WASHED AWAY WITH CLEAN WATER BEFORE SEALANT IS APPLIED.
2. SEALING:
THE SEAL COATING MATERIAL SHALL BE COMPRISED OF A RUBBERIZED COAL-TAR PITCH EMULSION AND SHALL MEET OR EXCEED FEDERAL SPECIFICATION R-P-355e. SUPPLIED IN CONCENTRATED FORM, IT SHALL BE DILUTED A MINIMUM OF 15% AND A MAXIMUM OF 25% WITH FRESH, CLEAN WATER. THE SEALANT MATERIAL SHALL CONTAIN 5-6 LBS. PER GALLON OF FINE, CLEAN, DRY SILICA SAND MEETING THE FOLLOWING GRADATION:

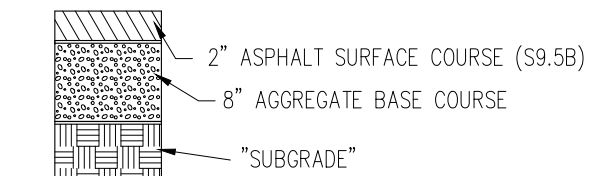
SIEVE SIZE	% PASSING
#16	100
#30	80-100
#50	10-60
#100	0-5

THE SEALANT SHALL BE APPLIED TO THE PAVEMENT IN TWO COATS AT THE RATE OF 0.08 TO 0.12 GALLONS PER SQUARE YARD. A LATEX ADDITIVE MAY ALSO BE ADDED TO THE SEALANT TO ALLOW FOR QUICKER DRYING TIME IN THOSE AREAS SPECIFIED BY OWNER'S REPRESENTATIVE.

LIGHT DUTY PAVEMENT

PARKING AREAS, AND OTHER LIMITED SERVICE TRAFFIC AREAS

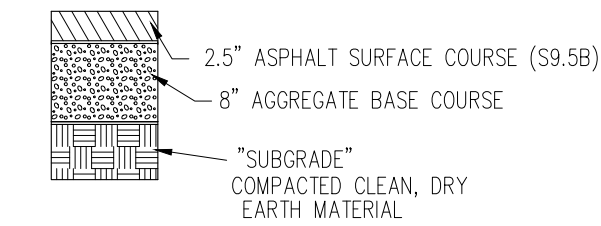
GRANULAR BASE (PREFERRED)



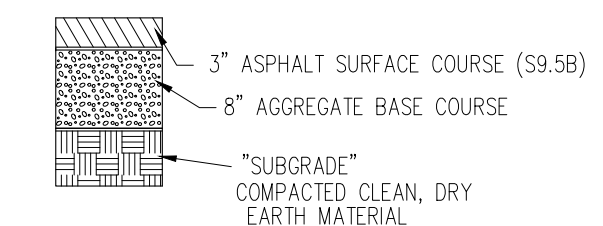
ASPHALT PAVEMENT GENERAL NOTES:

1. ALL WORK SHALL BE IN CONFORMANCE WITH OWNER'S SPECIFICATIONS FOR ASPHALTIC CONCRETE PAVING.
2. A GEOTEXTILE FABRIC OR GEORID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
3. FOR SUBSURFACE DRAINAGE OR STABILITY ISSUES DURING CONSTRUCTION (UNDER DIRECTION BY GEOTECH EXPERT):
A. SUBSURFACE DRAINAGE ISSUE - REFER TO GUIDELINES FOR DETERMINING ISSUES TO DERIVE ACCEPTABLE OPTIONS.
B. SUBSURFACE STABILITY ISSUE - INSTALL GEORID PER GEOTECH EXPERT RECOMMENDATION.

MEDIUM DUTY PAVEMENT

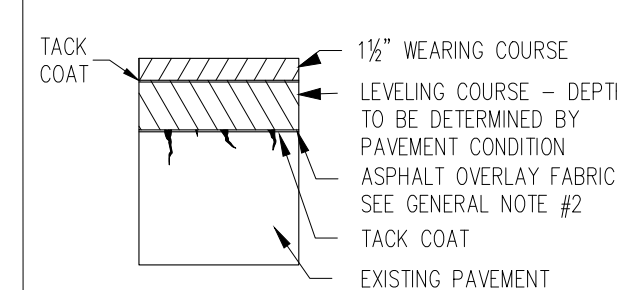


HEAVY DUTY PAVEMENT



ASPHALT OVERLAY DETAIL

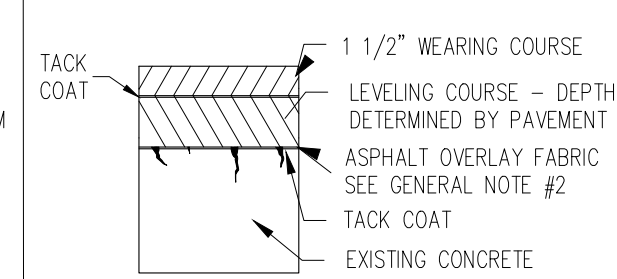
ASPHALT SUBBASE



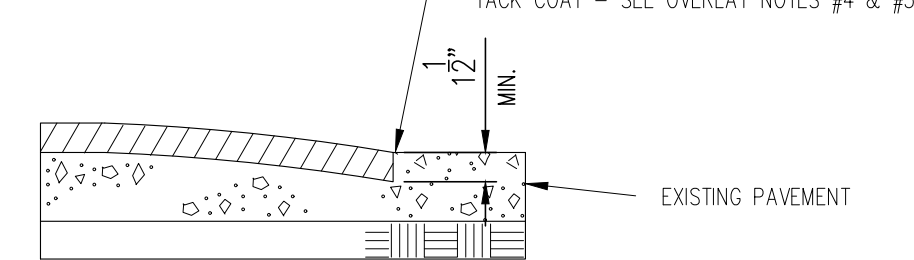
OVERLAY DETAIL NOTES:

1. THE OVERLAY SHALL BE PLACED IN ACCORDANCE WITH OWNER'S SPECIFICATIONS.
2. ALL FAILED AREAS SHALL BE REPAIRED WITH PROPER PATCHES BEFORE OVERLAY IS PLACED.
3. IF THE SURFACE IS DISTORTED, THE CONTRACTOR SHALL CONSTRUCT LEVELING COURSES TO RESTORE PROPER LINE AND CROSS SECTION.
4. THE PAVEMENT SHALL BE THOROUGHLY CLEANED AND A TACK COAT OF ASPHALT SHALL BE APPLIED BEFORE THE OVERLAY IS PLACED.
5. ALL VERTICAL SURFACES COMING IN CONTACT WITH THE OVERLAY SHALL BE SPRAYED OR PAINTED WITH A UNIFORM COATING OF EMULSIFIED ASPHALT IMMEDIATELY PRIOR TO PAVEMENT CONSTRUCTION.
6. CONTRACTOR TO BE ENSURING PROPER SURFACE DRAINAGE. PONDING OR PUDDING OF WATER ON THE FINAL SURFACE WILL BE UNACCEPTABLE.
7. REPLACE IN KIND ANY EXISTING TRAFFIC LOOPS AND/OR RELATED SENSOR EQUIPMENT THAT IS REMOVED OR DAMAGED DUE TO PAVEMENT MILLING ACTIVITY

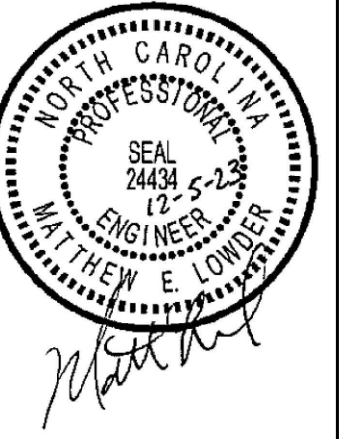
CONCRETE SUBBASE



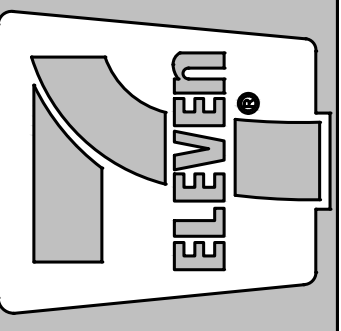
EDGE DETAIL



WHERE OVERLAY IS NOT SPECIFIED FOR ENTIRE EXISTING SURFACE, THE INTERFACE BETWEEN THE NEW OVERLAY AND THE OLD PAVEMENT SURFACE SHALL BE PER THE ABOVE DETAIL. FEATHERING OF THE ASPHALT TO MEET THE EXISTING PAVEMENT WILL NOT BE ACCEPTABLE.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE REVISION	REVISION DESCRIPTION
11/22/23	TOWN OF ZEBULON REVIEW
12/29/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:

VERSION OR PROJECT ID:

DESIGN TEAM

DGNR. BRM & MCB

PM/DP. ML

RVWR. ML

ISSUE DATE: 12/5/2023

ADDRESS

1106 N ARENDELL AVE

ZEBULON, NC 27587

SHEET TITLE

CONSTRUCTION DETAILS

DRWG. NO. **C6.2**

AREA YARD SIGN DETAILS



R7-1

TYPICAL NO PARKING SIGN DETAIL
N.T.S.

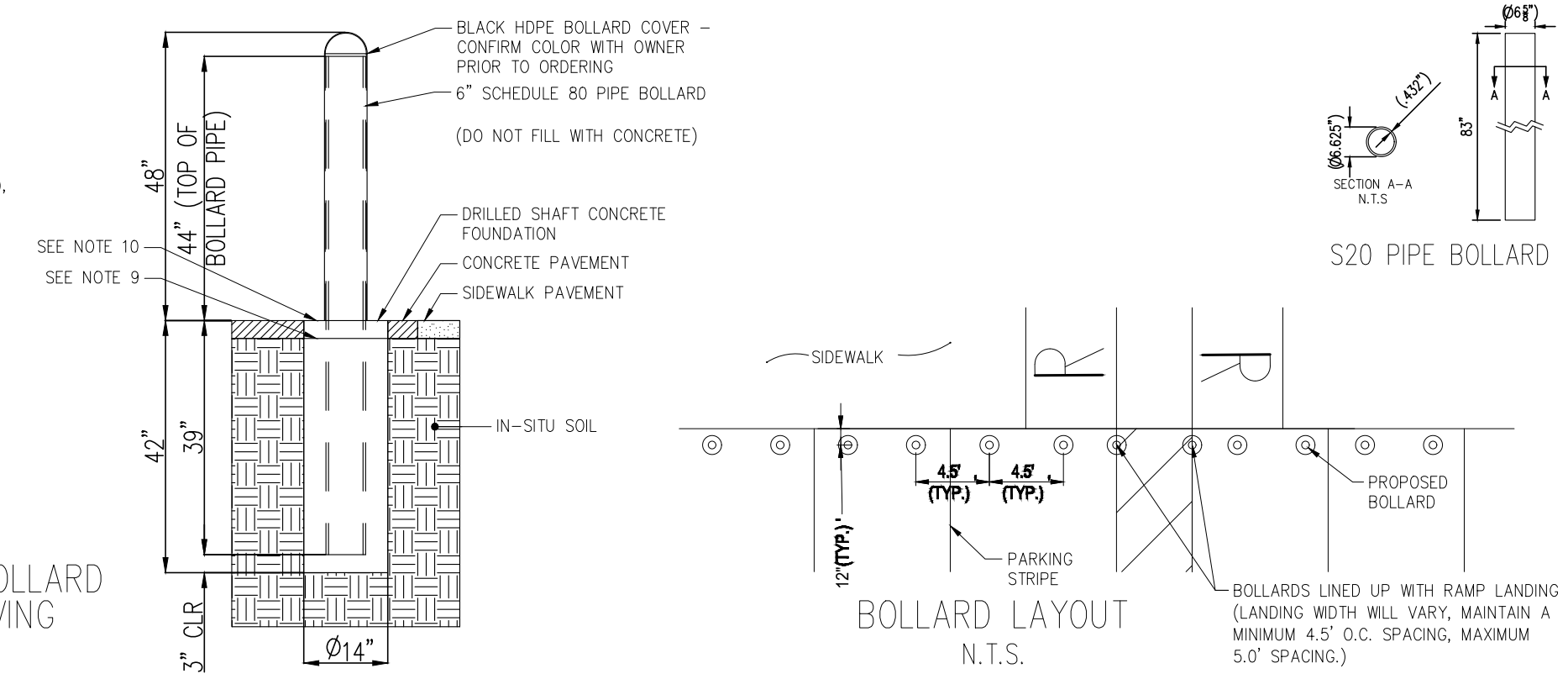
REVISED DETAIL PER CR 2022-3004

GENERAL NOTES:

1. MAXIMUM BOLLARD SPACING IS 5' ON CENTER
2. CONCRETE TO BE 4,000 PSI MIN. UNCOMPRESSED COMPRESSIVE STRENGTH.
3. REINFORCING STEEL CONFORMS TO ASTM A615 GRADE 60.
4. BOLLARD PIPE IS ASTM A53, TYPE E, GRADE B OR A500 GRADE B/C
5. PROVIDE HIGH-DENSITY POLYETHYLENE (HDPE) BOLLARD COVER. COVER TO BE IDEALSHIELD (OR APPROVED EQUAL) 1/8" THICK, BROWN (PO-4400).
6. PIPE FIT, DOME TOP, 48" TALL.
7. DO NOT FILL BOLLARD PIPE WITH CONCRETE. TEMPORARILY SEAL BOTTOM AS NECESSARY TO PREVENT CONCRETE INTRUSION WHILE POURING.
8. USE SONOTUBE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN. DIMENSIONS IN PARENTHESES ARE NOMINAL.
9. COLD JOINT ACCEPTABLE THIS LINE FOR NEW INSTALLATIONS IN MONOLITHIC POUR CONCRETE PAVEMENT.
10. SLOPE TOP OF CONCRETE AWAY FROM BOLLARD 1/4" FROM PIPE TO EDGE OF DRILLED SHAFT OR CAP.
11. INCREASE DEPTH OF GASSON AND BOLLARD PIPE TO MEET LOCAL JURISDICTION MIN. FROST DEPTH REQUIREMENT.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED, PRIOR TO INSTALLATION.

DESIGN SPECIFICATIONS: ASTM F3016-19 CONDITION DESIGNATION S20

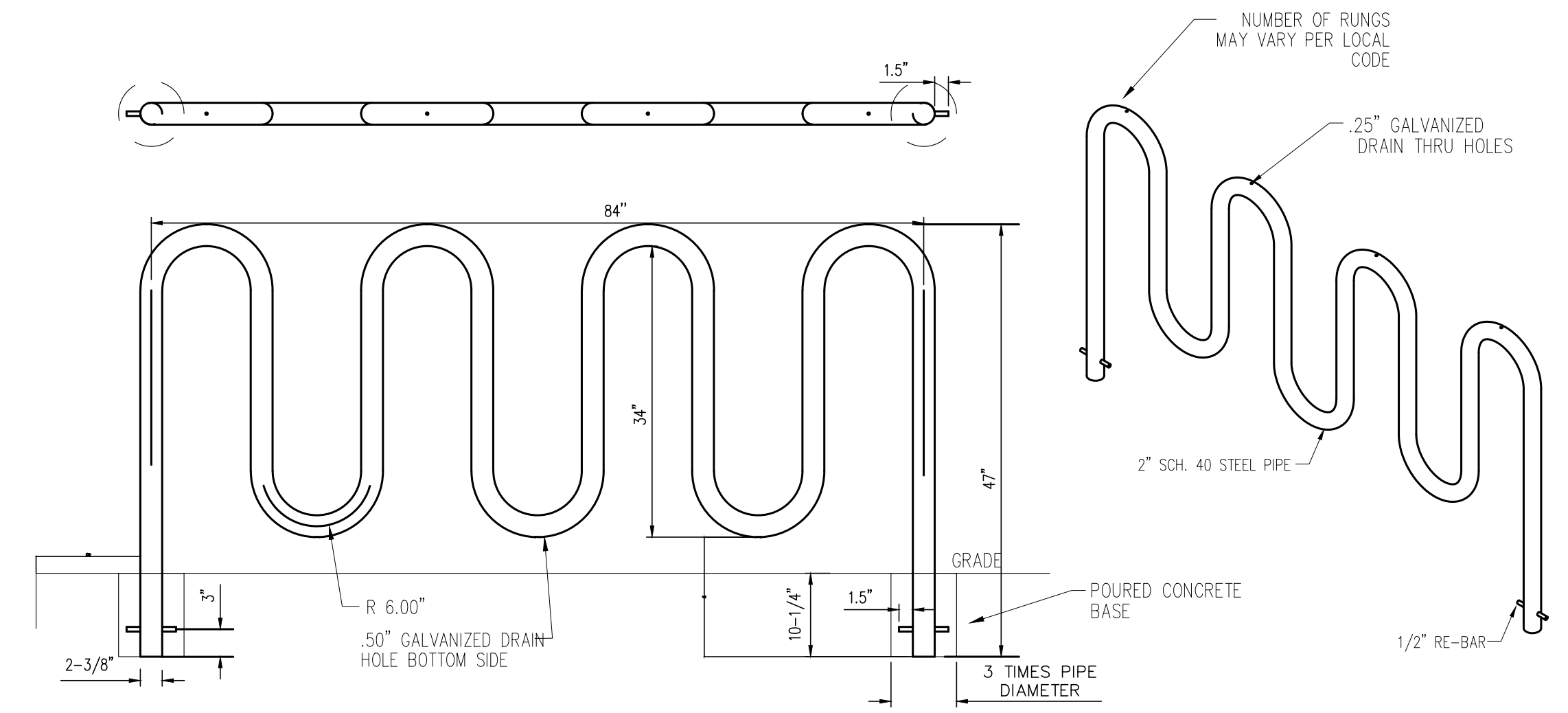
STORE FRONT GUARDS



DEEP MOUNT S20 BOLLARD IN CONCRETE PAVING
N.T.S.

BOLLARD LAYOUT
N.T.S.

TYPICAL BIKE RACK DETAIL



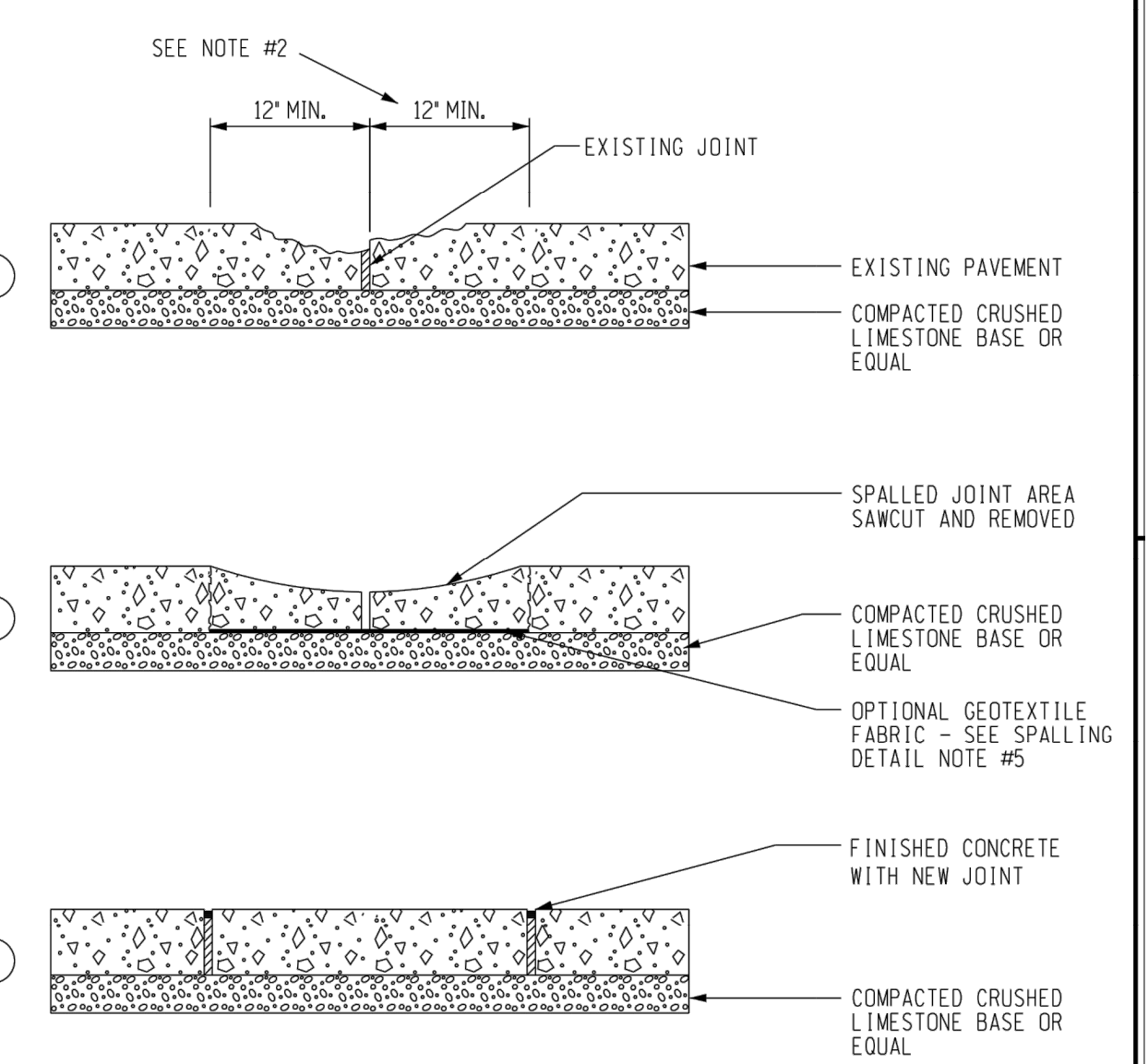
CONCRETE & ASPHALT PAVEMENT MAINTENANCE

- CONCRETE PAVING MAINTENANCE NOTES:**
1. CONTRACTOR SHALL REMOVE CONCRETE FROM FAILED AREA BY SAWCUTTING TO FULL DEPTH THE ORIGINAL SLAB AND REMOVING THE EXISTING CONCRETE. THE PATCH SHALL BE A MINIMUM OF 3' WIDE AND RECTANGULAR IN SHAPE. IT SHALL EXTEND TO THE NEXT JOINT IF WITHIN 3'.
 2. ANY JOINTS WHICH ARE REMOVED SHALL BE REPLACED IN THE SAME LOCATION AS THE OLD JOINTS - SEE JOINT DETAILS.
 3. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEBRIS PER LOCAL, STATE, AND FEDERAL REGULATIONS.
 4. SEE NORMAL STRENGTH PAVEMENT, HIGH STRENGTH PAVEMENT DETAILS FOR FULL DEPTH PATCH REQUIREMENTS.
- ASPHALT PAVEMENT MAINTENANCE NOTES:**
1. CONTRACTOR SHALL REMOVE ASPHALT FROM FAILED AREA BY SAWCUTTING A RECTANGULAR SHAPE AT LEAST 3' BEYOND THE DAMAGED AREA. TWO OF THE EDGES MUST BE AT RIGHT ANGLES TO THE DIRECTION OF TRAFFIC.
 2. SUBGRADE MUST BE REMOVED TO SOLID GROUND AND REPLACED IN ACCORDANCE WITH THE FULL DEPTH PATCH DETAIL AND OWNER'S SPECIFICATIONS.
 3. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEBRIS PER LOCAL, STATE, AND FEDERAL REGULATIONS.
 4. TACK COAT REQUIRED IF INSTALLING SEPARATE PLACEMENTS. SEE SPEEDWAY SPECIFICATIONS FOR TIMING AND TEMPERATURE GUIDELINES.

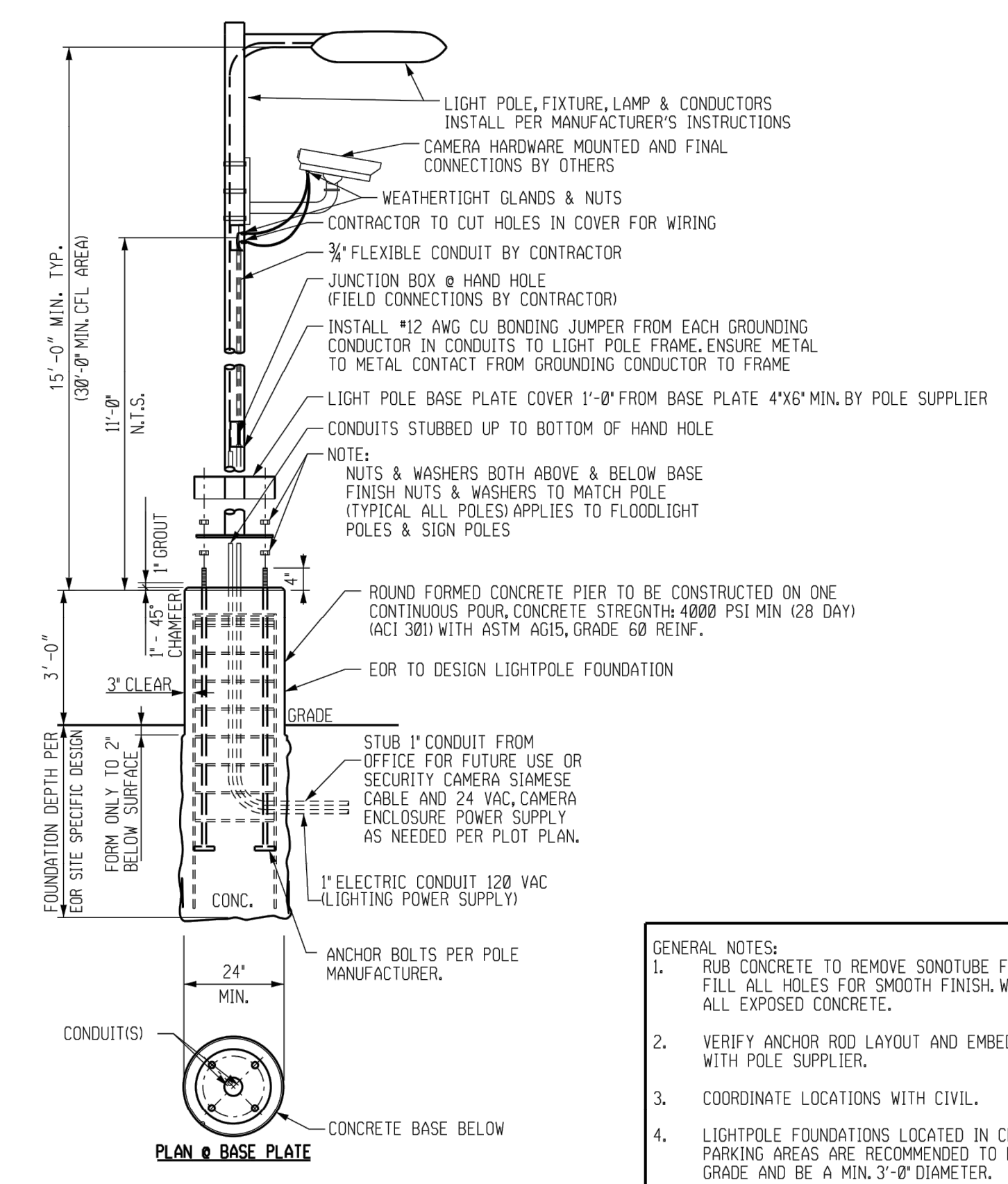
SPALLING DETAIL

SPALLING DETAIL NOTES:

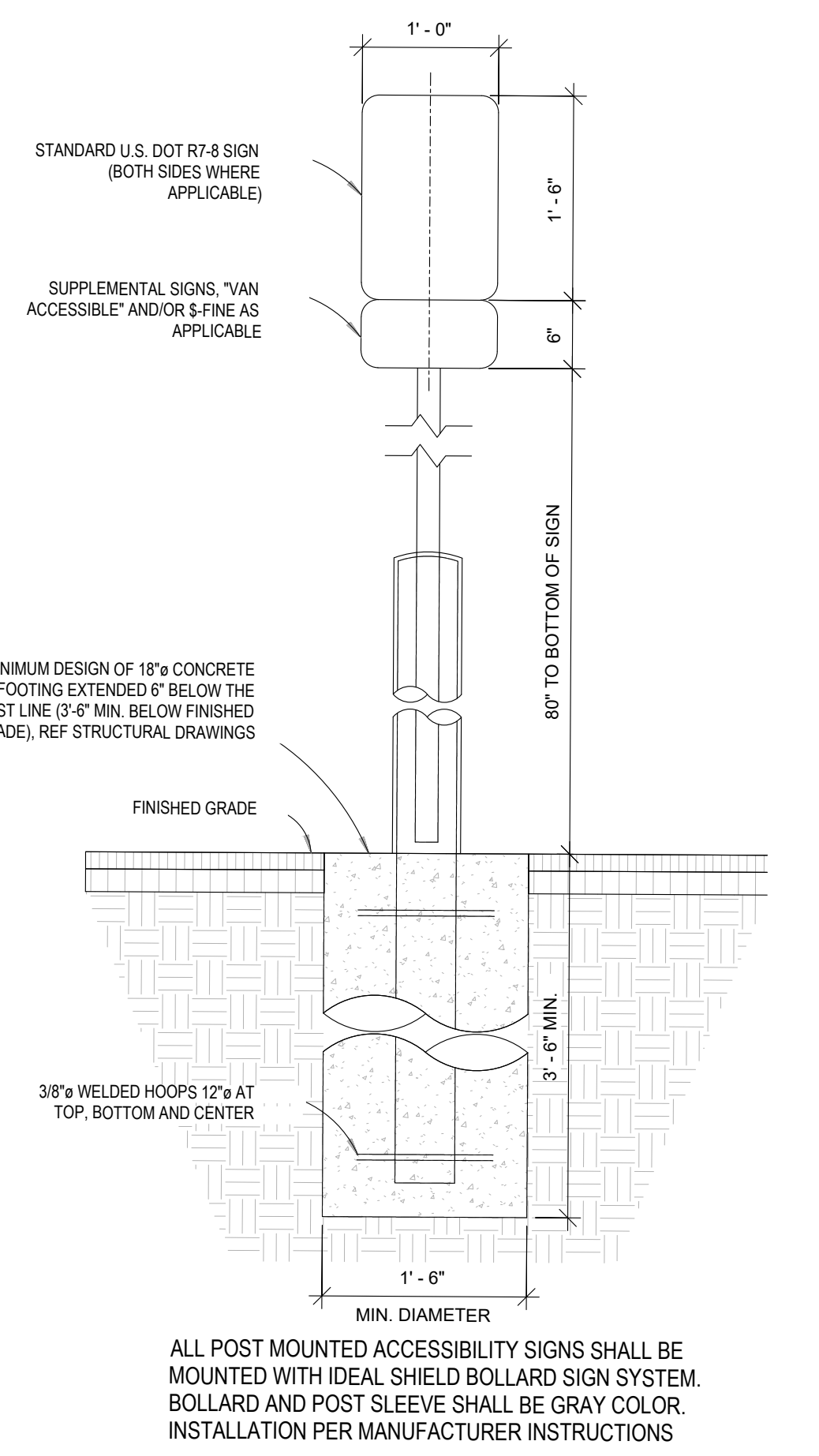
1. SPALLING ALONG JOINTS SHALL BE TREATED WITH REPAIR SIMILAR TO THAT OF A FULL DEPTH PATCH.
2. SPALLED CONCRETE SHALL BE REMOVED IN AN AREA NO LESS THAN ONE FOOT FROM THE JOINT BUT LARGE ENOUGH TO REMOVE ALL UNSOUND CONCRETE AND REMOVED TO A DEPTH GREAT ENOUGH TO REACH SUITABLE SUBGRADE.
3. THE CONCRETE SHALL BE REPLACED PER THE FULL DEPTH PATCH DETAIL AND LOCAL AGENCY HAVING JURISDICTION.
4. THE JOINT SHALL BE REPLACED PER THE JOINT DETAIL TO COINCIDE WITH THE LOCATION OF THE OLD JOINT. THE JOINT SHALL EXTEND THE FULL DEPTH OF THE NEW PATCH.
5. GEOTEXTILE FABRIC (NEEDS TO BE DETERMINED BY OWNER'S REPRESENTATIVE) 8 OZ/50 YD NEEDLE PUNCHED NON WOVEN, NEEDLE PUNCHED FABRIC



AREA LIGHT POLE FOUNDATION DETAIL



- GENERAL NOTES:**
1. RUB CONCRETE TO REMOVE SONOTUBE FORM LINES AND FILL ALL HOLES FOR SMOOTH FINISH WEATHERSEAL ALL EXPOSED CONCRETE.
 2. VERIFY ANCHOR ROD LAYOUT AND EMBEDMENT REQUIREMENTS WITH POLE SUPPLIER.
 3. COORDINATE LOCATIONS WITH CIVIL.
 4. LIGHTPOLE FOUNDATIONS LOCATED IN CFL TRAFFIC AREAS OR PARKING AREAS ARE RECOMMENDED TO EXTEND 5'-0" ABOVE GRADE AND BE A MIN. 3'-0" DIAMETER.

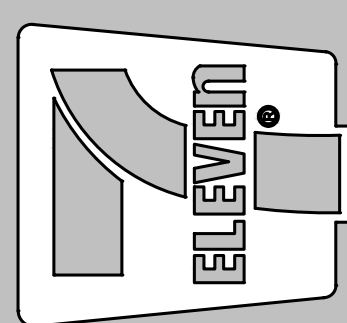


Post Mounted Accessibility Sign
N.T.S.

Bowman
Bowman North Carolina Ltd.
4000 S. DR
Suite 114
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



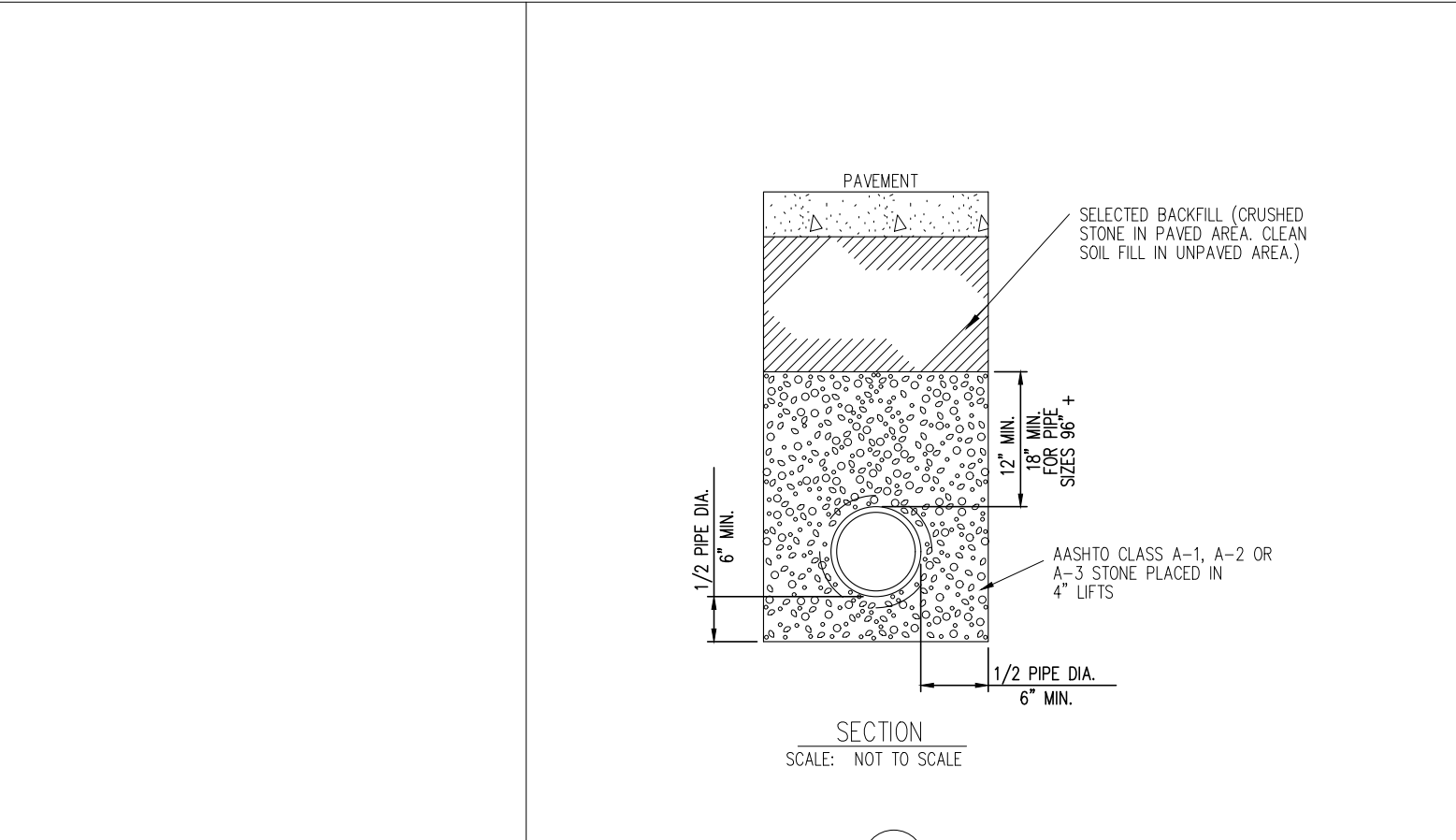
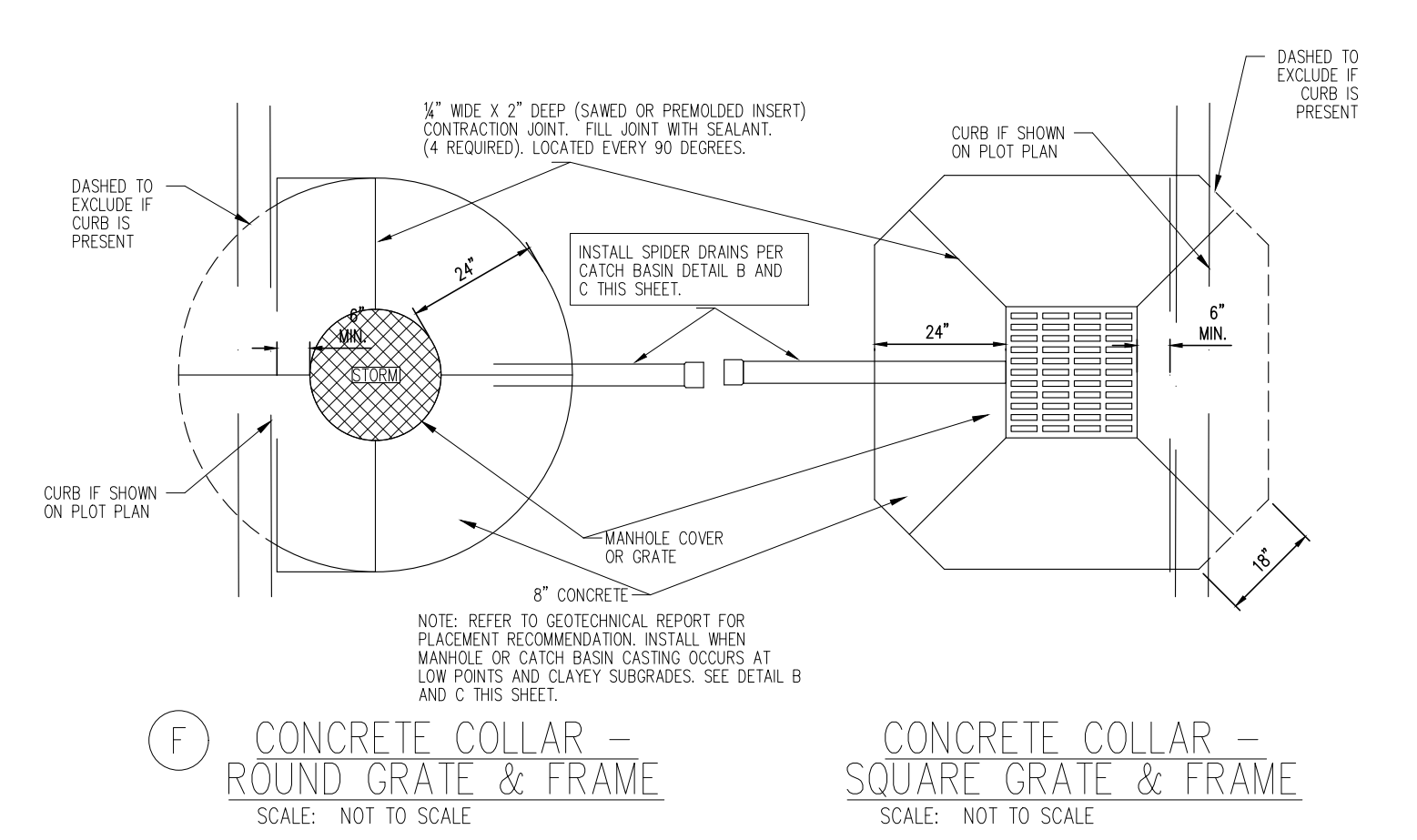
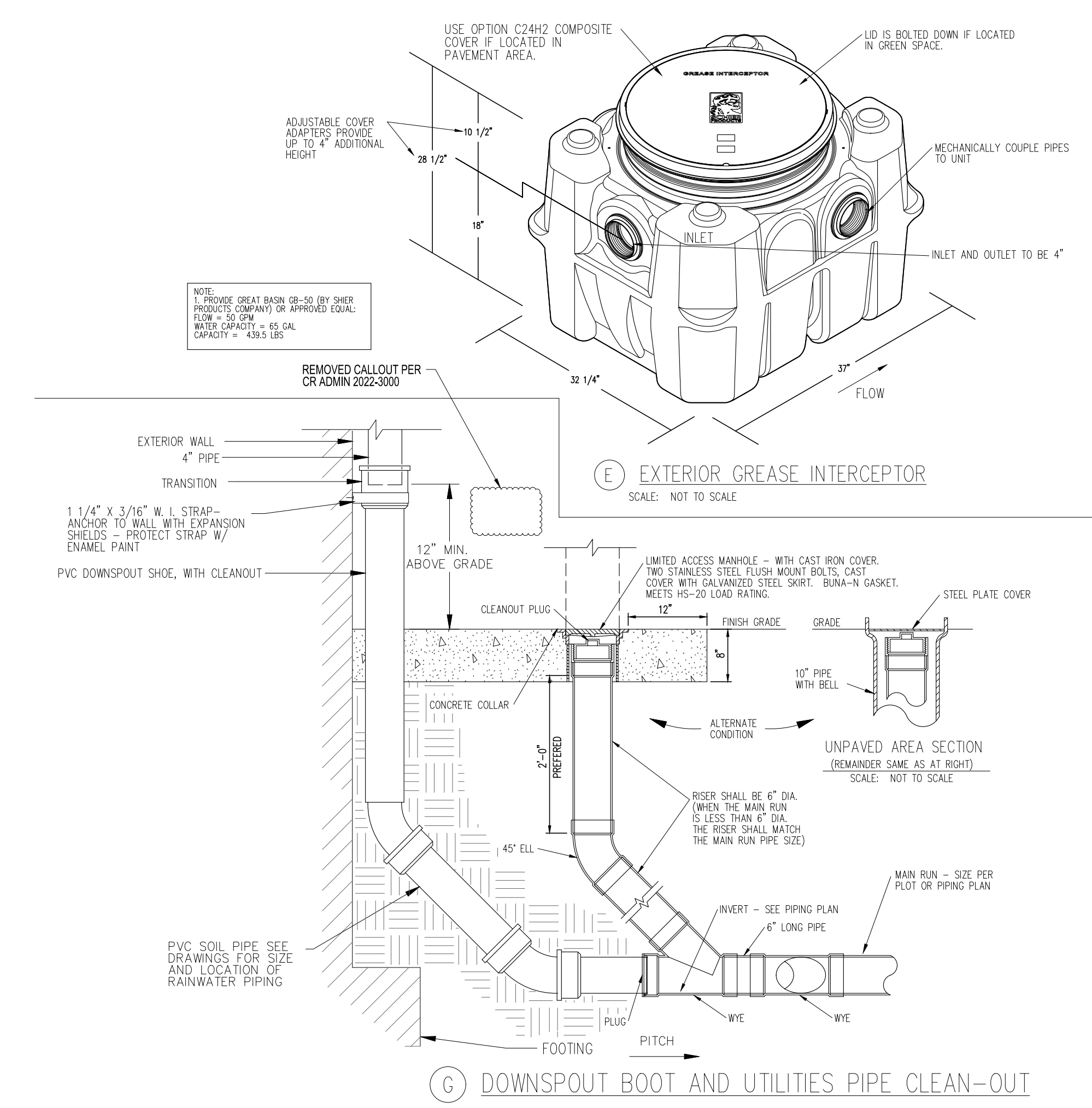
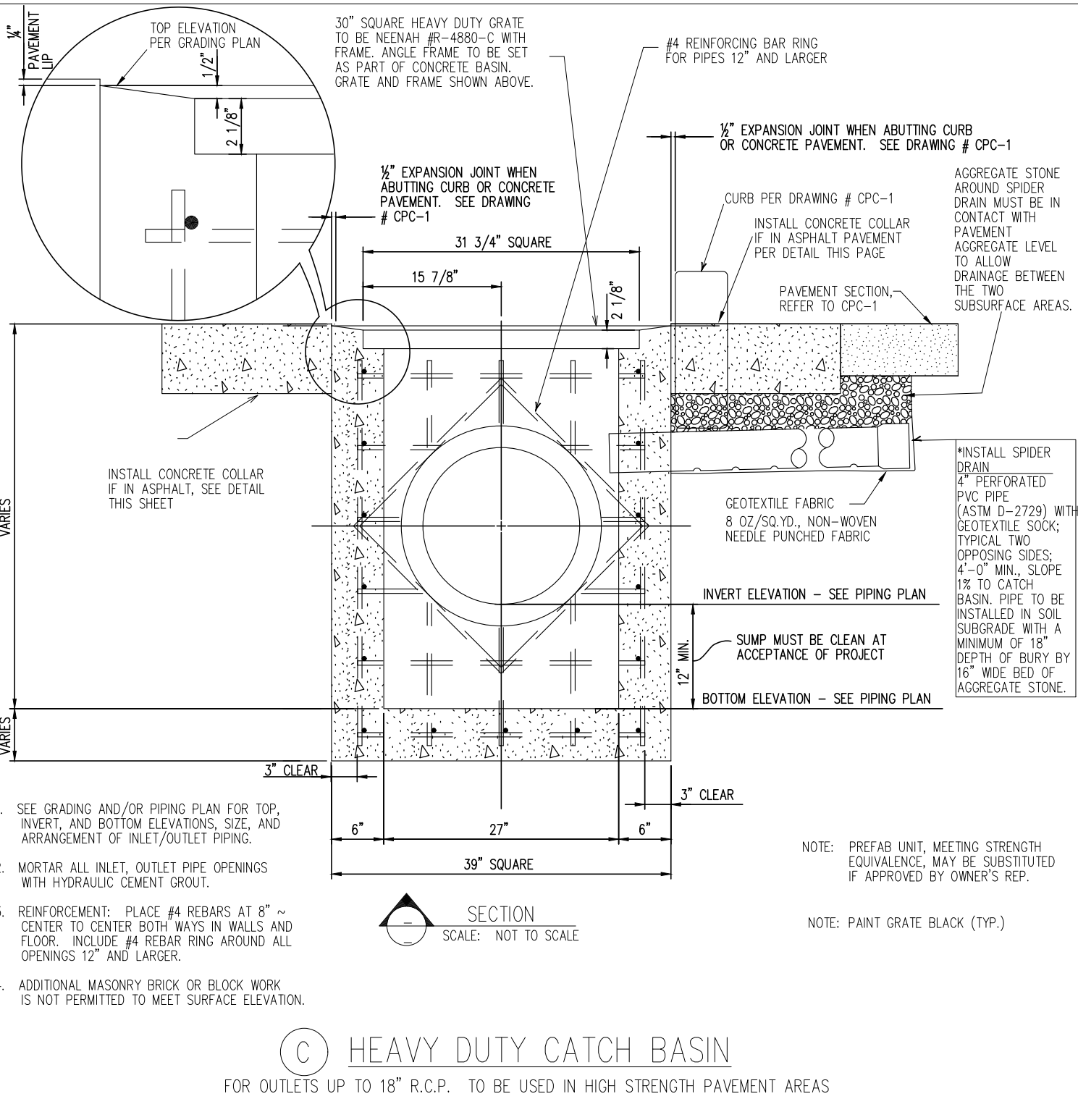
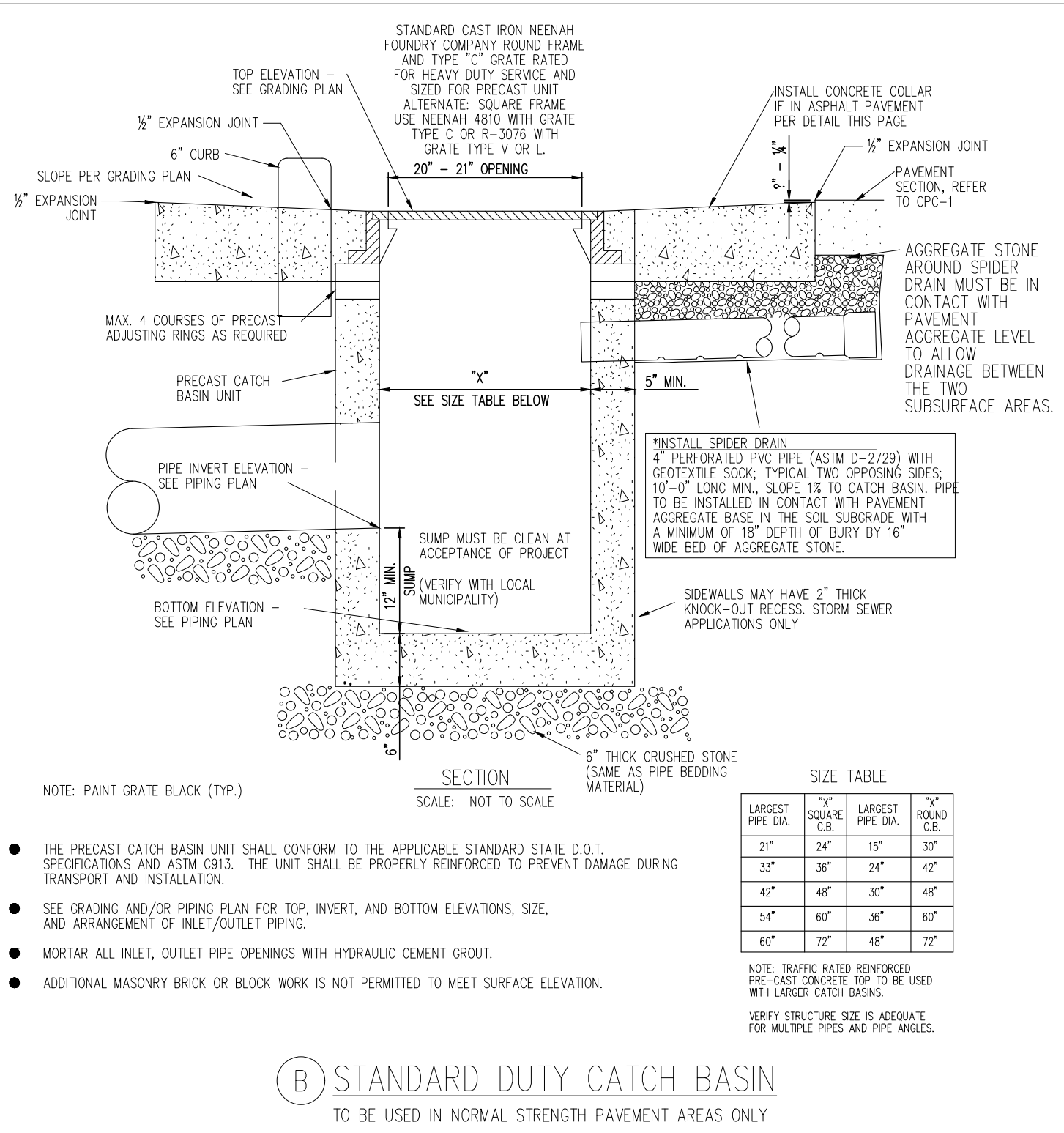
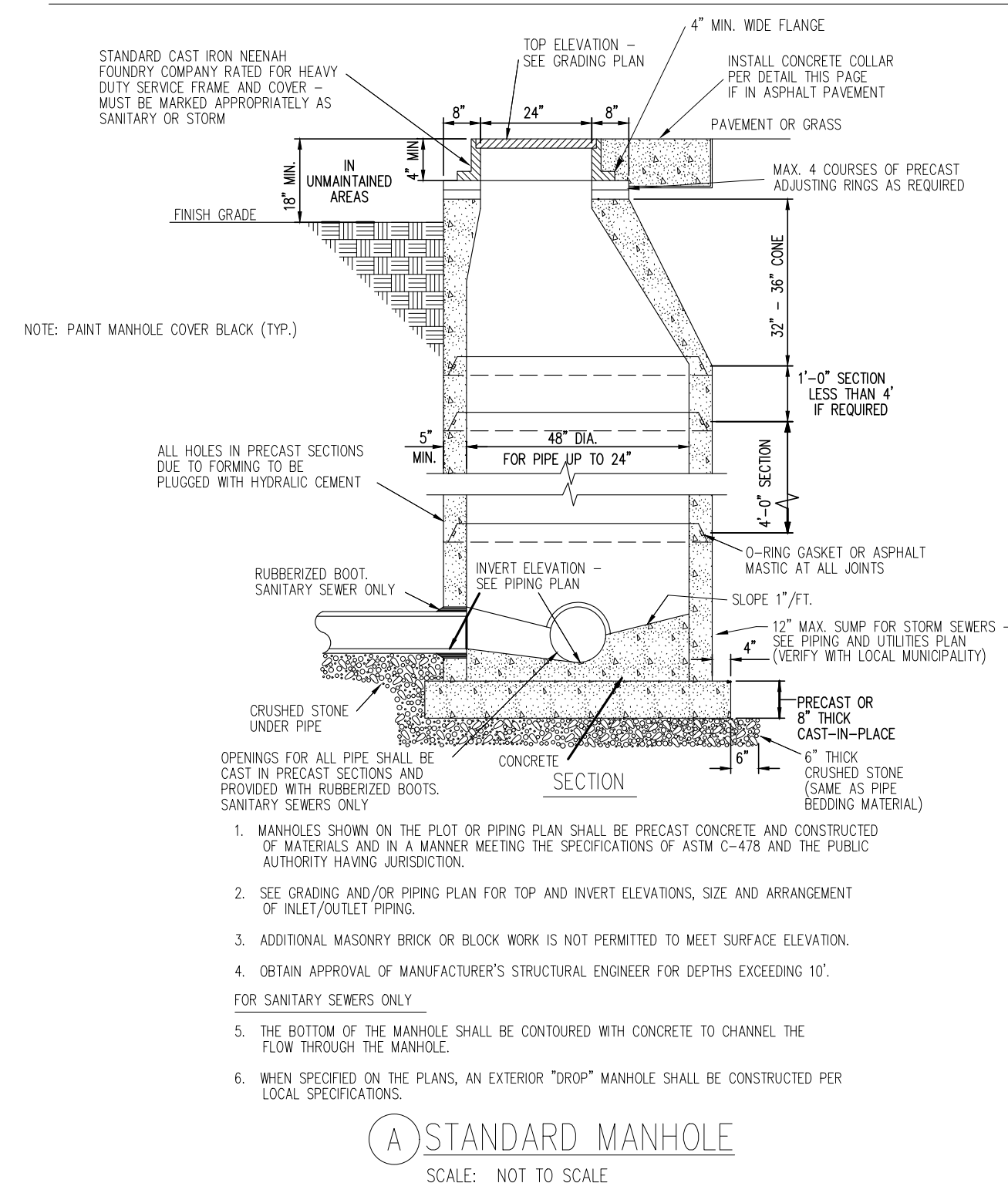
NO.	REVISION DESCRIPTION	DATE REVISION	REVISION BY
1	TOWN OF ZEBULON REVIEW	12/23	BRM
2	TOWN OF ZEBULON REVIEW	12/23	BRM

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
CONSTRUCTION DETAILS

DRWG. NO. **C6.3**

DRAINAGE & UTILITY DETAILS & SPECIFICATIONS



PIPE SPECIFICATIONS							
TYPE OF PIPE	"+" VALUES	SIZES PERMITTED	SENSE AND USE	PIPE SPECIFICATION	INSTALLATION SPECIFICATION	JOINT SPECIFICATION	PREMIUM JOINTS
POLY-VINYL CHLORIDE (PVC)	0.01	6"	SANITARY SEWER	ASTM D-3034 SDR 35	ASTM D-2321 STANDARD PRACTICE FOR INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE	ASTM D-3212 STANDARD SPECIFICATION FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPES USING FLEXIBLE ELASTOMERIC SEALS	ASTM F-477 ELASTOMERIC SEALS FOR JOINING PLASTIC PIPE (OIL RESISTANT) HIGH NITRILE (NBR), EPIDIOXYMERON (ECCO), NEOPRENE (CR), POLYSULFIDE (PS), OR FLUORO ELASTOMER (FPM)
		8" - 12"	STORM DRAINAGE	STANDARD SPECIFICATION FOR TYPE FPM PVC SEWER PIPE AND FITTINGS	PIPE BEDDING PER DETAIL		
REINFORCED CONCRETE (RCP)	0.013	12" DIA. AND LARGER	STORM DRAINAGE	ASTM C-76, ASTM C1479 CLASS 'A' WALL B-TONGUE AND GROOVE	PIPE BEDDING PER DETAIL	BITUMINOUS MASTIC	ASTM C-443 STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS (OIL RESISTANT)
SMOOTH LINED CORRUGATED HDPE N-12 BY ADVANCED DRAINAGE SYSTEMS (800) 733-9554 SURE-LOK BY HANCOCK (800) 537-9520	0.012	8" AND LARGER	STORM DRAINAGE	AASHTO M294-S	ASTM D-2321 PIPE BEDDING PER DETAIL	STANDARD COUPLERS (PRO LINK)	PVC DOUBLE BELL COUPLER WITH GASKET (PRO LINK 10.8)
		12" AND LARGER	STORM DRAINAGE	AASHTO M294-S	ASTM D-2321 PIPE BEDDING PER DETAIL	USE GASKET IN FINE SOILS BELL & SPIGOT WITH GASKET (SURE-LOK 10.8)	AVAILABLE THROUGH 24" AVAILABLE THROUGH 30"
DUCTILE IRON (DI)	0.012	4" - 12"	SPECIAL	ASTM A-746 CLASS 50 STANDARD SPECIFICATION FOR DUCTILE IRON GRAVITY SEWER PIPE	PIPE BEDDING PER DETAIL	RUBBER GASKET COMPRESSION TYPE JOINT	GASKET TO BE OIL RESISTANT NITRILE-BUTADIENE (NBR)
POLYETHYLENE (PE)	0.010	4" - 6"	UNDERDRAINS AND SEPTIC DISPOSAL FIELDS ONLY	ASTM F-405 STANDARD SPECIFICATION FOR CORRUGATED POLYETHYLENE TUBING AND FITTINGS	SEE UNDERDRAN DETAIL	STANDARD COUPLINGS	N/A
CORRUGATED METAL PIPE (CMP)	0.022	12" DIA. AND LARGER	STORM DRAINAGE	ASTM A-760 STANDARD SPECIFICATION FOR CORRUGATED METAL PIPE - METALLIC-COATED FOR SEWERS AND DRAINS	ASTM A-807 STANDARD SPECIFICATION FOR INSTALLING CORRUGATED METAL STRUCTURAL PLATE PIPE FOR SEWERS	STANDARD COUPLINGS	N/A
HIGH PERFORMANCE (HP) PIPING	0.012	12" - 60"	STORM DRAINAGE	AASHTO M330 ASTM F2881	ASTM D2321	WATER TIGHT ASTM D-3212	EXTENDED REINFORCED INTEGRAL BELL AND GASKETED SPIGOT

Bowman
Bowman North Carolina Ltd.
4000 S. I-85 DR
Suite 114
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.

Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

NO.	REVISION DESCRIPTION	DATE	BY	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	02/23/23	BRN			
2	TOWN OF ZEBULON REVIEW	02/25/23	BRN			

STORE OR BLDG NO.:

VERSION OR PROJECT ID:

DESIGN TEAM:

DGNR, BRM & MCB

PM/DP, ML

RWVR, ML

ISSUE DATE: 12/5/2023

ADDRESS:

1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE:

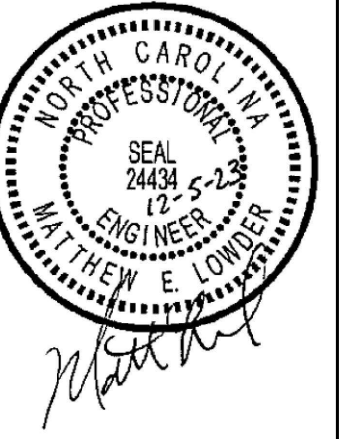
CONSTRUCTION DETAILS

DRWG. NO.:

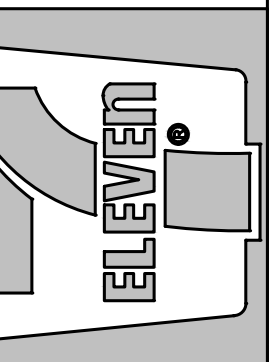
C6.4

59.5B)

Cad File Name: Y:\220163 - Crosland Southeast - 7-Eleven - Keny\220163-01-002 (ENG) - Crosland-7-Eleven - Zebulon, NC\Engineering\Engineering Plans\Construction Drawings\220163-01-002-SIT.dwg



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	REVISION
1	TOWN OF ZEBULON REVIEW		
2	BIRMINGHAM REVIEW		

STORE OR BLDG NO.:
VERSION OR PROJECT ID:
DESIGN TEAM:
DGNR: BRM & MCB
PM/DP: ML
RW/R: ML
ISSUE DATE: 12/5/2023
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
OFFSITE CONSTRUCTION DETAILS

DRWG. NO. **C6.5**

30° VALLEY - STANDARD

30° VALLEY - SPILL

STANDARD

SPILL

NOTES:
1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
3. FOR TRANSITION OF CURB TO CURB OPENING INLET, SEE STANDARD DETAIL 33.

TOWN OF ZEBULON
STD. CURB & GUTTER & VALLEY GUTTER DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3
1 OF 1

SECTIONAL VIEW

NOTES:
1. PAVEMENT REPAIRS SHALL HAVE 6" COMPACTED H-BINDER AND 2" TOPPING OF SP9.5B.
2. TRENCH IS TO BE BACK FILLED IN 6" LIFTS AND COMPACTED TO 98% STANDARD DENSITY AS DETERMINED BY AASHTO TEST METHOD T-99 OR ASTM D-698 BEFORE PAVEMENT REPAIRS ARE MADE.
3. COMPACTION TEST MAY BE REQUIRED AT REQUEST OF INSPECTOR.
4. ALL EXISTING PAVED STREETS AND SECONDARY ROADS WHICH ARE OPEN CUT TO INSTALL SEWER OR WATER PIPE, MUST BE REPAIRED ACCORDING TO THIS DETAIL. CARB BACKFILL IS NOT ALLOWED IN ANY PART OF TRENCH WITHIN PAVEMENT.
5. FIBER OPTIC & GAS: #57 STONE OR FLOWABLE FILL CONCRETE (MINIMUM 50 PSI) BUT MIN. 6" COMPACTED CLASS II OR III (DEFINITION IN SECTION 02210 - PARAGRAPH 3B OF SPECS) FILL OVER TOP OF FIBER OPTIC CABLE OR GAS PIPE.
6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
FULL DEPTH ASPHALT REPAIR DETAIL FOR UTILITY CUTS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 6
1 OF 1

SECTIONAL VIEW

1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C. LONGITUDINALLY, ADJACENT TO CURBS, AND WHEN BUTTING EXISTING STRUCTURES, CONCRETE, OR BUILDINGS.
3. CONCRETE TO BE 3000 P.S.I. AT 28 DAYS, AIR-ENTRAINED.
4. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPECS OR CONTACT ENGINEER FOR DIRECTIONS.
5. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
TYP SIDEWALK in CUT or FILL SECTIONS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 12
1 OF 1

SECTIONAL VIEW

1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C. LONGITUDINALLY, ADJACENT TO CURBS, AND WHEN BUTTING EXISTING STRUCTURES, CONCRETE, OR BUILDINGS.
3. CONCRETE TO BE 3000 P.S.I. AT 28 DAYS, AIR-ENTRAINED.
4. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPECS OR CONTACT ENGINEER FOR DIRECTIONS.
5. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
TYP SIDEWALK in CUT or FILL SECTIONS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 13
1 OF 1

PLAN VIEW

THICKEN S/W APPROACH TO 6", 5' BACK FROM EDGE OF DRIVE - BOTH SIDES

AS SHOWN ON PLAN BUT 12" MIN.

VERTICAL TRANSITION SECTION. PLACE CONCRETE AT CONCRETE DRIVES OR ASPHALT AT ASPHALT DRIVES.

PLACE 1/2" EXP. JOINT HERE WHEN CROSSING EXISTING CONCRETE DRIVES

THICKEN S/W APPROACH TO 6", 5' BACK FROM EDGE OF DRIVE - BOTH SIDES

TOWN OF ZEBULON
SIDEWALK DETAIL X-ING EX. DRIVEWAYS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 14
1 OF 1

LONGITUDINAL SECTION
NOT TO SCALE

SECTION A-A
ELEVATION OF SINGLE ACCESS RAMP
NOT TO SCALE

SINGLE ACCESS ISOMETRIC VIEW

NOTES:
1. DEPRESSED CURB ALREADY EXISTS. DO NOT CHANGE OFF UNLESS DIRECTED OTHERWISE BY TOWN ENGINEER.
2. FIRST TWO FEET SHALL BE HANDICAP PANELS WITH DIMPLES BY ALERT CAST OR APPROVED EQUAL.
3. THE REMAINING FOUR FEET SHALL BE DYED CONCRETE WITH 70% CONTRAST.
4. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
5. STAMPED CONCRETE NOT ALLOWED.

TOWN OF ZEBULON
SINGLE HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 20
1 OF 1

PERSPECTIVE

NOTES:
1. WHEELCHAIR RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMPS SHALL BE LOCATED AS INDICATED IN THESE DETAILS. HOWEVER, THE LOCATION MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT THESE LOCATIONS, NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMPS.
2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 1/12 (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") HOWEVER, WIDTH MAY EXCEED 40".
4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
6. CURB DEPRESSION MUST GO IN WHETHER OR NOT SIDEWALK IS PLACED.

TOWN OF ZEBULON
STANDARD ADA WHEELCHAIR SIDEWALK ACCESS AT CURB RETURNS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 21
1 OF 2

SECTION A-A
PUBLIC STREET TIE-IN
NOT TO SCALE

SECTION B-B
NOT TO SCALE

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 21
2 OF 2

PERSPECTIVE

SECTION A-A
IN-WALK HANDICAP RAMP
* THIS DETAIL APPLICABLE FOR PARALLEL PARKING IN MUNICIPAL APPLICATIONS ONLY

TOWN OF ZEBULON
HANDICAP PARKING STALL DETAIL *
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 22
1 OF 1

ELEVATIONAL VIEW

INCLUDES 2" BLOCK NUMBERS

6" TO 12"

STOP R1-1 ON 0.080" ALUMINUM SIGN BLANK.

3/4" GALV. STEEL SIGN POST 3/4" DIA. BY 3 1/2" WIDE FLANGE

PEDESTRIAN AREA

2'-6" MIN.

OTHER REGULATORY SIGNS

WITH TYPICAL VALLEY GUTTER

4" MIN. TO 12" MAX.

3/4" GALV. STEEL SIGN POST 3/4" DIA. BY 3 1/2" WIDE FLANGE

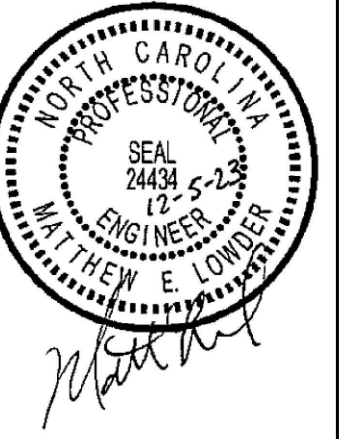
TYPICAL VALLEY GUTTER

PEDESTRIAN AREA

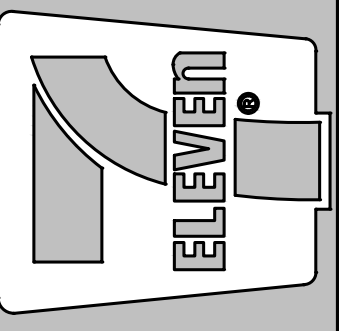
2'-6" MIN.

NOTES:
1. STREET NAME SIGNS SHALL BE A MINIMUM OF EXTRUDED ALUMINUM BLADES USING A MINIMUM OF 4" C SERIES LETTERING IN HIGH INTENSITY SILVER & HIGH INTENSITY GREEN BACKGROUND (12" LETTERS FOR BLOCK NUMBERS)
2. ALL REFLECTIVE SIGNS SHALL BE MADE OF HIGH INTENSITY GRADE REFLECTIVE SHEETING OR APPROVED EQUIVALENT.
3. ALL SIGNS PLACED IN RIGHT-OF-WAY WILL BE APPROVED BY TOWN'S PUBLIC WORKS DIRECTOR.
4. ERECT STREET SIGNS PLUMB.
5. DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING & ERECTING ALL STREET NAME & REGULATORY SIGNS.
6. ALL HARDWARE MUST BE GALVANIZED.

TOWN OF ZEBULON
STANDARD SIGN INSTALLATION DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 30
1 OF 1



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 4

TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 2 OF 4

TOWN OF ZEBULON
STD. TRANSITION FROM INLET TO STD. C&G / VALLEY GUTTER
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3 OF 4

TOWN OF ZEBULON
DETAIL FOR STORM DRAIN WITH DRIVEWAY CONFLICT
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 4 OF 4

TOWN OF ZEBULON
2x3 DROP INLET
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 1

TOWN OF ZEBULON
STD. TRENCH INSTALLATION FOR CONCRETE PIPE (FOR CONTRACTOR'S USE)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 3

TOWN OF ZEBULON
STD. TRENCH INSTALLATION FOR CONCRETE PIPE (FOR ENGINEER'S USE)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 2 OF 3

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3 OF 3

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 4 OF 5

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 5 OF 5

MARK	REVISION	DATE	DESCRIPTION
1	BRN	02/23	TOWN OF ZEBULON REVIEW
2	BRN	02/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RW/R: ML
ISSUE DATE: 12/5/2023
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE: OFFSITE CONSTRUCTION DETAILS

DRWG. NO.: C6.6

END SECTION DIMENSIONS					
DIA.	A	B	C	D	E
15"	7"	2'-3 1/4"	3'-11 1/2"	6'-2 3/4"	2'-6"
18"	9"	2'-3"	3'-11 3/4"	6'-2 3/4"	2'-6"
24"	9"	3'-7"	3'-1"	6'-8"	3'-11 3/4"
30"	1'-0"	4'-6 1/2"	1'-10 1/2"	6'-5"	5'-0"
36"	1'-4"	5'-0"	3'-1 1/2"	8'-1 1/2"	5'-11"
42"	1'-10 1/4"	5'-1 3/8"	3'-1"	8'-2 3/8"	6'-5 1/4"

NOTES:
 1. DESIGN OF END-SECTION SHALL CONFORM TO STANDARD REINFORCED SECTIONAL CONCRETE CULVERT PIPE.
 2. ANY TWIN BARREL SYSTEM GREATER THAN 42" RCP REQUIRES A HEADWALL.
 3. ANY SYSTEM OF MORE THAN 2 PIPES REQUIRES A HEADWALL.
 4. SEE NC DOT "ROADWAY STANDARD DRAWINGS" FOR HEADWALL CONSTRUCTION DETAILS.

TOWN OF ZEBULON
 STD. FLARED END SECTIONS DESIGN AID DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1
 DETAIL # 35

TOWN OF ZEBULON
 STD. M.H. J.B. VARIABLE LENGTH
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 3
 DETAIL # 37

TOWN OF ZEBULON
 STANDARD MANHOLE COVER & RING ADJUSTABLE - EAST JORDAN IRON WORKS V-1984
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 3
 DETAIL # 37

TOWN OF ZEBULON
 STANDARD MANHOLE & RING US FOUNDRY 700 KL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 3 OF 3
 DETAIL # 37

TOWN OF ZEBULON
 STD. MULTIPLE 2' x 3' CATCH BASIN DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1
 DETAIL # 38

TOWN OF ZEBULON
 STD. 3' x VARIABLE LENGTH BOX WITH 2' x 3' C.B.
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 2
 DETAIL # 39

TOWN OF ZEBULON
 STD. 3' x VARIABLE LENGTH PRECAST BOX WITH 2' x 3' C.B.
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 2
 DETAIL # 39

TOWN OF ZEBULON
 TYPICAL SHRUB PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1
 DETAIL # 43

TOWN OF ZEBULON
 TYPICAL TREE STAKING and PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1
 DETAIL # 44

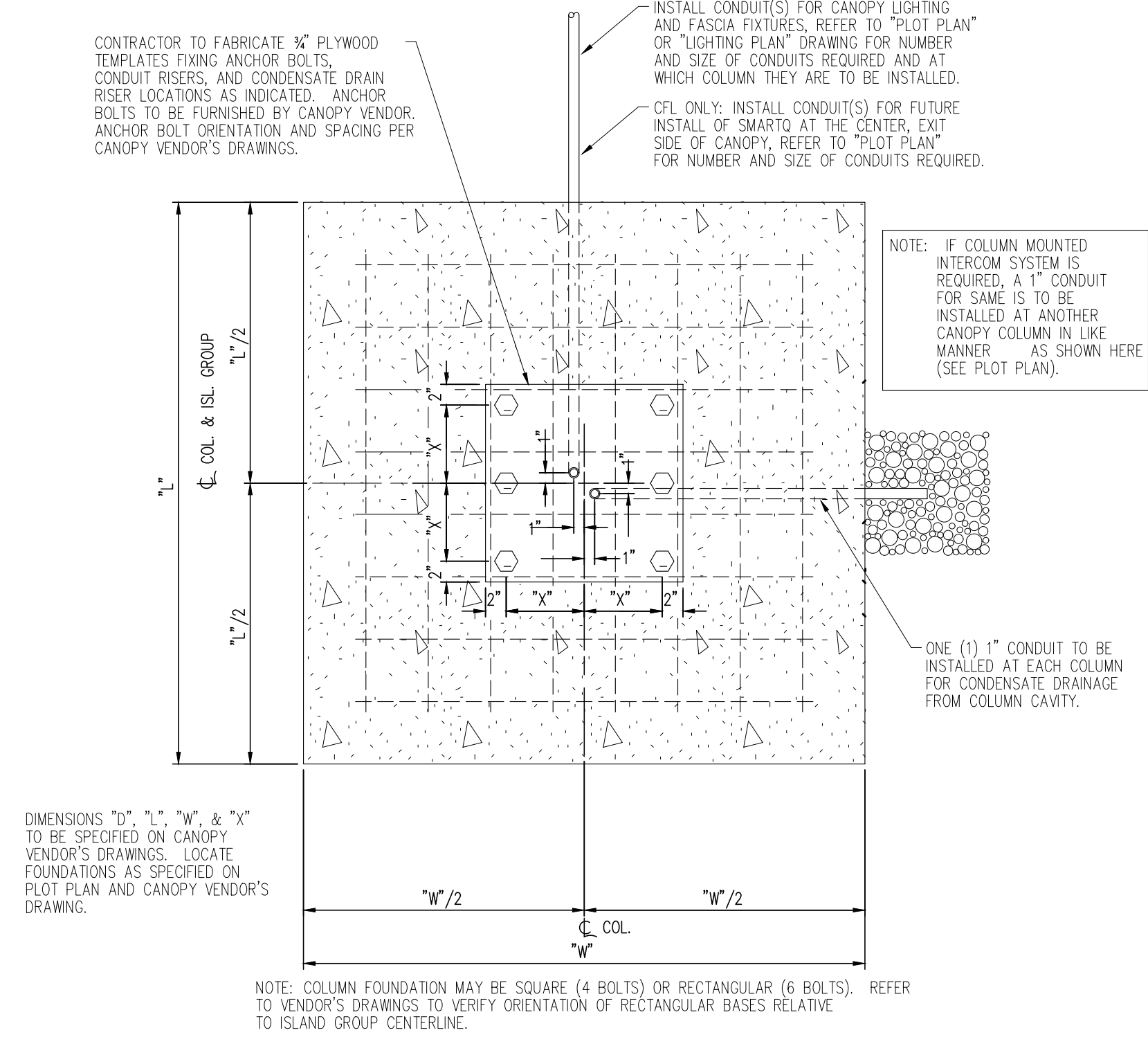
TOWN OF ZEBULON
 CATCH BASIN - SEDIMENT CONTROL DEVICES
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1
 DETAIL # 60

MARK	REVISION	DATE	REVISION DESCRIPTION
1	ISSUED	07/23/2010	TOWN OF ZEBULON REVIEW
2	BRINGING UP	07/23/2010	TOWN OF ZEBULON REVIEW

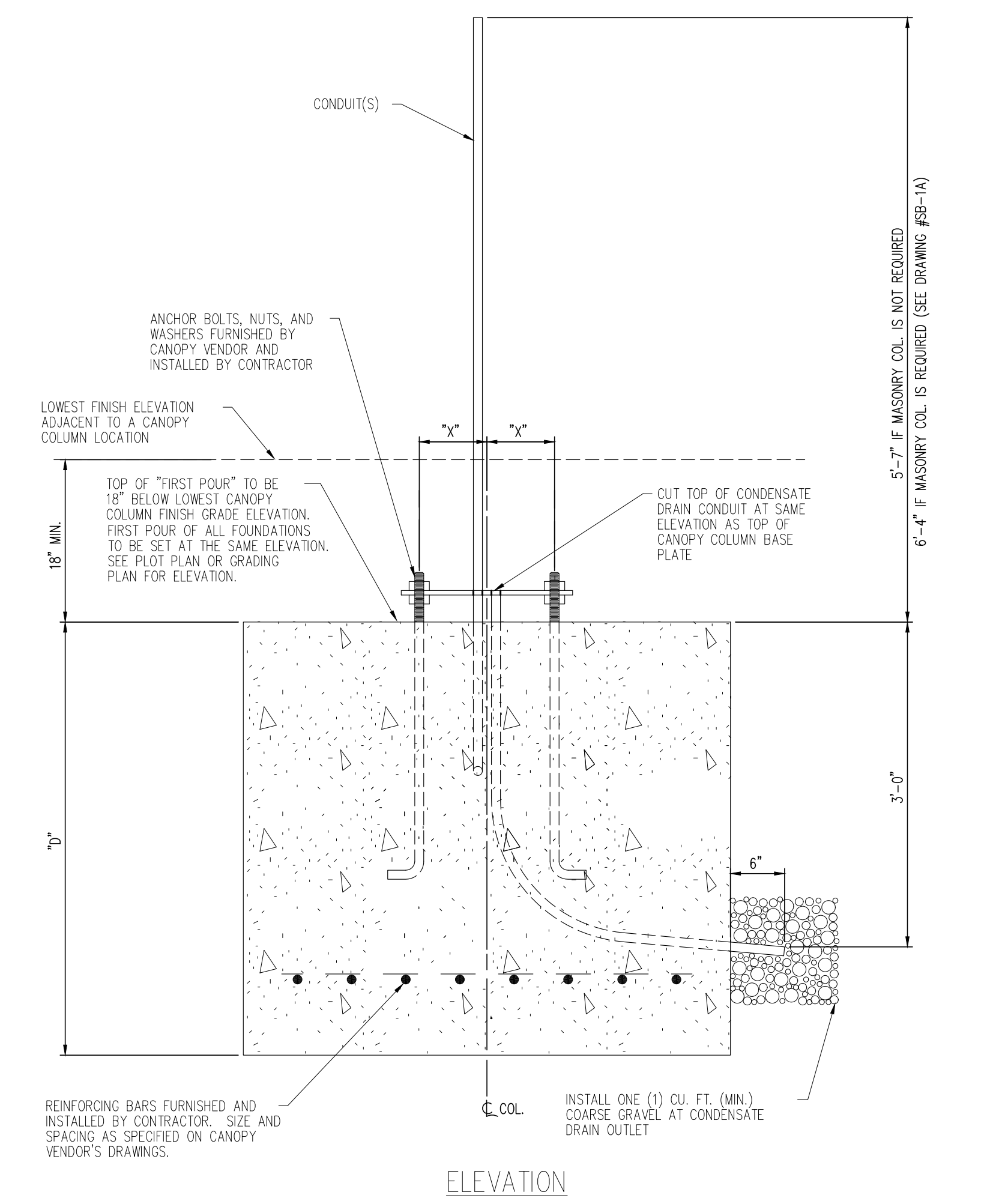
STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM:
 DGNR, BRM & MCB
 PM/DP: ML
 RW/R: ML
 ISSUE DATE: 12/5/2023
 ADDRESS:
 1106 N ARENDELL AVE
 ZEBULON, NC 27597

SHEET TITLE:
OFFSITE CONSTRUCTION DETAILS

FIRST POUR

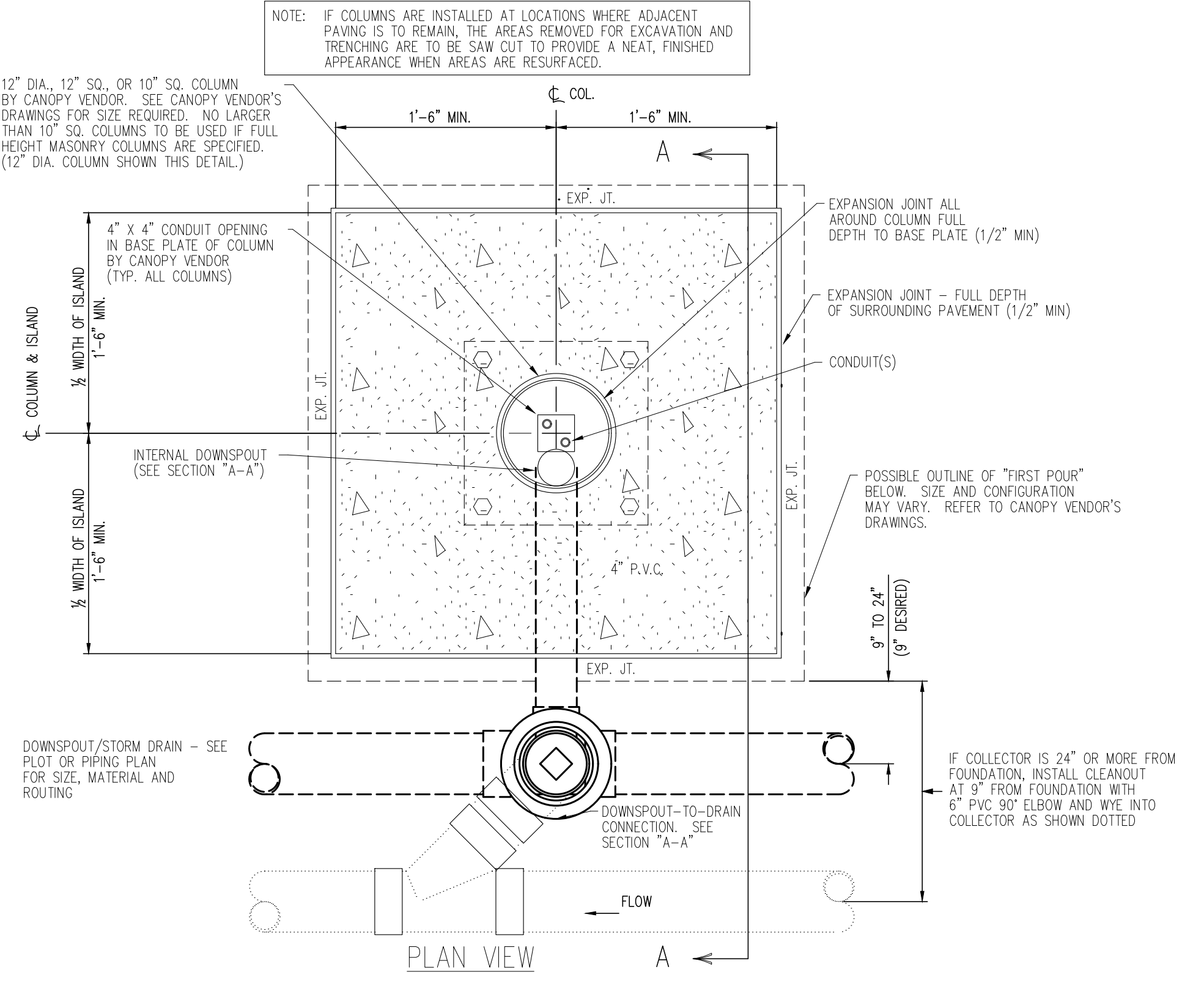


PLAN VIEW

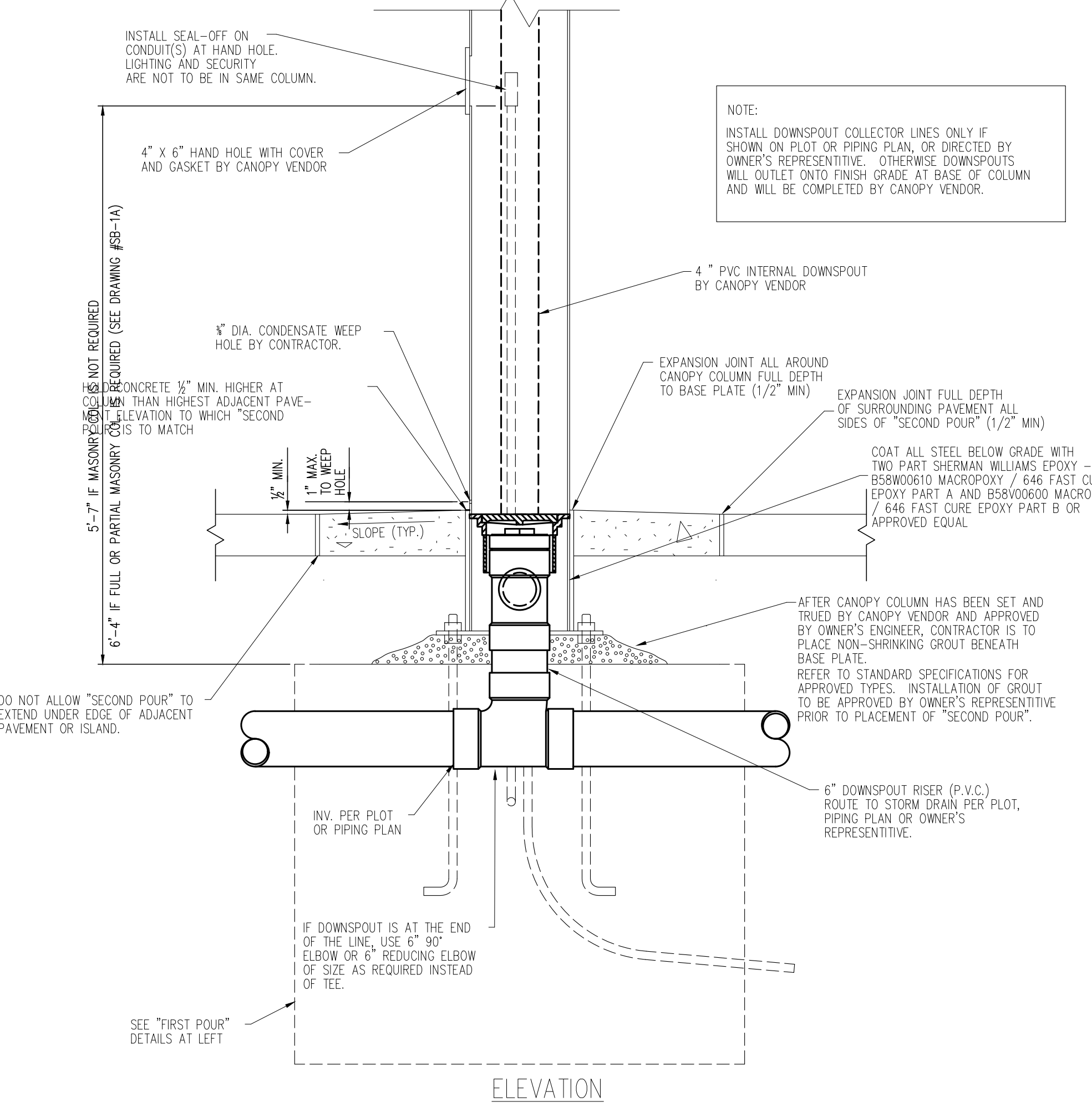


ELEVATION

SECOND POUR

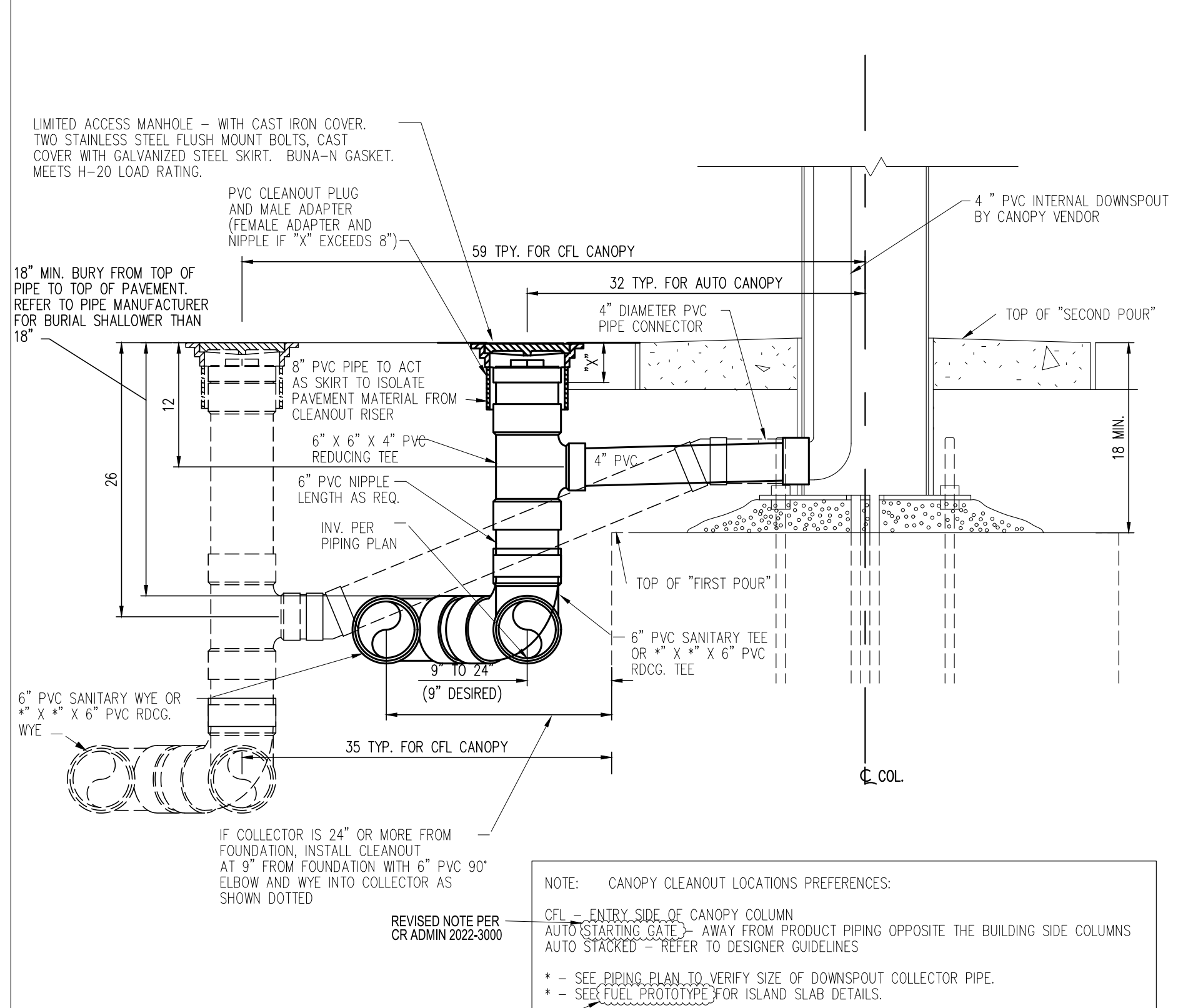


PLAN VIEW

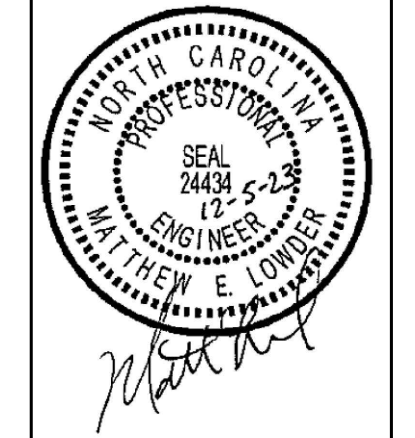


ELEVATION

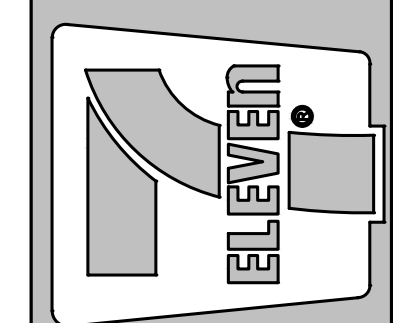
CANOPY DRAIN DETAILS



SECTION "A-A" INTERNAL DOWNSPOUT



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	DESCRIPTION	DATE	REVISION	DESCRIPTION
1	ISSUED	12/23	TOWN OF ZEBULON REVIEW			
2	BRN/MSB	12/23	TOWN OF ZEBULON REVIEW			

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR. BRM & MCB

PM/DP. ML

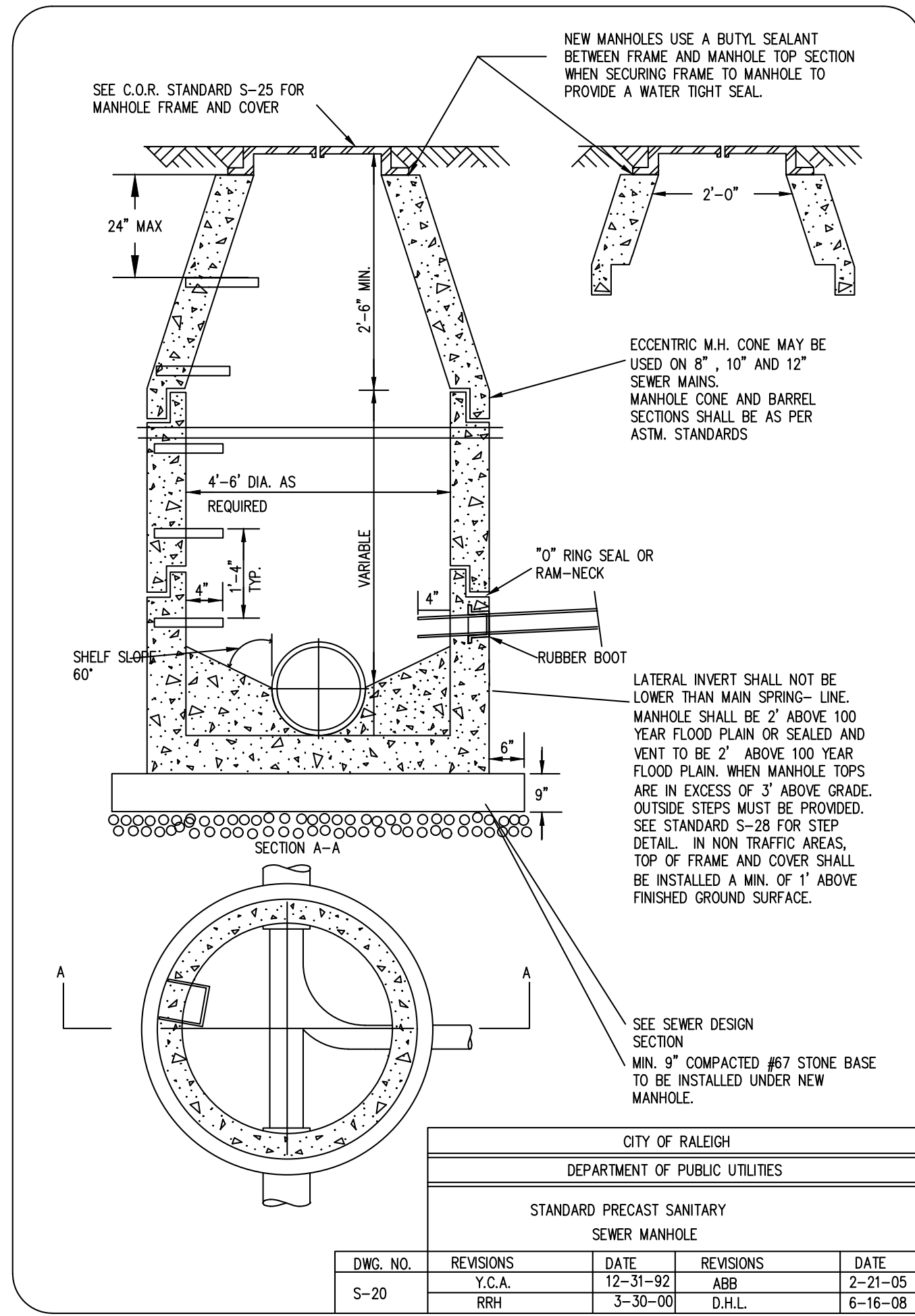
RVWR. ML

ISSUE DATE: 12/5/2023

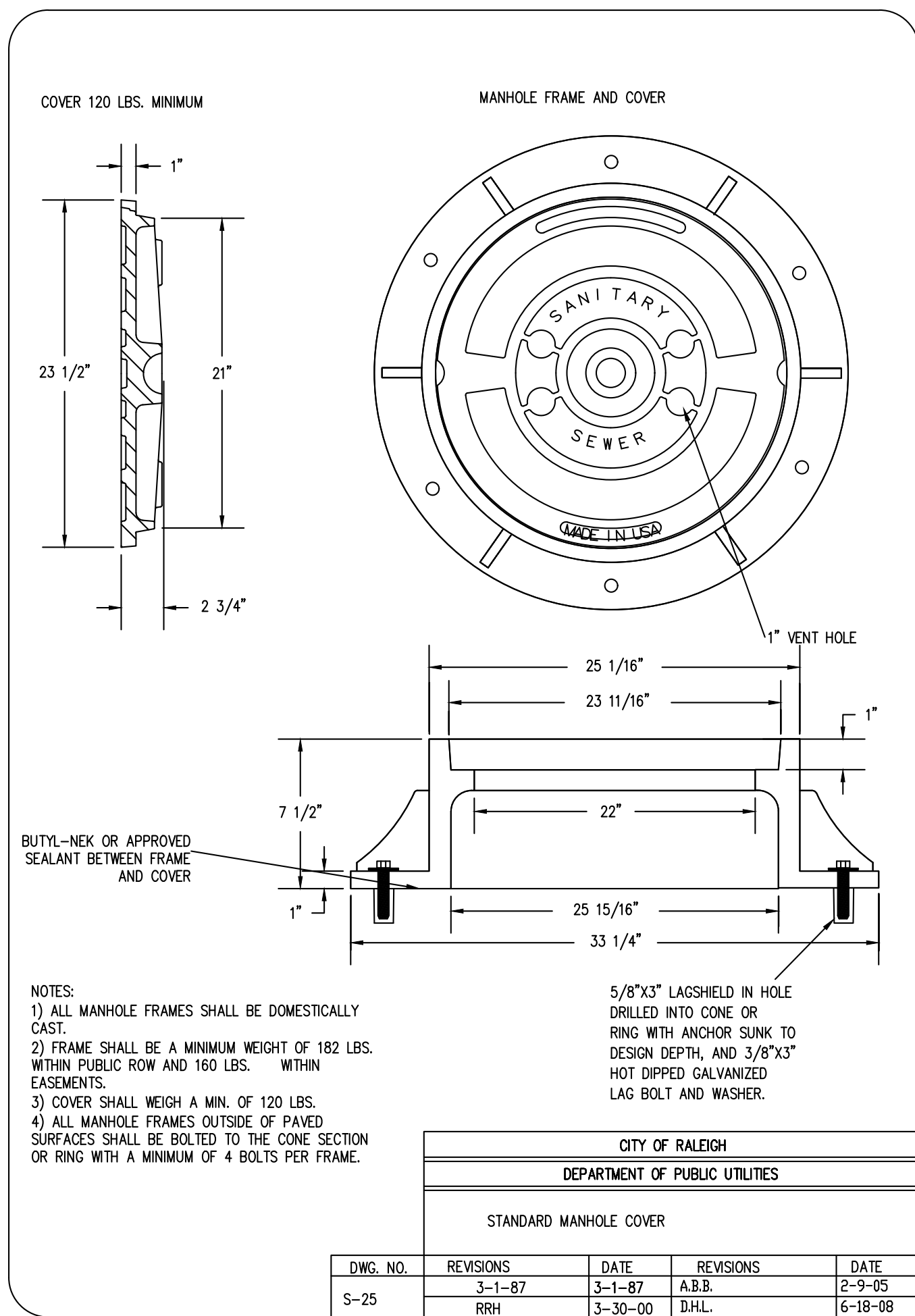
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
GRADING & DRAINAGE DETAILS

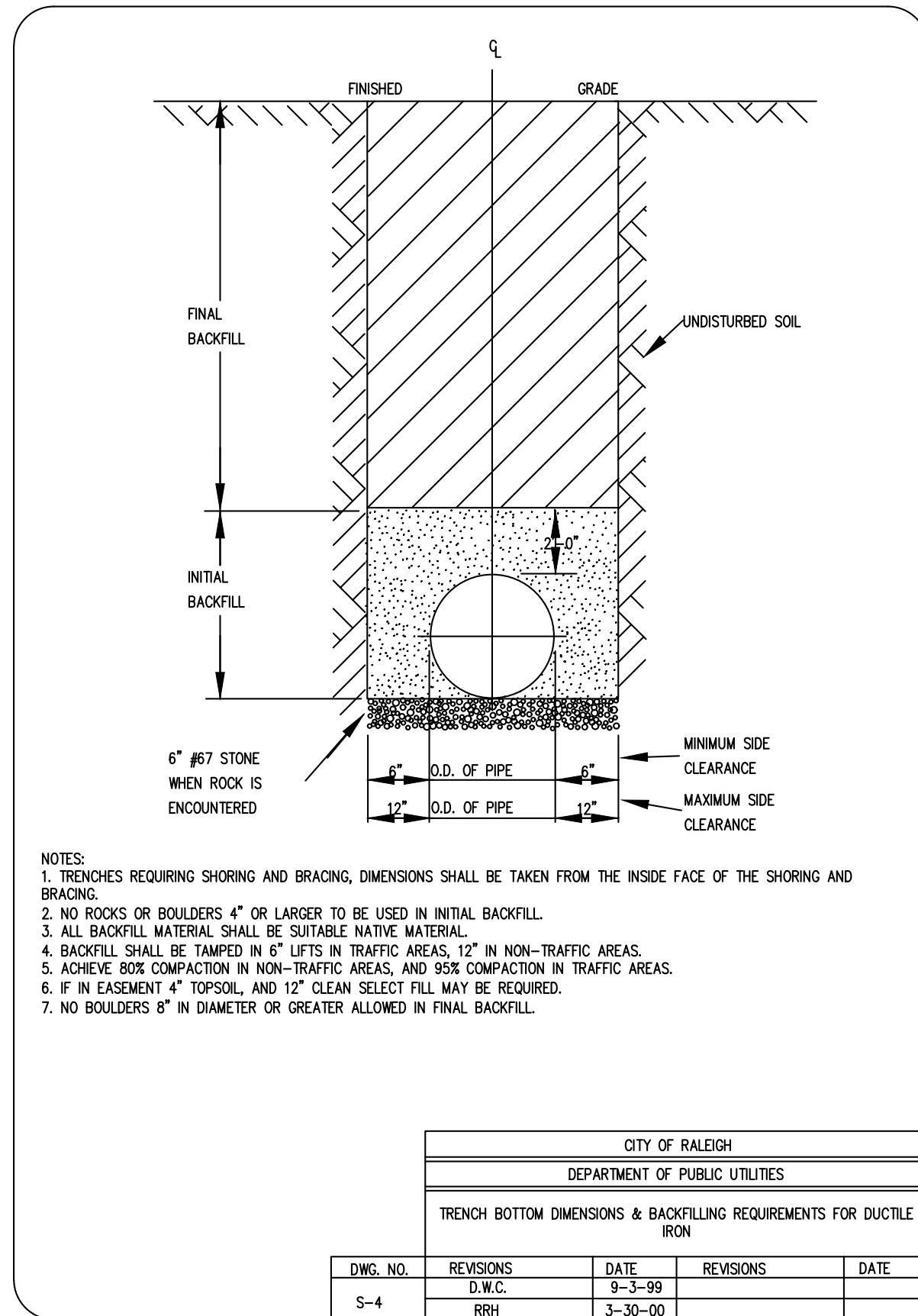
DRWG. NO. **C6.8**



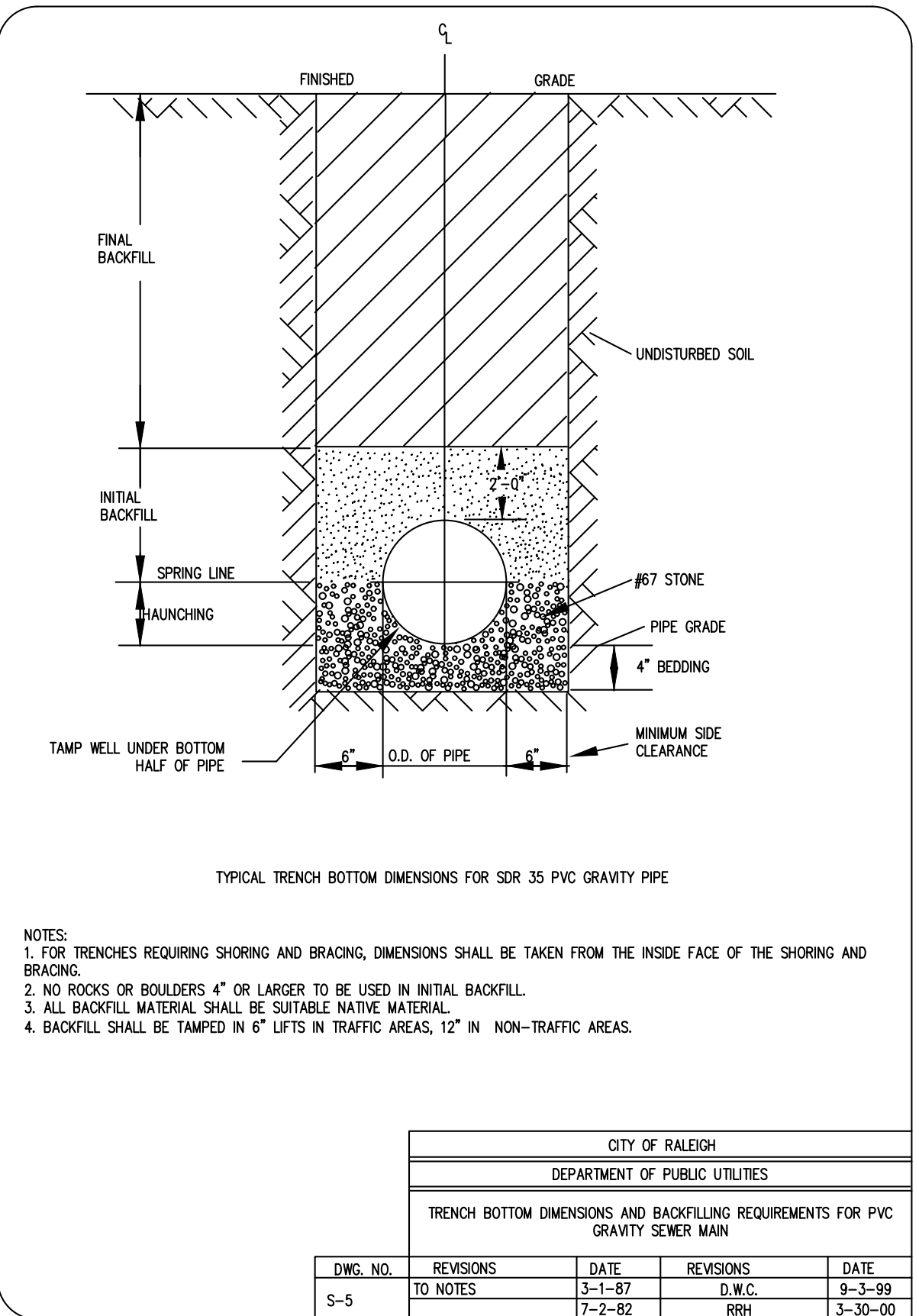
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A.	12-31-92	ABB	2-21-05
	RRH	3-30-00	D.H.L.	6-16-08



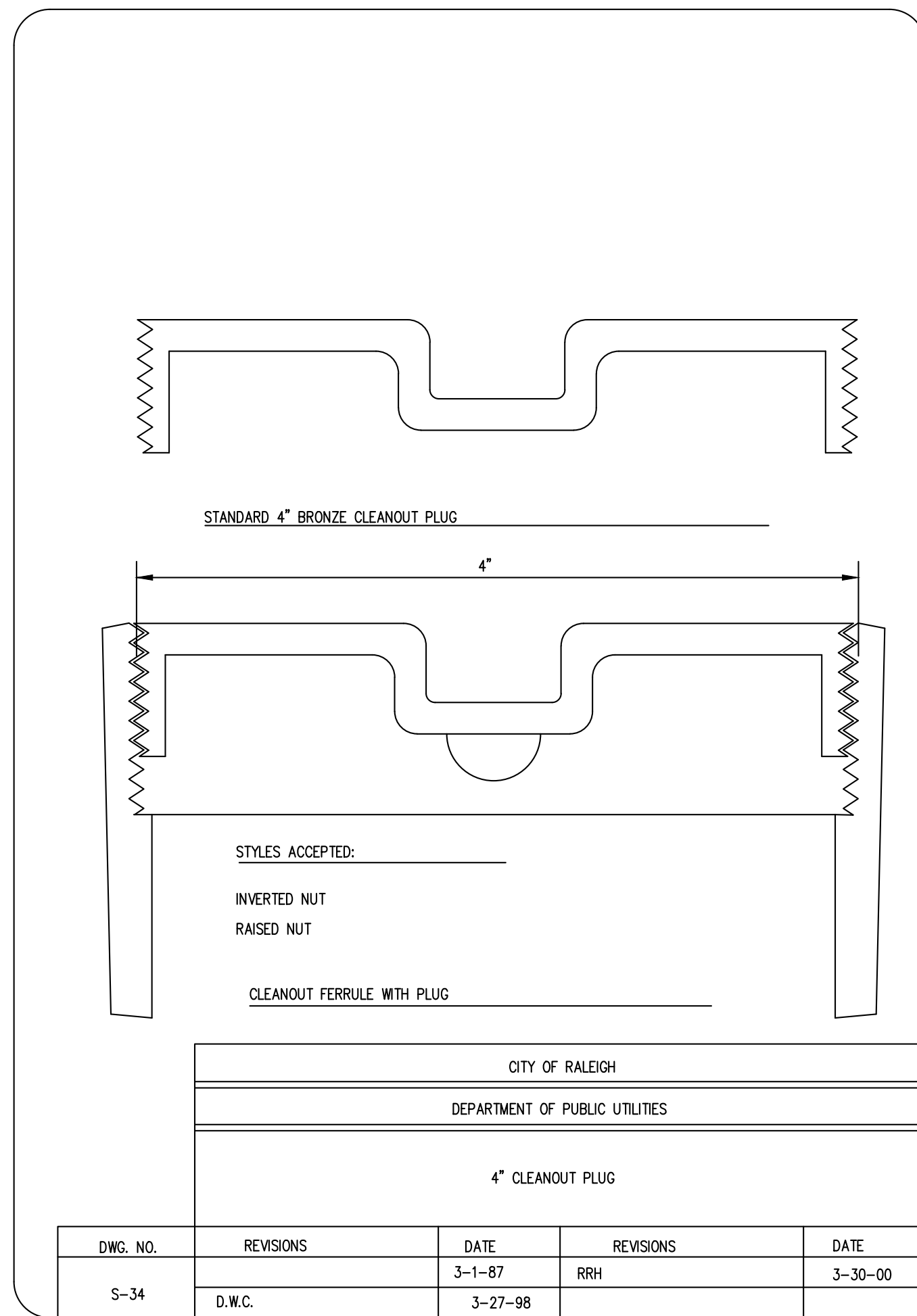
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	Y.C.A.	3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08



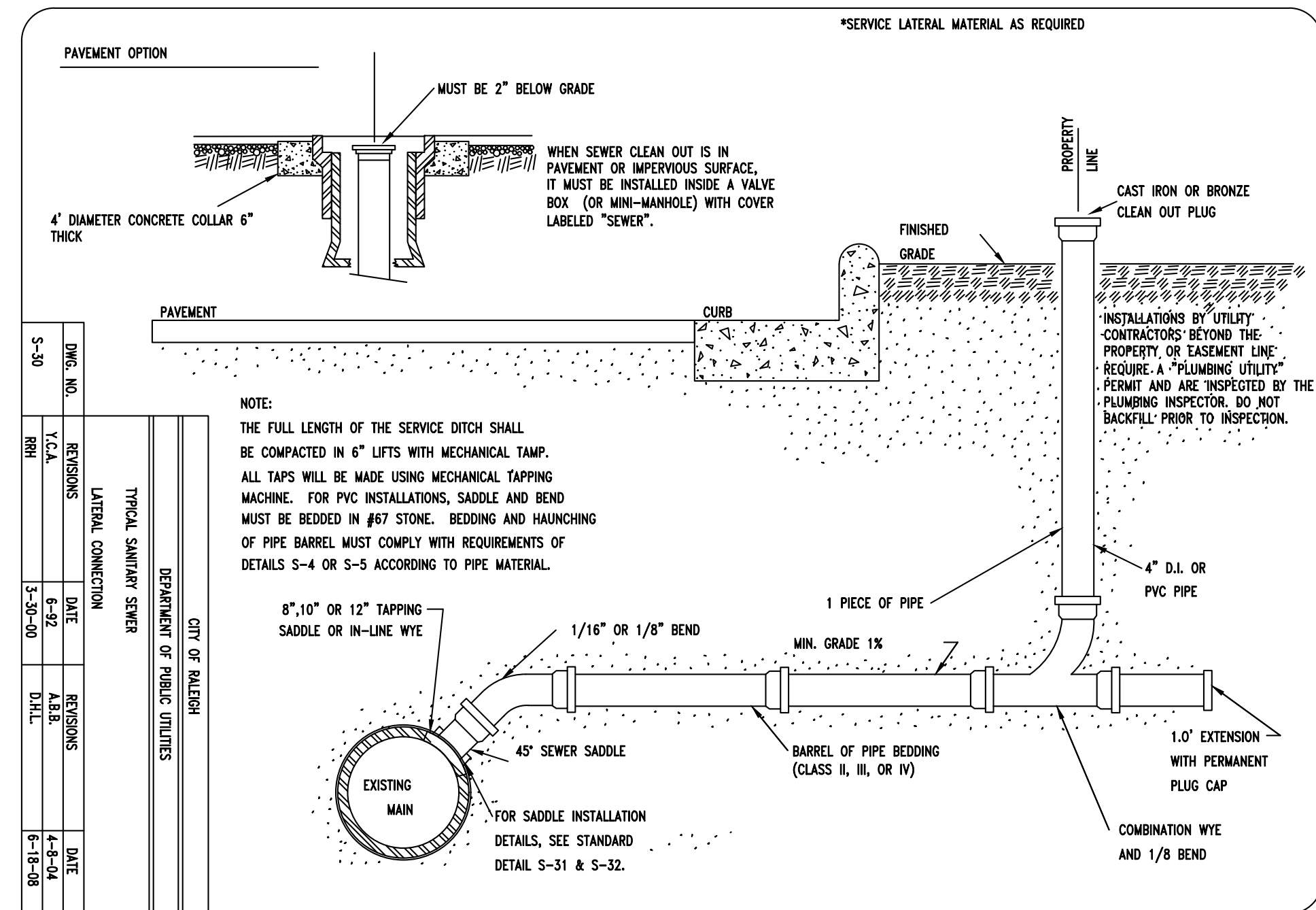
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	D.W.C.	9-3-99		
	RRH	3-30-00		



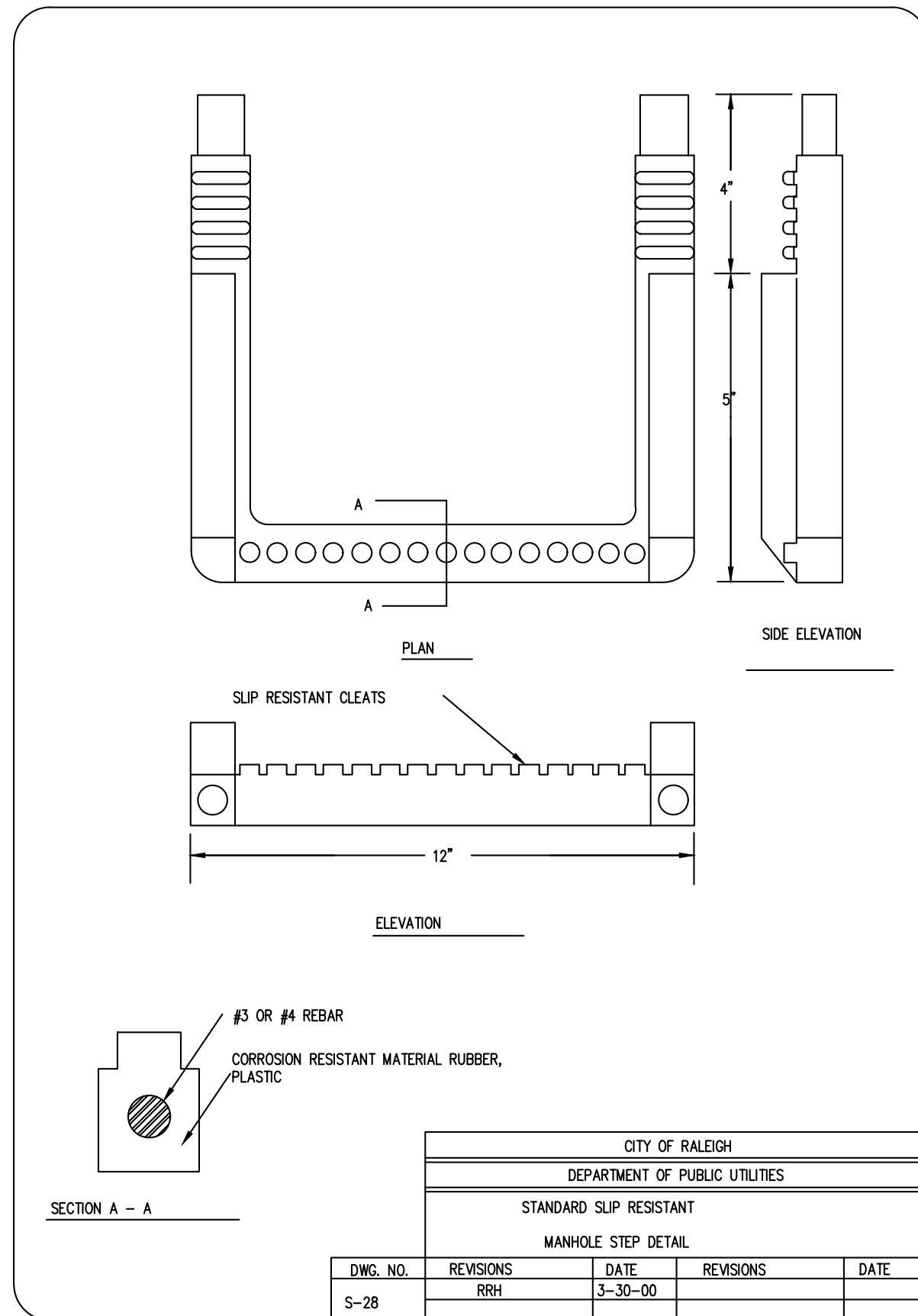
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	TO NOTES	3-1-87	D.W.C.	9-3-99
		7-2-82	RRH	3-30-00



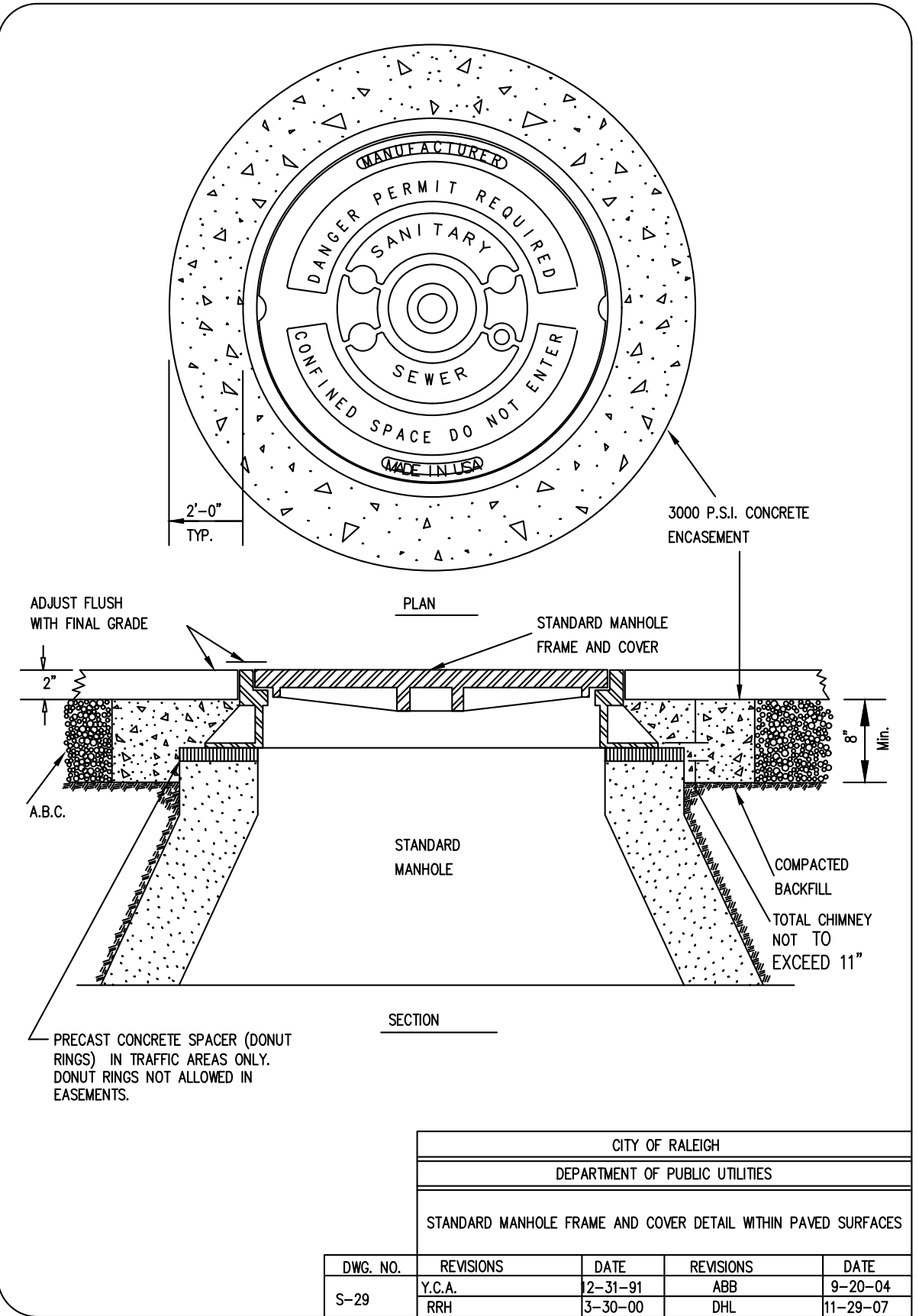
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-27-98		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-92	A.B.B.	4-30-04
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD SLIP RESISTANT MANHOLE STEP DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-28	RRH	3-30-00		

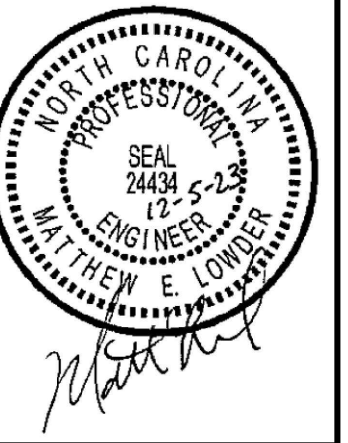


CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	Y.C.A.	2-31-91	ABB	9-20-04
	RRH	3-30-00	D.H.L.	11-29-07

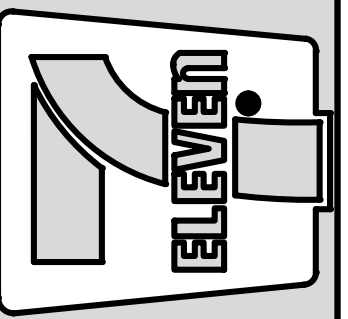
PUBLIC Water Distribution/Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # W-4087
 Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # S-5404
 Authorization to Construct See digital signature

ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)966-4540 at least twenty four hours prior to beginning any of their construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and requires reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



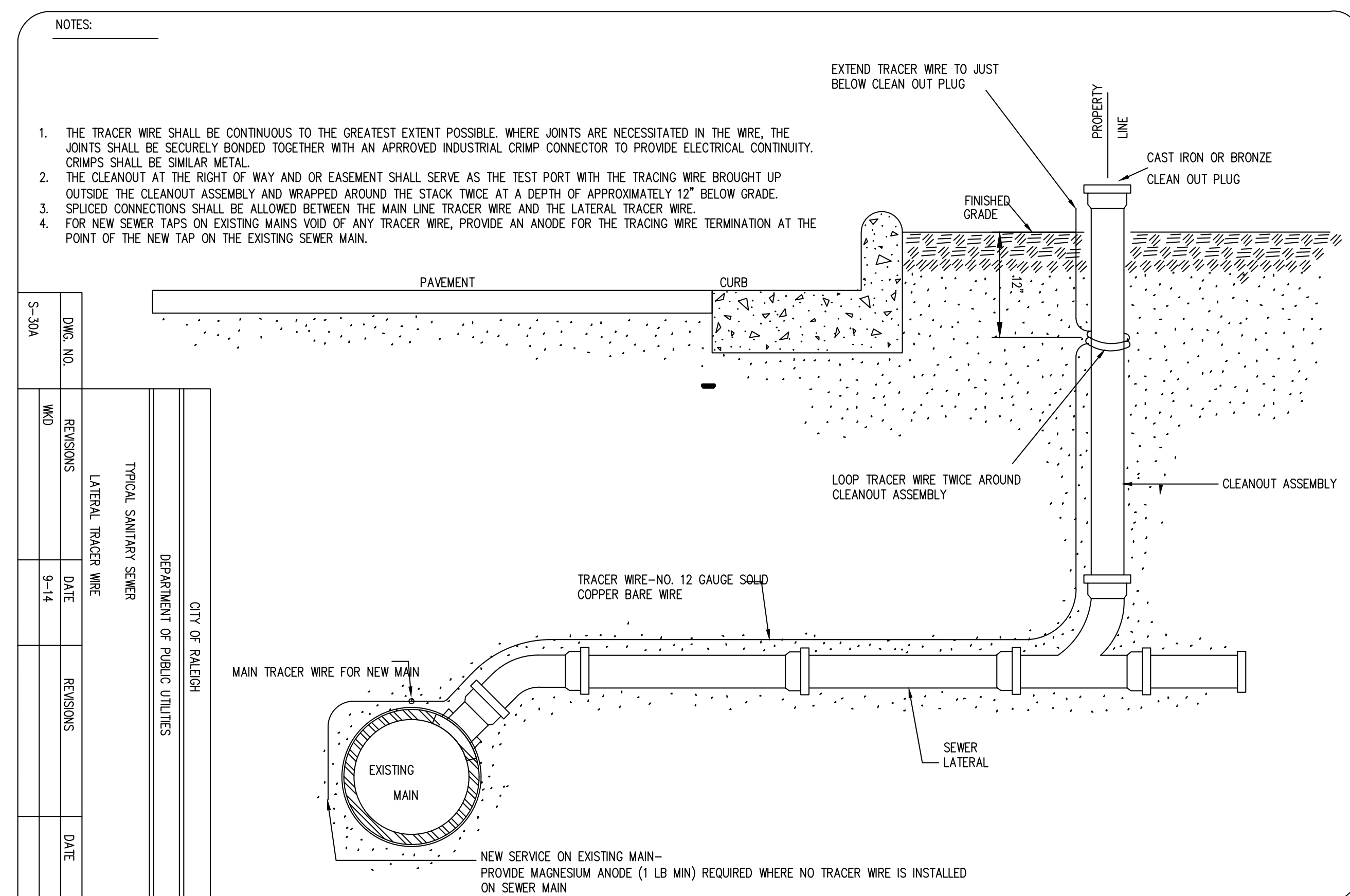
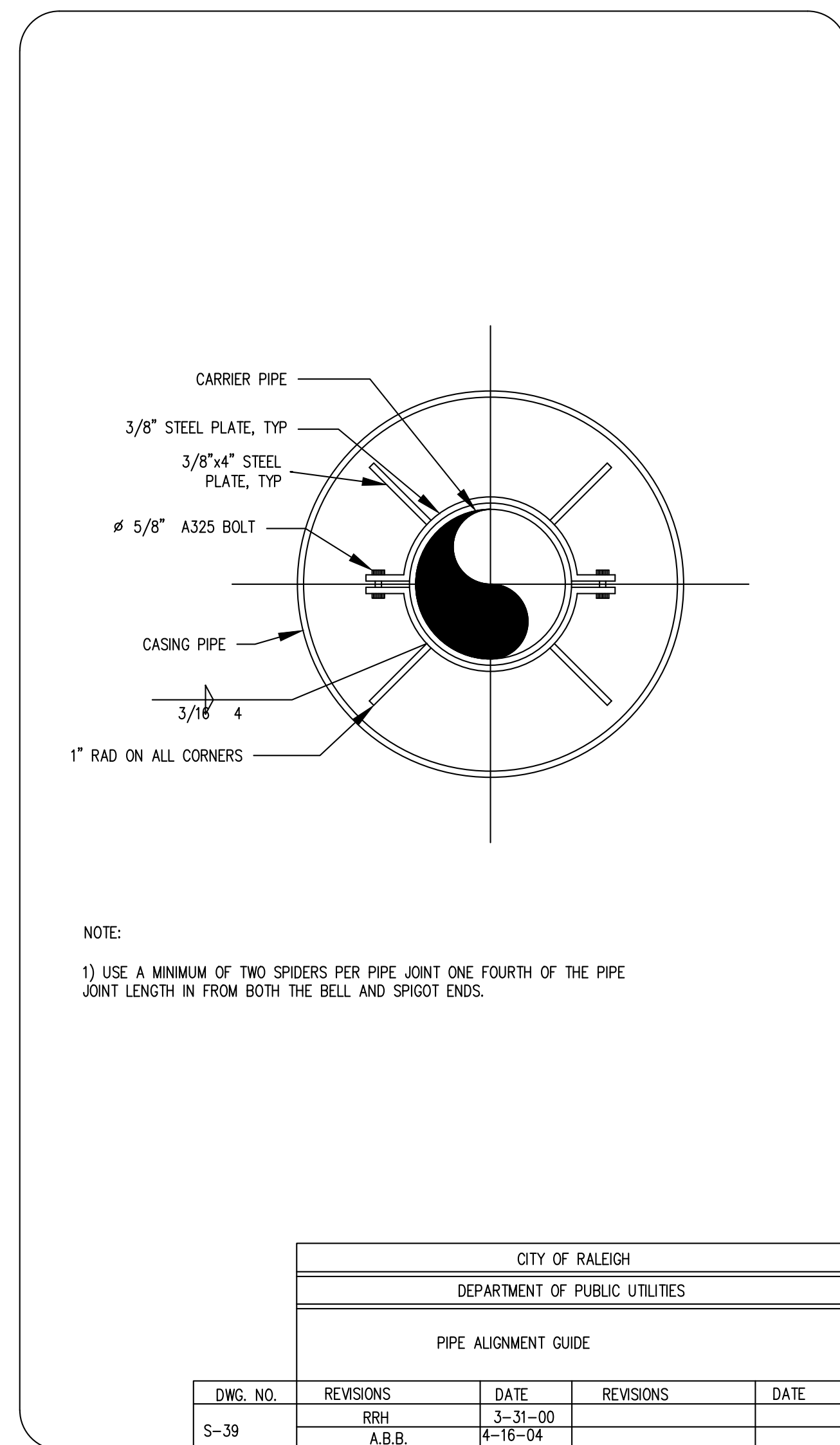
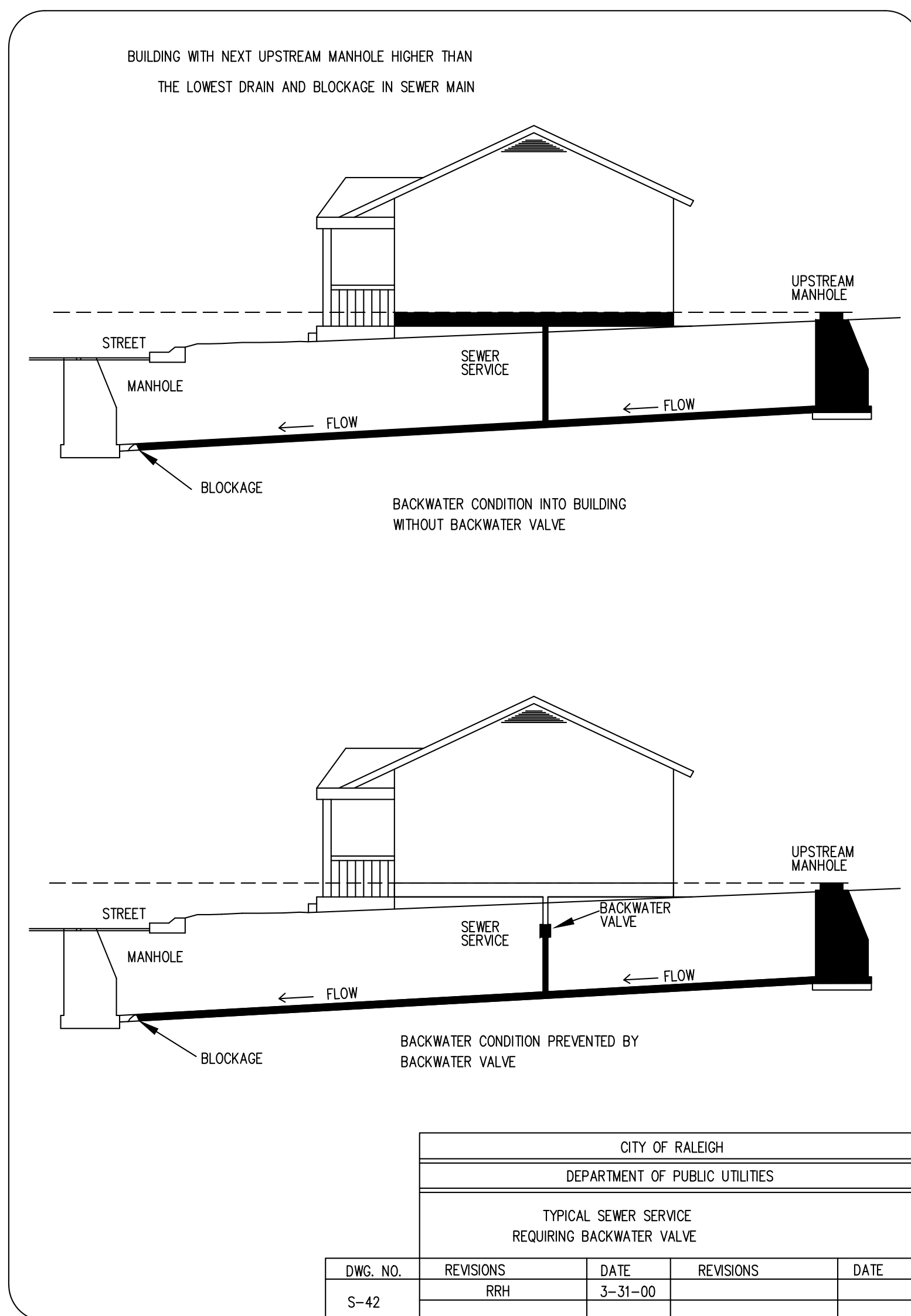
Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	REVISIONS
1	TOWN OF ZEBULON REVIEW	02/23	
2	TOWN OF ZEBULON REVIEW	02/23	

STORE OR BLDG NO.: N/A
 VERSION OR PROJECT ID: N/A
 DESIGN TEAM: DGNR, BRM & MCB
 PM/DP: ML
 REVWR: ML
 ISSUE DATE: 12/5/2023
 ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE
SEWER DETAILS



PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # VI-4287

Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5504

Authorization to Construct See digital signature

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.

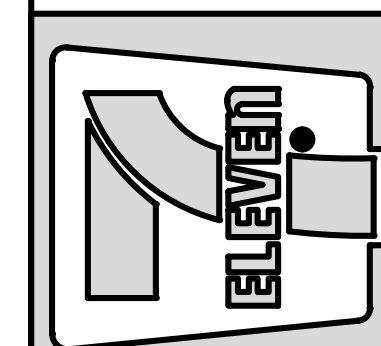
Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

Bowman
Bowman North Carolina, Ltd.
4000 State St. 14
RALEIGH, NC 27609
Phone: (919) 563-6570
bowman.com
© Bowman North Carolina, Ltd.

Professional Engineer
Matthew E. Lowmyer
Professional Seal
No. 2443
Exp. 5-12-23
Matthew E. Lowmyer

Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	REVISION DESCRIPTION
1	RRH	02/23	TOWN OF ZEBULON REVIEW
2	BRM/MCB	02/23	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.: N/A

VERSION OR PROJECT ID: N/A

DESIGN TEAM
DGNR, BRM & MCB

PM/DP: ML

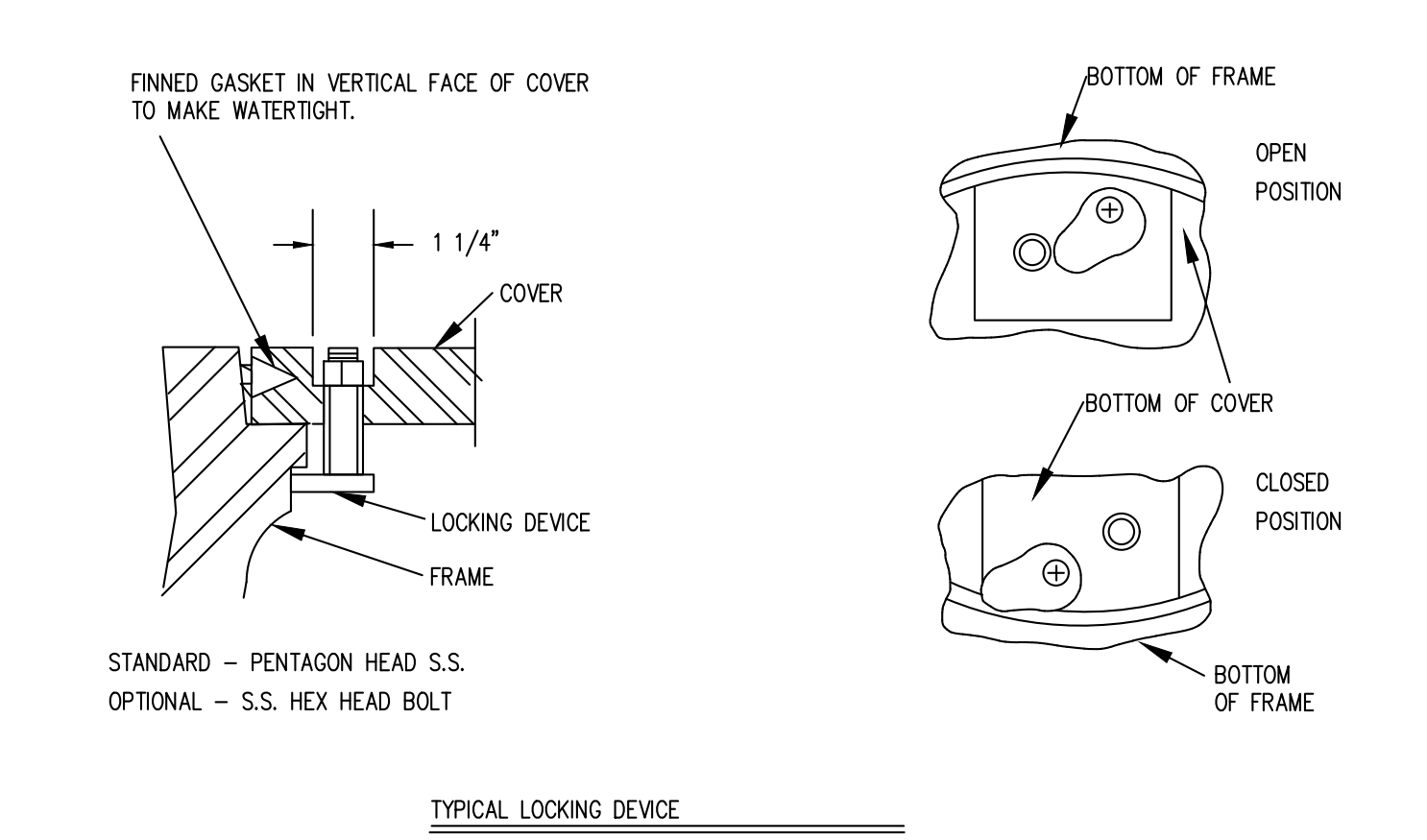
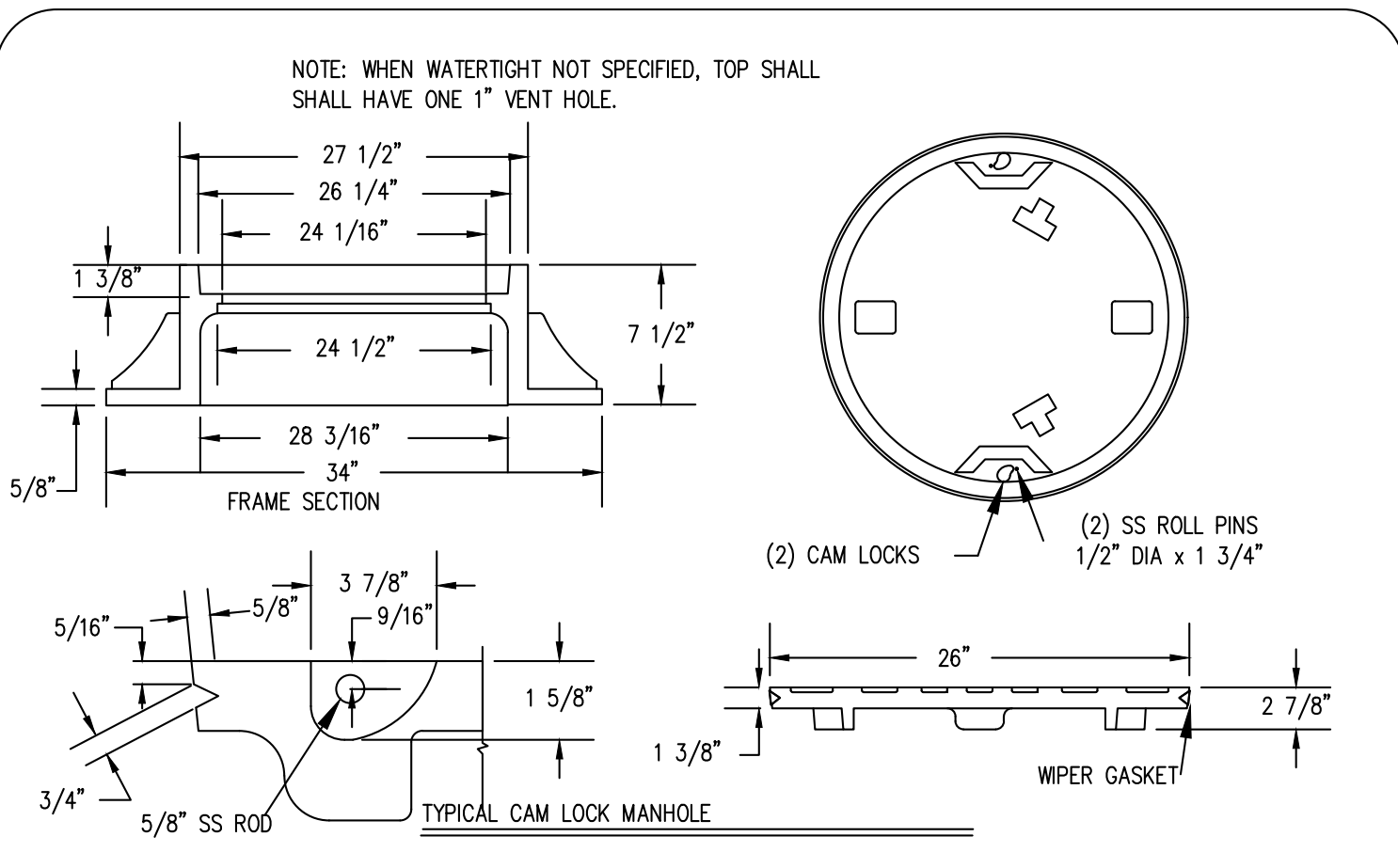
RVWR: ML

ISSUE DATE: 12/5/2023

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

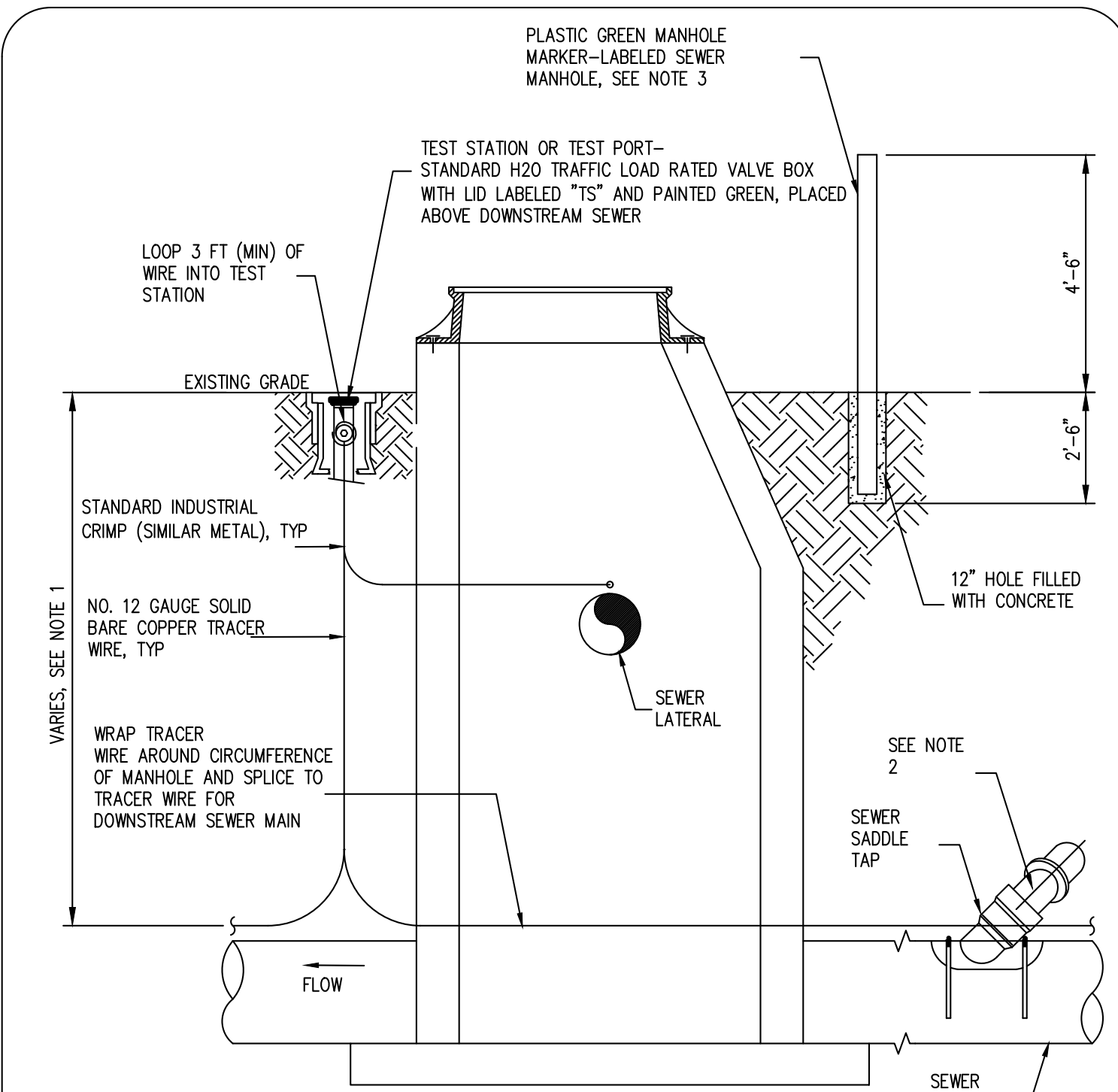
SHEET TITLE
SEWER DETAILS

DRWG. NO. **C6.10**



RING MUST BE ANCHORED IN ACCORDANCE WITH S-25

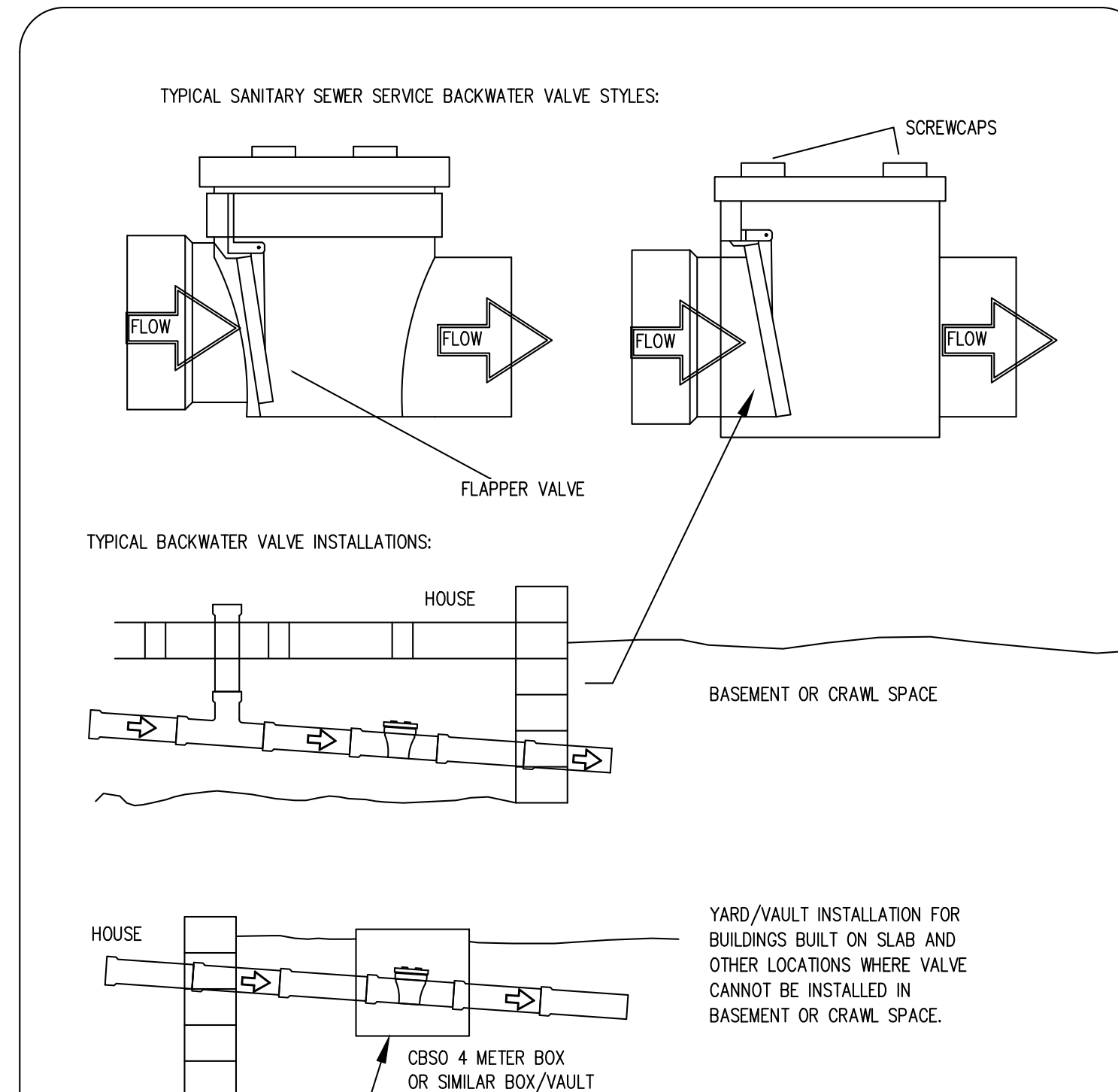
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER-TIGHT MANHOLE FRAME WITH CAM LOCK COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-27	RRH	3-30-00		
	DHL	6-16-08		



NOTES:

- THE TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. FOR GRAVITY MAIN AND OR LATERAL INSTALLATIONS LESS THAN 8 FT, THE TRACING WIRE SHALL BE ATTACHED TO THE PIPE. TRACER WIRE SHALL BE LAID FLAT AND SECURELY AFFIXED TO THE PIPE AT 10 FOOT INTERVALS. FOR GRAVITY MAIN AND OR LATERAL INSTALLATION DEEPER THAN 8 FT, THE TRACING WIRE SHALL BE INSTALLED AT A DEPTH OF 7-8 FT. THE WIRE SHALL BE PROTECTED FROM DAMAGE DURING THE EXECUTION OF THE WORK. NO BREAKS OF CUTS IN THE TRACER WIRE SHALL BE PERMITTED.
- WHERE LATERAL TAPS ARE MADE BY SERVICE SADDLES, THE TRACER WIRE SHALL NOT BE ALLOWED TO BE PLACED BETWEEN THE SADDLE AND MAIN.
- MANHOLE MARKERS SHALL BE PLACED ADJACENT TO MANHOLES AT THE DISCRETION OF OWNER OR OWNER'S REPRESENTATIVE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20A	WKO	09-14		



NOTES:

- INSTALLATIONS OF GREATER THAN 4' IN DEPTH MAY REQUIRE MANHOLE.
- VALVES MUST BE INSTALLED IN A LOCATION AT WHICH THEY CAN BE CLEANED AND SERVICED REGULARLY.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER SERVICE BACK-WATER VALVE INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-38	RRH	3-31-00		

PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # 11-41887
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5304
Authorization to Construct See digital signature

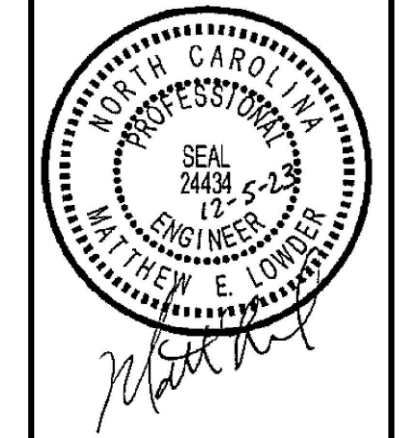
ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.

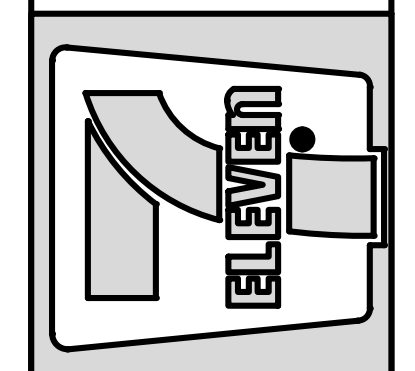
Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violations of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

Bowman
Bowman North Carolina Ltd.
4000 S. RAY
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE REVISION	REVISION DESCRIPTION
12/23/22	TOWN OF ZEBULON REVIEW
12/23/22	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE: **SEWER DETAILS**
DRWG. NO.: **C6.11**

SCM element:	Potential problems:	How to remediate the problem:
The entire wetland	Trash/debris is present.	Remove the trash/debris.
The perimeter wetland	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.
Inlet device	The inlet pipe is clogged (if applicable). The inlet pipe is cracked or otherwise damaged (if applicable).	Unclog the pipe. Dispose of the sediment in a location where it will not cause impacts to streams or the SCM. Repair or replace the pipe.
Forebay	Erosion is occurring in the swale (if applicable). Sediment has accumulated in the forebay to a depth of less than 15" or that inhibits the forebay from functioning well. Erosion has occurred.	Regrade the swale if necessary and provide erosion control devices such as reinforced turf matting or riprap to avoid future problems with erosion. Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM. Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	Weeds are present.	Remove the weeds, preferably by hand. If a pesticide is used, wipe it on the plants rather than spraying.
	Algal growth covers over 30% of the deep pool and shallow water areas. Cattails, phragmites or other invasive plants cover 30% of the deep pool and shallow water areas.	Consult a professional to remove and control the algal growth. Remove the invasive plants by hand or by wiping them with pesticide (do not spray) - consult a professional.
Deep pool, shallow water areas	The temporary inundation zone remains flooded more than 5 days after a storm event. Plants are dead, diseased or dying.	Unclog the outlet device immediately. Determine the source of the problem: soil, hydrology, disease, etc. Remove the problem and replace plants. Provide a one-time fertilizer application to establish the ground cover if necessary.
	Sediment has accumulated and reduced the depth to 75% of the original design depth of the deep pools. A tree has started to grow on the embankment.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM. If tree is <6" in diameter, remove the tree. If the tree is >6" in diameter, consult a dam safety specialist to remove the tree.
Embankment	An annual inspection by an appropriate professional shows that the embankment needs repair. Evidence of muskrat or beaver activity is present.	Make all needed repairs. Consult a professional to remove muskrats or beavers and repair any holes or erosion.
Micropool	Sediment has accumulated and reduced the depth to 75% of the original design depth.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
Outlet Structure	Clogging has occurred. The outlet device is damaged.	Clean out the outlet device. Dispose of the sediment off-site. Repair or replace the outlet device.
Receiving water	Erosion or other signs of damage have occurred at the outlet. Discharges from the wetland are causing erosion or sedimentation in the receiving water.	Repair the damage and improve the flow dissipation structure. Contact the local NCDQ Regional Office.

TYPICAL SHALLOW WATER PLANTING SCHEDULE

SCIENTIFIC NAME	COMMON NAME	PLANTING ZONE	QUANTITY	HEIGHT	IDEAL DEPTH	NURSERY CONTAINER TYPE	SPACING	PLANTING SEASON
<i>Juncus effusus</i>	Common Rush	SHALLOW WATER	291	9" FOLIAGE HEIGHT	0-2"	4" TEA POT	2' O.C.	SPRING/SUMMER
<i>Liseola carolinensis</i>	Caroline Grasswort	SHALLOW WATER	291	9" FOLIAGE HEIGHT	0-9"	4" TEA POT	2' O.C.	SPRING/SUMMER
<i>Sagittaria arifolia</i>	Softstem Bulrush	SHALLOW WATER	291	9" FOLIAGE HEIGHT	0-6"	4" TEA POT	2' O.C.	SPRING/SUMMER

TYPICAL TEMPORARY INUNDATION ZONE PLANTING SCHEDULE

SCIENTIFIC NAME	COMMON NAME	PLANTING ZONE	QUANTITY	HEIGHT	NURSERY CONTAINER TYPE	SPACING	PLANTING SEASON
<i>Eutrochium dubium</i>	Coastal Joy Jay Weed	SHALLOW LAND	219	9" FOLIAGE HEIGHT	4" TEA POT	2' O.C.	SPRING/SUMMER
<i>Eupatorium erfolium</i>	Bonnet	SHALLOW LAND	219	9" FOLIAGE HEIGHT	4" TEA POT	2' O.C.	SPRING/SUMMER
<i>Rhynchospora colorata</i>	Stomach Whitetop	SHALLOW LAND	219	9" FOLIAGE HEIGHT	4" TEA POT	2' O.C.	SPRING/SUMMER

PLANTINGS

- #### SEEDBED PREPARATION:
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - REP THE ENTIRE AREA TO SIX INCHES DEEP.
 - REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE SEEDING MIXTURE).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT SOEC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

LANDSCAPING NOTES:

ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE NCDQ BMP REQUIREMENTS.

LANDSCAPE CONTRACTOR SHALL PROVIDE A TWO-YEAR WARRANTY FOR BMP PLANTING SURVIVAL/REPLACEMENT. AT THE END OF THE FIRST YEAR AND AT THE END OF THE TWO-YEAR WARRANTY PERIOD, ALL PLANTS THAT DO NOT SURVIVE MUST BE REPLACED.

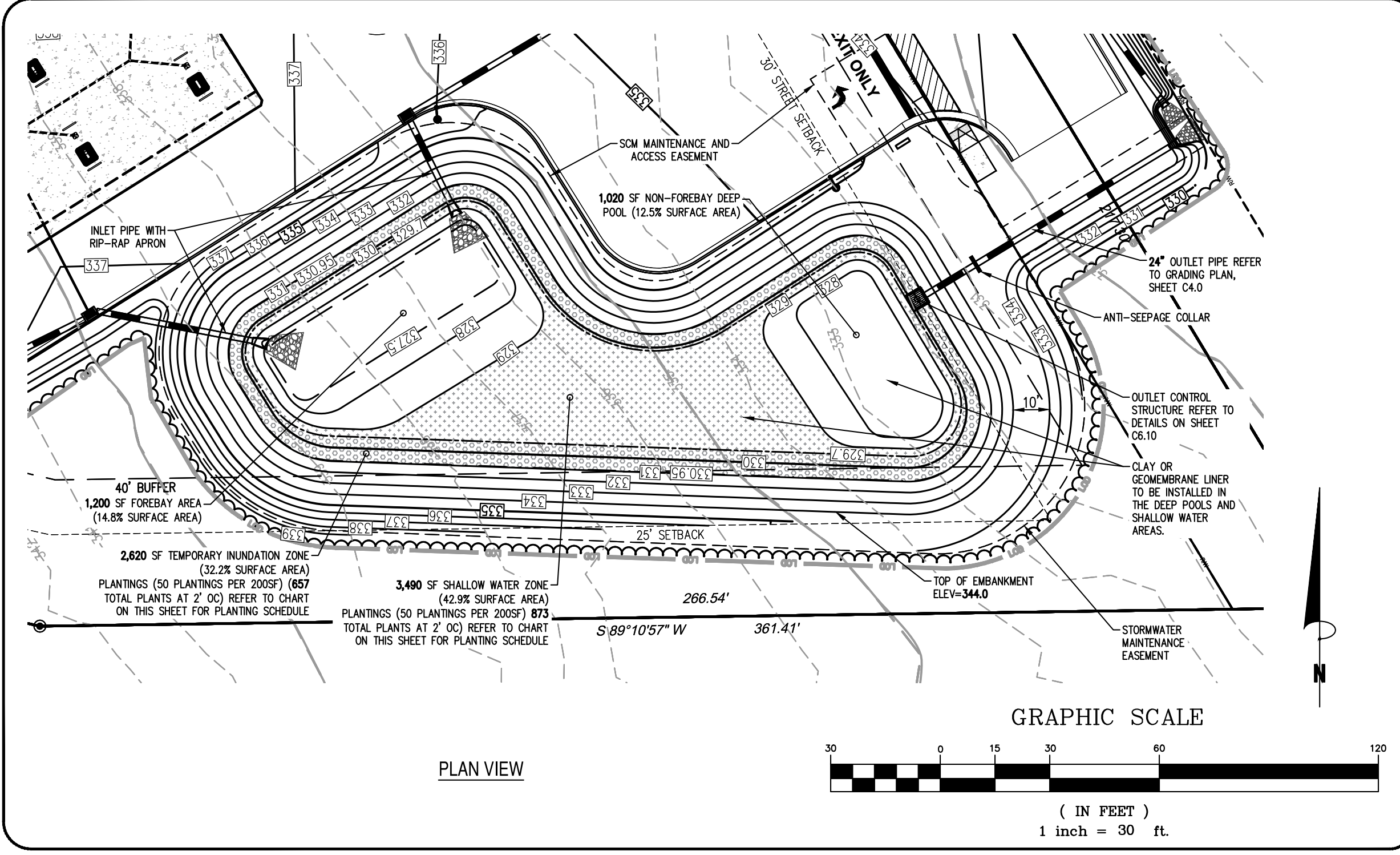
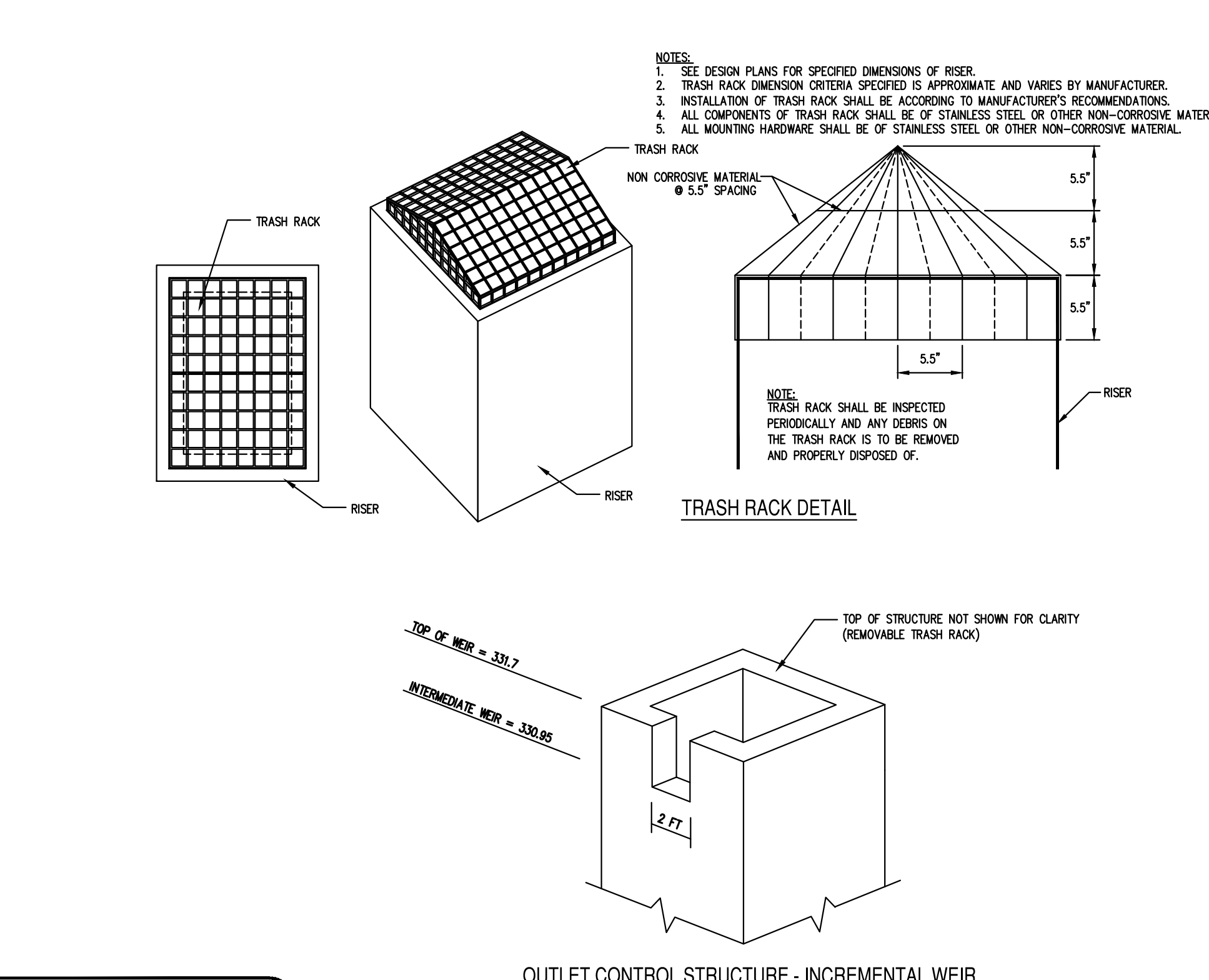
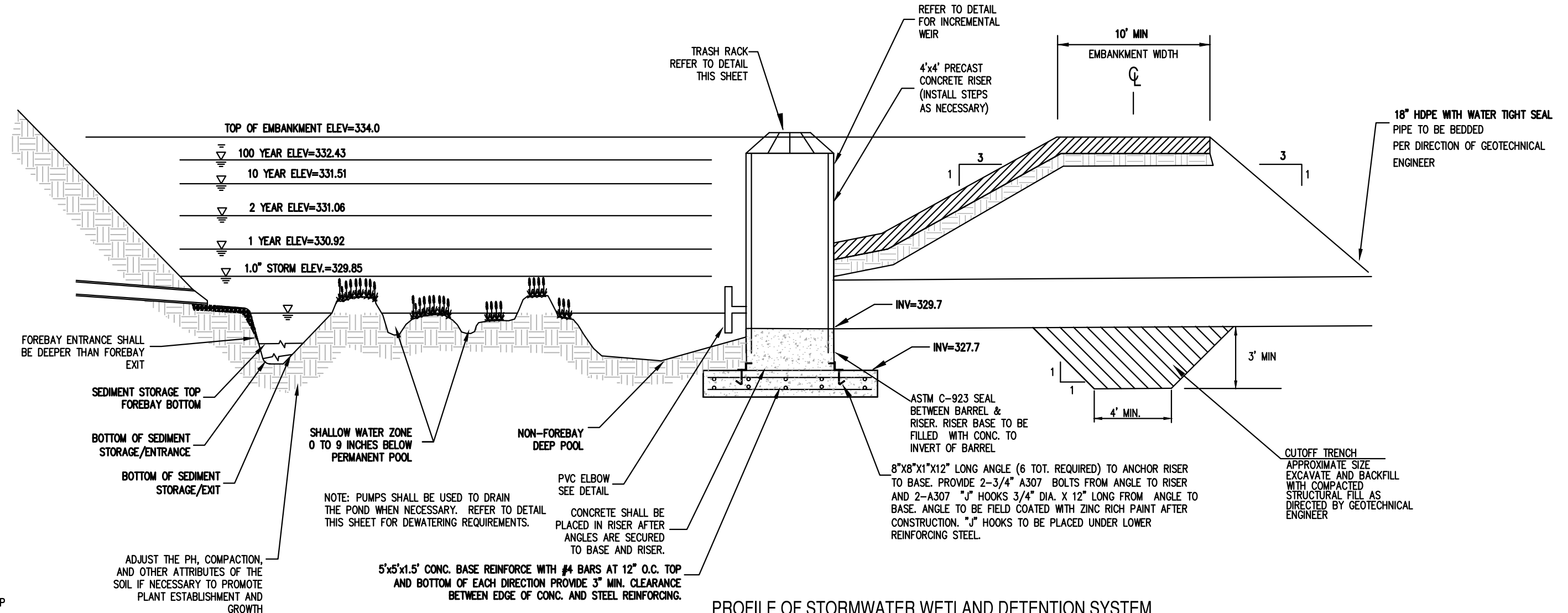
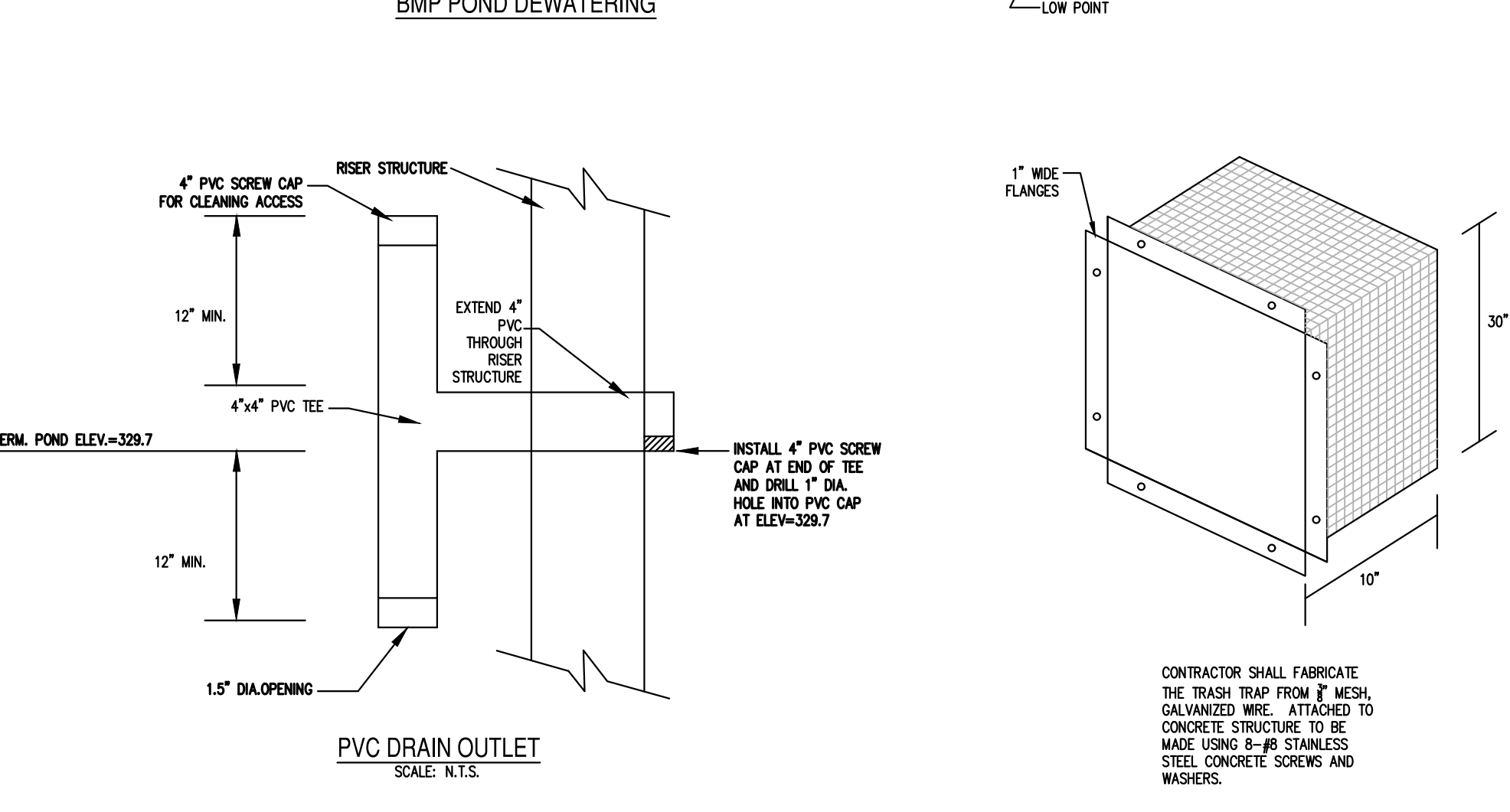
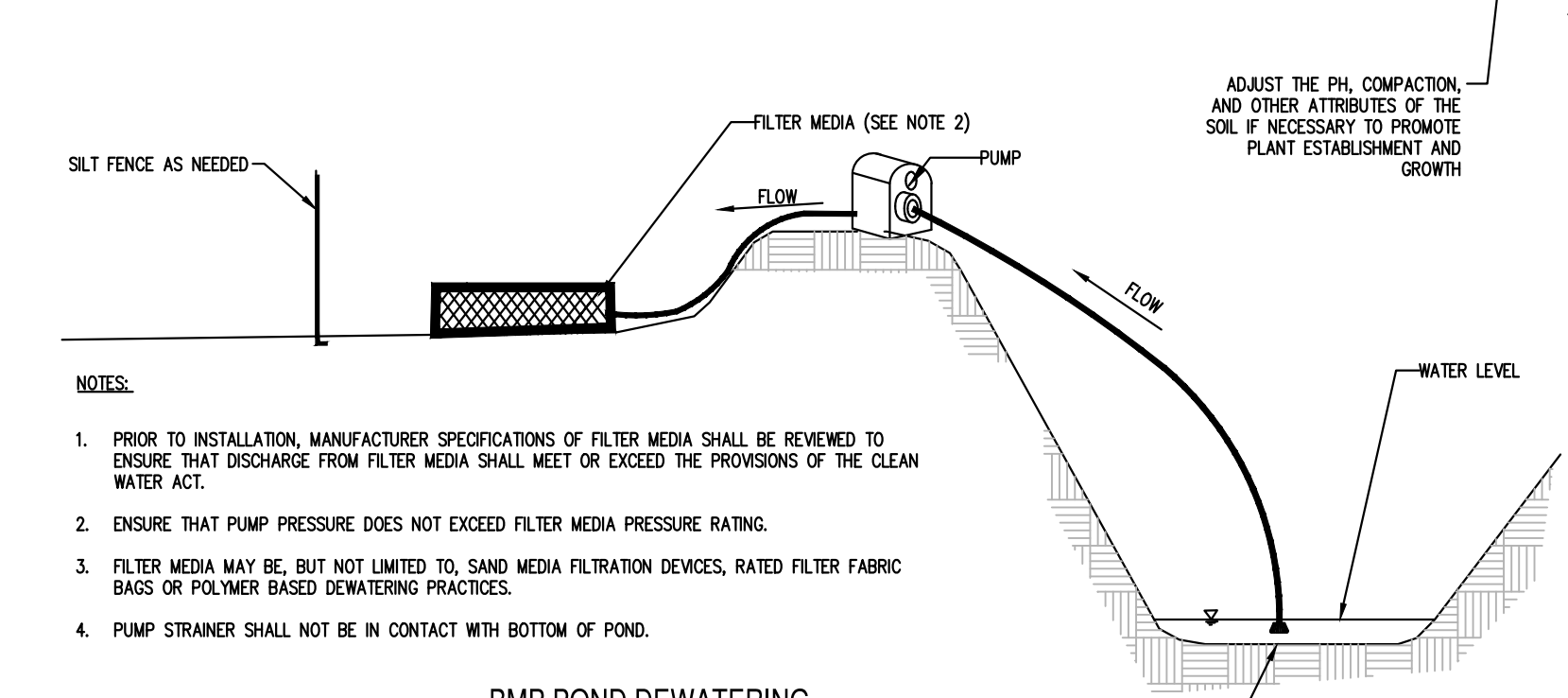
ESTABLISHMENT PROCEDURES, SUCH AS CONTROL OF INVASIVE WEEDS, ANIMAL AND VANDAL DAMAGE, MULCHING, RE-SEEDING, WATERING, AND WEED OR TIE PROTECTION REPLACEMENT, SHALL BE MAINTAINED TO THE EXTENT NEEDED TO ENSURE PLANT SURVIVAL. STAKING MUST BE REMOVED AFTER ESTABLISHMENT (APPROXIMATELY 12 MONTHS), TO PREVENT GIRDLING (STRANGLING) OF ALL WOODY PLANTS.

SOO TO BE BERBERIS OR CENTIPEDE GRASS. REFER TO LANDSCAPE PLAN FOR LOCATION OF AREAS TO BE SOODED.

GRASS OR WILDFLOWER SEED MUST BE APPLIED AT THE RATES SPECIFIED BY THE SUPPLIERS. IF PLANT ESTABLISHMENT CANNOT BE ACHIEVED WITH SEEDING BY THE TIME OF SUBSTANTIAL COMPLETION OF THE STORMWATER FACILITY PORTION OF THE PROJECT, THEN THE CONTRACTOR SHALL PLANT THE AREA WITH WILDFLOWER SEEDS, PLUGS, CONTAINER PLANTS, OR OTHER MEANS TO COMPLETE THE SPECIFIED PLANTING AND PROTECT AGAINST EROSION BEFORE WATER IS ALLOWED TO ENTER THE STORMWATER BMP FACILITY.

ALL MATERIALS SHALL BE ACQUIRED FROM AN APPROVED NCDQ PLANT VENDOR. PLANT MATERIAL SHOULD BE PURCHASED FROM A LOCAL SOURCE TO ENSURE SURVIVABILITY. LOCAL VENDORS FOR THIS SITE INCLUDE:
 - OLLIE'S NATIVE PLANT NURSERY 919-962-5566
 - GROWING WILD NURSERY 910-229-6361
 - NC FOREST SERVICE 919-731-7988
 - PLANT DELIGHTS NURSERY 919-772-4794
 - TARBELL NATIVE TREES 919-553-5927

- #### STORMWATER MANAGEMENT NOTES:
- THE DEVELOPER OR HIS AGENT SHALL CONTACT THE DESIGN ENGINEER WHEN THE BEST MANAGEMENT PRACTICES ARE CONSTRUCTED AND ABOUT TO BECOME OPERATIONAL SO A FINAL INSPECTION CAN BE PERFORMED TO DETERMINE COMPLIANCE WITH THE APPROVED PLAN CAN BE PERFORMED.
 - ANNUAL MAINTENANCE INSPECTION AND REPORT REQUIRED - THE OWNER OF A PERMITTED STRUCTURAL STORMWATER BMP/CONTROL SHALL ANNUALLY SUBMIT A MAINTENANCE AND INSPECTION REPORT FOR EACH BMP TO THE STORMWATER ADMINISTRATOR. ANNUAL INSPECTIONS SHALL BEGIN WITHIN ONE YEAR OF THE RECOMPLETION OF ANY DEVICES SHOWING STORMWATER BMP/CONTROL STRUCTURES.
 - UPON COMPLETION OF THE PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE ENGINEER OF RECORD SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS.
 - A FINAL INSPECTION OF THE SITE AND STORMWATER MANAGEMENT BMP/CONTROLS TO BE SCHEDULED WITH AND COMPLETED BY THE PROJECT ENGINEER.
 - NCDQ AND THEIR ASSIGNS HAVE RIGHT TO ACCESS THE STORMWATER CONTROL(S) FOR INSPECTIONS OR MAINTENANCE AS NECESSARY.
 - THE ENGINEER'S CERTIFICATION OF COMPLETION WILL BE REQUIRED PRIOR TO THE FINAL PLAT OR CERTIFICATE OF OCCUPANCY. THE STORMWATER CONTROL IS TO BE INSPECTED TO ENSURE IT IS FUNCTIONING AS DESIGNED AND HAS FULL DESIGN VOLUME PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
 - THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE STORMWATER CONTROL(S) ACCORDING TO THE APPROVED MAINTENANCE PLAN AND DIRECTION OF NCDQ.



STAGE/STORAGE TABLE

STAGE (FT)	ELEVATION (FT)	CONTOUR AREA (SF)	INCREMENTAL STORAGE (CF)	TOTAL STORAGE (CF)
0.0	329.7	8,130	0	0
0.3	330.0	8,990	2,586	2,586
1.0	330.85	10,770	9,381	11,967 (MOV)
1.5	331.0	10,840	940	12,489
2.3	332.0	12,400	11,620	24,108
3.3	333.0	14,010	13,205	37,313
4.3	334.0	15,680	14,845	52,158

STORMWATER MANAGEMENT DESIGN STORMWATER WETLAND:

RIVER BASIN:	NEUSE
RECEIVING STREAM:	MOCCASIN CREEK
STREAM INDEX:	27-86-2.4
STREAM CLASS:	CNSW
HUC:	03020203
PROJECT COORDINATES:	35,836261N, -78,321664W
POND DESIGN SUMMARY:	3.16 ACRES
DRAINAGE AREA TO POND:	1.77 ACRES
SITE IMPERVIOUS AREA TO POND:	0.14 ACRES
OFF-SITE DESIGN IMPERVIOUS AREA TO POND:	0.14 ACRES
TOTAL DESIGN IMPERVIOUS AREA TO POND:	1.91 ACRES
PRE-DEVELOPED TO POND:	3.41 AC
POST-DEVELOPED THROUGH POND:	3.16 AC
POST DEVELOPED TO POND:	0.13 AC
POST DEVELOPED COMBINED:	73
DRAINAGE AREA:	57
CURVE NUMBER:	24 MIN
TIME OF CONCENTRATION:	83
	5 MIN
	10 MIN
1.0\" STORM EVENT:	0.224 CFS
1-YEAR STORM EVENT:	0.224 CFS
2-YEAR STORM EVENT:	0.743 CFS
10-EAR STORM EVENT:	3.321 CFS
100-YEAR STORM EVENT:	9.617 CFS
POST DEVELOPED:	0.245 CFS
POST DEVELOPED THROUGH POND:	7.077 CFS
POST DEVELOPED TO POND:	0.283 CFS
POST DEVELOPED COMBINED:	17.25 CFS
	2.248 CFS
	0.446 CFS
	2.697 CFS
	11.62 CFS

1 STORMWATER MANAGEMENT SYSTEM DETAILS
NOT TO SCALE

Bowman
Bowman North Carolina Ltd.
4000 Lakeville Dr
Suite 101
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.

Matthew E. Lowmyer
Professional Engineer
No. 24378

Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

NO.	REVISION	DESCRIPTION	DATE
1	REVISED	REVISION DESCRIPTION	
2			
3			
4			
5			
6			
7			
8			
9			
10			

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM:
DGNR, BRM & MCB

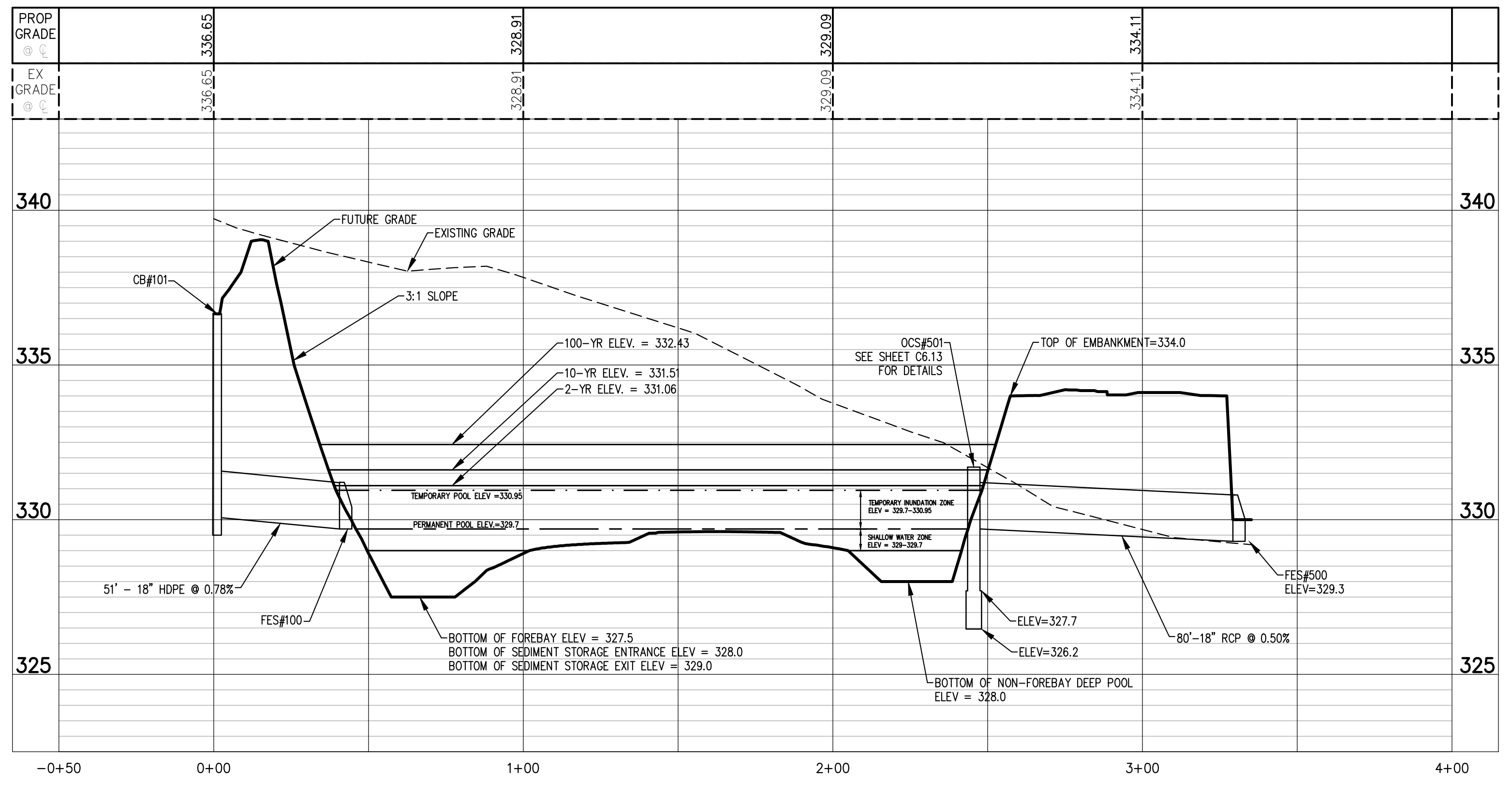
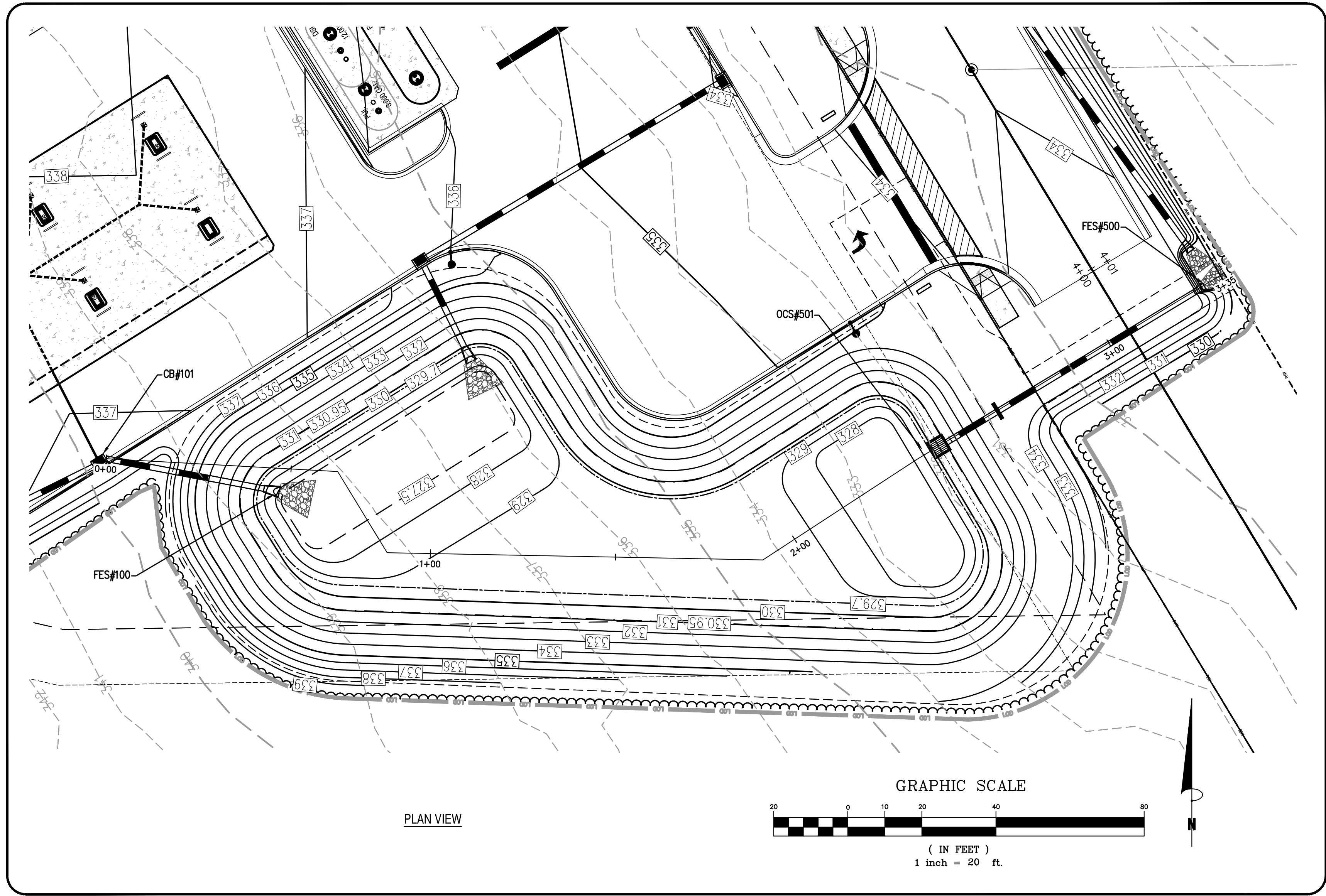
PM/DP: ML
R/W: ML

ISSUE DATE: 12/5/2023

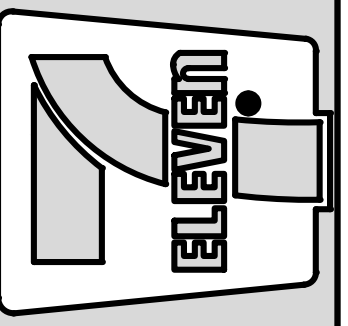
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27597

SHEET TITLE:
STORMWATER MANAGEMENT DETAILS

DRWG. NO.:



POND PROFILE VIEW
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 3'

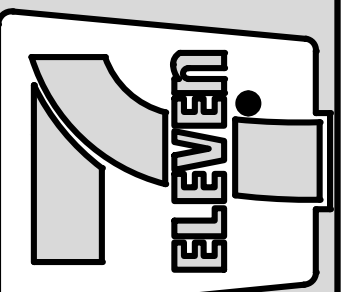


NO.	REVISION DESCRIPTION	DATE	BY	CHKD.
1	TOWN OF ZEBULON REVIEW	12/23/23	BRM	MIC
2	TOWN OF ZEBULON REVIEW	12/23/23	BRM	MIC

STORE OR BLDG NO.: N/A
 VERSION OR PROJECT ID: N/A
 DESIGN TEAM: DGNR, BRM & MICB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 12/5/2023
 ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE
STORMWATER WETLAND PROFILE

DRWG. NO.



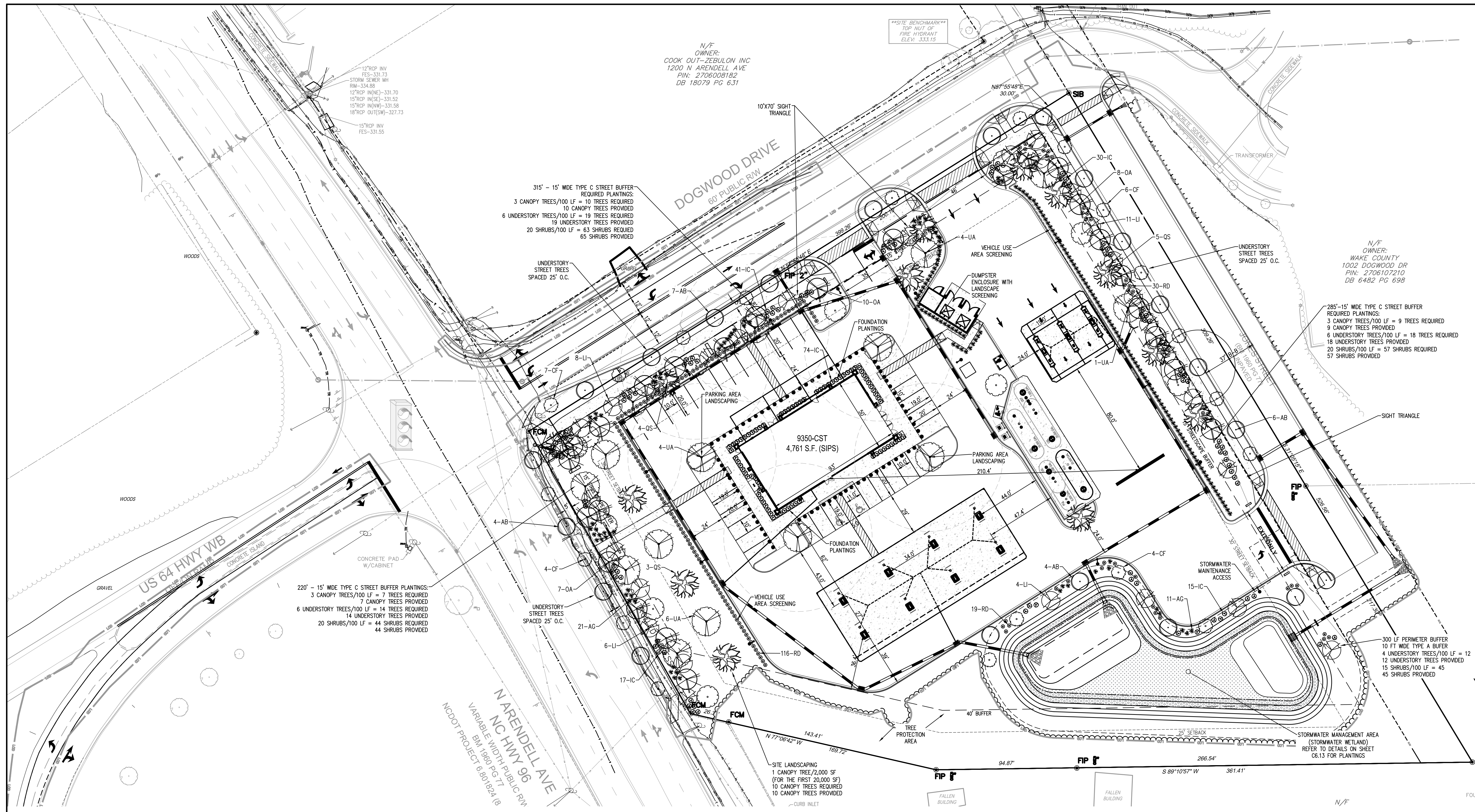
NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	02/23	TOWN OF ZEBULON REVIEW		
2	02/23	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	
DGNR:	BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
LANDSCAPE PLAN

DRWG. NO.
C7.0



12"RCP INV
FES-331.73
STORM SEWER MH
RM-334.68
12"RCP IN(NE)-331.70
15"RCP IN(SE)-331.52
15"RCP IN(W)-331.58
18"RCP OUT(SW)-327.73
15"RCP INV
FES-331.55

N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

SITE BENCHMARK
TOP NUT OF
FIRE HYDRANT
ELEV: 333.15

N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

285'-15" WIDE TYPE C STREET BUFFER
REQUIRED PLANTINGS:
3 CANOPY TREES/100 LF = 9 TREES REQUIRED
9 CANOPY TREES PROVIDED
6 UNDERSTORY TREES/100 LF = 18 TREES REQUIRED
18 UNDERSTORY TREES PROVIDED
20 SHRUBS/100 LF = 57 SHRUBS REQUIRED
57 SHRUBS PROVIDED

220'-15" WIDE TYPE C STREET BUFFER PLANTINGS:
3 CANOPY TREES/100 LF = 7 TREES REQUIRED
7 CANOPY TREES PROVIDED
6 UNDERSTORY TREES/100 LF = 14 TREES REQUIRED
14 UNDERSTORY TREES PROVIDED
20 SHRUBS/100 LF = 44 SHRUBS REQUIRED
44 SHRUBS PROVIDED

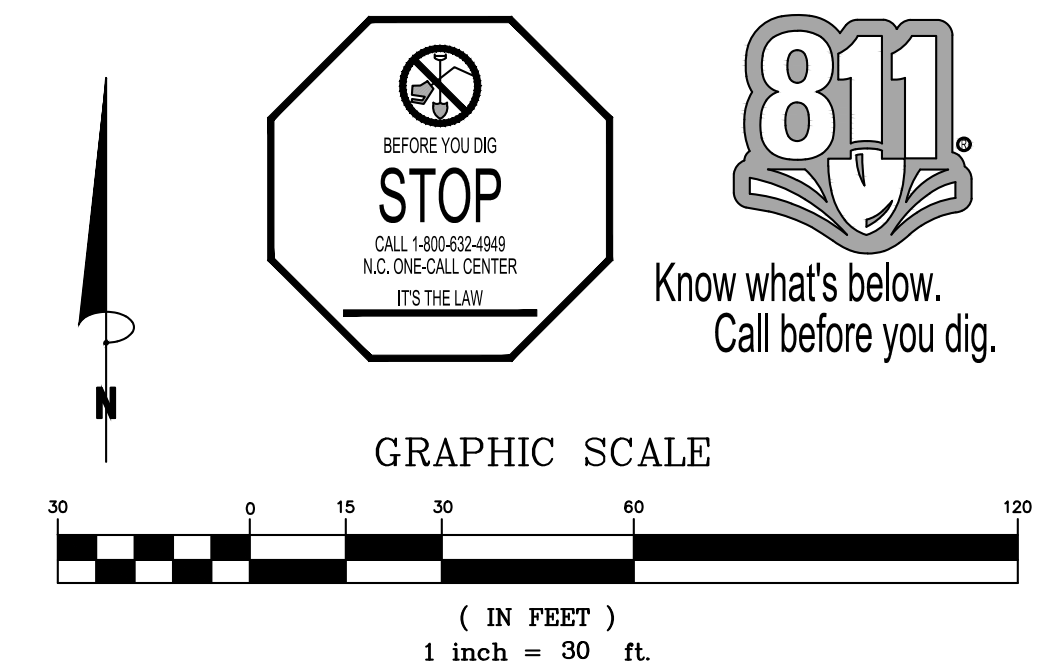
315'-15" WIDE TYPE C STREET BUFFER
REQUIRED PLANTINGS:
3 CANOPY TREES/100 LF = 10 TREES REQUIRED
10 CANOPY TREES PROVIDED
6 UNDERSTORY TREES/100 LF = 19 TREES REQUIRED
19 UNDERSTORY TREES PROVIDED
20 SHRUBS/100 LF = 63 SHRUBS REQUIRED
63 SHRUBS PROVIDED

SITE LANDSCAPING
1 CANOPY TREE/2,000 SF
(FOR THE FIRST 20,000 SF)
10 CANOPY TREES REQUIRED
10 CANOPY TREES PROVIDED

N ARENDELL AVE
NC HWY 96
VARIABLE WIDTH PUBLIC RM
NODOT PROJECT 6,801,824 (8)

MASTER PLANT LIST

TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	QS	13	<i>Quercus phellos</i>	Willow Oak		2.5"	8' MIN		B&B	AS SHOWN	
	UA	15	<i>Liriodendron tulipifera</i>	Tulip Poplar		2.5"	8' MIN		B&B	AS SHOWN	
	PC	12	<i>Pistacia chinensis</i>	Chinese Pistachio		2.5"	8' MIN		B&B	AS SHOWN	
UNDERSTORY TREES	OA	25	<i>OXYDENDRUM ARBOREUM</i>	Sourwood		1.5"	4' MIN		B&B	AS SHOWN	
	AB	21	<i>Acer buergeranum</i>	Trident Maple		1.5"	4' MIN		B&B	AS SHOWN	
	LI	29	<i>Amelanchier arborea</i>	Downy Serviceberry		-	4' MIN		B&B	AS SHOWN	
	CF	21	<i>Camus florida</i>	Flowering Dogwood		1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	165	<i>Chamaecyparis pisifera 'Golden Mop'</i>	Gold Mop Cypress		-	18" MIN		3 GAL	AS SHOWN	
	AG	189	<i>Abelia grandiflora</i>	Glossy Abelia		-	18" MIN		3 GAL	AS SHOWN	
	IC	177	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly		-	18" MIN		3 GAL	AS SHOWN	

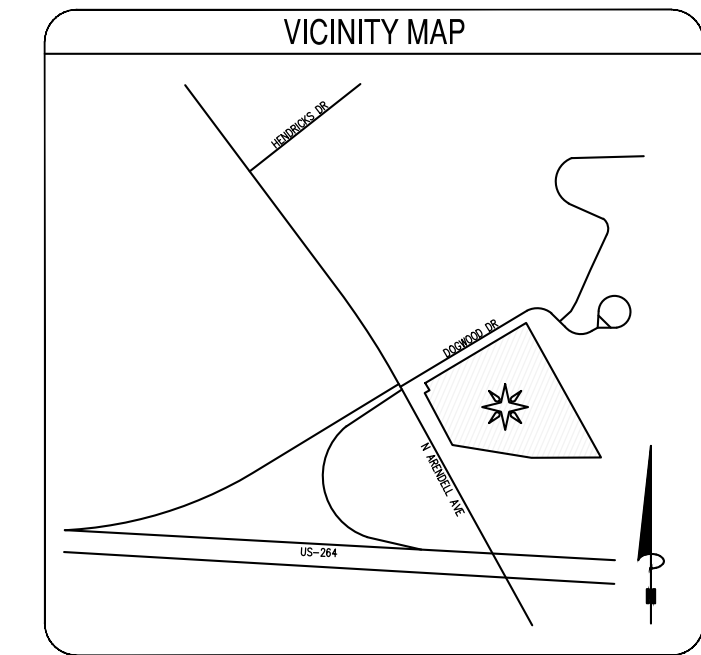


LANDSCAPE NOTES:

HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



EROSION CONTROL NOTES:

AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:

ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: KCI ASSOCIATES OF NC

STREAM/WETLAND NOTE:

THERE ARE NO EXISTING STREAM/AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES

FLOOD ZONE NOTE:

THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANELS 370272800K & 370272900K, BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA

IRRIGATION NOTE:

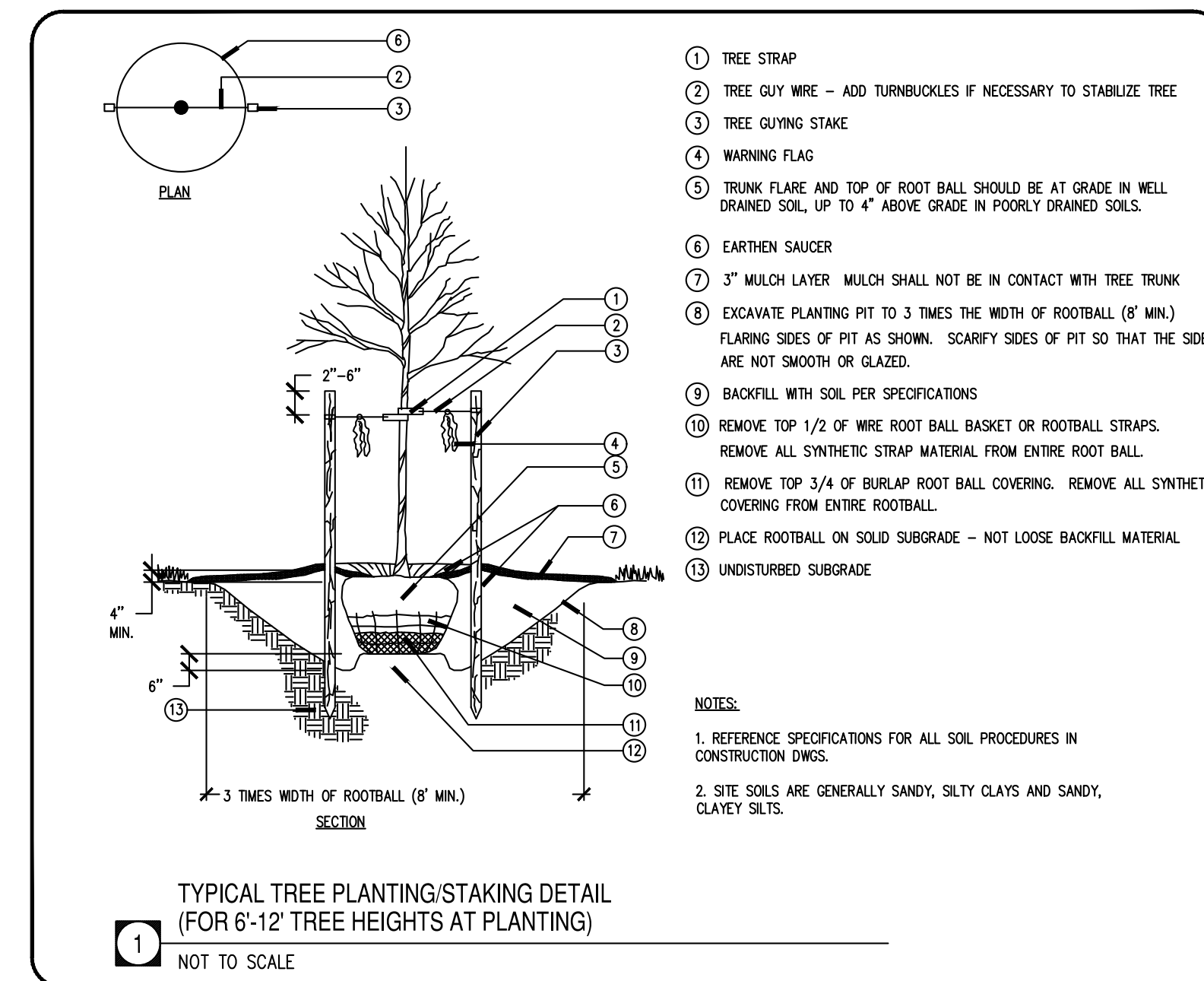
IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3" FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.

LANDSCAPING NOTES:

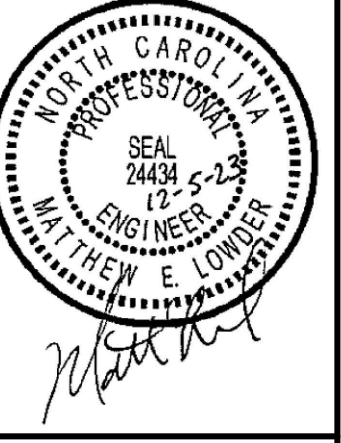
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
- IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
- GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
- PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
- ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
- CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
- OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

GENERAL LANDSCAPE NOTES:

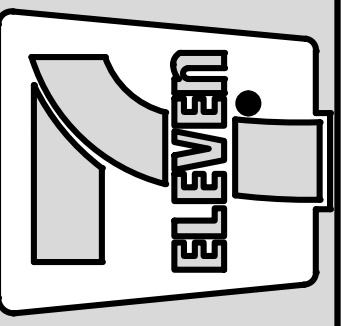
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
- NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
- ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
- GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
- ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.



Bowman
Bowman North Carolina Ltd.
4000 S. STATE ST. DR.
SUITE 101
RALEIGH, NC 27609
Phone: (919) 563-6570
bowman.com
© Bowman North Carolina Ltd.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY
1	TOWN OF ZEBULON REVIEW	12/23	BRN
2	TOWN OF ZEBULON REVIEW	12/23	BRN

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 12/5/2023

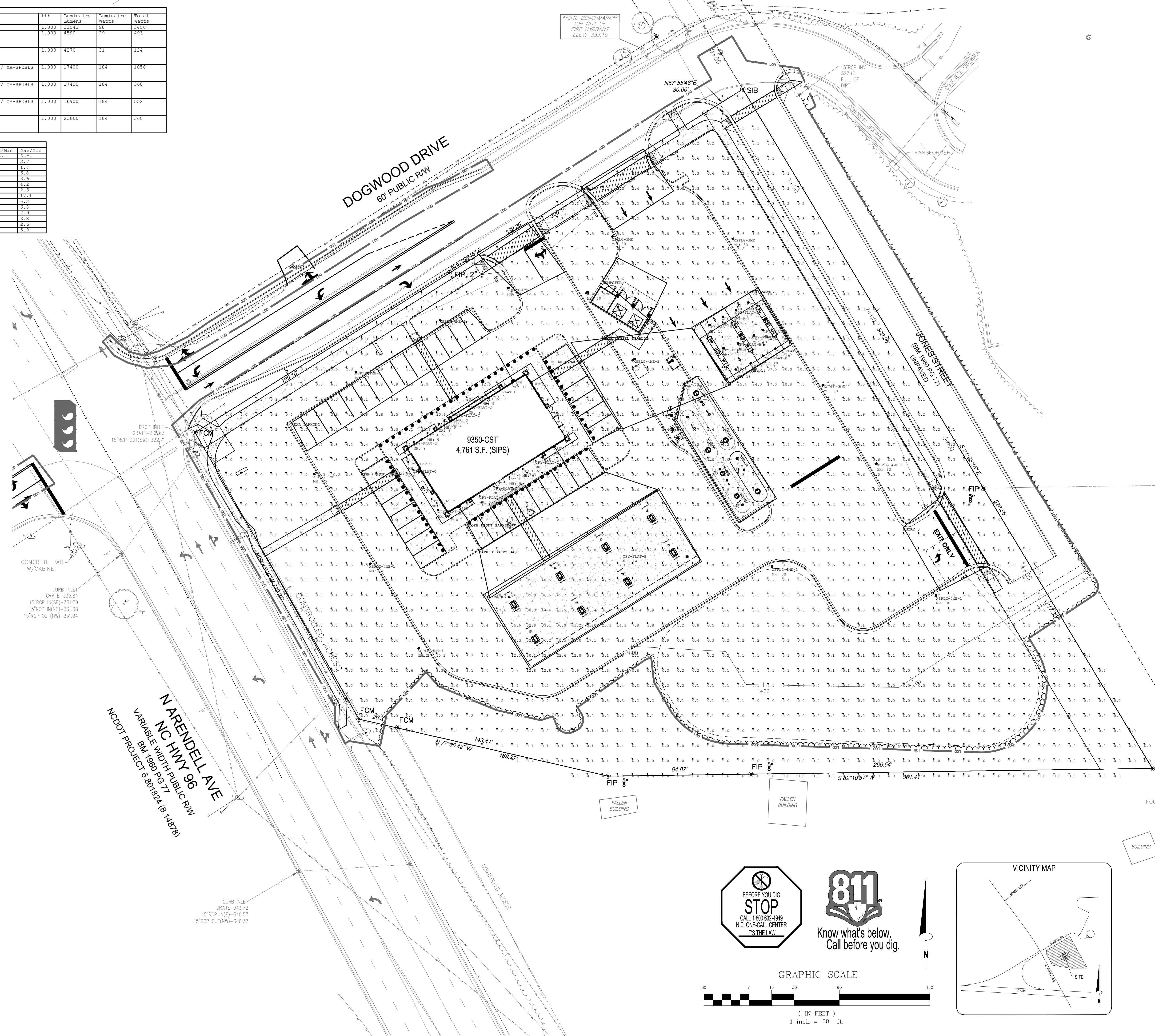
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
LANDSCAPING NOTES

DRWG. NO.
C7.1

Luminaire Schedule Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	16	CFY-FLAT-B	SINGLE	CFY250-B-DM-F-B-UL-WB-57K-B2	1.000	43643	96	3456
□	17	CFY-FLAT-C	SINGLE	CFY250-C-4L-SRT-F-UL-TM-52-B2	1.000	4590	29	493
□	4	XSPW	SINGLE	XSPW-B-WH-3MB-4L-57K-UL-B2	1.000	4270	31	124
□	9	XSPLG-4MB-1	SINGLE	XSPLG-D-HT-4MB-24L-57K7-UL-B2-N w/ XA-SP2BLS	1.000	17400	194	1656
□	1	XSPLG-4MB-2-BLS	2 @ 90 DEGREES	XSPLG-D-HT-4MB-24L-57K7-UL-B2-N w/ XA-SP2BLS	1.000	17400	194	368
□	3	XSPLG-3MB	SINGLE	XSPLG-D-HT-3MB-24L-57K7-UL-B2-N w/ XA-SP2BLS	1.000	16900	194	552
□	1	XSPLG-4MB-2	Back-Back	XSPLG-D-HT-4MB-24L-57K7-UL-B2-N	1.000	23800	194	368

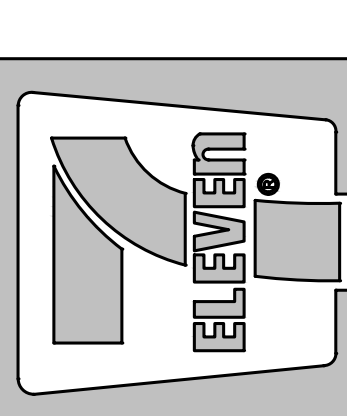
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE TOP	Illuminance	FC	3.1	66.9	0.0	N.A.	N.A.
DECK CANOPY	Illuminance	FC	49.3	66.9	24.5	1.9	1.7
DUMPSTER	Illuminance	FC	3.6	2.2	4.2	1.3	1.7
ENTRY 1	Illuminance	FC	6.5	12.3	1.8	3.6	6.8
ENTRY 2	Illuminance	FC	2.4	4.3	2.2	2.1	3.9
ENTRY 3	Illuminance	FC	2.3	4.8	0.9	2.5	4.2
GAS CANOPY	Illuminance	FC	35.6	47.5	20.4	1.7	2.3
PAV. SLIDE TO GAS	Illuminance	FC	3.6	29.0	2.7	3.7	13.1
PAV. DETSEL TO BLDG	Illuminance	FC	6.7	25.9	4.1	2.1	6.3
REAR PARKING	Illuminance	FC	6.4	11.9	1.9	3.4	6.3
STORE REAR PARKING	Illuminance	FC	4.0	5.7	4.0	4.0	2.9
STORE FRONT PARKING	Illuminance	FC	2.3	5.7	1.5	4.5	3.9
STORE WEST PARKING	Illuminance	FC	2.9	4.9	1.9	1.6	2.6
TANK PAD	Illuminance	FC	2.1	6.9	1.9	2.1	6.9



Bowman
Bowman North Carolina Ltd.
4000 S. I-85 DR
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
© Bowman North Carolina Ltd.



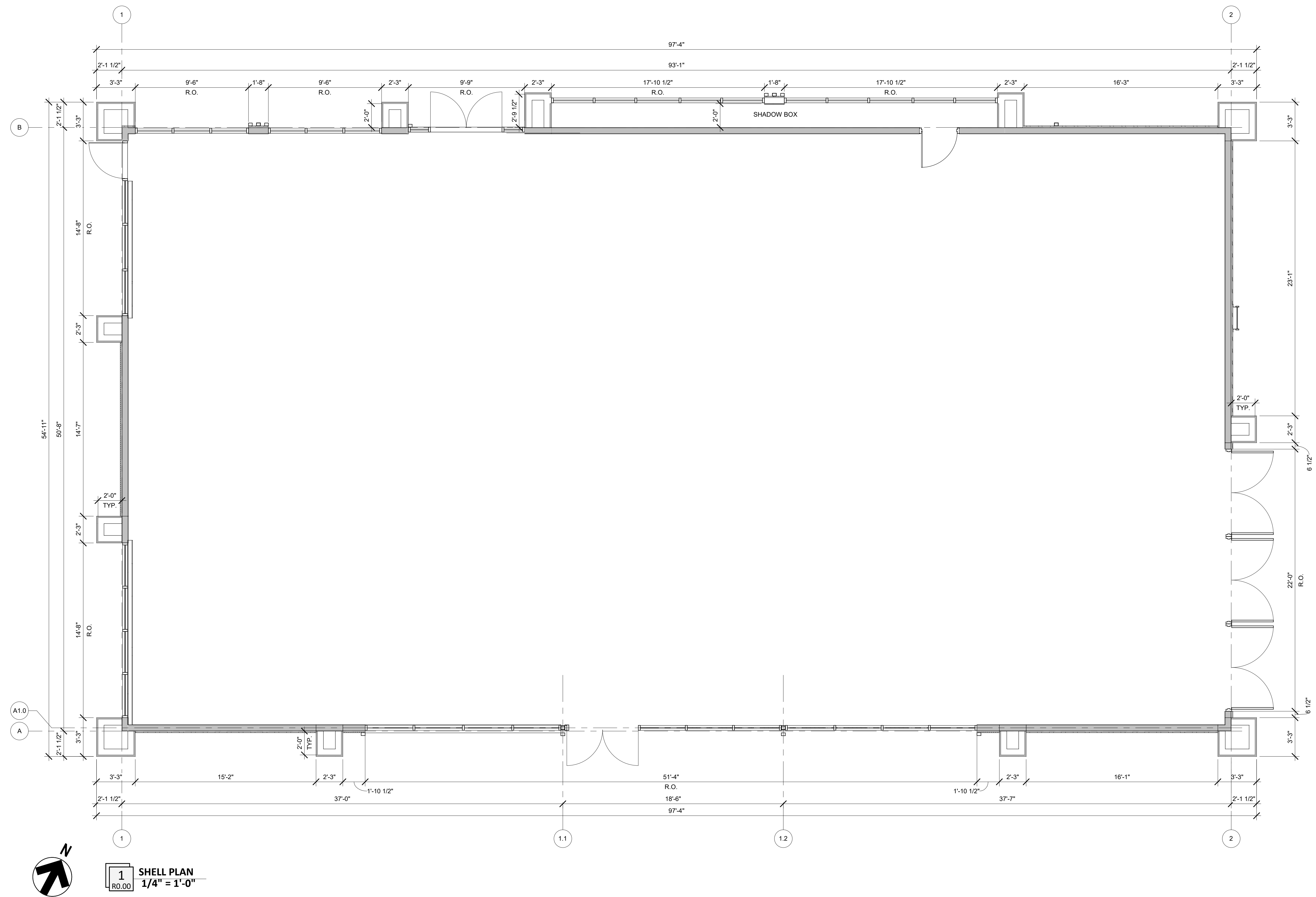
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



MARK	REVISION	DATE	DESCRIPTION
1	REVISION		
2	REVISION		

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	12/5/2023
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
PHOTOMETRIC PLAN
DRWG. NO. **C8.0**



1 SHELL PLAN
R.O.00 1/4" = 1'-0"

NOT FOR CONSTRUCTION

04/28/2023
Architect Name - RYAN M. FAUST
Architect Number - 14521
THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Size: 30 x 42
Drawn By: JMA
Project #: 22121
Checked By: ADF

Title: SHELL PLAN

Sheet Number: R0.00

Date: 04/28/2023 **Store #:** 1055397

EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DURLAST	WHITE
N-1	FIBER CEMENT PANEL	NICHIHA	VINTAGE BRICK, PAINTED SHERWIN WILLIAMS SW7005 "PURE WHITE"
N-2	FIBER CEMENT PANEL	NICHIHA	RIBBED, COLOR TO MATCH SHERWIN WILLIAMS SW7659 "GRIS"
CP-1	EDGE METAL PARAPET CAP	DURLAST - ALL TERM EDGE	COAL BLACK
P-2	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS	SHERWIN WILLIAMS SW6232 "MISTY"
MT-2	PREFINISHED METAL PARAPET DETAIL		COLOR TO MATCH SHERWIN WILLIAMS SW6232 "TRICORN BLACK"
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS	SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
S-1	ALUMINUM STOREFRONT GLAZING	MAPES	LUMISHADE CANOPY
C-1	PREFINISHED ALUMINUM CANOPY	MAPES	MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHIHA	VINTAGE WOOD - CEDAR - VERTICAL



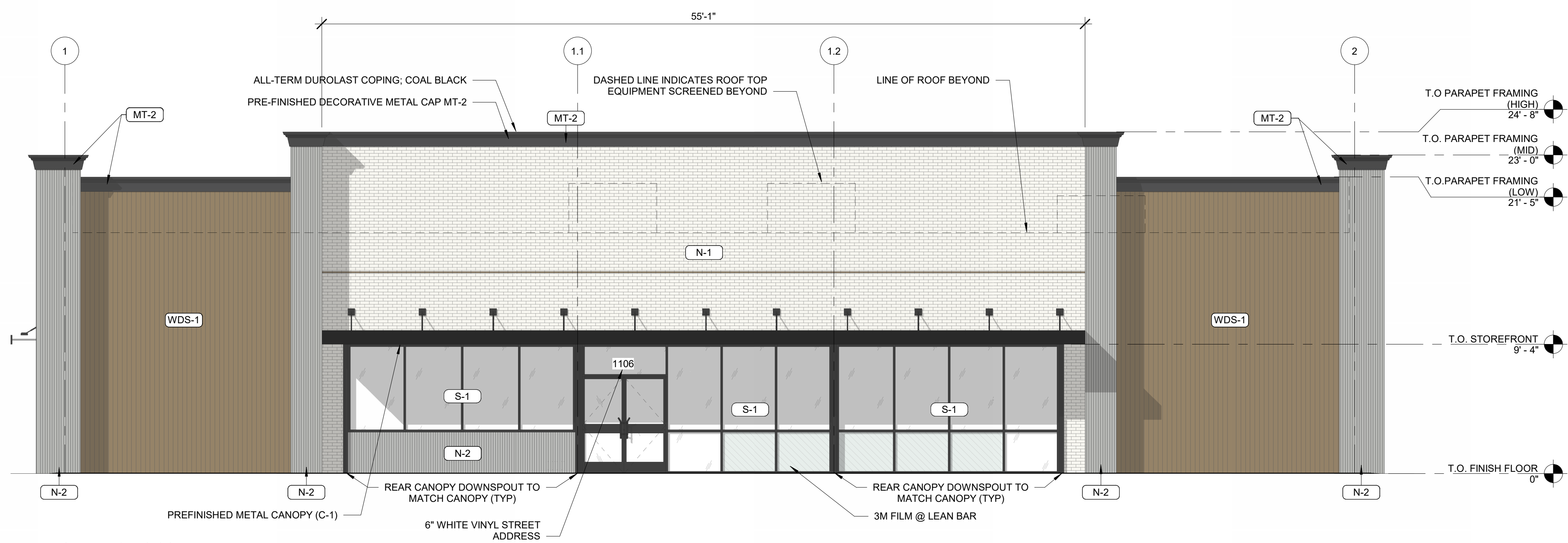
UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
SECONDARY BUILDING WALL
TOTAL AREA = (15'-1" X 97'-4") = 1,492 SQFT
TRANSPARENCY SQFT = (1,492 SQFT X 30%) = 448 SQFT
PROVIDED:
(9'-4" X 34'-6") + (6'-4" X 16'-5") = 427 SQFT

UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
SECONDARY BUILDING WALL
TOTAL AREA = (15'-1" X 54'-11") = 829 SQFT
TRANSPARENCY SQFT = (829 SQFT X 30%) = 249 SQFT
PROVIDED:
(9'-4" X 14'-8") + (9'-4" X 14'-8") = 274 SQFT

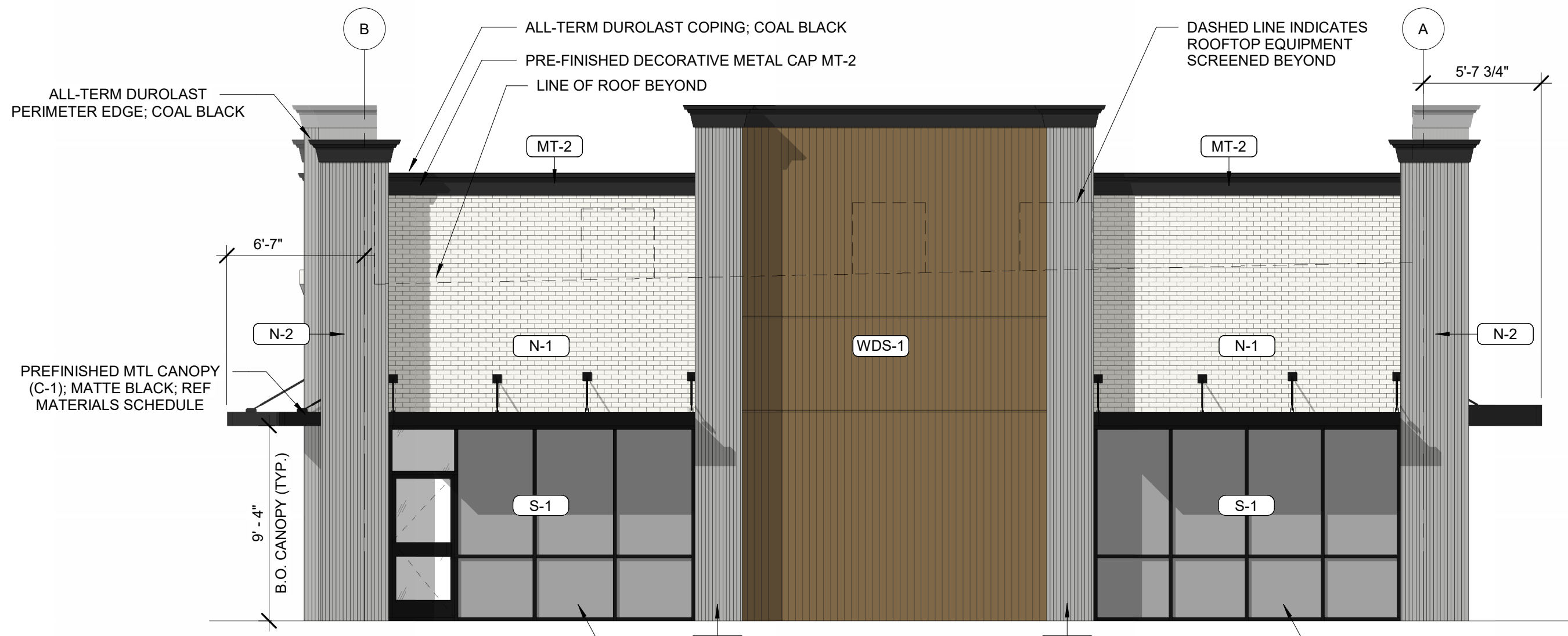
ELEVATION MEETS THE REQUIRED MINIMUM PERCENTAGE OF 30% GLAZING HOWEVER, THE GLAZING IS SPANDREL DUE TO INTERIOR LAYOUT, BACK OF HOUSE AND RESTROOM USES. DESIGN CHANGES TO INCLUDE CANOPIES ON THIS FACADE WERE ADDED BASED ON DISCUSSION WITH CITY STAFF TO AID WITH THE ELEVATIONS SCALE AND INTEREST.

UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
PRIMARY BUILDING WALL
TOTAL AREA = (15'-1" X 97'-4") = 1,492 SQFT
TRANSPARENCY SQFT = (1,492 SQFT X 40%) = 597 SQFT
PROVIDED:
(9'-4" X 9'-6") + (9'-4" X 9'-6") + (9'-4" X 9'-9") + (9'-4" X 17'-10 1/2") + (9'-4" X 17'-10 1/2") = 602 SQFT

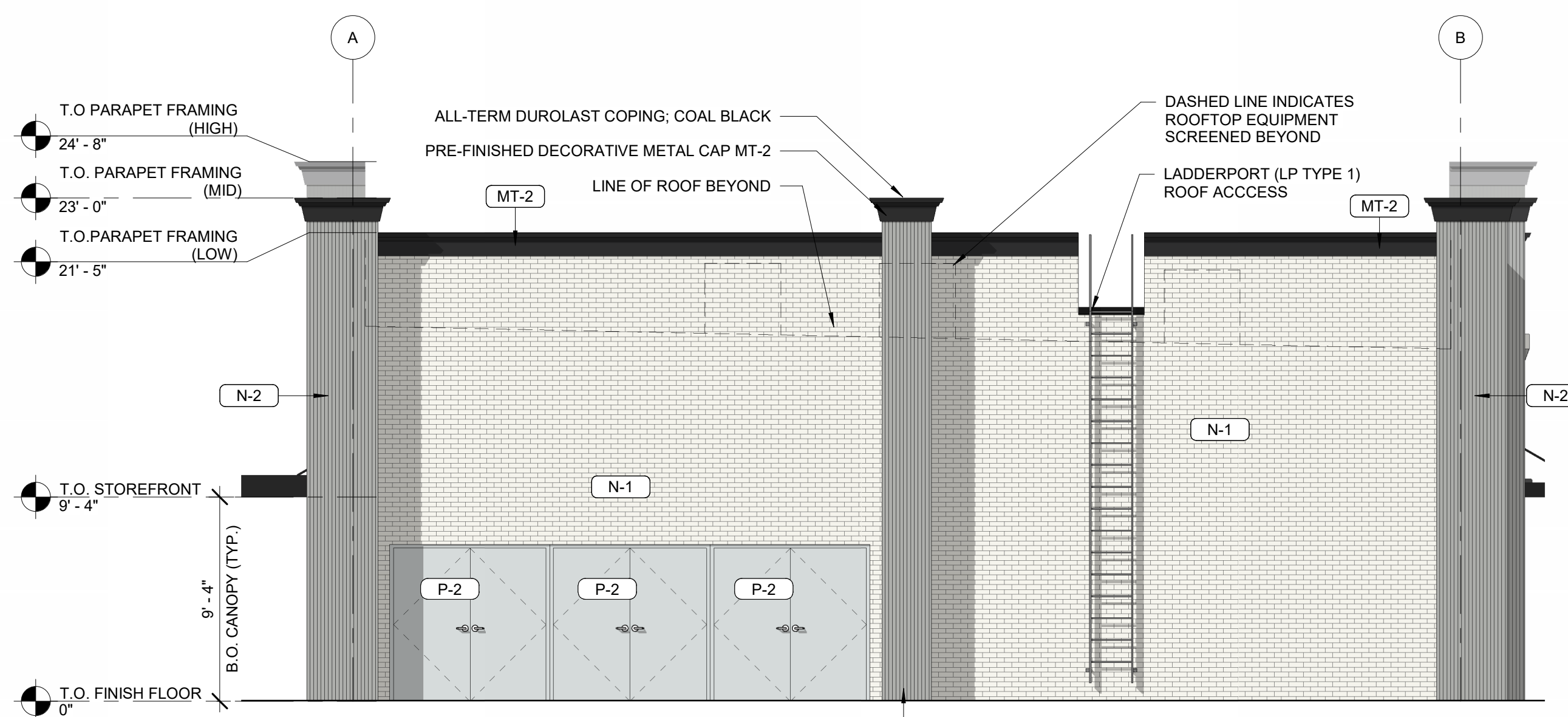
ELEVATION MEETS MINIMUM 40% TRANSPARENCY REQUIREMENT FOR A PRIMARY BUILDING WALL



4
R1.00
ELEVATION - FACING SOUTH
3/16" = 1'-0"

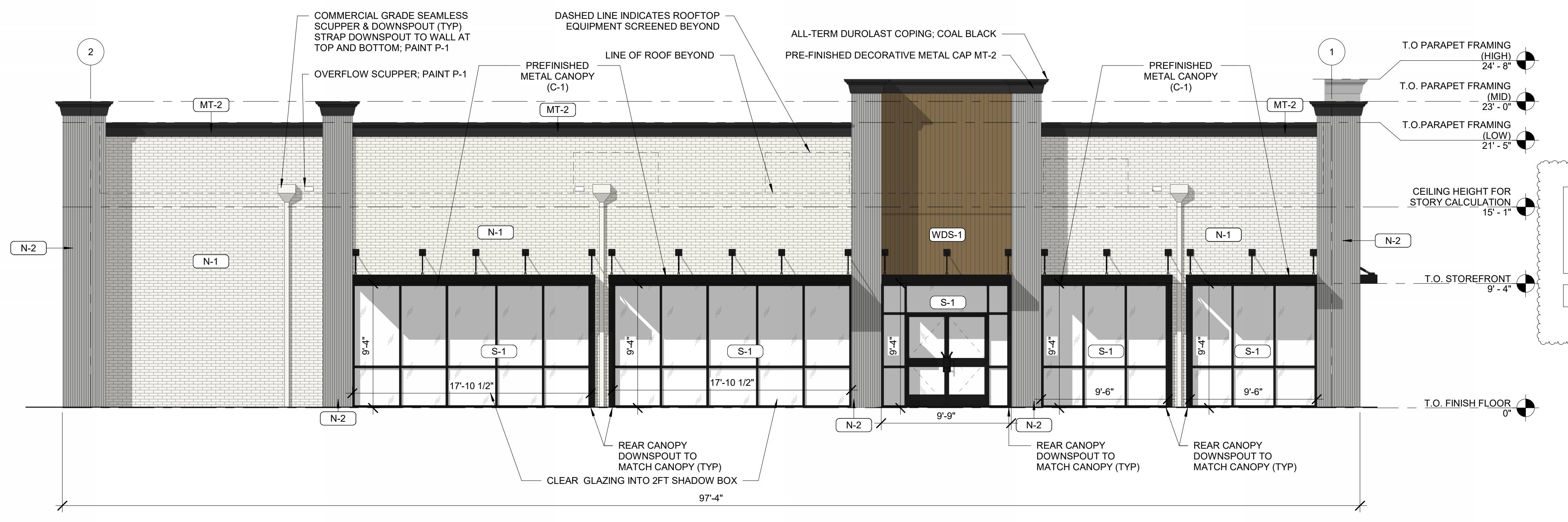


3
R1.00
ELEVATION - FACING WEST
3/16" = 1'-0"



2
R1.00
ELEVATION - FACING EAST
3/16" = 1'-0"

ELEVATION DOES NOT MEET THE 30% MINIMUM TRANSPARENCY REQUIREMENT. APPLICANT NOTES VIEW OF THIS WALL FROM THE ADJACENT SECONDARY STREET VIEW WILL BE SCREENED BY MULTIPLE DIFFERENT DESIGN ASPECTS INCLUDING: REQUIRED DUMPSTER ENCLOSURE AND LANDSCAPE SCREENING, STREET TREES, CANOPY AND UNDERSTORY TREES AND SHRUBS WITHIN THE REQUIRED STREET BUFFER, AND PROPOSED FUELING AREA AND ASSOCIATED STRUCTURES.



1
R1.00
ELEVATION - FACING NORTH
3/16" = 1'-0"

NOT FOR CONSTRUCTION

04/28/2023
Architect Name - RYAN M. FAUST
Architect Number - 14521

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE APPLIED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

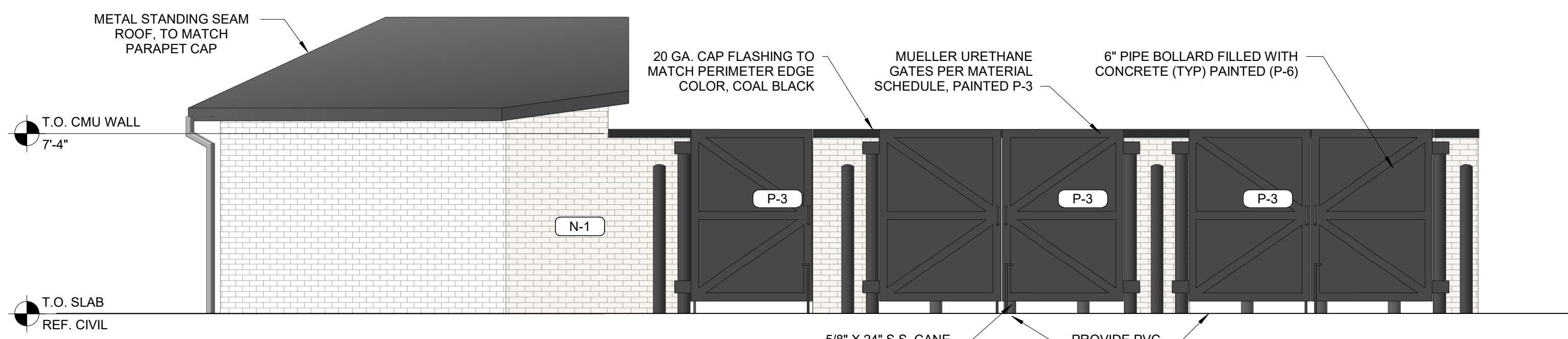
REVISIONS	
NO.	DESCRIPTION
1	05/07/2023 Revision 2

Drawing Size: 30 x 42
Project #: 22121
Drawn By: JMA
Checked By: ADF

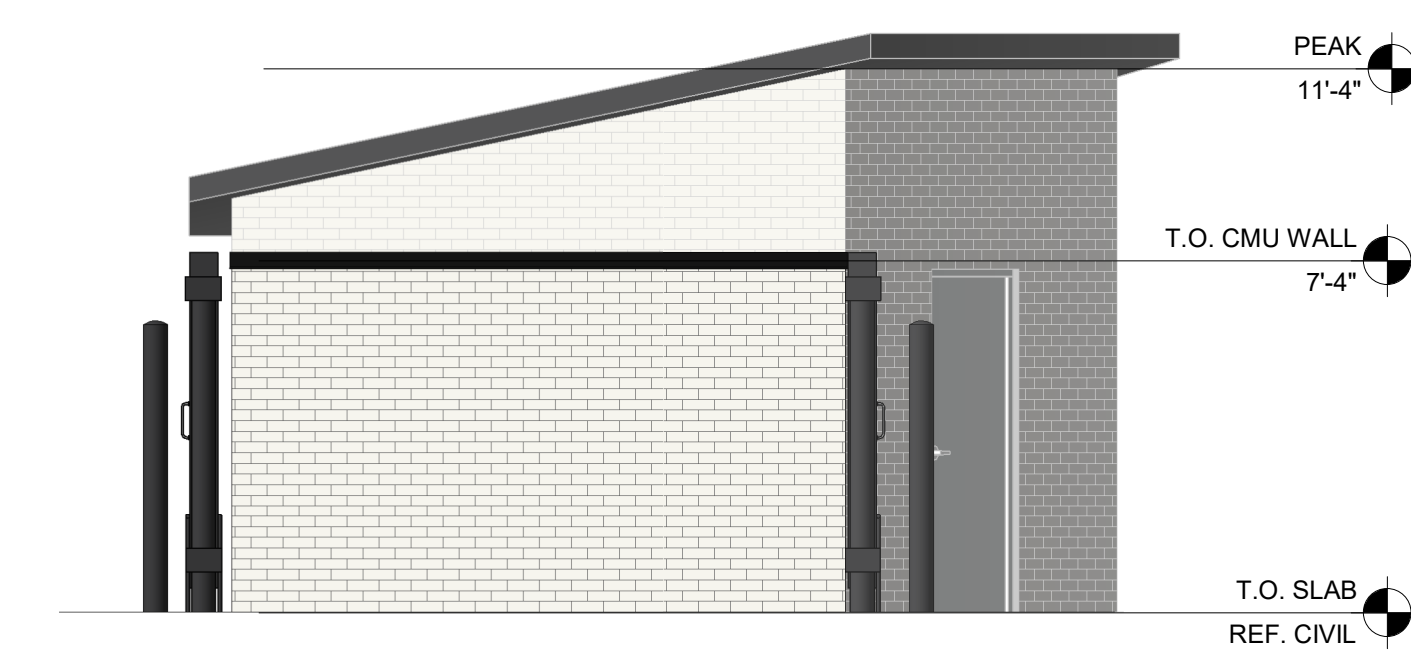
REVIEW BOARD ELEVATIONS

Sheet Number:
R1.00

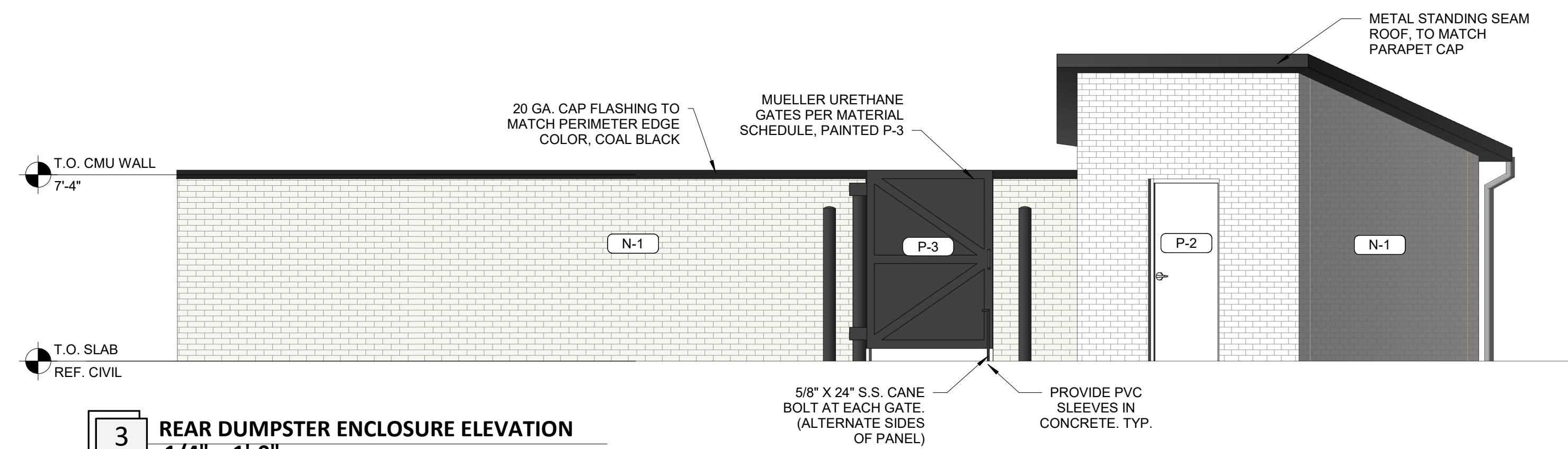
Date: 04/28/2023 Store #: 1055397



1 FRONT DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"



2 SIDE DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

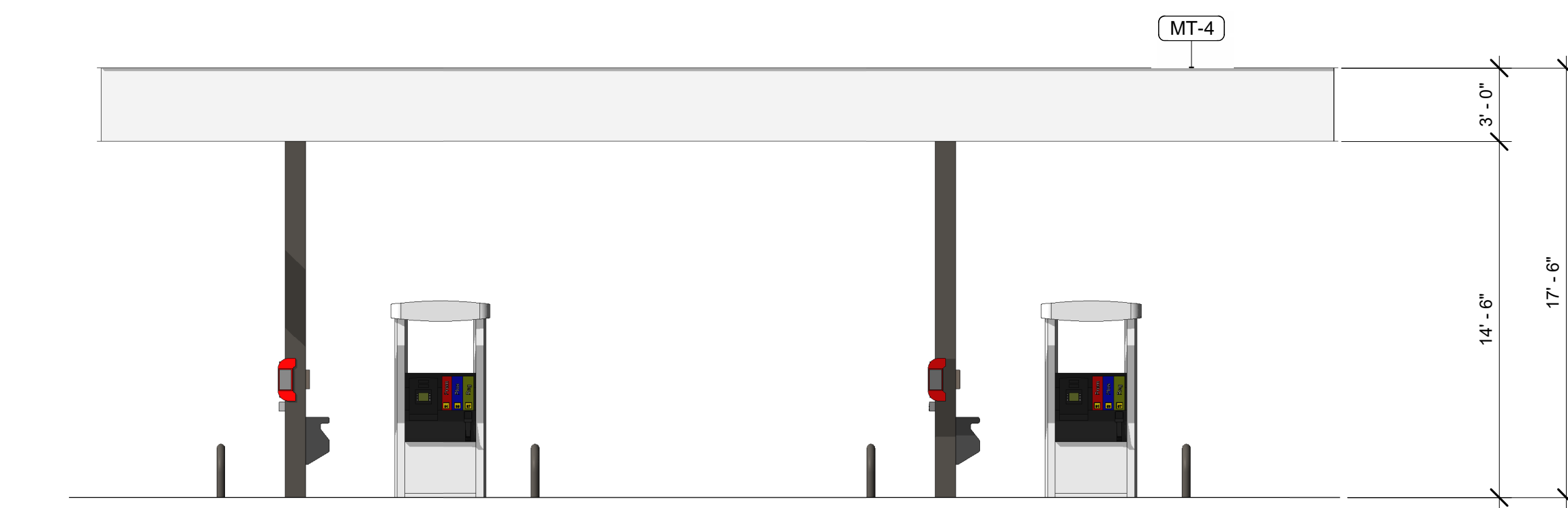


3 REAR DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

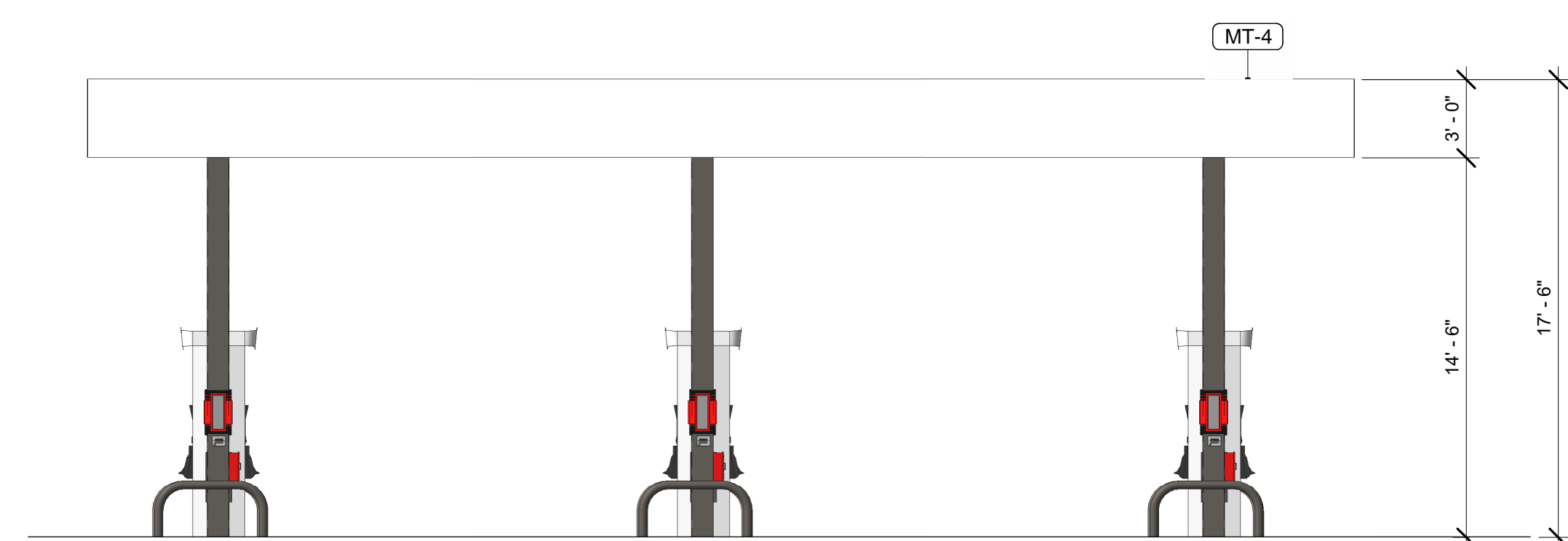
EXTERIOR MATERIALS SCHEDULE		
(NOT ALL MATERIALS IN SCHEDULE ARE USED)		
NO.	MATERIAL	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST WHITE
N-1	FIBER CEMENT PANEL	NICHIHA VINTAGE BRICK, PAINTED SHERWIN WILLIAMS SW7005 "PURE WHITE"
N-2	FIBER CEMENT PANEL	NICHIHA RIBBED, COLOR TO MATCH SHERWIN WILLIAMS SW7659 "GRIS"
CP-1	EDGE METAL PARAPET CAP	DUROLAST - ALL TERM EDGE COAL BLACK
P-2	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS SHERWIN WILLIAMS SW6232 "MISTY"
MT-2	PREFINISHED METAL PARAPET DETAIL	COLOR TO MATCH SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER 451T VG - #29 BLACK FINISH
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHIHA VINTAGE WOOD - CEDAR - VERTICAL
MT-4	FUEL CANOPY FASCIA	REYNOBOND EASTMAN WHITE - PY-25



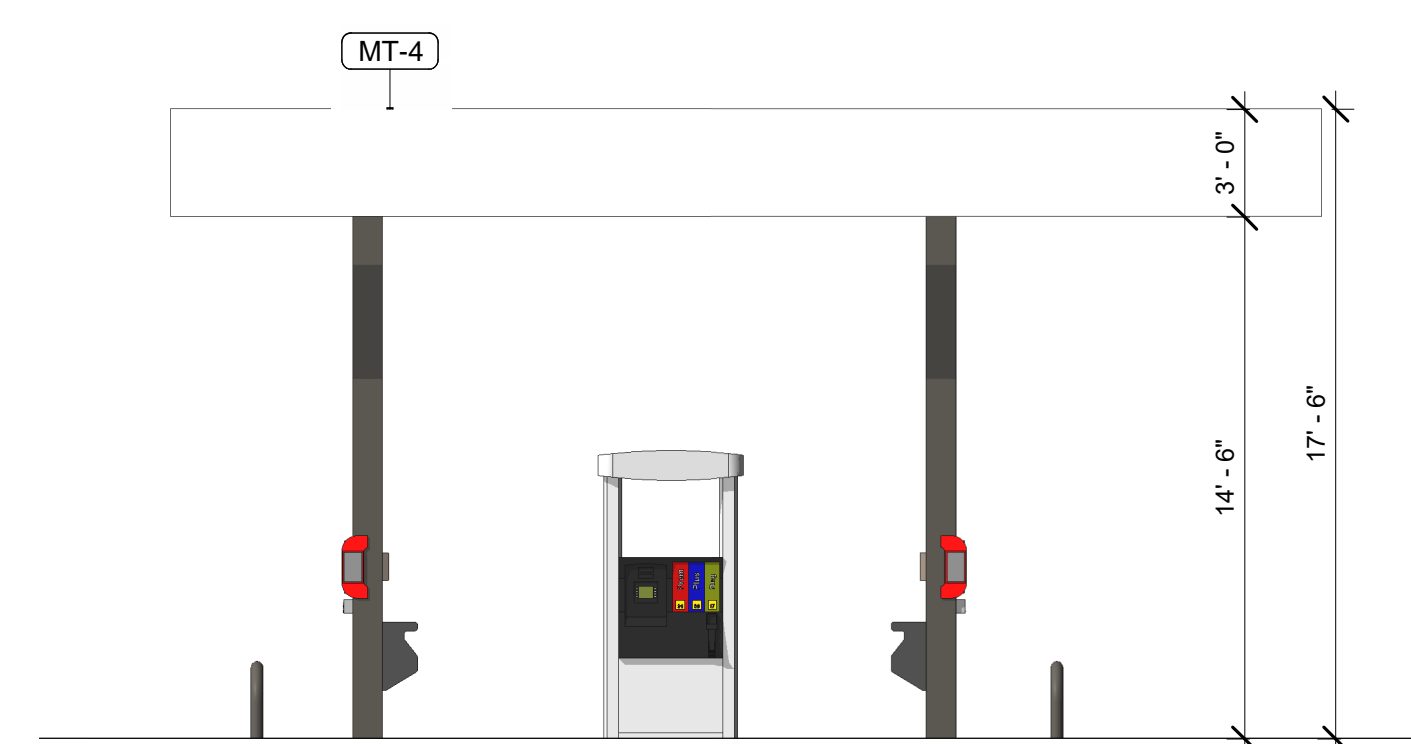
4 FUEL CANOPY LONG ELEVATION - 8 DISPENSERS TOTAL
3/16" = 1'-0"



5 FUEL CANOPY SHORT ELEVATION
3/16" = 1'-0"



6 DIESEL CANOPY LONG ELEVATION
3/16" = 1'-0"



7 DIESEL CANOPY SHORT ELEVATION
3/16" = 1'-0"

NOT FOR CONSTRUCTION

04/28/2023
Architect Name - RYAN M. FAUST
Architect Number - 14521

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE APPLIED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size:	Project #:
30 x 42	22121
Drawn By:	Checked By:
JMA	ADF

Title:
REVIEW BOARD ELEVATIONS

Sheet Number:
R1.01

Date: 04/28/2023 Store #: 1055397