ZEBULON BOARD OF COMMISSIONERS AGENDA

September 13, 2021 7:00pm

Due to COVID-19 we have limited in-person seating. If you would like to attend, please email Stacie Paratore (sparatore@townofzebulon.org) by 12:00pm on September 13, 2021 to reserve your seat.

All meetings are live streamed on our Facebook (@TownofZebulon) and YouTube (@TownofZebulon) pages.

I. PLEDGE OF ALLEGIANCE

II. APPROVAL OF AGENDA

III. PUBLIC COMMENT PERIOD

If you wish to present in-person, please contact Stacie Paratore at sparatore@townofzebulon.org to reserve your seat. If you would like to submit comments to be read into the record at the meeting, please send comments, of 400 words or less, to Stacie Paratore (sparatore@townofzebulon.org) by 3:00pm on September 13, 2021.

IV. CONSENT

A. Minutes

- 1. May 27, 2021 Work Session
- 2. August 2, 2021 Regular Meeting
- 3. August 18, 2021 Special Called Meeting
- 4. August 25, 2021 Work Session

B. Finance

- 1. Monthly Items
 - a. Wake County Tax Report June 2021
 - b. Monthly Financial Report

2. Budget Amendments

a. Ordinance 2022-12 – Establishing a Grant Special Project Fund for the American Rescue Plan Funds

C. Administration

1. Amendment of Work Session Meeting Schedule

V. OLD BUSINESS

- A. Parks and Recreation
 - 1. Adoption of Parks Master Plan
- B. Administration
 - 1. Board Appointments
- C. Finance
 - 1. Ordinance 2022-03A Amended Fire Station Capital Project
 - 2. Resolution 2022-04 Lease Purchase Award (Leaf Truck & Payloader)
- D. Budget
 - 1. Recycling Fee

VI. NEW BUSINESS

- A. Public Works
 - 1. Resolution 2022-05 Autumn Lakes Phase 3 Infrastructure Acceptance
 - 2. Rotary Club "Flags for Heroes" Zebulon Municipal Complex Facility Use Application

VII. BOARD COMMENTS

VIII. MANAGER'S REPORT

Zebulon Board of Commissioners Work Session Minutes May 27, 2021

Present: Robert S. Matheny, Beverly Clark, Annie Moore, Glenn York, Shannon Baxter, Larry Loucks, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Perry-Fire, Michael Clark-Planning, Sheila Long-Parks and Recreation, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Eric Vernon-Attorney

Mayor Matheny called the meeting to order at 6:00pm.

APPROVAL OF AGENDA

Commissioner Loucks made a motion, second by Commissioner York to approve the agenda. There was no discussion and the motion passed unanimously.

WORK SESSION #2 FOLLOW-UP

Bobby Fitts provided follow-up from the second work session on the general fund fund balance. The spending projections for the year and the operating and recurring expenditures were given.

STREETS AND SIGNALS

Chris Ray stated streets and traffic signals will be a big challenge over the next five to ten years and was trying to get ahead of the Town's needs. Chris Ray stated the Town had 28.70 miles of streets and paved 1.44 miles annually. The Town had a 50% increase in streets since 2015. Chris Ray spoke about street health and the streets to be paved in 2022.

The Shepard School roadway and traffic signal project and Green Pace and Arendell Avenue roadway and signal project timelines and costs were given.

Commissioner York asked how much the Popeye's restaurant was contributing to the cost. Staff stated Popeyes was widening the road to the property lines.

The LED lighting conversion Phase II project was explained. This project included 182 high pressure sodium lights in Weavers Pond I and II, Braemar and some spot locations.

The Jones Street connector project was explained. The project would ease traffic congestion on Arendell Avenue. The Cook-out fee-in-lieu was approximately \$285,000 toward the project.

Mayor Matheny inquired about the Powell Bill balance. Bobby Fitts stated the Powell Bill revenue was \$127,000 and \$220,000 would come from Powell Bill reserves.

PARKS AND RECREATION MASTER PLAN IMPLEMENTATION PREVIEW AND CAPITAL IMPROVEMENT PLAN

Sheila Long stated Parks and Recreation projects were being pulled from Property Management and added to the Parks and Recreation department. This change would help the Town with grant

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agencies and gave transparency of the cost to operate the Parks and Recreation projects. Sheila Long spoke about how the budget requests met the Town's goals of the 2030 Strategic Plan.

The FY 22 highlights included adopting and implementing the Parks and Recreation Master Plan and creating and adopting a Parks and Recreation CIP. Sheila Long gave a preview of the Parks and Recreation Master Plan. The vision of the plan was given. The vision subsystems were given and Ms. Long spoke about each subsystem which were:

- Neighborhood parks and open spaces
- Community parks and athletic facilities
- Natural areas and sustainability
- Programs, community health and special events
- Connectivity and access

One project requested in the FY22 budget was a renovation to Gill Street Park. The request included a basketball court renovation and dispersed picnic areas.

Commissioner Baxter asked how many picnic areas were included. The proposed estimate included three picnic areas.

The next project was Little River Park. A Phase 2 archaeological study was a required next step for FEMA funding. The request also included eradicating eight acres of kudzu to make the area usable for the community.

Commissioner Baxter inquired about the type of herbicide that would be used to treat the kudzu. Sheila Long would follow-up with the types of herbicides recommended from the forestry service.

There was discussion about using goats to eradicate the kudzu and maintain the area. The Tree Board was in support of eradicating the kudzu.

Sheila Long stated the Whitewater Park Feasibility study was not recommended in the budget. Staff had discussions with the City of Raleigh Park Planner, Wake County's Parks and Recreation Director, and consultants from McLaughlin Whitewater and Restoration Systems regarding the possibility of a whitewater park. The costs to construct a whitewater park were very high. The City of Raleigh had moved from the whitewater park concept to focus on a river park concept.

There was discussion about water play options at Little River Park.

Staff spoke about the recommended infield rehab rotation schedule at Community Park to address safety concerns from wear.

The Master Plan implementation was requested in the FY22 budget. The Board would decide how they wanted to approach the project and the phasing for the plan. Possible uses for FY22 would be branded park signs, grant development and/or match, project design, and to advance a project noted in the outyears.

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Commissioner York suggested using parks or open spaces for cultural opportunities.

MARKET STUDY

Joe Moore stated the market study was not included in the FY22 budget but may come before the Board mid-year. The study began in FY21. The consultant was hired through TJCOG, questionnaires were completed by employees, and employees had an option to talk with the consultant.

Each department was affected differently. Some departments had issues with turnover, career progression and succession planning. Joe Moore spoke about the capital budget history and how the Town faced shortcomings in various years.

The Fire Department's labor shed was shown. Most Fire Department applicants were from East and South of Zebulon. The department has had fluctuations of turnover over the years. The reasons for fire turnover included more money, closer to home, desire to work for a larger department and medical reasons.

Commissioner Loucks asked if the turnover total of 11 employees included Fire Department employees who had retired. Staff would follow-up with the retirement number.

The high cost of turnover was explained, and examples were given. Fire recruitment had decreased over the years. Out of the 14 hires since August 2013, only six remained employed by the Town of Zebulon. It was stated 78% of employees hired since 2019 were from outside Wake County.

Increasing the starting salary would make the Town more attractive to potential applicants, reduce likelihood of personnel leaving for more money, reduce time spent in recruiting and new employee training, and allowed staff to become more experienced, seasoned, and prepared for staff succession.

Mayor Matheny asked if Wake County was helping fund the Fire Department positions. Wake County was contractually required to increase their budget when the Town increased salaries.

It was explained the Town did advertise positions all over the state and exit interviews were done for all employees.

PUBLIC INPUT

No one was present to speak, and no comments were submitted.

QUESTIONS, COMMENTS, REQUESTS

Commissioner York asked about the cemetery plot fee. Bobby Fitts stated the cemetery fees have been the same for the last 20+ plus years. There were approximately 10 to 20 plots left. Most of the remaining plots were unusable because of large tree roots and rocks. There was discussion about the cost of the cemetery plots. Staff would look into cemetery fees in surrounding towns.

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MANAGERS COMMENTS

Joe Moore stated the Budget Ordinance would be in the June 7, 2021 agenda packet.

Commissioner Loucks made a motion, second by Commissioner Baxter to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 13th day of September 2021.

	Robert S. Matheny—Mayor
SEAL	
	Lisa M. Markland, CMC—Town Clerk

Present: Robert S. Matheny, Beverly Clark, Annie Moore, Larry Loucks, Shannon Baxter, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Jacqui Boykin-Police, Chris Perry-Fire, Sheila Long-Parks & Recreation, Bobby Fitts-Finance, Michael Clark-Planning, Meade Bradshaw-Planning, Morgan Rowden-Planning, Eric Vernon-Town Attorney

Absent: Glenn York

Mayor Matheny called the meeting to order at 7:00pm.

PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Commissioner Baxter.

APPROVAL OF AGENDA

Mayor Matheny stated there was a minor change to Ordinance 2022-04 and a copy was passed out to the Board.

Mayor Matheny asked to amend the agenda to add a meeting schedule change under Old Business and under New Business to put the Streetscape Match Request before the Streetscape Match Grant Revision.

Commissioner Baxter made a motion, second by Commissioner Clark to approve the agenda as amended. There was no discussion and the motion passed unanimously.

Mayor Matheny stated Mayor Pro Tem York was attending the advanced leadership class at the UNC School of Government all week.

SPECIAL RECOGNITION

A. Bennie Holder's Retirement

Mayor Matheny read the Proclamation for Bennie Holder's retirement.

Commissioner Clark made a motion, second by Commissioner Loucks to adopt the Proclamation for Bennie Holder's retirement. There was no discussion and the motion passed unanimously.

B. Retirement of K-9 Pas

Mayor Matheny read the Proclamation for the Retirement of K-9 Pas.

Commissioner Baxter made a motion, second by Commissioner Clark to adopt the Proclamation for the Retirement of K-9 Pas. There was no discussion and the motion passed unanimously.

PUBLIC COMMENT PERIOD

No comments were submitted.

CONSENT

A. Minutes

Commissioner Clark made a motion, second by Commissioner Moore to approve the minutes of the May 6, 2021 special called meeting. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve the minutes of the May 10, 2021 Joint Public Hearing. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve the minutes of the June 7, 2021 regular meeting. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve the minutes of the June 23, 2021 special called meeting. There was no discussion and the motion passed unanimously.

B. Finance

Commissioner Clark made a motion, second by Commissioner Moore to approve the Wake County tax report – May 2021. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve the financial report as of July 19, 2021. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-01. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-02. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-03. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-04. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-05. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-06. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-07. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve transfer of ownership of K-9 Pas. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Resolution 2022-01. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Ordinance 2022-08. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Moore to approve Resolution 2022-02. There was no discussion and the motion passed unanimously.

OLD BUSINESS

A. Planning

1. Ordinance 2022-09 – Comprehensive Transportation Plan

Michael Clark spoke about the Transportation Plan and some of the changes that came from the Public Hearing and Planning Board.

The old draft and the new draft of the proposed bypass were shown. It was stated the original bypass ran between Braemar and Laurel Leaf subdivisions. Due to oppositions of the location, the line was pushed upward to connect to Water Plant Road then connect to Wendell. Staff would work with developers to ensure the roads were installed in the best way possible.

The Planning Board voted unanimously to recommend approval at their June 14, 2021 meeting.

Commissioner Baxter made a motion, second by Commissioner Clark to approve Ordinance 2022-09 – Comprehensive Transportation Plan. There was no discussion and the motion passed unanimously.

2. CAMPO Northeast Area Study

Michael Clark explained the study was necessary for funding purposes and would make Zebulon more competitive to receive grants.

Some of the near and mid-term projects included NC 96 Arendell Ave. access management, Beaverdam Creek Greenway, NC 97 (Gannon Rd.) and NC 96 (Arendell Avenue) and Proctor St. Center turn lane.

It was stated the CAMPO plan was completed before the Zebulon Bypass was removed from the plan, but the motion could exclude any amendments that were approved.

Staff recommended approval of the CAMPO Northeast Area Study without the Zebulon Bypass.

Commissioner Clark made a motion, second by Commissioner Baxter to approve the draft of the CAMPO Northeast Area Study, except for project A588a (Zebulon Bypass).

Commission Baxter stated the plan was critical for Zebulon and thanked Planning staff for their hard work.

There was no further discussion and the motion passed unanimously.

3. Ordinance 2022-10 - Planned Development - Pony Road

Meade Bradshaw explained the applicant, TMTLA Associates, requested to rezone three parcels to a Planned Development (PD) district. The parcels located at 0 Harmonica Drive, 0 Mack Todd Road, and 705 Pony Road were approximately 166 acres and were currently zoned as Heavy Commercial (HC), Residential-2 (R2) and Residential-4 (R4) districts. The concept plan, aerial map, zoning map, land use map and site pictures were shown.

It was stated there would be four entrances total with two in the Pineview subdivision and two from Pony Road. Some of the proposed amenities included a greenway trail, amenity center, pool, open space, dog park and a tot lot.

Staff previously had the following issues:

- Commitment to the Residential Design Guidelines
- Traffic calming
- Timing of construction of the pool and amenity center
- Street sections meeting Emergency Medical Services roadway widths
- Language in the homeowner's covenants that no more than 10% of the dwellings would be rental units

Staff worked with the applicant and were now in agreement with the items.

The standards for a conditional rezoning were as follows:

- 1. Whether the proposed conditional rezoning advances the public health, safety, or welfare;
- 2. Whether the extent to which the proposed conditional rezoning is appropriate for its proposed location, and is consistent with the purposes, goals, objectives, and policies of the Town's adopted policy guidance;
- 3. Whether an approval of the conditional rezoning is reasonable and in the public interest;
- 4. Whether the extent to which the concept plan associated with the conditional rezoning is consistent with this Ordinance; and
- 5. Any other factors as the Board of Commissioners may determine to be relevant.

The Planning Board voted for approval with a 5 to 1 vote at the May 17, 2021 meeting. Staff also recommended approval of the development.

It was stated all on street parking would be in marked spaces and the applicant was meeting the Town's design guidelines as set in the UDO.

There was discussion about the roundabout installation on HWY 96 and Pony Road. Commissioner Loucks asked to make the roundabout installation, once 25% building permits were completed, as a condition of approval.

There was discussion about rental restrictions. Staff explained the Homeowner's Association would take over once the plat was recorded and the 10% rental restriction would be included as a condition in the Homeowner's Agreement and enforced by the Homeowner's Association. Meade Bradshaw stated no more than 10% of the units could be rentals units would be added as condition 17.

Pam Porter with TMTLA Associates agreed to the 10% rental restriction where no more than 10% of the units could be rentals units.

Bryant Spencer was in agreement to install the roundabout once 25% of the building permits were received.

In accordance with Section 2.2.6 of the Town of Zebulon Unified Development Ordinance and NCGS 160D-703, the following conditions were agreed upon for CZ 2020-06.

- 1. Uses shall be limited to single family detached, single family attached, and permitted accessory uses.
- 2. Minimum driveway stem length shall be 20'.
- 3. The portion of the new road (called out as Street A1 on the PD plans) to the Southland Road shall be a modified local road with a 60' right-of-way and 35' B-B.
- 4. Deviation from prescribed street sections to allow for a 60' Public ROW and 37' B-B for entrance in single family attached portion of the development to allow for the construction of a landscape median.
- 5. Pony Road dedicate 20' of right of way. Build ½ of 44' paved section plus Proposed improvements in TIA document. Roadway section will include ditch and 5' wide sidewalk for the full length of property.
- 6. To minimize stream impacts at roadway crossings, roadway section for local streets shall be 26' back-to-back of curb. At Southland Drive, where a portion of roadway will me a modified local street, the roadway section shall be 31' back-to-back of curb at the stream crossing.
- 7. This project shall utilize mass grading.
- 8. Single family detached lots shall have a minimum lot size of 5,000 sf. and a minimum depth of 100'.
- 9. Single family attached lots shall have a minimum lot size of 1,700 sf. and a minimum depth of 75'.
- 10. Single family lots will have driveways off the local streets, with building setbacks of 20' from the right of way.
- 11.Landscape buffer Natural riparian buffer would be provided along the boundary of single family detached units in lieu of a planted landscape buffer.
- 12. Minimum centerline radius for the proposed streets shall be 100' as this is the minimum allowed per NCDOT.
- 13. Three or four evergreen trees (depending on plant) shall be installed at 6' in height where there is an alley dead end in the single family attached portion of the development. Trees shall be any of the following varieties and may more than one type may be utilized based on availability of plant material. Groupings of trees shall be the same species:

Plant Three:

- Emily Bruner Holly (Ilex x 'Emily Bruner')
- Green Giant Arborvitae (Thuja standishii x plicata 'Green Giant')
- Green Sport Western Red Cedar (Thuja plicata 'Green Sport')
- Oakleaf Red Holly (Ilex x 'Conaf')

Plant Four:

- Degroot's Spire Arborvitae (Thuja occidentalis 'Degroot's Spire')
- Compact Carolina Cherry Laurel (Prunus caroliniana 'Compacta')
- 14. Raised slab foundation shall be permitted.
- 15. Vinyl siding shall not be permitted but vinyl accents, such as windows, decorative trim, and other elements shall be permitted.
- 16. Where street trees cannot be located in the prescribed planting strip due to on-street guest parking, street trees shall be located in a 10' landscape easement on the adjacent lot
- 17. No more than 10% of the units could be rental units.
- 18. Install the roundabout once 25% of the building permits were received.

(Conditions amended to add 17 and 18)

*All other applicable Unified Development Ordinance requirements shall remain as written and the requirements by other agencies will be reviewed and regulated at the time of Technical Review Committee review process.

Commissioner Loucks made a motion, second by Commissioner Clark to approve Ordinance 2022-10 – Planned Development – Pony Road with the added conditions of no more than 10% of the units could be rental units and install the roundabout once 25% of the building permits were received. There was no discussion and the motion passed unanimously.

B. Administration

1. Meeting Date Change

Commissioner Baxter asked to change the date of the August 19, 2021 work session due to an Artist Meet and Greet being on that same day.

Commissioner Baxter made a motion, second by Commissioner Clark to move the Work Session from August 19, 2021 at 6:00pm to August 25, 2021 at 6:00pm. There was no discussion and the motion passed unanimously.

NEW BUSINESS

A. Planning

1. Streetscape Match Request – Pots of Love

Morgan Rowden explained the Zebulon Women's Club requested a match of \$500 under the Town's Streetscape Match Policy. The funds would go towards the Pots of Love Program. The program started in 2018 with 22 flowerpots and had grown to 48 flowerpots. Morgan Rowden explained what the matching grant. Staff recommended acceptance of the request.

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the Streetscape Match Request – Pots of Love. There was no discussion and the motion passed unanimously.

2. Streetscape Match Grant Revision

Michael Clark explained the background of the grant policy and the differences of the current and proposed plan. The new plan would expand the policy to include downtown businesses and would be reviewed by the economic development committee. Staff recommended approval as drafted.

The Board of Commissioner would be notified when a new Streetscape Match Grant was approved.

Commissioner Clark made a motion, second by Commissioner Moore to approve the Streetscape Match Grant Revision.

There was discussion about adding a Board member to the Economic Development Committee. Commissioner Loucks volunteered to serve on the Committee.

Joe Moore advised against mixing governing and administrative functions by keeping both Boards separate.

Commissioner Baxter made a motion, second by Commissioner Loucks to appoint Larry Loucks to the Economic Development Committee. There was no discussion and the motion passed with a vote 3 to 1 with Commissioners Baxter, Loucks and Moore voting in favor and Commissioner Clark voting in opposition.

There was no further discussion about the Streetscape Match Grant Revision and the motion passed unanimously.

B. Administration

1. Board Appointments

Lisa Markland stated there was one in-Town vacancy and one ETJ vacancy on the Planning Board. The positions were three-year terms expiring on June 30, 2024. Applications were submitted by Gene Blount, Genia LaRese Newkirk and Domenick Schilling all in-Town and by Laura Johnson and David Hughes for the ETJ vacancy.

The Board of Adjustment had two in-Town vacancies and one ETJ regular vacancy and one ETJ alternate vacancy. All positions were a three-year term and expired on June 30, 2024. Jay Estes and Genia LaRese Newkirk. Jay Estes was not present at the meeting.

Gene Blount, Genia LaRese Newkirk, Domenick Schilling, Laura Johnson and David Hughes were present and spoke to the Board about why they wanted to serve on the Planning Board.

Commissioner Baxter made a motion, second by Commissioner Clark to move Board Appointments to the September 13, 2021 meeting. There was no discussion and the motion passed unanimously.

C. Public Works

1. Ordinance 2022-11 - Environmental Phase II of Eastern Wake EMS Property

Chris Ray asked the Board to consider budgeting a Phase II Environmental Site Assessment of the Eastern Wake EMS Property being considered for acquisition. The property was occupied by a dry cleaner from 1967 to 1975 and used hazardous materials. Chris Ray spoke about the findings of the Phase I Environmental Site Assessment. The decision for the Board was whether to proceed with the Phase II Environmental Site Assessment of the EMS station property prior to a decision on the purchase of the property.

Staff recommended approval of Ordinance 2022-11.

Commissioner Baxter inquired about the size of drycleaner. Staff estimated the dry cleaner was between five to nine employees which would be considered a medium sized dry cleaner.

There was discussion about an Historical Recognized Environmental Condition (HREC) which referred to a past release that had been remediated to below "residential" standards and given regulatory closure with no use restrictions. Eric Vernon spoke about the State's program for remediation.

Mayor Matheny inquired about the liquid in the storage tank being classified as non-hazardous. Chris Ray stated the assessment did not identify the liquid but conformed it was non-hazardous.

There was discussion about the depth of the samplings and the boring samples taken around the tanks.

Commissioner Baxter made a motion, second by Commissioner Clark to approve Ordinance 2022-11 – Environmental Phase II of Eastern Wake EMS Property. There was no discussion and the motion passed unanimously.

D. Parks and Recreation

1. Zebulon Municipal Complex Facility Use Application – ERA Parrish Realty Sheila Long stated ERA Parrish Realty Legacy Group submitted an application to use the facilities at the Zebulon Municipal Complex on September 25, 2021. The event would be free to the public and would include music, food, and family-friendly entertainment. There would also be an auction with proceeds going to the Zebulon Boys and Girls Club. The Events Committee reviewed the application and offered comments. Sheila Long spoke about the fees and responsibilities of ERA Parrish Realty.

A rain date had not been requested. The Town offered no guarantees with the possibility of future COVID restrictions.

Commissioner Clark made a motion, second by Commissioner Baxter to approve the Zebulon Municipal Complex Facility Use Application – ERA Parrish Realty with an added rain date, if necessary. There was no discussion and the motion passed unanimously.

BOARD COMMENTS

Commissioner Loucks asked citizens to get vaccinated and wear a mask.

Commissioner Moore reiterated Commissioner Loucks' comments about getting vaccinated.

Commissioner Baxter commended the downtown business owners who were making sure their facades were in compliance and encouraged others to do so.

MANAGER'S REPORT

Joe Moore stated he would check with the branding consultant to make sure they would be able to attend the August 25, 2021 work session. The meeting would give an overview of the branding project, the Parks and Rec Master Plan and upcoming text amendments. It was explained COVID was still present, and staff would present some options for the Tree lighting.

Michael Clark introduced the new Code Enforcement Officer, Brad Pleasant.

CLOSED SESSION

Mayor Matheny stated they needed a motion to go into closed session as permitted by N.C. General Statute § 143-318.11(a)(5): "... to instruct the [Town] staff or negotiating agents concerning the position to be taken by or on behalf of the [Town] in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; ..."

Commissioner Loucks made a motion, second by Commissioner Baxter to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Loucks made a motion, second by Commissioner Baxter to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Baxter to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 13 th day of September 2021.	
	Robert S. Matheny—Mayor
SEAL	
	Lisa M. Markland, CMC—Town Clerk

Zebulon Board of Commissioners Special Called Meeting Minutes August 18, 2021

Present: Robert S. Matheny, Beverly Clark, Annie Moore, Shannon Baxter, Glenn York, Larry Loucks, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Michael Clark-Planning, Sheila Long-Parks and Recreation, Jacqui Boykin-Police, Morgan Rowden-Planning

Teresa Piner - DAC Coordinator, Sherry Adams - NC Main Street, Chuck Halsall - NC Main Street

Teresa Piner, the Downtown Associate Community Coordinator, introduced Mayor Robert Matheny. Mayor Matheny welcomed all who were in attendance and introduced the NC Main Street representatives, Sherry Adams and Chuck Halsall, to give the instructions and guidance for the evening.

Brandon McCraney, owner of Olde Raleigh Distillery, thanked everyone for coming out and stated he was honored to host the event in the new event space created when the distillery opened.

Sherry Adams and Chuck Halsall gave a brief overview of who the NC Main Street Program was and what their mission was as well as spoke about the DAC Program and its goals.

There were various activities for each table to discuss and then share their thoughts with the rest of the group. The activities discussed were Economic Assets, S.W.O.T analysis and Development of a Downtown Mission Statement.

There were great ideas shared by all the tables.

Sherry Adams explained that they would take all of the information from the evening, and staff and the NC Main Street group would meet with the Chamber to discuss what the main points that groups had in common to determine where to go from there.

The meeting wrapped up at 8:00pm

SEAL

Adopted this the 13th day of September 2021.

Robert S	S. Mathe	ny-May	or

Zebulon Board of Commissioners Work Session Minutes August 25, 2021

Present: Robert S. Matheny, Beverly Clark, Annie Moore, Glenn York, Shannon Baxter, Larry Loucks, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Perry-Fire, Michael Clark-Planning, Sheila Long-Parks and Recreation, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Amy Hayden-Parks and Recreation, Eric Vernon-Attorney

Mayor Matheny called the meeting to order at 6:00pm.

APPROVAL OF AGENDA

Commissioner Loucks made a motion, second by Commissioner Clark to approve the agenda. There was no discussion and the motion passed unanimously.

Joe Moore gave an overview of the topics to the discussed at the meeting.

BRANDING OVERVIEW

Aaron Arnett from Arnett Muldrow & Associates spoke about his company and the other municipalities and companies they have worked with. The objectives of the branding process were stated, and numerous branding examples were shown. Mr. Arnett also gave an overview of how communities develop, extend, and apply a brand identity.

It was stated the branding process would take approximately four to six months.

PARKS AND RECREATION MASTER PLAN

Sheila Long stated the Parks and Recreation Advisory Board recommended approval of the Master Plan at their August 16, 2021 meeting.

Drew Crumpton, Landscape Architect and Park Planner at AECOM spoke about the Parks and Recreation Master Plan. The project process included system inventory and analysis, community needs assessment, vision development and recommendations and implementation strategies.

The vision statement and vision goals were discussed. The vision map was shown. The objectives of the plan included:

- neighborhood parks and open spaces
- community parks and athletic facilities
- natural areas and sustainability
- programs, community health and special events
- · connectivity and access.

The total park system was estimated to cost \$59,362,992.

The priory projects included:

- Focus on improving existing parks
- East/West greenway connection Green Spine
- Cohesive park branding/signage
- Downtown park and alleyways
- Greenway access in neighborhoods
- Community park expansion-athletics consolidation
- Activate parks with programs
- Little River corridor

Commissioner Baxter inquired about the prioritization of the projects. The priority for the projects came from the Parks and Recreation Advisory Board, park staff and was formed by community input.

Mr. Crumpton spoke about the phasing plan, future funding considerations, programming and policy recommendations.

Sheila Long shared the next steps for the Parks and Rec Master Plan. The Plan would go before the Board at their September 13 meeting for adoption. There would be a Public Hearing for the impact fee study on September 20 and the budget and fee schedule change would go before the Board at their October 4 meeting.

DEVELOPMENT ORDINANCE TEXT AMENDMENTS

Michael Clark spoke about proposed amendments to the following:

- Downtown building design
- New use classifications (e.g., pawn shops, vape shops, art galleries, artisan studios)
- Residential guest parking requirements
- Design of auto-oriented developments (e.g., drive-thrus, automotive service).

The corrections to chapter 4 and 5 were discussed. The changes would allow clarification and design guidelines.

Mayor Matheny asked about the 300' separation of uses restriction. This limitation allowed the separation of uses in the downtown area to avoid a concentration of uses downtown. It was explained how the concentration of uses next to each other could be a negative economic impact.

The text amendments would go before the Board at the September 20 Joint Public Hearing with a possible adoption at the October 4 meeting.

There was discussion about the possible legalization of CBD and medical marijuana and what other states have done.

DOWNTOWN TREE LIGHTING

Sheila Long gave options on how, or if, to host the downtown tree lighting event with current COVID restrictions.

The options included:

- The full event with a band, amusements, vendors, food trucks, beer garden, local performances
- Scaled back ceremony on E. Sycamore only, local performers and no amusements or vendors
- Virtual pre-filed lighting with partners and Santa
- Do nothing

There were concerns expressed about having a large crowd downtown. There was discussion about the possibility of having tickets for the event and suggestions to have the event virtual to maintain safety and public health.

There was a consensus among the Board to not have the full event. Staff would present options and more detail to the Board at their September meeting.

Joe Moore spoke about the upcoming meeting schedule. Town Hall would be closed September 6 for the Labor Day holiday. The next regular meeting was scheduled for September 13 at 7:00pm. The Joint Public Hearing was scheduled for September 20 at 7:00pm and the work session was scheduled for September 22 at 6:00pm.

Commissioner Loucks made a motion, second by Commissioner Clark to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 13th day of September 2021.

	Robert S. Matheny—Mayor
SEAL	
	Lisa M. Markland, CMC—Town Clerk



Board of Commissioners P.O. Box 550 • Raleigh, NC 27602

TEL 919 856 6180 FAX 919 856 5699

MATT CALABRIA, CHAIR VICKIE ADAMSON, VICE-CHAIR MARIA CERVANIA SUSAN EVANS SIG HUTCHINSON SHINICA THOMAS JAMES WEST

August 17, 2021

Ms. Lisa Markland Town Clerk Town of Zebulon 1003 North Arendell Avenue Zebulon, North Carolina 27597

Dear Ms. Markland:

The Wake County Board of Commissioners, in regular session on August 16, 2021, approved and accepted the enclosed tax report for the Town of Zebulon.

The attached adopted actions are submitted for your review; no local board action is required.

Sincerely,

Yvonne Gilyard \(\bigcup \)
Deputy Clerk to the Board

Wake County Board of Commissioners

Enclosure(s)



Wake County Tax Administration

DATE

TIME

PAGE

Rebate Details 06/01/2021 - 06/30/2021

07/04/2021

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ZEBULON

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER			BILLING TYPE	OWNER
INDIVIDUAL PROPERTY ACCO	OUNTS										
789234	44.88	30.00	0.00	0.00	74.88	06/30/2021	0006937533	2021	2020	000000	KELLY, CLARA DEE
SUBTOTALS FOR INDIVIDUAL PROPERTY ACCOUNTS	44.88	30.00	0.00	0.00	74.88	1	Properties	Rebated			
WILDLIFE BOAT ACCOUNTS											
788341	16.12	0.00	1.61	0.00	17.73	06/21/2021	0004195631	2020	2020	000000	MOORE, RALPH DENNIE
788340	19.06	0.00	1.91	0.00	20.97	06/21/2021	0004195631	2019	2019	000000	MOORE, RALPH DENNIE
SUBTOTALS FOR WILDLIFE BOAT ACCOUNTS	35.18	0.00	3.52	0.00	38.70	2	Properties	Rebated			
TOTAL REBATED FOR ZEBULON	80.06	30.00	3.52	0.00	113.58	3	Properties I	Rebated	for City		



Wake County Tax Administration Rebate Details

DATE 07/04/2021 TIME

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06/01/2021 - 06/30/2021

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REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER			OR TYPE	G OWNER
Grand Total:	7,506.07	380.00	72.82	0.00	7,958.89		40 Pro	perties R	lebate	ed for All Cities	



STAFF REPORT FINANCIAL STATEMENTS UPDATE SEPTEMBER 13, 2021

Topic: FY 2022 Monthly Financial Statement Update

Speaker: Bobby Fitts, Finance Director (if pulled from Consent)

Prepared by: Bobby Fitts, Finance Director

Approved by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

This monthly report summarizes the status of the Town's revenues and expenditures.

Background:

The attached financials are a summary of revenues and expenditures to date. These are provided to keep the Board informed, on a monthly basis, of how revenues and expenditures are trending throughout the year. The enclosed statements are through August 27, 2021.

Information:

Expenditures

With Fiscal Year 2021 almost closed with only one more month of sales tax and the final quarter of utilities sales tax remaining, the revenues and expenditures appear to be the following approximately:

o Revenues: \$13,145,000 (up 9.3% from FY 2020)

Expenditures: \$11,022,000 (up 8.2% from FY 2020)

With approximately 2 months into Fiscal Year 2022 expenditures complete, the Town has spent approximately 11% (~ \$1,809,000) of its General Fund budget of \$16,623,562. It is important to note some larger early year expenditures – debt service payments have been made on the fire pumper truck (approximately \$83,000) and some vehicle purchases have been made across departments. Also, all the annual property & liability as well as the workers compensation premiums have been paid. This is why these departments have higher amounts of percent of budget spent at this early point in the year. Some discussion on some early revenue activity such as zoning fees and property taxes are below. The revenue and expenditure statements are included for your review.

Revenues

- Property Tax (largest revenue stream)
 - + Final FY 2022 collections: \$316,560 collected to date (4% of budgeted revenues (\$7,628,000)).
 - + 13.3% more than collected last fiscal year (\$279,441).
 - + Observations:
 - # One month of vehicle taxes have been received for FY 2022.
- Sales Tax (second largest revenue stream)
 - + Monthly comparisons (May's sales (reports lag 3-months)):
 - # \$26,926 (28.7%) more collected than last May for all sales tax.
 - # \$13,364 (32.2%) more collected than last May for "local" sales tax.



STAFF REPORT FINANCIAL STATEMENTS UPDATE SEPTEMBER 13, 2021

- + Year-to-Date comparisons (sales through the first eleven months of the fiscal year)
 - # \$165,731 (+15.9%) more collected than at this time last for all sales tax
 - # Collections are 114% of budgeted revenues (ahead of schedule through conservative budgeting and robust sales).
- Utilities Sales Tax (5% of revenue stream): fourth quarterly disbursement to be received September 15
 - + The first distribution for FY 2022 will not be received until December 15
- Permits & Zoning
 - + \$17,763 collected total (8% of budgeted revenues (\$220,000))
 - + 10.8% more than what was collected this time last fiscal year (\$16,033).
 - + An indication of development activity and corresponding support services.
- Transportation Impact Fees
 - + \$21,392 collected total (10.7% of budgeted revenues (\$200,000)).
 - + 6% less than what was collected last fiscal year (\$22,815).
 - + Revenue placed in reserve for transportation projects to be spent within 10 years

Large revenues such as sales tax and utilities sales tax for FY 2022 will not be received until starting in October. As usual, the majority of property taxes for FY 2022 will be received later in the year as well (November – December). It is too early in the year to discuss trends in revenues or expenditures. The revenue and expenditure statements are still included for your review, however.

Policy Analysis: N/A

Financial Analysis: Budgeted revenue in FY 2022 was \$16,623,562 while year to date revenue collected was \$612,803 (3.7% of budgeted). As shown in the chart on the Revenue Statement, 58% of year-to-date revenues come from property taxes as the total for the year has been collected.

Staff Recommendation:

No staff recommendation or Board action is necessary. These are informational only.

Attachments:

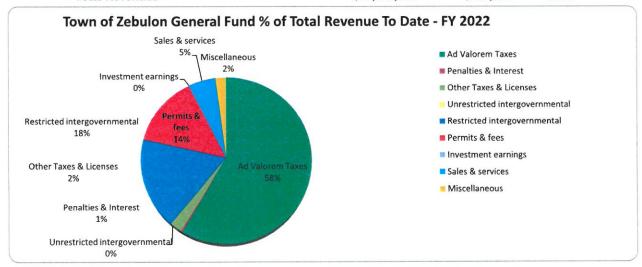
- 1. General Fund Fiscal Year **2022** Expenditure Statement and Revenue Statement (as of August 27, 2021)
- 2. Sales Tax FY 2021



TOWN OF ZEBULON Revenue Statement:2021 - 2022 for Accounting Period 6/30/2022 GENERAL FUND

As of 8/27/2021

Revenue Categories	Estimated Revenue	Revenue YTD	% Collected	% of Total Revenue YTD
Ad Valorem Taxes	\$7,672,000	\$357,547	4.7%	58.3%
Penalties & Interest	\$13,500	\$2,387	17.7%	0.4%
Other Taxes & Licenses	\$145,400	\$13,805	9.5%	2.3%
Unrestricted intergovernmental	\$1,927,500	\$0	0.0%	0.0%
Restricted intergovernmental	\$926,500	\$107,693	11.6%	17.6%
Permits & fees	\$551,500	\$85,940	15.6%	14.0%
Investment earnings	\$3,500	\$122	3.5%	0.0%
Sales & services	\$931,400	\$32,828	3.5%	5.4%
Miscellaneous	\$67,840	\$12,483	18.4%	2.0%
Other Financing Sources (Lease Purchase)	\$315,000	\$0	0.0%	0.0%
Fund Balance Appropriated	\$4,069,422	<u>\$0</u>	0.0%	0.0%
Total Revenues	\$16,623,562	\$612,803	3.7%	100%





TOWN OF ZEBULON

Expenditure Statement:2021 - 2022 for Accounting Period 6/30/2022 GENERAL FUND

As of 8/27/2021

Dept #	<u>Department</u>	Approp Amount	Expenditure YTD	<u>% Ехр.</u>
410	GOVERNING BODY	\$435,015	\$46,837	10.8%
420	FINANCE	\$407,016	\$60,165	14.8%
430	ADMINISTRATION	\$1,021,700	\$140,251	13.7%
490	PLANNING AND ZONING	\$652,366	\$106,261	16.3%
500	PUBLIC WORKS-PROPERTY & PROJECT MGMT	\$2,488,915	\$119,876	4.8%
510	POLICE	\$2,746,880	\$562,743	20.5%
520	PUBLIC WORKS-OPERATIONS	\$3,333,400	\$261,772	7.9%
530	FIRE	\$3,038,614	\$372,456	12.3%
570	POWELL BILL	\$351,500	\$1,653	0.5%
620	PARKS & RECREATION	\$1,783,011	\$137,194	7.7%
690	COMMUNITY & ECONOMIC DEVELOPMENT	\$365,145	\$0	0.0%
	Total Expenditures	\$16,623,562	\$1,809,207	10.9%

Sales Tax

FY 2021

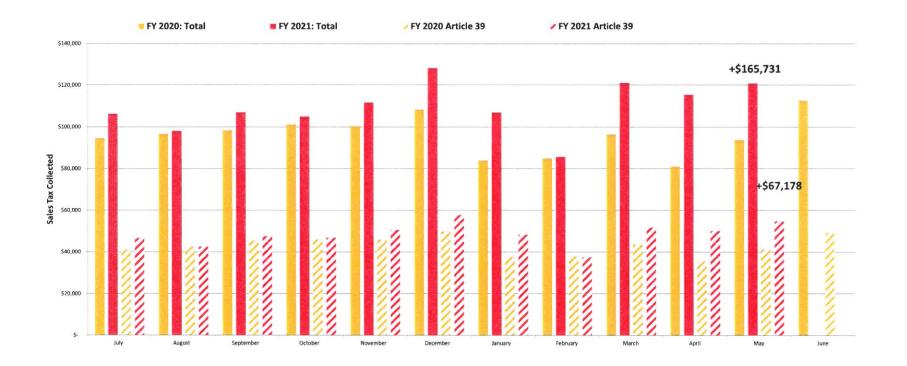
Month	F	Article 39 (1) *		Article 40 (1/2)	Article 42 (1/2)		Article 44 (1/2)	City Hold Harmless		FY 21 Totals	Prior Year (FY 2020)	% Inc (Dec) from Prior Yr
July	\$	46,727	\$	19,891	\$ 23,3	31	\$ (7) \$	16,351	\$	106,293	\$ 94,711	12.2%
August		42,713		18,626	21,3	27	11	15,457		98,134	96,820	1.4%
September		47,770		19,733	23,8	58	(2)	15,658		107,017	98,482	8.7%
October		46,956		19,326	23,4	33	(13)	15,354		105,056	101,205	3.8%
November		50,717		20,199	25,2	85	(2)	15,574		111,773	100,498	11.2%
December		58,329		23,016	29,1	46	10	17,704		128,204	108,478	18.2%
January		48,410		19,425	24,1	85	1	15,012		107,034	84,115	27.2%
February		37,570		16,223	18,7	34	1	13,282		85,810	85,027	0.9%
March		51,917		23,270	25,9	50	(2)	20,007		121,143	96,647	25.3%
April		50,198		21,765	25,0	58	(3)	18,418		115,436	81,112	42.3%
May		54,888		21,736	27,4	02	0	16,841		120,866	93,940	28.7%
June	_	-	-						_	-	112,742	<u>-100.0%</u>
Total	\$	536,195	\$	223,209	\$ 267,7	09	\$ (6) \$	179,659	\$	1,206,766	\$ 1,041,036	15.9%

FY 2020

Month	Article 3	9 (1) *	Article 40 (1/2)	Article 42 (1/2)	Article 44 (1/2)	City Hold Harmless	FY 20 Totals	Prior Year (FY 2019)	% Inc (Dec) from Prior Yr
July	\$	41,205	\$ 17,900	\$ 20,548	\$ 43 \$	15,016	\$ 94,711	\$ 82,490	14.8%
August		42,670	18,069	21,290	1	14,791	96,820	90,393	7.1%
September		45,534	17,330	22,718	1	12,899	98,482	89,061	10.6%
October		46,223	17,994	23,069	(1)	13,920	101,205	89,671	12.9%
November		46,102	17,842	22,999	9	13,546	100,498	97,904	2.6%
December		50,451	18,922	25,168	2	13,935	108,478	104,983	3.3%
January		37,739	15,421	18,827	0	12,127	84,115	76,871	9.4%
February		38,082	15,647	18,979	0	12,318	85,027	75,834	12.1%
March		43,777	17,750	21,887	(1)	13,235	96,647	104,736	-7.7%
April		35,710	15,381	17,829	(0)	12,193	81,112	97,795	-17.1%
May		41,524	17,658	20,749	(0)	14,009	93,940	101,771	-7.7%
June		49,544	21,107	24,751	(0)	17,341	112,742	105,892	6.5%
Total	\$	518,561	\$ 211,021	258,812	\$ 54 \$	165,330	\$ 1,153,778	\$ 1,117,401	3.3%

^{*} Net proceeds of the Article 39 tax are returned to the county of origin.

Monthly Summary of Sales Tax Collected





ORDINANCE 2022-03A AMENDING FIRE STATION CAPITAL PROJECT FUND ORDINANCE SEPTEMBER 13, 2021

Topic: Ordinance 2022-03A - Fire Station - Capital Project Fund

Speaker:

Bobby Fitts (if pulled from Consent)

From:

Bobby Fitts, Finance Director Bobby Fitts, Finance Director

Prepared by: Approved by:

Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider amending the ordinance which established a capital project fund for the Fire Station project at the August meeting.

Background:

At the August meeting, the Board of Commissioners approved an ordinance establishing a capital project fund for the fire station project. The ordinance, however, contained an error in the Land Acquisition amount causing the ordinance to be out of balance. In consultation with the School of Government, they recommended presenting the corrected ordinance for Board approval.

Discussion:

Ordinance 2022-03A would correct the ordinance that was approved at the August meeting and Ordinance 2022-03 would be void.

Policy Analysis:

Governmental Accounting Standards Board (GASB) statement number 54 allows capital project funds to account for and report financial resources that are restricted, committed or assigned to expenditure for capital outlays including the acquisition or construction of capital facilities and other capital assets.

Staff Recommendation:

Staff recommends approval of Ordinance 2022-03A.

Attachments:

1. Ordinance 2022-03A

ORDINANCE 2022-03A ESTABLISHING A CAPITAL PROJECT FUND FOR THE FIRE STATION CAPITAL PROJECT

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to §159-13.2 of the North Carolina General Statutes, the following Capital Project Ordinance is hereby adopted.

Section 1. The project authorized is the Fire Station Capital Project.

Section 2. The officers of this unit are hereby directed to proceed with the capital project within the terms of the grant agreement and the budget contained herein.

Section 3. The following amounts are appropriated for the project.

Fire Station Design	\$310,700.00
Land Acquisition	\$626,200.00
Fire Station P.E.R.	\$50,000.00
Total	\$986,900.00

Section 4. The following revenues are anticipated to be available to complete this project.

Transfer from General Fund	\$986,900.00
Total	\$986,900.00

Section 5. The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the grant and state regulations.

Section 6. Funds may be advanced from the General Fund for the purpose of making payments as due.

Section 7. The Finance Officer is directed to include a detailed analysis of past and future costs and revenues on this capital project in every budget submission made to the Board.

Section 8. The Finance Officer is directed to report on a quarterly basis on the financial status of each project element in Section 3.

Section 9. Copies of this Capital Project Ordinance shall be furnished to the Town Clerk, to the Governing Body, the Budget Officer, and to the Finance Officer for direction in carrying out this project.

Adopted this 13 th day of September, 2021.		
ATTEST	Robert S. Matheny, Mayor	
ATTEST		
Lisa M. Markland, Town Clerk		



STAFF REPORT ORDINANCE 2022-12

ESTABLISHING A GRANT SPECIAL PROJECT FUND FOR AMERICAN RESCUE PLAN FUNDS SEPTEMBER 13, 2021

Topic: Ordinance 2022-12 – American Rescue Plan Funds – Grant Project Fund

Speaker:

Bobby Fitts (if pulled from Consent)

From:

Bobby Fitts, Finance Director Bobby Fitts, Finance Director

Prepared by: Approved by:

Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider adopting the ordinance which establishes a special grant project fund for the American Rescue Plan Funds that the Town is receiving.

Background:

At the August meeting, the Board of Commissioners approved accepting American Rescue Plan funds from the United States Treasury.

Discussion:

Ordinance 2022-12 would recognize the revenue and generally appropriate the funds for expenditure. Once firmer direction is established on the eligible use of the funds, Staff will present options for the Board to consider in finding specific programs and projects.

Policy Analysis:

Governmental Accounting Standards Board (GASB) statement number 54 allows capital project funds to account for and report financial resources that are restricted, committed or assigned to expenditure for capital outlays including the acquisition or construction of capital facilities and other capital assets.

Staff Recommendation:

Staff recommends approval of Ordinance 2022-12.

Attachments:

- 1. Ordinance 2022-12
- Handout: "Treasury Guidance: Eligible Uses"

ORDINANCE 2022-12 ESTABLISHING A GRANT PROJECT FUND FOR THE TOWN OF ZEBULON CORONOVIRUS STATE AND LOCAL FISCAL RECOVERY FUNDS

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to Section 13.2 of Chapter 159 of the North Carolina General Statutes, the following grant project ordinance is hereby adopted.

Section 1: This ordinance is to establish a budget for a project to be funded by the Coronavirus State and Local Fiscal Recovery Funds of H.R. 1319 American Rescue Plan Act of 2021 (CSLRF). The Town of Zebulon has received the first tranche in the amount of \$942,866.39 of CSLRF funds. The total allocation is \$1,885,732.78, with the remainder to be distributed to the town within 12 months. These funds may be used for the following categories of expenditures, to the extent authorized by state law.

- 1. Support public health expenditures, by funding COVID-19 mitigation efforts, medical expenses, behavioral healthcare, and certain public health and safety staff;
- 2. Address negative economic impacts caused by the public health emergency, including economic harms to workers, households, small businesses, impacted industries, and the public sector;
- 3. Replace lost public sector revenue, using this funding to provide government services to the extent of the reduction in revenue experienced due to the pandemic;
- 4. Provide premium pay for essential workers, offering additional support to those who have borne and will bear the greatest health risks because of their service in critical infrastructure sectors; and,
- 5. Invest in water, sewer, and broadband infrastructure, making necessary investments to improve access to clean drinking water, support vital wastewater and stormwater infrastructure, and to expand access to broadband internet.

Section 2: The following amounts are appropriated for the project and authorized for expenditure:

CSLRF Project \$1,885,733*

[*Once it determines how it will spend all or a portion of the ARP fuds, the governing board will amend this section to authorize appropriations for specific programs, services, projects, and activities. A board also may appropriate some or all of these funds to an enterprise fund in an annual budget ordinance for a water, wastewater, or stormwater infrastructure project.]

Section 3: The following revenues are anticipated to be available to complete the project:

CSLRF Funds \$1,885,733

Section 4: The Finance Officer is hereby directed to maintain sufficient specific detailed accounting records to satisfy the requirements of the grantor agency and the grant agreements.

Section 5: The Finance Officer is hereby directed to report the financial status of the project to the governing board on a quarterly basis.

Section 6: Copies of this grant project ordinance shall be furnished to the Budget Officer, th	e Finance
Officer and to the Town Clerk.	

Section 7: This grant project ordinance expires on December 31, 2026, or when all the CSLRF funds have been obligated and expended by the town, whichever occurs sooner.

Adopted this 13 th day of September, 2021.		
ATTEST	Robert S. Matheny - Mayor	
Lisa M. Markland, CMC - Town Clerk		

Office of Recovery Programs

Treasury Guidance: Eligible Uses



Support Public Health Response

Fund COVID-19 mitigation efforts, medical expenses, behavioral healthcare, and certain public health and safety staff



Replace Public Sector Revenue Loss

Use funds to provide government services to the extent of the reduction in revenue experienced due to the pandemic



Water and Sewer Infrastructure

Make necessary investments to improve access to clean drinking water and invest in wastewater and stormwater infrastructure



Address Negative Economic Impacts

Respond to economic harms to workers, families, small businesses, impacted industries, and the public sector



Premium Pay for Essential Workers

Offer additional support to those who have and will bear the greatest health risks because of their service in critical infrastructure sectors



Broadband Infrastructure

Make necessary investments to provide unserved or underserved locations with new or expanded broadband access



Office of Recovery Programs

Treasury Guidance: Examples

Support Public Health Response

- · Services to contain and mitigate the spread of COVID-19, including vaccination, medical expenses, testing, contact tracing, quarantine costs, capacity enhancements, and many related activities
- Behavioral healthcare services, including mental health or substance misuse treatment, crisis intervention, and related services
- Payroll and covered benefits for public health, healthcare, human services, and public safety staff to the extent that they work on the COVID-19 response

Replace Public Sector Revenue Loss

- Ensure continuity of vital government services by filling budget shortfalls
- Revenue loss is calculated relative to the expected trend, beginning with the last full fiscal year prepandemic and adjusted annually for growth
- Recipients may re-calculate revenue loss at multiple points during the program, supporting those entities that experience revenue loss with a lag

Address Negative Economic Impacts

- · Deliver assistance to workers and families, including support for unemployed workers, aid to households, and survivor's benefits for families of COVID-19 victims
- Support small businesses with loans, grants, in-kind assistance, and counseling programs
- Speed the recovery of impacted industries, including the tourism, travel, and hospitality sectors
- Rebuild public sector capacity by rehiring staff, replenishing state unemployment insurance funds, and implementing economic relief programs



Premium Pay for Essential Workers

- Provide premium pay to essential workers, both directly and through grants to third-party employers
- Prioritize low- and moderate-income workers, who face the greatest mismatch between employmentrelated health risks and compensation
- Key sectors include healthcare, grocery and food services, education, childcare, sanitation, and transit
- Must be fully additive to a worker's wages



U.S. Dept. of the Treasury Quick Reference Guide

Office of Recovery Programs

Treasury Guidance: Eligible Uses



Water & Sewer Infrastructure

- Includes improvements to infrastructure, such as building or upgrading facilities and transmission, distribution, and storage systems
- Eligible uses aligned to Environmental Protection Agency project categories for the Clean Water State Revolving Fund and Drinking Water State Revolving Fund

© Equity-Focused Services

- Additional flexibility for the hardest-hit communities and families to address health disparities, invest in housing, address educational disparities, and promote healthy childhood environments
- Broadly applicable to Qualified Census Tracts, other disproportionately impacted areas, and when provided by Tribal governments



Broadband Infrastructure

- Focus on households and businesses without access to broadband and those with connections that do not provide minimally acceptable speeds
- Fund projects that deliver reliable service with minimum 100 Mbps download / 100 Mbps upload speeds unless impracticable
- Complement broadband investments made through the Capital Projects Fund



Ineligible Uses

- Changes that reduce net tax revenue must not be offset with American Rescue Plan funds
- Extraordinary payments into a pension fund are a prohibited use of this funding
- Other restrictions apply to eligible uses



U.S. Dept. of the Treasury Quick Reference Guide



STAFF REPORT RESOLUTION 2022-04

FY 2022 LEASE PURCHASE AWARD – LEAF TRUCK & PAYLOADER SEPTEMBER 13, 2021

Topic: Resolution 2022-04 – Lease Purchase Award (Leaf Truck & Payloader)

Speaker:

Bobby Fitts, Finance Director (if pulled from Consent)

From: Prepared by:

Bobby Fitts, Finance Director Bobby Fitts, Finance Director

Approved by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board will consider a lease purchase of a leaf truck and compact payloader.

Background:

The purchase of a leaf truck and compact payloader were approved with adoption of the FY 2022 Budget. Staff subsequently solicited proposals from lenders to finance the acquisitions through an installment-purchase agreement with a term of 5 years.

Requests for Proposals were sent to eight lending institutions on July 29, 2021. Proposals were due by 11:00 AM on Monday, August 12, 2021. Two bids were received (see the enclosed bid tabulation).

Discussion:

The discussion before the Board is whether to approve the attached resolution recommending Truist Bank as the lender on the purchase of the equipment.

Policy Analysis:

NCGS 160A-20 authorizes local governments to purchase real or personal property by installment contracts. This purchase is consistent with the expenditures approved by adopting the FY 2022 Budget Ordinance.

Financial Analysis:

The following table summarizes the rates, fees and total costs (five annual payments) received by each lending institution (both proposals are within budgeted amounts):

Company:	Rate	<u>Fees</u>	Total Cost
Truist Bank	1.43%	None	\$313,722.10
Signature Public Funding Corp	1.448%	\$250.00	\$314,081.88

The Residential Garbage Rate fee adopted in the FY '22 Budget Fee Schedule will generate enough revenue to cover the debt service payments on the leaf truck and payloader, and the increase in billing services charged by the City of Raleigh.

Any additional revenue, collected through the growth in customers, will be placed into reserves to fund the upcoming replacement of other medium-duty equipment and vehicles within our Fleet (e.g., backhoes, knucklebooms and street sweepers).



STAFF REPORT RESOLUTION 2022-04 FY 2022 LEASE PURCHASE AWARD – LEAF TRUCK & PAYLOADER SEPTEMBER 13, 2021

Staff Recommendation:

Staff recommends approval of Truist Bank for this lease purchase project through the attached resolution.

Attachments:

- 1. Resolution 2022-04
- 2. Bid Tabulation FY 2022 Lease Purchase Funding Agreement-Leaf Truck and Payloader

RESOLUTION 2022-04

WHEREAS, The Town of Zebulon ("Borrower") has previously determined to undertake a project for the financing of various equipment (the "Project"), and the Finance Officer has presented a proposal for the financing of such Project; and

WHEREAS, the Town has received multiple bids,

NOW, THEREFORE BE IT RESOLVED by the Board of Commissioners of the Town of Zebulon, as follows:

- 1. The Borrower hereby determines to finance the Project through Truist Bank ("Lender"), in accordance with the proposal dated August 12, 2021. The amount financed shall not exceed \$305,000.00, the annual interest rate (in the absence of default or change in tax status) shall not exceed 1.43%, and the financing term shall not exceed four (4) years from closing.
- 2. All financing contracts and all related documents for the closing of the financing (the "Financing Documents") shall be consistent with the foregoing terms. All officers and employees of the Borrower are hereby authorized and directed to execute and deliver and Financing Documents, and to take all such further action as they may consider necessary and desirable, to carry out the financing of the Project as contemplated by the proposal and this resolution.
- 3. The Finance Officer is hereby authorized and directed to hold executed copies of the Financing Documents until the conditions for the delivery of the Financing Documents have been completed to such officer's satisfaction. The Finance Officer is authorized to approve changes to any Financing Documents previously signed by Borrower officers or employees, provided that such changes shall not substantially alter the intent of such documents or certificates from the intent expressed in the forms executed by such officers. The Financing Documents shall be in such final forms as the Finance Officer shall approve, with the Finance Officer's release of any Financing Document for delivery constituting conclusive evidence of such officer's final approval of the Document's final form.
- 4. The Borrower shall not take or omit to take any action the taking or omission of which shall cause its interest payments on this financing to be includable in the gross income for federal income tax purposes of the registered owners of the interest payment obligations. The Borrower hereby designates its obligations to make principal and interest payments under the Financing Documents as "qualified tax-exempt obligations" for the purpose of the Internal Revenue Code Section 265(b)(3).
- 5. The Borrower intends that the adoption of this resolution will be a declaration of the Borrower's official intent to reimburse expenditures for the project that is to be financed from the proceeds of the Regions financing described above. The

Borrower intends that funds that have been advanced, or that may be advanced, from the Borrower's general fund, or any other Borrower fund related to the project, for project costs may be reimbursed from the financing proceeds.

6. All prior actions of the Borrower officers in furtherance of the purposes of this resolution are hereby ratified, approved, and confirmed. All other resolutions (or parts thereof) in conflict with this resolution are hereby repealed, to the extent of the conflict. This resolution shall take effect immediately.

Adopted this 13th day of September 2021 by the Board of Commissioners of the Town of Zebulon.

	Robert S. Matheny – Mayor
SEAL	
	Lisa M. Markland, CMC – Town Clerk

TOWN OF ZEBULON BID TABULATION

FY 2022 LEASE PURCHASE FUNDING AGREEMENT (LEAF TRUCK & PAYLOADER)

AUGUST 12, 2021 11:00 AM at TOWN HALL

COMPANY	RATE	FEES	CONTACT
1. Truist Bank	1.43%	None	Andrew Smith 803-413-4991
2. Signature Public FundingCorp.3.	1.448%	\$250.00	Dennis McDermott 404-658-4751
4. 5.			

Bid '	Tab	Compl	leted	By
-------	-----	-------	-------	----

Name: Bobby Fitts

Title: Finance Director

Signature:



STAFF REPORT AMENDMENT OF WORK SESSION MEETING SCHEDULE SEPTEMBER 13, 2021

Topic: Amendment of Work Session Meeting Schedule

Speaker: Joseph M. Moore II, PE - Town Manager (if pulled from Consent)

From: Lisa M. Markland – Town Clerk Prepared by: Lisa M. Markland – Town Clerk

Approved by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider amending their 2021 Meeting Schedule by rescheduling the work sessions scheduled for October, November, and December.

Background:

The Town of Zebulon work session meeting schedule has traditionally been held on the third Wednesday after the Board of Commissioners regular meeting at 7pm. The Board moved up the start-time of work sessions to 6pm with the adoption of the 2021 Meeting Schedule.

Due to conflicts with CAMPO meetings the Wednesday at 6pm meeting time did not allow for the Town of Zebulon to be represented well at the CAMPO meeting.

Staff offers changing the remaining work sessions to Thursday at 6pm as a means to ensure that Zebulon is well represented at CAMPO meetings. The thought is that this change would continue for the 2022 meeting schedule.

Discussion:

The discussion before the Board is whether to amend the Board of Commissioners remaining work session meeting schedule for 2021.

Policy Analysis:

The Board of Commissioners adopts the annual meeting schedule at their December Regular Board meeting for the upcoming year.

Staff Recommendation:

Staff recommends amending the 2021 meeting schedule by moving the work session meetings scheduled for October, November and December one day forward to Thursday's at 6pm (September's work session scheduled for Wednesday, September 22 at 6pm is not in conflict with the CAMPO meeting).

Attachments:

1. Amended Meeting Schedule

Day and Date of Board of Commissioners Work Session

All meetings begin at 6:00pm

Wednesday	January 20, 2021 2p	om
	No Meeting in February	
Wednesday	March 17, 2021	
Wednesday	April 21, 2021	
Tuesday	May 11, 2021 E	Budget - No
Wednesday		ditional Items
Thursday	May 27, 2021	
Wednesday	June 16, 2021	
	No Meeting in July	
Wednesday	August 18, 2021	
Wednesday	September 22, 2021	
Thursday	October 21, 2021	
Thursday	November 18, 2021	
Thursday	December 16, 2021	



STAFF REPORT PLAY ZEBULON: PARKS & RECREATION MASTER PLAN SEPTEMBER 13, 2021

Topic: PARKS & RECREATION COMPREHENSIVE MASTER PLAN

Speaker:

Sheila Long, Parks and Recreation Director

From: Prepared by:

Sheila Long, Parks and Recreation Director Sheila Long, Parks and Recreation Director

Approved by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider adopting Play Zebulon: Parks & Recreation Master Plan.

Background:

The Town does not have a plan to guide park development and recreation programming decisions and initiatives as our community grows and diversifies.

To both understand the status of the current parks and recreation programming, and the future needs of a quickly growing and diversifying community, the Town undertook an extensive community engagement campaign over the past 18 months. This community engagement, inclusive of online surveys, a statistically valid survey, community meetings, stakeholder interviews, focus groups, and meetings in a box, lead to the creation of the Play Zebulon: Parks and Recreation Comprehensive Master Plan.

This Plan thoroughly reviewed the parks system and assessed the programs, operations, and staffing. The plan includes cost estimates and a proposed implementation plan to demonstrate how projects could be accomplished.

Discussion:

The discussion before the Board of Commissioners is to consider adoption of Play Zebulon: Parks and Recreation Comprehensive Master Plan.

Policy Analysis:

Adopting this Plan creates the Town's Parks and Recreation policy. The Plan will guide the Board in their decisions on which projects and programs to pursue, and pass-by, in meeting the Town's Parks and Recreation goals.

Financial Analysis:

Adopting this Plan offers the following financial support:

- Identifies where and how the Town can leverage the work of future developments.
- Increases the competitiveness of grant applications.
- Structures the capital and operational costs of future projects and programs.
- Provides the legal framework and rationale to adopt a Recreation Impact Fee.
- Identifies recreation opportunities for private investors and operators.



STAFF REPORT PLAY ZEBULON: PARKS & RECREATION MASTER PLAN SEPTEMBER 13, 2021

Parks & Recreation Advisory Board Recommendation:

At the August 16th, 2021, Parks and Recreation Advisory Board Meeting, the Advisory Board recommended the Board of Commissioners approve the proposed Play Zebulon: Parks and Recreation Master Plan.

Staff Recommendation:

Staff recommends adoption of the Play Zebulon: Parks and Recreation Master Plan subject to final edits and corrections.

Attachments:

 Proposed Play Zebulon: Parks and Recreation Master Plan (Please reference the Plan distributed at the August Work Session)



STAFF REPORT **BOARD APPOINTMENTS** SEPTEMBER 13, 2021

Topic: Board Appointments

Lisa M. Markland, CMC, Town Clerk Speaker:

Stacie Paratore, CMC, Deputy Town Clerk From: Stacie Paratore, CMC, Deputy Town Clerk Prepared by:

Joseph M. Moore, II, PE, Town Manager Approved by:

Executive Summary:

The Board of Commissioners will consider persons interested in serving on the Planning Board, Board of Adjustment and Parks and Recreation Adivsory Board.

Background:

The Board of Commissioners appoints In-Town seats, and recommends appointments to the Wake County Board of Commissioners for ETJ seats, to Boards (Planning Board, Board of Adjustment, Parks and Recreation Advisory Board). These Boards make recommendations or decisions in their respective areas. Persons interested in serving on these appointed Boards submit applications, and may also offer presentations, to the Board of Commissioners for consideration.

Discussion:

The discussion before the Board is whether to appoint those interested to the Planning Board, Parks & Recreation Board, and Board of Adjustment, and to recommend to Wake County that they be appointed (if they reside in the ETJ).

The following Boards have vacancies:

Planning Board (2 vacancies)

There is one in-Town vacancy and one ETJ vacancy. The positions are three-year terms expiring on June 30, 2024. The following have submitted an application for appointment:

In Town Seats

- Gene Blount is seeking reappointment
- Genia LaRese Newkirk (1st choice)
- Domenick Schilling (1st choice)

ETJ Seats

- · Laura Johnson is seeking reappointment
- David Hughes (1st choice)

Board of Adjustment (4 vacancies)

There are two in-Town vacancies, one ETJ regular vacancy and one ETJ alternate vacancy. All positions are three-year terms expiring on June 30, 2024. The following have submitted an application for appointment:

In Town Seats

- Jay Estes is seeing reappointment
- Genia LaRese Newkirk (3rd choice)



STAFF REPORT BOARD APPOINTMENTS SEPTEMBER 13, 2021

Parks and Recreation Adivosry Board (3 vacancies)

- Garrett Underhill is seeking reappointment
- Genia LaRese Newkirk (2nd choice)

Policy Analysis:

The Code of Ordinances states that there will be seven members on the Planning Board and Parks & Recreation Board and five members on the Board of Adjustment.

Staff Recommendation:

If the Board chooses to make appointments staff requests that the persons be appointed to the specific terms per position.

Attachments:

1. Applications

/			
Board of Adjustment	Planning Board	Parks & Recrea	ntion Advisory
Name EUGENE W. BLOW.	NT, JZ		
Address 601 STRATTFORD DR.			
E-mail geneber 2017 agmail. c Phone (Home) 919 426 8192 (Work)	com D	ate of Birth (month & I	Day) 05/08/1953
Phone (Home) 919 426 8192 (Work)	- SAME	(Cell)	SAME
Employer SUNPROSOLAZ			
Do you live in the Zebulon Corporate Limits	ETJ	Years in Zebulon _	26+
Do you currently, or have you previously, served on ar committee? Yes No If you ar	ny Town of Zebulon, or o	other municipal board, c	commission or
Board/Commission/Committee	From From		То
Have you taken the opportunity to attend any previous Describe extent and meetings attended CHATRM Why do you want to serve on this board or commission	CAN CURRENT n? ENjoy help:	ng my town,	
Why would you be an asset to this board or commission	on? I DRING A	6/ YEAR OLD	PERSPECTOVE
What are your qualifications? MANAGEMENT	RETAIL SALE, A	AND DEALING U	DITH PEOPLE,
What areas of concern would you like to see the Board	or Commission address	DEVELOPMEN	7
I certify that the above information is correct. I understand Zebulon board, commission or committee and that final understand that any service, if appointed, would be without months from the date of application. Date 105/04/202/ Signature	appointment is made by t	he Zebulon Board of Co	ommissioners. 1 also
Please fill out the form completely and return it to Stage	e Paratore at Town Hall. 1	f you have any question c	all 919-823-1802.

by preference by using numbers (1,2,5). Thea	se attach a copy of your differ	
Board of Adjustment	Planning Board	Parks & Recreation Advisory
Name Laura J. John		
Address 2429 Morphus. E-mail 1::: ohns @gmail.C	Bridge Rd, Zebi	161, NC 27597
E-mail 1:: 10 hns Damail.	of	Date of Birth (month & Day) 1/23
Phone (Home) (919) 404-0661	(Work)	(Cell) (919) 414 10477
Employer Retired		
Do you live in the Zebulon Corporate Limit	ts ETJ _	Years in Zebulon 36 45
Do you currently, or have you previously, se committee? Yes No	rved on any Town of Zebulon, o If you answered yes, please list	r other municipal board, commission or t them below (use the back if necessary).
Board/Commission/Committee	Fro	om To
Planning Board		
Board of adjust ment		
Have you taken the opportunity to attend any	Table 1	
Describe extent and meetings attended	oint Board MI	eeting s
Why do you want to serve on this board or c	commission? 10 be a	ble to Assist in the
Why would you be an asset to this board or	town.	
Why would you be an asset to this board or	commission? Prior Ex	perience,
	/	
What are your qualifications? Prior	member of the	- Apore named boards
		ess? Rev. talizing down town
bringing in new bus.	118585.	<u> </u>
I certify that the above information is correct.	I understand that this is an applicated that final appointment is made by	tion to be considered for appointment to a Town of by the Zebulon Board of Commissioners. I also application will remain on file for a period of 6-
Date 4/7/2021 Sig	gnature Kura J. A.	ndo
/ /	rn it to Stacie Paratore at Town Ha	ll. If you have any question call 919-823-1802.

Board of Adjustment	Planning Board	Parks & Recreation Advisory
Name DAMO A. HUGHES	- Planning Doard	Tarks & Recreation 75073627
	7	
E-mail davidahughes 63.	dhegmail.com Da	ate of Birth (month & Day) OG/26
Phone (Home)	(Work)	(Cell) 919817 3058
Employer SEXF	Occupation	RESIDENTIAL DESIGNER
Do you live in the Zebulon Corporate Limits	ETJ	Years in Zebulon 51 YPS
Do you currently, or have you previously, servicement end of the committee? Yes No No		
Board/Commission/Committee PLANTING BY. VICE HAR (2) CHAN	From 7/3/0	12/2011
8/02/17/10 2/13	104	
BOA	11/5/12	RED Partie C/15
Have you taken the opportunity to attend any p	previous board meetings prior to t	he notice of this vacancy? Yes No
Describe extent and meetings attended SE	E PRIVE)	
Why do you want to serve on this board or cor	nmission? BOA DOESN'T	MAST OFFICE, WHEN THEY DO
SMETIMES DESN'T HOUL FE	RME NEW MORES	programmes schooling like
Why would you be an asset to this board or co	mmission? Experience	DAM KNOWLEDGE OF THE
TOWN AND HHORE HE ARE	HUADED.	
What are your qualifications? KNOWDAE What areas of concern would you like to see the	UBICE FOR OVER 35	OF ALTYPES, MY DISION YEARS
What areas of concern would you like to see the	ne Board or Commission address'.	у
HOHE AT THIS TIME		
I certify that the above information is correct. I us Zebulon board, commission or committee and that f that any service, if appointed, would be without co- date of application.	inal appointment is made by the Zebi	ilon Board of Commissioners. Talso understand
Date $\frac{9}{3}$ $\frac{3}{20}$ Signa	ture) NH	108

X Board of Adjustment	Plann	ing Board	Parks & Recreation Advisory	
Name (Jay) James K.				
Address 513 W. Frankli		, NC 27597	(P. O. Box 369)	
E-mail 7734jke@gma				
Phone (Home)				
			strial Designer / Instruct	or
Do you live in the Zebulon Corpora				
Do you currently, or have you previo committee? Yes No	usly, served on any Tov If you answere	on of Zebulon, or other mu ed yes, please list them below	nicipal board, commission or low (use the back if necessary)	
Board/Commission/Committee		From	То	
Board of Adjus	stment	2008	Present	
Describe extent and meetings attended. Why do you want to serve on this be-			ck to my community	
through service while	trying to main	itain harmony in	the community and	
ensure that the future			liance with the	
vision of the Unified D				
Why would you be an asset to this b	oard or commission?	lave working kn	owledge of Quasi Judicia	1
			h thirteen years of servic	
Have a BSBA degree a	along with a M	aster of Industri	al Design degree.	
	ave a Diploma	from Zebulon H	igh School. I began at Wa	akelo
and went through int	egration in the	e sixth grade. I w	as very fortunate to have	2
learned and understa	nd the import	ance and value o	of diversity first hand as w	vell a
			Iso have vested interest	ın
Commercial property		Λ.	ssure that the infrastruct	ure
What areas of concern would you hi		ommission address		
			curs. Find reasonable bal	ance
between Historical p	reservation wi	thout stunting fu	iture growth. Provide	
Zebulon board commission or commit understand that any service, if appoin 6-months from the date of application	correct. I understand that titee and that final appointed, would be without of	it this is an application to be uniment is made by the Zei compensation. This applicat	considered for appointment to a Town of bulon Board of Commissioners - I also ton will remain on file for a period of	
Date 7/00/2/ Please fell out the form completely of		Lang Land Hall If south		

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment	Planning Board	Parks & Re	ecreation Advisory
Name Genia Lakese	NewKilk		
Address 897 Golds	in Plum LN	Zebulon NC	27597
E-mail genieun @live.co			
Phone (Home) 910 289 1767			
Employer NCDOT IDMV	Оссир	ation School Bus.	+ Traffic Safety
Do you live in the Zebulon Corporate Limi	ts ETJ	Years in Zebule	on Le months
Do you currently, or have you previously, se committee? Yes No	erved on any Town of Zebuld If you answered yes, pleas	on, or other municipal boa e list them below (use the	rd, commission or back if necessary).
Board/Commission/Committee		From	То
Have you taken the opportunity to attend any Describe extent and meetings attended	* * 197 = 1	for to the notice of this va	cancy? Yes No
	* * 197 = 1	for to the notice of this va	leaney. TesNo
Why do you want to serve on this board or c	commission? I would I	ike toget invol	ved with the
Events and activities within to be again of the town I into Why would you be an asset to this board or things, and being involved in	end to make my commission? I enjoy	permanent hom nuching new per	othe town, and
What are your qualifications?	20 years of custo	resservice, milite	ily & State Governm
What areas of concern would you like to see			
Transportation.			·
I certify that the above information is correct. It Zebulon board, commission or committee and understand that any service, if appointed, would months from the date of application.	that final appointment is ma	de by the Zebulon Board o	of Commissioners. I also
Date (0-14-2021 Sig	mature Donia L.	1 lew tuk	

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment	Planning Board	Parks & Recreation /	Advisory
Name DOMENICK W. SCHILLIN	16		
Address 207 NOSTALGIA LN	ZEBULON NC 2759	77	
E-mail DWSCHILL ING 711 & GMA	IL, com	Date of Birth (month & Day)	07/11
Phone (Home)	(Work)NA	(Cell) 919.413.7	600
Employer COLDWELL BANKER HPW			
Do you live in the Zebulon Corporate Limits	s ETJ	Years in Zebulon 2	yr 6 noths
Do you currently, or have you previously, ser committee? Yes No	ved on any Town of Zebulon, or If you answered yes, please list	other municipal board, comm them below (use the back if no	ission or ecessary).
Board/Commission/Committee	Froi	m T	О
N/A			
7-774			
Why do you want to serve on this board or co	ommission? I STRONGLY BEL	LIEVE ZEBULON HAS GREA	OKEN AT RE. 20 ON TOWN HOWES IF UNREALIZED
Why would you be an asset to this board or c	ommission? I AM A BIG	PICTURE, LONG-TERM	THINKER WH
ALSO UNDERSTANDS THAT SMALL DA	-ILY DECISIONS LEAD TO	THE DESIRED VISION ! PO	LAN EXECUTION
What are your qualifications? NO FORMAL	TRAINING BUT 17 YEA	AS EXPERIENCE IN REA	L ESTATE SALES
What areas of concern would you like to see	the Board or Commission addres	SS? TRAFFIC IMPACT OF	GROWTH. TYPES
OF BUSINESSES COMING TO THE TO	OWN. PARKS, REC ! TOU	IN AMENITIES.	
I certify that the above information is correct. It Zebulon board, commission or committee and understand that any service, if appointed, would months from the date of application.	that final appointment is made by the without compensation. This a	the Zebulon Board of Commis	sioners. Lalso
Date 7/23/2 (Sign	nature DN Schilling		

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.

Board of Adjustment	Pla	nning Board	X Parks & Re	ecreation Advisory
Name Garrett Underhill				
Address 120 West North St., Zebulor	n, NC, 2759	7		
E-mail glunderhill@yahoo.com			Date of Birth (month	& Day) 09/30/1991
Phone (Home) 919-255-2284	(Work)		(Cell)	
Employer Beazer Homes		Occupation	Purchasing Age	nt
Do you live in the Zebulon Corporate Limit	Yes Yes	ETJ	Years in Zebul	on 4
Do you currently, or have you previously, so committee? Yes X No No	erved on any If you answ	Town of Zebulon, or ered yes, please list	r other municipal boa them below (use the	rd, commission or back if necessary).
Board/Commission/Committee Perks & Recreation Adisory Board		Fro Jan. 2020	m	Now
Have you taken the opportunity to attend an Describe extent and meetings attended Why do you want to serve on this board or or	commission?	he reason why I want to	serve on this board is to h	nelp
our town grow the right way, to help serve the needs of				
Why would you be an asset to this board or before so I understand the small items that makes up			unity and I worked in the P	arks & Recreation
What are your qualifications? Currently a board me	mber, worked for Parks	& Recreation, and in a industry	that looks for items when building a	community
What areas of concern would you like to see				
how we can grow the right way to meet those ne	eds. Which I be	elieve we as a board a	are working toward and	meeting that concern very we
I certify that the above information is correct. Zebulon board, commission or committee and understand that any service, if appointed, wou months from the date of application.	l that final app ld be without c	pointment is made by compensation. This a	y the Zebulon Board of the property of the pro	of Commissioners. I also
Date 05/24/2021 Sig	gnature	Garrett Una	lerhill	



STAFF REPORT RESOLUTION 2022-05 AUTUMN LAKES PHASE III ROADWAY AND STORM DRAINAGE ACCEPTANCE SEPTEMBER 13, 2021

Topic: Resolution 2022-05 - Autumn Lakes - Phase 3 Infrastructure Acceptance

Speaker: Chris D. Ray, Public Works Director
From: Chris D. Ray, Public Works Director
Prepared by: Chris D. Ray, Public Works Director
Approved by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider acceptance of roadway, greenway and storm-drain infrastructure within Autumn Lakes Phase 3 for ownership and maintenance per the executed Special Use Agreement.

Background:

The Town of Zebulon follows a practice where the Board considers acceptance (i.e. ownership and maintenance) of roadway and storm-drain infrastructure installed in new subdivisions. In advance of this consideration, staff determines whether the infrastructure complies and meets the conditions of permits and standards.

Autumn Lakes Development has completed the construction of Phase 3 in accordance with the Special Use Permit 2017-02 (March 6, 2017), the latest version of Town of Zebulon Street and Storm Drainage Standards, and the City of Raleigh Utility Standards. Phase 3 includes 157 lots (with a total of 466 lots for all phases).

Staff and third-party inspectors/engineers have certified all completed work meets or exceeds Town standards and requirements.

Discussion:

The discussion before the Board is whether to accept the dedication of street, sidewalks, curb and gutter, street signage, and storm drainage in Autumn Lakes Phase 3 for ownership and maintenance.

Policy Analysis:

The infrastructure was installed per approved Special Use Permit 2017-02. The infrastructure complies with the latest version of the "Town of Zebulon Street & Storm Drainage Standards and Specifications."

Fiscal Analysis:

Autumn Lakes Phase 3 development will dedicate 7 streets totaling 5,724 linear feet (approximately 1.08 miles), 2,166 linear feet (.41 miles) of greenway, and 6,233 linear foot of storm drainage valued at \$991,279.10. The infrastructure will be added to the Town's Capital assets (re. Comprehensive Annual Financial Report).

The Town has received a one-year warranty on all the dedicated assets. Staff will conduct an 11-month warranty inspection prior to the final overlay to ensure any issues or failures are repaired prior to the final asphalt overlay by the developer.



STAFF REPORT RESOLUTION 2022-05 AUTUMN LAKES PHASE III ROADWAY AND STORM DRAINAGE ACCEPTANCE SEPTEMBER 13, 2021

The Town has received a Subdivision Bond for \$576,663.42 (# 0800416 from IAT Insurance Group Surety) to ensure the final completion of outstanding items (e.g., final overlay, striping, 5' sidewalks with handicap ramps, greenway amenities, mail kiosks, street trees and stormwater pond conversion).

The Subdivision Bond is automatically renewed or revised annually to reflect items completed. The Subdivision Bond will remain active until all items have been completed. All inspection and development fees were collected from the developer.

Staff Recommendation:

Staff conditionally recommends approval of Resolution 2022-05 for acceptance of Autumn Lakes Phase 3 roadway and storm drainage infrastructure and associated bonds.

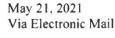
The recommendation is conditioned upon receipt of the City of Raleigh's Conditional Acceptance (re Attachment #13). Staff will request the Board have the item pulled from the agenda if this acceptance is not received by the their meeting date.

Attachments:

- 1. Engineer Certification of Roadway lengths
- 2. Engineer Certification of Dedicated infrastructure
- 3. Engineering Estimate for Letter of Credit/Bond
- 4. Bond or Letter of Credit
- 5. Developer warranty and guaranty Street and Stormwater
- 6. Developer warranty and guaranty Water and Sewer
- 7. Third party engineering reports for sub-grade, stone, and asphalt (thickness and density) for Roadways
- 8. Engineering certification Potable Water
- 9. Engineering certification Sanitary Sewer
- 10. Lien Waivers Developer
- 11. Lien Waiver Contractor
- 12. Proof of payment for streetlights
- 13. City of Raleigh Conditional Acceptance -pending
- 14. Completion of Punch List items
- 15. As-built drawings
- 16. Payment of construction inspection and planning fees
- 17. Illustrative Concept Plan
- 18. Phasing diagram
- 19. Resolution 2022-05



4130 Parklake Avenue, Suite 130 Raleigh, NC 27612 919.578.9000



RE:

Autumn Lakes Subdivision-Phase III

0 Old Bunn Road Zebulon, NC 27597 BE # NCR162057 Roadway Lengths

I, Steven Keidel, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe periodically the construction of the project segments as listed below:

Autumn Lakes Subdivision Phase III

0.

For LGI Homes, hereby state that, to the best of my abilities; the following table reflects accurate and true information about the roadways installed on Autumn Lakes Subdivision Phase III.

ROADWAY DATA TABLE						
STREET NAME	CLASSIFICATION	DESIGN/ POSTED SPEED	PUBLIC OR PRIVATE	LENGTH OF NEW ROAD		
CRACKLING COURT	RESIDENTIAL COLLECTOR	30/25	PUBLIC	378'		
TURNING LAKE DRIVE	LOCAL STREET	30/25	PUBLIC	2,004'		
LITTLE PATCH STREET	LOCAL STREET	30/25	PUBLIC	641'		
CIDER MILL WAY	LOCAL STREET	30/25	PUBLIC	825'		
FAUNA STREET	LOCAL STREET	30/25	PUBLIC	405'		
INDIAN SUMMER STREET	LOCAL STREET	30/25	PUBLIC	816'		
GUSTY LANE	LOCAL STREET	30/25	PUBLIC	655'		
TOTAL			5,724'			

Signature	Steven	Keidel	Registration No.	043193	



4130 Parklake Avenue Scale 130 Raleigh, NC 27612



Engineer's Dedicated Infrastructure Cost Estimate Project Name					
Plan Name/Number:	Autumn Lakes Subdivision Phase III				
Prepared For:	LGI Homes				
Prepared By:	Bohler Engineering NC, PLLC				
Date of Cost Estimate:	June 24, 2021				
Preliminary Pricing Provided By:					
Date of Plan:					
	Engineer's Note				

On behalf of LGI Homes, an engineer's opinion of cost is herein provided for the total cost of the site improvements for Autumn Lakes Subdivision, Phase III, that is to be dedicated to the Town of Zebulon. The developer wishes to enact a financial guarantee for items yet installed in order to move forward with recordation of the Phase III subdivision plat. It is anticipated that the site improvements will be completed within one year and dedicated to the Town then.

ltem	Quantity	Unit	Unit Cost	Total	Notes
			Storm Drainage		
Storm Sewer					
15 inch dia. RCP Pipe	1,970	L.F.	\$28.00	\$55,160.00	
18 inch dia. RCP Pipe	907	L.F.	35.00	\$31,745.00	
24 inch dia. RCP Pipe	1,336	L.F.	\$41.00	\$54,776.00	
30 inch dia. RCP Pipe	1,294	L.F.	\$60.00	\$77,640.00	
36 Inch dia. RCP Pipe	269	L.F.	\$75.00	\$20,175.00	
42 inch dia. RCP Pipe	13	L.F.	\$100.00	\$1,300.00	
48 inch dia. RCP pipe	148	L.F.	\$115.00	\$17,020.00	
Flared end sections for 24" - 48" pipe	11	EACH	\$1,100.00	\$12,100.00	
Drainage Structures				15-14-5	
Curb Inlet/Yard Inlet	95	EACH	\$2,250.00	\$213,750.00	
Sub-total for all of Storm Drainage				\$483,666.00	
			Paving and Parking Lot		
Paving					
2.5" SF9.5 Asphalt Initial Lift (Residential Collector)	1,260	S.Y.	\$8.30	\$10,458.00	
2" SF9.5 Asphalt Initial Lift (Local)	12,474	S.Y.	\$8.30	\$103,534.20	
8" CABC	13,734	S,Y.	\$12.50	\$171,675.00	
30" Standard Curb and gutter	11,448	L.F.	\$14.80	\$169,430.40	
Phase 3 Greenway Asphalt Pavement (2" SF9.5)	1,750	S.Y.	\$13.25	\$23,187.50	
Phase 3 Greenway Base Course (6" CABC)	1,880	S.Y.	\$13.60	\$25,568.00	
Phase 3 Greenway Geotextile Fabric	1,880	S.Y.	\$2.00	\$3,760.00	
Sub-total for all Paving		CONTRACTOR OF THE PARTY OF THE	R THE RESTREET NO	\$507,613.10	

Total	\$991,279.10

ROWADWAY DATE TABLE

STREET NAME	CLASSIFICATION	ROADWAY LENGTH	ROW WIDTH
CARACKLING COURT	RESIDENTIAL COLLECTOR	378'	60'
TURNING LAKE DRIVE	LOCAL STREET	2004'	50'
LITTLE PATCH STREET	LOCAL STREET	641'	50'
CIDER MILL WAY	LOCAL STREET	825'	50'
FAUNA STREET	LOCAL STREET	405'	50'
INDIAN SUMMER STREET	LOCAL STREET	816'	50'
GUSTY LANE	LOCAL STREET	655'	50'

SEAL MOINT ADIED

Apple AS

Submittee. 29.21

6-24-21



4130 Parklake Avenue, Suite 130 Raleigh, NC 27612 919.578.9000

June 24, 2021

RE:

Autumn Lakes Subdivision-Phase III

0 Old Bunn Road Zebulon, NC 27597 BE # NCR162057 Completion Bond

On behalf of LGI Homes, an engineer's opinion of cost is herein provided for the remaining site improvements for Autumn Lakes Subdivision, Phase III. The developer wishes to enact a financial guarantee for the remaining site work in order to move forward with recordation of the Phase III subdivision plat. It is anticipated that the site improvements will be completed within one year.

ITEM DESCRIPTION	QUANTITY	UNIT	l	INIT COST	T	OTAL COST
Asphalt Pavement Final Lift (1.5" \$9.5)						
Residential Collector	1,260	SY	\$	8.30	\$	10,458.00
Asphalt Pavement Final Lift (1" S9.5)						
Local Streets	12,474	SY	\$	8.30	\$	103,534.20
BMP Conversion to Wet Ponds	2	EA	\$	6,000.00	\$	12,000.00
ADA Ramps	27	EA	\$	1,700.00	\$	45,900.00
Mail Kiosk	1	LS	\$	14,577.68	\$	14,577.68
Street Trees	107	EA	\$	350.00	\$	37,450.00
Sidewalk	3,904	SY	\$	31.50	\$	122,976.00
Street Signs	1	LS	\$	27,515.50	\$	27,515.50
Greenway Amenities	1	LS	\$	2,500.00	\$	2,500.00
				Subtotal	\$	376,911.38

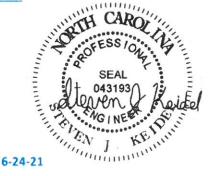
Allaher Submitted

Design/Construction Administration @20%	\$ 75,382.28
Construction CPI @ 15%	\$ 56,536.71
Geotechnical Services Allowance @ 1%	\$ 3,769.11
Construction Inspection - 12 Days @ \$720/day	\$ 8,640.00
Construction Staking Allowance	\$ 3,000.00
Construction Total	\$ 524,239.48
Bond Amount @110%	\$ 576,663.42

The financial guarantee amount for remaining improvements totals \$576,663.42.

Upon your approval of the above estimate, the developer will move forward with obtaining the required financial guarantee. If you have any questions or require additional information, please feel free to contact me at 919-578-9000, or skeidel@bohlereng.com

Respectfully submitted: Steven Keidel, PE







SUBDIVISION BOND

BOND NO. 0800416 AMOUNT: \$ 576,663.42 KNOW ALL MEN BY THESE PRESENTS: THAT WE, LGI Homes - NC, LLC as Principal, and Harco National Insurance Companny , a Illinois corporation authorized to do with its main bonding office at 702 Oberlin Road, Raliegh. business in the state of North Carolina North Carolina 27605 as surety, are held and firmly bound unto the _____ Town of Zebulon as Obligee, in the full and just sum of ____Five Hundred Seventy Six Thousand Six Hundred Sixty Three and 42/100 DOLLARS (\$_576,663.42____) lawful money of the United States, to the payment of which sum, well and truly to be made, the Principal and the Surety bind themselves, their successors and assigns, jointly and severally, firmly by these presents. ____ day of ___ July SIGNED, SEALED AND DATED THIS _____8th WHEREAS, the Principal has entered into an agreement with the Town of Zebulon as Obligee, guaranteeing that the principal will construct, install and complete the improvements At certain land known as, "__Autumn Lakes Section 3 " all of which improvements Shall be maintained and completed on or before __July 8, 2023 A condition of this bond that it shall expire on the Expiry Dated listed, provided it will be deemed automatically extended without amendment for 1 year from the present and future date of this Bond unless at least 60 days prior to the then expiration date we notify the beneficiary by registered letter or other receipt means of postal deliver that we elect not to consider this bond renewed for such a period. If such notice is given, then during such notice period (i.e, the 60 day period commencing on the date of such notice and end with the applicable expiration date of this bond), this bond shall remain in full force

and effect and beneficiary may draw up the full amount of the sum.





NOW, THEREFORE THE CONDITION OF THIS OBLIGATION IS SUCH, THAT IF THE principal shall carry out all the terms of said agreement and perform all the work as set forth therein, all within the time set for in said agreement, then this obligation shall be null and void; otherwise to remain in full force and effect. FURTHERMORE, the rights of the Obligee hereunder are exclusive to it and the surety shall have no obligation hereunder to any person or entity other than the named Obligee herein. The rights of such Obligee are not assignable.

Witness:	Principal: LGI Homes -NC, LLC
	BY:Charles Merdian, Chief Financial Officer
	Harco National Insurance Company
Vitness: Las C Benger	BY: Heary Heary
	Grace J. Gray Attorney-in-Fact

0800416 Bond #

POWER OF ATTORNEY HARCO NATIONAL INSURANCE COMPANY INTERNATIONAL FIDELITY INSURANCE COMPANY

Member companies of IAT Insurance Group, Headquartered: 702 Oberlin Road, Raleigh, North Carolina 27605

KNOW ALL MEN BY THESE PRESENTS: That HARCO NATIONAL INSURANCE COMPANY, a corporation organized and existing under the laws of the State of Illinois, and INTERNATIONAL FIDELITY INSURANCE COMPANY, a corporation organized and existing under the laws of the State of New Jersey, and having their principal offices located respectively in the cities of Rolling Meadows, Illinois and Newark, New Jersey, do hereby constitute and

ERIC P. PRATT, GRACE J. GRAY, KATHLEEN M. O'BRIEN, DONNA M. BISHOP, DIANE J. WOJCIK

North Adams, MA

their true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, and the execution of such instrument(s) in pursuance of these presents, shall be as binding upon the said HARCO NATIONAL INSURANCE COMPANY and INTERNATIONAL FIDELITY INSURANCE COMPANY, as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by their regularly elected officers at their principal offices.

This Power of Attorney is executed, and may be revoked, pursuant to and by authority of the By-Laws of HARCO NATIONAL INSURANCE COMPANY and INTERNATIONAL FIDELITY INSURANCE COMPANY and is granted under and by authority of the following resolution adopted by the Board of Directors of INTERNATIONAL FIDELITY INSURANCE COMPANY at a meeting duly held on the 13th day of December, 2018 and by the Board of Directors of HARCO NATIONAL INSURANCE COMPANY at a meeting held on the 13th day of December, 2018.

"RESOLVED, that (1) the Chief Executive Officer, President, Executive Vice President, Senior Vice President, Vice President, or Secretary of the Corporation shall have the power to appoint, and to revoke the appointments of, Attorneys-in-Fact or agents with power and authority as defined or limited in their respective powers of attorney, and to execute on behalf of the Corporation and affix the Corporation's seal thereto, bonds, undertakings, recognizances, contracts of indemnity and other written obligations in the nature thereof or related thereto; and (2) any such Officers of the Corporation may appoint and revoke the appointments of joint-control custodians, agents for acceptance of process, and Attorneys-in-fact with authority to execute waivers and consents on behalf of the Corporation; and (3) the signature of any such Officer of the Corporation and the Corporation's seal may be affixed by facsimile to any power of attorney or certification given for the execution of any bond, undertaking, recognizance, contract of indemnity or other written obligation in the nature thereof or related thereto, such signature and seals when so used whether heretofore or hereafter, being hereby adopted by the Corporation as the original signature of such officer and the original seal of the Corporation, to be valid and binding upon the Corporation with the same force and effect as though manually affixed."

> IN WITNESS WHEREOF, HARCO NATIONAL INSURANCE COMPANY and INTERNATIONAL FIDELITY INSURANCE COMPANY have each executed and attested these presents on this 31st day of December, 2018

STATE OF NEW JERSEY County of Essex

STATE OF ILLINOIS County of Cook

Kenneth Chapman

Executive Vice President, Harco National Insurance Company

and International Fidelity Insurance Company

, before me came the individual who executed the preceding instrument, to me personally known, and, On this 31st day of December, 2018 being by me duly sworn, said he is the therein described and authorized officer of HARCO NATIONAL INSURANCE COMPANY and INTERNATIONAL FIDELITY INSURANCE COMPANY; that the seals affixed to said instrument are the Corporate Seals of said Companies; that the said Corporate Seals and his signature were duly affixed by order of the Boards of Directors of said Companies.



IN TESTIMONY WHEREOF, I have hereunto set my hand affixed my Official Seal, at the City of Newark, New Jersey the day and year first above written.

> Shirelle A. Outley a Notary Public of New Jersey My Commission Expires April 4, 2023

CERTIFICATION

I, the undersigned officer of HARCO NATIONAL INSURANCE COMPANY and INTERNATIONAL FIDELITY INSURANCE COMPANY do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Sections of the By-Laws of said Companies as set forth in said Power of Attorney, with the originals on file in the home office of said companies, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

IN TESTIMONY WHEREOF, I have hereunto set my hand on this day, July 08, 2021

Irene Martins, Assistant Secretary



LGI Homes, Inc. – Raleigh Corporate 6501 Creedmoor Road Suite 112 Raleigh, NC 27613-1685



DEVELOPERS GUARANTY

Re: Town of Zebulon, N.C.

Autumn Lakes Phase 3

LGI Homes – NC, LLC provides the following statement of warranty for the below referenced project:

Autumn Lakes Phase 3

LGI Homes – NC, LLC guarantees and warrants that all roadways and storm sewer infrastructure installed within the Autumn Lakes Phase 2 Subdivision conforms with the Town of Zebulon requirements, and that this warranty remain in full force and effect for a period of one year from the date of the acceptance of the work. LGI-NC. LLC hereby agrees to indemnify, defend and hold harmless the Town form and against all costs, loss and damages, including attorney fees, arising from the failure of the Work to conform to the Town's standards.

LGI Homes – NC, LLC has executed this guarantee this 6th day of 12021.

Josh Spiegel V.P. Land Development LGI Homes – NC, LLC Raleigh Corporate

Sworn to and subscribed before me this

day of ____

NOTARY PUBLIC

Commission Expires: 11-19-2024

SEAL:

AUBLIC COUNTINGER OF THE PROPERTY OF TH



LGI Homes, Inc. - Raleigh Corporate 6501 Creedmoor Road Suite 112 Raleigh, NC 27613-1685



DEVELOPERS GUARANTY

Attn: Mike Fowler

City OF Raleigh Inspections

RE: Autumn Lakes Phase 3

LGI Homes – NC, LLC provides the following statement of warranty for the below referenced project: **Autumn Lakes Phase 3**

LGI Homes - NC, LLC guarantees and warrants that all public water, public sewer and mains have been installed within the Autumn Lakes Phase 2 Subdivision adhering to the City Of Raleigh requirements, and that this warranty remain in full force and effect for a period of one year from the date of the acceptance of the work. LGI-NC. LLC hereby agrees to indemnify, defend and hold harmless the City Of Raleigh against all costs, loss and damages, including attorney fees, arising from the failure of the Work to conform to the City of Raleigh standards.

LGI Homes – NC, LLC has executed this guarantee this day of 2021.

Josh Spiegel V.P. Land Development LGI Homes - NC, LLC Raleigh Corporate

Sworn to and subscribed before me this

NOTARY PUBLIC

Commission Expires: 149-2004



CAROLINA SUNROCK LLC

July 23, 2021

Chris Ray Zebulon Director of Public Works 1003 N. Arendell Ave Zebulon, NC 27597

Re: Autumn Lakes Phase 3 - Core Thickness

Dear Mr. Ray,

After meeting with Town inspectors Jason Brown and Roger Silvers on site this morning at Autumn Lakes Phase 3, I believe that achieving an overall asphalt thickness of 3" is very possible in the three locations where cores showed the thickness of our first lift to be slightly less than 1.5". I request that we are permitted to leave the first lift as-is and pave the final lift slightly thicker to create a total asphalt thickness of at least 3". If final cores show a total asphalt thickness less than 3", we will remove and replace the area(s) that fall short. If all final cores show that the total asphalt thickness is equal to or greater than 3", the pavement structure will be at or exceeding the approved plan design as well as the requirements (Density and Thickness) of the Town so an extended warranty should not be necessary.

Respectfully

Nick Beach, PE

Paving Construction Manager

CAROUSEAL DE SEAL DE S

3 Locations Less Than 1.5"

) L	OCAUOUS Less I hai	Street Name	Ave Thickness (in.)	Plan Depth 1st layer	Final overlay Depth
-	Core #	Little Patch Street	1.40	1.5 inches	3 inches
1	C8, C8A, C8B		1.40	1.5 inches	3 inches
_	C11, C11A, C11B	Cider Mill Way		1.5 inches	3 inches
3	C12, C12A, C12B	Fauna Street	1.20	1.5 menes	C - Ctbried Penart

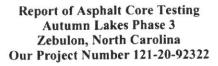
Note: Requirements for density were met and 16 of the 19 core locations equal to or greater than 1.5" - See Geotechnical Report

FIRROWE'S
CSULATION TO 126/21



June 4, 2021

Mr. Josh Spiegel LGI Homes – Southeast Division josh.spiegel@lgihomes.com





Gentlemen:

As requested, TerraTech Engineers, Inc. has performed thickness and density testing of asphalt core samples obtained from the recently placed initial lift along the roadways at the above referenced project. Per the Town of Zebulon's specifications, an asphalt core sample was taken every 300 linear feet of roadway with a minimum of two cores on every street. We understand that intermediate course asphalt was used in the area of Crackling Court and was sampled at core locations C15 and C16. The core locations are approximately shown on the enclosed Figure 1. The results of our laboratory thickness and density tests are provided below.

Core Location	Thickness (in.)	Density (pcf)	Compaction %
C1	2.00	138.5	92.0
C2	2.30	140.9	93.6
C3	1.60	140.1	93.0
C4	1.65	141.8	94.2
C5	1.70	142.6	94.7
C6	1.50	136.5	90.7
C7	1.50	136.1	90.4
C8	1.35	136.5	90.7
C9	1.65	137.4	91.3
C10	1.85	135.4	89.9
C11	1.45	140.4	93.2
C12	1.20	137.4	91.3
C13	1.75	140.1	93.1
C14	1.85	141.8	94.2
C17	1.70	139.4	92.5
C18	1.70	139.0	92.3
C19	2.30	140.8	93.5
Average	1.71	139.1	92.4

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Page 2

Core Location	Thickness (in.)	Density (pcf)	Compaction %
C15	2.75	142.7	92.1
C16	2.30	144.8	93.5
Average	2.53	143.8	92.8

The reported compaction percentages are based on mix design information for the RS9.5B surface mix 18-1416-151 and the I19.0C Intermediate mix 18-0549-151 provided to us by the asphalt supplier. RS9.5B surface course and I19.0C intermediate course asphalt mixes requires an average compaction of 90 and 92 percent per NCDOT Standard Specifications, respectively. The cores that we obtained and tested met this compaction criteria.

If you have any questions concerning this information for the Autumn Lakes Phase 3 Project, please contact us.

Sincerely,

TerraTech Engineers, Inc. (F-1333)

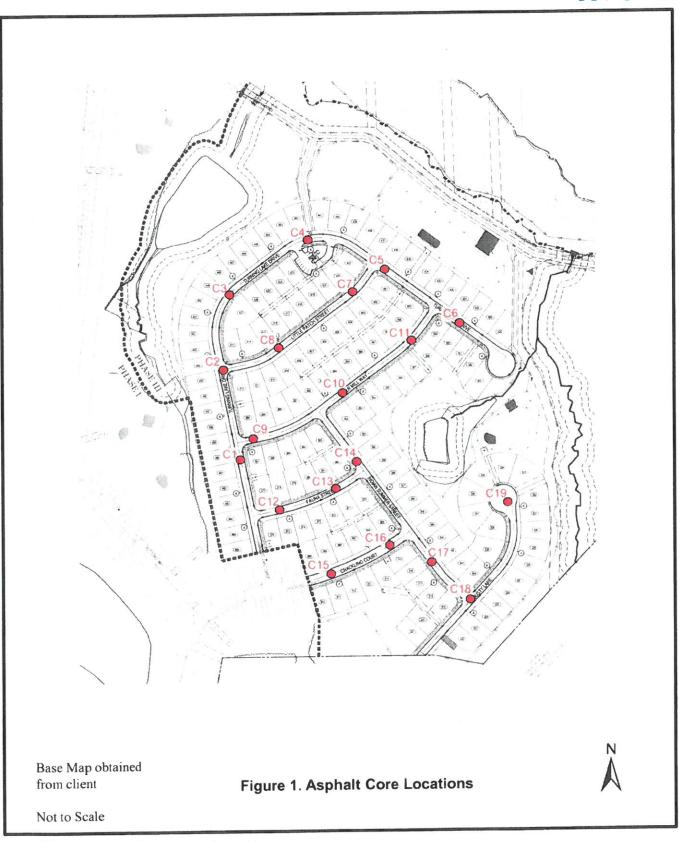
William D. Oakes, P.G.

Project Manager

Christopher S Pilz, P.E.

Principal Geotechnical Engineer

N|V|5



NV5 Engineers and Consultants, Inc. (F-1333) 4905 Professional Court Raleigh, NC 27609 919-876-9799

Project: Autumn Lakes Phase 3
Zebulon North Carolina
Our Project Number 121-19-92322

July 1, 2021

Mr. Josh Spiegel LGI Homes - Southeast Division josh.spiegel@lgihomes.com

> Report of Observations **Autumn Lakes Phase 3** Zebulon, North Carolina Our Project Number 121-20-92322

Nutral 71

Gentlemen:

As requested, representatives of NV5 Engineers and Consultants, Inc. were periodically present at the above referenced project from April 2021 through May 2021 to perform evaluations of the soil subgrade and prepared ABC stone for the roadways at the above referenced project. More specifically, our evaluations included Turning Lake Drive, Little Patch Street, Cider Mills Way, Fauna Street, Indian Summer Street, Gusty Lane and the greenway trails at the above referenced project. Our evaluations consisted of visual observations, hand rod probing, and proofrolling observations. Proofrolling was performed with a fully loaded tandem axle dump truck or a motor grader to delineate unstable areas prior to placement of aggregate base course (ABC) stone and asphaltic concrete.

After all recommended remedial measures were performed, the soil subgrade experienced no excessive rutting or deflection beneath the proofroll load in the areas referenced above. Our representative also performed density testing on subgrade soils in the proofrolled areas. The results of our testing, which are enclosed with this report, indicated that the soils at the subgrade elevation and at the locations tested were compacted to at least 100% of their standard Proctor (ASTM D-698) maximum dry density.

Additionally, our representative was periodically present during the referenced time period to evaluate the ABC stone base in the above mentioned areas. Our evaluations consisted of visual observations and proofrolling observations. Proofrolling was performed with a fully loaded tandem axle dump truck to delineate unstable areas prior to placement of asphaltic concrete. The ABC stone base experienced no excessive rutting or deflection beneath the proofroll load in the areas referenced above. Our representative also performed density testing on the ABC stone base in the proofrolled areas. The results of our density testing, which are enclosed with this report, indicated that the ABC stone base at the locations and elevations tested was compacted to at least 98% of its NCDOT modified Proctor maximum dry density. In addition, the thickness of the ABC stone was measured to be at least 8 inches at the tested locations.

If you have any questions concerning this information for the Autumn Lakes Phase 3 project, please contact us.

Sincerely,

NV5 Engineers and Consultants, Inc. (F-1333)

William D. Oakes, P.G.

Project Manager

Date: 2021.07.02 11:04:07=04'00'

Christopher S. Pilz, P.E. Q

Principal Geotechnical Eng

NV5 Engineers and Consultants, Inc. NC Engineering Corporation F-1333 4905 Professional Court, Raleigh, North Carolina 27609 (919) 876-9799

			Fi	eld Densi	ty Test	Report				
Project Name:		Autumn 1	Lakes, Pha	ase 3		Project Number:		92322		
Technician:						Report Number:		1 of 1		
		Aaron Williams				•				
Loca	ation:	Subdivisi	on Streets			Date:		4/20/21		
AND DESCRIPTION OF THE PARTY OF	一种是企业的基础	2000	TEMPORE N	PARA S				A CONTRACTOR OF THE PARTY OF TH		
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction	
477	120.0	22.6	98.0	98.5	22.1	92320-2	D-2937	100	100	
478	120.3	22.8	98.0	98.5	22.1	92320-2	D-2937	100	100	
479	120.2	22.5	98.1	98.5	22.1	92320-2	D-2937	100	100	
480	120.4	22.6	98.2	98.5	22.1	92320-2	D-2937	100	100	
481	120.1	22.3	98.2	98.5	22.1	92320-2	D-2937	100	100	
482	120.2	22.1	98.4	98.5	22.1	92320-2	D-2937	100	100	
Test No.	LOCATION OF TESTS Elevation									
477		ke Dr., stati							Subgrade	
478	Turning Lake Dr., station 12+50 Fauna St., station 13+00								Subgrade	
479	Indian Sum)					Subgrade	
480	Crackling C								Subgrade	
481	Cider Mill								Subgrade	
482	Cider Mill								Subgrade	
			,							
Locatio	ns of tests	should be	e conside	red approxi	mate, and	only accu	rate to the	degree ca	pable from	
measur	ing distance	es relative	to referen	ice points pi	rovided by	others. Co	mpaction (of areas not	specifically	
Locations referenced from: Plans			lans	nns Proctor		Proctor		Maximum	Optimum	
			Co			Specific		Dry Density	Moisture	
Depth re	Depth referenced from:		Contractor No. 92320-2			D-698		(pcf) 98.5	22.1	
Full Tin	ne Monitorin	g: 🔲	Yes X	No	92320-2	D-0.		90.3	22.1	
Nuclear	Gauge S/N:	_								
Remark	S									
	oration No. (F						19			
	North Carolin 19) 876-9799		276_8201	Davi	ewed by:	(
www.nv		1 an (212) C	70-0271	KCVI	e wed by.					

			Fic	eld Densi	ty Test	Report			
Project Name:		Autumn I	akes, Pha	ise 3		Project Number:		2322	
Technician:						Report Nun	ber:	1 of	1
		Aaron Williams Subdivision Streets				•	-	/23/21	
Loca	ition:	Subdivisio	on Streets			Date:	4	/23/21	
			The Landson		STATE OF THE				
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
483	119.9	22.3	98.0	98.5	22.1	92320-2	D-2937	100	100
484	120.2	22.0	98.5	98.5	22.1	92320-2	D-2937	100	100
485	120.0	22.2	98.2	98.5	22.1	92320-2	D-2937	100	100
486	120.2	22.4	98.2	98.5	22.1	92320-2	D-2937	100	100
487	119.9	22.2	98.1	98.5	22.1	92320-2	D-2937	100	100 100
488	120.4	22.5	98.3	98.5	22.1	92320-2	D-2937	100	100
Test No.	The Board Country of the			LOCATION	175 TAN . 187	aran see		Elevation	
483	Turning La	ke Dr., stati		A					Subgrade
484	Cider Mill				****				Subgrade
485	Fauna Stree								Subgrade
486	Crackling C								Subgrade
487	Indian Sum								Subgrade
488	Indian Sum	mer St., sta	tion 15+50)					Subgrade
Y			. 1				water to the	degues	nabla fuan
measuri		s relative	to referen	red approxi ce points pr results.					
Location	Locations referenced from: Plans				Proctor	Droot	Proctor		Optimum
					Control	Specific		Dry Density	Moisture
Depth referenced from: Contractor				No. 92320-2			(pcf)	(%)	
Full Tim	Full Time Monitoring: Yes X No					D-69	98	98.5	22.1
Nuclear	Gauge S/N:	_	· · · · · · · · · · · · · · · · · · ·						
Remark	5								
4905 Pro Raleigh, l	oration No. (F fessional Cou North Carolin 19) 876-9799 5.com	rt a 27609	76-8291	Revi	ewed by:				

13.3			Fie	eld Densi	ty Test	Report				
Project Name: Autumn Lakes, Phase 3						Project Number:		92322		
						Report Number:		1 of	1	
Technician: Aaron										
Loca	ition:	Subgrade	Soil			Date:	4.	/26/21		
	SALAN CHEENING		A STATE OF THE STATE OF	(1) 数 (1) (1) (1)	per and a second state of					
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction	
489	120.2	22.5	98.1	98.5	22.1	92320-2	D-2937	100	100	
490	120.1	22.1	98.4	98.5	22.1	92320-2	D-2937	100	100	
491	120.3	22.1	98.5	98.5	22.1	92320-2	D-2937	100	100	
492	120.2	22.3	98.2	98.5	22.1	92320-2	D-2937	100	100	
493	120.0	22.0	98.4	98.5	22.1	92320-2	D-2937	100	100	
494	120.2	22.4	98.2	98.5	22.1	92320-2	D-2937	100	100	
495	120.3	22.4	98.3	98.5	22.1	92320-2	D-2937	100	100	
				-						
				LOCATION						
Test No.		DESCRIPT 22.	Elevation							
489	Road, static							Subgrade Subgrade		
490	Road, station 21+50									
491	Road, station 24+50									
492	Road, static								Subgrade Subgrade	
493	Road, static								Subgrade	
494	Road, station 30+50								Subgrade	
495	Center if cu	il de sac							Odograde	
	-									
	-6 44-	should b	o conside	ered approx	mate and	d only accu	rate to the	e degree ca	pable from	
measur	ing distance should not be	es relative	to refere	nce points p	rovided by	y others. Co	ompaction	of areas not	specifically	
Locations referenced from:			Plans Proct			Proctor		Maximum	Optimum	
				Contro			cation	Dry Density	Moisture	
Depth referenced from:			Contractor		No. 92320-2	1		(pcf) 98.5	22.1	
Full Tir	Full Time Monitoring:		Yes [X No	92320-2	D-0	90	96.3	22.1	
Nuclear Gauge S/N:										
Remark	ks									
4905 Pro Raleigh,	poration No. (1 ofessional Cou North Carolin (919) 876-9799	irt na 27609	876-8291	Rev	riewed by:					
www.nv	5.com									

			Fie	eld Densi	ty lest	Report	到 港,广上 4		
Proj	ect Name:	Autumn I	Lakes, Pha	ise 3		Project Nur	nber: 9	2322	
Tech	nnician:	Aaron Wi	lliams			Report Nun	nber:	1 of	1
	ation:	Gusty La	ne & Little	e Patch Stre	et .	Date:	4	/26/21	
Loca	ation.	Gusty Ear	ic to Isrter	er aten stre		MARSON DEFINENCE	CASHADA AND		
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
496	119.9	21.9	98.3	98.5	22.1	92320-2	D-2937	100	100
497	120.1	22.2	98.3	98.5	22.1	92320-2	D-2937	100	100
498	120.0	22.0	98.4	98.5	22.1	92320-2	D-2937	100	100
499	120.2	22.3	98.3	98.5	22.1	92320-2	D-2937	100	100
Test No.		Seath or the	massas y	LOCATION	OF TESTS				Elevation
496	Gusty Ln.,								Subgrade
497	Gusty Ln.,		00	-					Subgrade
498	Gusty Ln. c		10.50						Subgrade Subgrade
499	Little Patch	St., station	13+50						Subgrade
	<u> </u>								
neasur	ons of tests ring distance should not b	es relative	to referer	red approxi nce points p e results.	mate, and rovided by	only accu y others. Co	rate to th	e degree ca of areas not	specifical
	ns reference				Proctor Control	Proc Specific		Maximum Dry Density	Optimum Moisture
Depth r	eferenced fro	om: <u>C</u>	ontractor		No. 92320-2	D-6		(pcf) 98.5	(%)
Full Tir	ne Monitorir	ng:	Yes X	No No					
Nuclear	Gauge S/N:	_							
Remari	ks								
	poration No. (I						19		
	North Carolin						12/1/		
-	919) 876-9799		376-8291	Rev	iewed by:		032		

Project Name:	Autumn Lakes, Phase 3	Project Number:	92322		
Technician:	Chris Heston	Report Number:	1	of _	2
Location:	Streets Stone Base	Date:	5/14/21		

Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
503	141.0	2.4	137.7	138.1	5.4	QC-0304	D-6938	100	98
504	142.4	2.7	138.7	138.1	5.4	QC-0304	D-6938	100	98
505	142.8	2.5	139.3	138.1	5.4	QC-0304	D-6938	100	98
506	142.3	2.6	138.7	138.1	5.4	QC-0304	D-6938	100	98
507	142.3	2.5	138.8	138.1	5.4	QC-0304	D-6938	100	98
508	143.4	3.0	139.2	138.1	5.4	QC-0304	D-6938	100	98
509	142.1	2.9	138.1	138.1	5.4	QC-0304	D-6938	100	98
510	142.4	3.2	138.0	138.1	5.4	QC-0304	D-6938	100	98
511	141.6	2.9	137.6	138.1	5.4	QC-0304	D-6938	100	98
512	143.0	3.3	138.4	138.1	5.4	QC-0304	D-6938	100	98

Test No.	LOCATION OF TESTS	Elevation
	Crackling Ct., at Lot 364	Stone SG
	Crackling Ct., at Lot 366	Stone SG
505	Crackling Ct., at Lot 368	Stone SG
	Gusty Ln., at Lot 322	Stone SG
	Gusty Ln., at Lot 325	Stone SG
	Gusty Ln., at Lot 328	Stone SG
	Gustly Ln., center of cul de sac	Stone SG
	Indian Summer St., station 11+50	Stone SG
	Indian Summer St., station 13+00	Stone SG
	Indian Summer St., station 14+50	Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans	Proctor Control	Proctor	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contractor	No.	Specification	(pcf)	(%)
Depin referenced from		QC-0304	NCDOT	138.1	5.4
Full Time Monitoring:	Yes X No				
Nuclear Gauge S/N:	37926				
Remarks					

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by: _

	ect Name:	Autumn L	akes, Pha	ise 3		Project Nun	nber: 9	2322	
Tecl		Chris Hes				Report Num	nber:	of	2
	ation:	Streets Ste	one Base			Date:	5	/14/21	
GAP NO.			S. S	Delta Sala		1.144 Jan. 12.444.	CAR COLLEGE	A COMMON A SERVICE	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compactio
513	142.1	2.8	138.2	138.1	5.4	QC-0304	D-6938	100	98
514	141.5	3.0	137.4	138.1	5.4	QC-0304	D-6938	100	98
513 514	Indian Sum Indian Sum				OF TESTS				Elevation Stone SG Stone SG
ocati	ons of tests	should b	e conside	red approxi	imate, and	d only accu	urate to th	e degree ca	pable fro
ested	ons of tests ring distance should not be	es relative e inferred	to refere	nce points p	rovided by	y others. C	urate to th	of areas not	specifica
neasu ested	ring distance	es relative e inferred d from: P	to refere	nce points p	Proctor Control No.	Proc Specifi	etor cation	e degree ca of areas not Maximum Dry Density (pcf)	Optimum Moistur (%)
neasu ested Location	ring distance should not be ons referenced	es relative e inferred d from: Pom: C	to refere from thes lans	nce points p	Proctor	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)
ested cocation	ring distance should not be ons referenced referenced from	es relative e inferred d from: P om: C	to refere from thes lans	e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)
neasurested cocation	ring distance should not be ons referenced referenced from me Monitorin or Gauge S/N:	es relative e inferred d from: P om: C	to reference to the second the se	e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimus Moistur (%)

(Sinciple)			E.	dd Densi	ty Test	Report	N. 40 J. 2007	NO SERVICE	
			Lakes Di	2 2	.,	Project Nun	nher: 0	2322	to come longer on the said
Proje	ect Name:		Lakes, Ph	ase 3				1 of	2
Tech	nician:	Chris He	ston			Report Num	- Control		
Loca	ition:	Streets S	tone Base			Date:	_5	/17/21	
MARINE STATES				科格拉斯特尼 克	和加州 西部		A-1000, 1200, 15	AND DESCRIPTIONS	CO. The Control Black
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
515	142.4	2.4	139.1	138.1	5.4	QC-0304	D-6938	100	98
516	141.6	2.5	138.1	138.1	5.4	QC-0304	D-6938	100	98
517	142.0	2.6	138.4	138.1	5.4	QC-0304	D-6938	100	98
518	141.2	2.5	137.8	138.1	5.4	QC-0304	D-6938	100	98
519	140.9	2.6	137.3	138.1	5.4	QC-0304	D-6938	100	98
520	142.4	2.8	138.5	138.1	5.4	QC-0304	D-6938	100	98
521	141.5	2.6	137.9	138.1	5.4	QC-0304	D-6938	100	98
522	142.0	2.4	138.7	138.1	5.4	QC-0304	D-6938	100	98
523	141.4	2.7	137.7	138.1	5.4	QC-0304	D-6938	100	98
524	142.6	2.8	138.7	138.1	5.4	QC-0304	D-6938	100	98
TD - A BY			Elevation						
Test No 515	Fauna St.,		Stone SG						
516	Fauna St.,								Stone SG
517	Cider Mill	Way stati	on 11+50						Stone SG
518	Cider Mill	Way, stati	on 13+00						Stone SG
519	Cider Mill								Stone SG
520	Cider Mill								Stone SG
521	Cider Mill								Stone SG
522	Little Patcl	St., static	on 11+50						Stone SG Stone SG
523	Little Patcl								Stone SG
524	Little Patcl	St., static	on 14+50						THE RESERVE OF THE PERSON NAMED IN COLUMN TWO IS NOT THE OWNER, THE PERSON NAMED IN COLUMN TWO IS NOT THE OWNER.
Location	ons of tests	should	be conside	ered approx	imate, and	d only accu	irate to th	e degree c	apable iroi
measu	ring distanc should not b	es relativ	e to refere	nce points p	provided by	y others. C	ompaction	of areas no	t specifican
Locatio	ons reference	d from:	Plans		Proctor	Pro	ctor	Maximum	Optimum
Locatio					Control	Specifi		Dry Density	Moisture
Depth	referenced fr	om:	Contractor		No.			(pcf)	(%)
	me Monitori		Yes [X No	QC-0304	NCI	DOT	138.1	5.4
Nuclea	r Gauge S/N	:	37926						
Remar	ks						THE RESERVE OF THE PARTY OF THE		
Kemur	KS								
-									
4905 Pr	poration No. rofessional Co	urt					19	and the same of th	
	, North Carol						(1)		
Phone (919) 876-979	9 Fax (919) 876-8291	Res	viewed by:		000		
www.n	v5.com								

			Die	eld Densi	ty Test	Report	***		
Danie	aat Nama:	Autumn	Lakes, Pha	ise 3		Project Nun	nber: 92	2322	
						Report Num		2 of	2
Tech	nnician:	Chris He				-		/17/21	
Loca	ation:	Streets S	tone Base			Date:	SI S	CHONOL NAME OF THE OWNER.	Kreizer C. A. Street
No.								reconstrained by	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compactio
525	141.0	2.5	137.6	138.1	5.4	QC-0304	D-6938	100	98
526	142.5	2.6	138.9	138.1	5.4	QC-0304	D-6938	100	98
527	140.8	2.8	137.0	138.1	5.4	QC-0304	D-6938	99	98 98
528	142.1	2.6	138.5	138.1	5.4	QC-0304	D-6938	100	98
529	141.5	2.5	138.0	138.1	5.4	QC-0304	D-6938	100	98
530	142.4	2.8	138.5	138.1	5.4	QC-0304	D-6938	100	90
est No				LOCATION	OF TESTS		19 6 At 2015		Elevation Stone SG
525	Little Patch	St., static	n 16+00						Stone SG
526	Turning La	ke Dr., sta	tion 11+50						Stone SG
527	Turning La	ke Dr., sta	tion 13+00)					Stone SG
528	Turning La	ke Dr., sta	tion 14+50)					Stone SG
529	Turning La	ke Dr., sta	tion 16+00)					Stone SG
530	Turning La	ke Dr., sta	tion 1/+30	,					
	-								
	+								
neasu	ions of tests ring distanc should not b	es relativ	e to refere	ered approx ence points p se results.	imate, an provided b	d only according others. C	urate to th compaction	or areas no	
ocati	ons reference	d from:	Plans		Proctor Control		ctor	Maximum Dry Density	Optimu Moistui
Depth	referenced fr	om:	Contractor		No.		DOT	(pcf) 138.1	(%)
Full T	ime Monitori	ng:	Yes	X No	QC-0304	+ NC	501	13011	
	ar Gauge S/N	:	37926						
Nucle									
	rks								
Nucle:	rks								

			Fic	eld Densi	ty Test	Report			
Pro	ject Name:	Autumn I	Lakes, Pha	ase 3		Project Nun	nber: 9	2322	
Tec	hnician:	Chris Hes	ton			Report Num	nber:	of	1
Loc	eation:	Streets St	one Base			Date:	5	/17/21	
			0,5000 12/03		(A) (3.0) (B)		SER OF SEPARA		\$160 (E) (1016)
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
531	T 140.9	2.7	134.2	1 138.1	5.4	QC-0304	D-6938	99	98
532	141.5	2.5	138.0	138.1	5.4	QC-0304	D-6938	100	98
533	142.0	2.8	138.1	138.1	5.4	QC-0304	D-6938	100	98

5.4

5.4

5.4

5.4

5.4

5.4

138.1

138.1

138.1

138.1

138.1

138.1

138.0

137.4

138.4

137.7

138.2

138.4

2.7

2.5

2.6

2.7

2.5

2.6

534

535

536

537

538

539

141.7

140.8

142.0

141.4

141.7

142.0

QC-0304

QC-0304

QC-0304

QC-0304

QC-0304

QC-0304

D-6938

D-6938

D-6938

D-6938

D-6938

D-6938

100

100

100

100

100

100

98

98

98

98

98

98

540	141.6	2.7	137.9	138.1	5.4	QC-0304	D-6938	100	98
Test No.	THE THE PERSON			LOCATION	OF TEST	S			Elevation
531	Turning Lak	ce Dr., stat	ion 19+00						Stone SG
532	Turning Lal	ce Dr., stat	tion 20+50						Stone SG
533	Turning Lak								Stone SG
534	Turning Lal								Stone SG
535	Turning Lal								Stone SG
536	Turning Lal								Stone SG
537	Turning Lal								Stone SG
538	Turning Lal								Stone SG
539	Turning Lal			ide					Stone SG
540	Turning Lal	ke Dr. cul	de sac, SW	side					Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans	Proctor Control	Proctor Specification	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contractor	No. QC-0304		(pcf) 138.1	5.4
Full Time Monitoring:	Yes X No	QC-0304	NCDOT	130.1	3.1
Nuclear Gauge S/N:	37926				
Remarks					

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by:



	ect Name: nnician:	Aaron W	Lakes, Pha	300))	Project Nun Report Nun		1 of	1
						Date:		/21/21	
Loca	ation:	Walking	Tran			Date.		SET MANAGEMENT SERVICE	CONTRACTOR MESSA
Test No.	Wet Density (pcf)	Moisture Content (%)		Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
541	120.0	21.9	98.4	98.5	22.1	92320-2	D-2937	100	100
542	119.7	22.1	98.1	98.5	22.1	92320-2	D-2937	100	100
543	120.2	22.0	98.5	98.5	22.1	92320-2	D-2937	100	100
541 542	1,300' from 50' from Tu			LOCATION	OF TESTS				Elevation Subgrade Subgrade
543	30 Hom Te	Immig Lar	ce Dr. parki						
neasu ested	ons of tests ring distance should not b	es relativ e inferrec	e to refere	nce points p	imate, and rovided by Proctor Control	d only accurate of the second	etor	Maximum Dry Density	Optimum Moisture
-	referenced fro	,	Contractor		No. 92320-2	D-6		(pcf) 98.5	22.1
	me Monitorir r Gauge S/N:		Yes [No No					
								W	L
emar									

rroje	ect Name:	Autumn I	Lakes, Pha	se 3		Project Nun		2322	1
Tech	nnician:	Aaron Wi	illiams			Report Num		of	1
Loca	ation:	Walking	Γrail			Date:	5	/21/21	
	ACTIVITY OF THE PARTY OF			GALDAR PROPERTY.	The State of				
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
544	120.2	22.1	98.5	98.5	22.1	92320-2	D-2937	100	100
545	120.0	22.3	98.1	98.5	22.1	92320-2	D-2937	100	100
546	120.4	22.1	98.0	98.5	22.1	92320-2	D-2937	100	100
est No.	300' from I	Phase 1 bou	indary	LOCATION	OF TESTS	3			Elevation Subgrade Subgrade
545 546	600' from I 900' from I								Subgrade
-		s should b	oe conside	ered approx	imate, an	d only acci	urate to th	e degree ca	pable fro
neasu ested	ring distand should not b	ces relative oe inferred	from thes	e results.	Proctor	Pro		Maximum	Optimun
neasu ested	ring distanc	ces relative pe inferred ed from:	from thes	e results.	Proctor Control	Pro-	ctor cation	Maximum Dry Density (pcf)	
neasu ested Location	ring distant should not booms reference	ees relative oe inferred ed from:	Plans Contractor	e results.	Proctor Control	Pro-	ctor	Maximum Dry Density	Optimum Moisture (%)
neasu ested Cocation Depth	ring distance should not be ons reference referenced fr	ees relative oe inferred ed from:	Plans Contractor	e results.	Proctor Control	Pro-	ctor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)
neasu ested Location Depth	ring distance should not he cons referenced referenced from time Monitorian Gauge S/N	ees relative oe inferred ed from:	Plans Contractor	e results.	Proctor Control	Pro-	ctor cation	Maximum Dry Density (pcf)	Optimus Moistur (%)

			Fie	eld Densi	ty Test	Report			
Droid	ect Name:	Autumn	Lakes, Ph	ise 3		Project Nun	nber: 9	2322	
						Report Num	_	1 of	2
Tech	inician:	Chris Sta				•	-	/24/21	
Loca	ition:	Greenwa	y Trail			Date:		124121	
ne parie			Applications		Parties Bases				
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
548	142.5	5.0	135.7	138.1	5.4	QC-0304	D-6938	98	98
549	143.4	5.2	136.3	138.1	5.4	QC-0304	D-6938	99	98
550	143.1	4.8	136.5	138.1	5.4	QC-0304	D-6938	99	98
551	144.0	5.0	137.1	138.1	5.4	QC-0304	D-6938	99	98
552	144.3	5.1	137.3	138.1	5.4	QC-0304	D-6938	99	98
553	143.0	4.7	136.6	138.1	5.4	QC-0304	D-6938	99	98
554	144.5	5.0	137.6	138.1	5.4	QC-0304	D-6938	100	
555	143.7	5.2	136.6	138.1	5.4	QC-0304	D-6938	99	98
556	144.1	4.7	137.6	138.1	5.4	QC-0304	D-6938	100	98
557	143.9	5.1	136.9	138.1	5.4	QC-0304	D-6938	99	98
				LOCATION	OF TESTS			15244 12W 13	Elevation
Fest No. 548	150' from I	Phase I line	9	LOCATION	01 12011				Stone SG
549	300' from I								Stone SG
550	450' from I								Stone SG
551	600' from l								Stone SG
552	750' from 1								Stone SG
553	900' from 1			10 981		-			Stone SG
554	1050' from								Stone SG
555	1200' from								Stone SG
556	1350' from								Stone SG
557	1500' from	Phase 1 li	ne						Stone SG
Y nandi	one of tosts	should	he conside	ered approx	imate, and	d only accu	irate to th	e degree c	apable fror
magen	ring distanc	es relativ	e to refere	nce points p	rovided by	y others. C	ompaction	of areas no	t specificall
tootod	should not b	o inferred	from the	se results.					
iesieu :	Silvaia not i	oc inicirco				,	manufacture and the second	M	I Ontimum
Locatio	ons reference	ed from:	Plans		Proctor	Pro	ctor	Maximum	Optimum Moisture
					Control	Specifi		Dry Density	(%)
Depth 1	referenced fr	om:	Contractor		No.			(pcf) 138.1	5.4
		,	٦ ١	-	QC-0304	NCI	01	136.1	JT
Full Ti	me Monitori	ng: [Yes	X No					
			20001		-	-			
Nuclea	r Gauge S/N	: .	38081						
Remar	.kc							Andrew Land	
Kemur	n.o								
NC Cor	poration No.	(F-1333)							
	rofessional Co						1 1	and the same of th	
	, North Carol						(N/)		
	(919) 876-979) 876-8291	Re	viewed by:		- W		Francis Cont
	v5.com								
- * * * * * - 1 1									

	ect Name:	Autumn	Lakes, Pha	ise 3		Project Nun	nber: 9	2322	
				130 0		Report Num	_	2 of	2
	nnician:	Chris Sta			-		_		
Loca	ation:	Greenwa	y Trail			Date:	6	/24/21	
	STATE NAME OF STREET	7		THE PARTY OF THE P	THE PARTY OF THE P				
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
558	144.3	5.0	137.4	138.1	5.4	QC-0304	D-6938	100	98
559	143.7	4.8	137.1	138.1	5.4	QC-0304	D-6938	99	98
560	144.0	5.3	136.8	138.1	5.4	QC-0304	D-6938	99	98
561	143.5	5.0	136.7	138.1	5.4	QC-0304	D-6938	99	98 98
562	144.3	4.8	137.7	138.1	5.4	QC-0304	D-6938	100	96
Test No.				LOCATION	OF TESTS				Elevation
558	Greenway ?								Stone SG
559				ig Lake Dr. ci	ul de sac				Stone SG Stone SG
560	Greenway	Trail at por	nd 1 outlet	CY + 441 C	112				Stone SG
561 562	Greenway	rail betwe	en center c	of Lots 441 &	442				Stone SG
302	Oreenway	Tran 150 I	IOIII EOI3 4	11 & 112					
						and the same of the same			
4:-	ons of tests	should b	e conside	red approxi	mate, and	only accu	rate to the	degree ca	pable from
neasur	ing distance should not be				iovided by	others. Co	, in particular t	n areas not	
neasur ested s	should not be	e inferred	from these		Proctor Control	Proc	tor	Maximum Dry Density	Optimum Moisture
neasur ested s	should not be	e inferred	from these		Proctor Control No.	Proc Specific	tor	Maximum Dry Density (pcf)	Optimum Moisture (%)
neasur ested s location	should not be	e inferred d from: 1	from these	e results.	Proctor Control	Proc	tor	Maximum Dry Density	Optimum Moisture
neasurested s Location Depth refull Time	should not be ns referenced eferenced from	e inferred d from: pm: g:	Plans Contractor	e results.	Proctor Control No.	Proc Specific	tor	Maximum Dry Density (pcf)	(%)
neasurested s Location Depth refull Time	should not be ns referenced eferenced from me Monitoring Gauge S/N:	e inferred d from: pm: g:	Plans Contractor Yes	e results.	Proctor Control No.	Proc Specific	tor	Maximum Dry Density (pcf)	Optimum Moisture (%)
neasur ested s Location Depth re Full Tim Nuclear Remark	should not be ns referenced eferenced from me Monitoring Gauge S/N:	e inferred d from:l om:c ng:	Plans Contractor Yes	e results.	Proctor Control No.	Proc Specific	tor	Maximum Dry Density (pcf)	Optimum Moisture (%)

Tech			234377	ise 3		Project Nun	1001.	2322	
Locat	nician:	Aaron W	illiams			Report Nun	ber:	of	1
LUCU	tion:	Lot 445				Date:	4	/13/21	
	ALESS STATES		(Tropic Cartistina		26022	and sale white an		网络罗尔尔斯	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
472	119.5	22.9	97.2	98.5	22.1	92320-2	D-2937	99	95 95
473	119.9	22.7	97.7	98.5	22.1	92320-2	D-2937	99	93
est No. 472 473	Lot 445 Lot 445			LOCATION	OF TESTS	3			Elevation -5 -4
neasur	ons of tests	es relativ	e to refere	ered approx ence points p se results.	imate, an	d only acco	urate to th	e degree ca	pable from the specification of the specification o
	ns reference				Proctor Control No.	FIU	ctor ication	Maximum Dry Density (pcf)	Optimu Moistur (%)
	eferenced from me Monitoria		Contractor Yes	X No	92320-2	D-(698	98.5	22.1
Nuclean	r Gauge S/N:								

D				ld Densi		and the second s	ober: 0	2322	
Proj	ect Name:		Lakes, Pha	ise 3		Project Nun	-		1
Tech	nnician:	Aaron W	illiams			Report Nun			1
Loca	ation:	Lot 446				Date:	4	/15/21	
E DE	A STATE OF THE STA	ALC: THE RESERVE		Taxable Indian					
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
474	117.7	22.5	96.0	98.5	22.1	92320-2	D-2937	98	95
475	118.7	22.3	97.1	98.5	22.1	92320-2	D-2937 D-2937	99 99	95 95
476	119.5	22.4	97.6	98.5	22.1	92320-2	D-2937	99	75
est No				LOCATION	OF TESTS	The special control of			Elevation -7
474	Approxima	te center o	f Lot 446						-6
475 476	Approxima Approxima	te center o	f Lot 446						-5
470	Approxima	ite center o	L DOT 1.10						
	-								
	+						4 m		
ocati	ons of tests ring distanc should not b	es relative	e to refere	red approx nce points p e results.	imate, an rovided b	d only accu y others. C	irate to th ompaction	or areas not	specifica
ested								Maximum	1 0 .:
ested	ons reference	d from:	Plans		Proctor Control	Proc		Dry Density	Moistur
ested	ons reference		Plans Contractor		Control No.	Specifi	cation		Optimur Moistur (%)
ested Location		om:	Contractor	No No	Control	Specifi	cation	Dry Density (pcf)	Moistur
ested Location Depth	referenced fr	om:	Contractor	X No	Control No.	Specifi	cation	Dry Density (pcf)	Moistur
ested Location Depth	referenced fr ime Monitori ar Gauge S/N	om:	Contractor	X No	Control No.	Specifi	cation	Dry Density (pcf)	Moistur
ested Location Depth Full Ti Nuclea	referenced fr ime Monitori ar Gauge S/N	om:	Contractor	X No	Control No.	Specifi	cation	Dry Density (pcf)	Moistur

Proj	ect Name:	Autumn I	akes, Pha	ise 3		Project Nun	nber: 9	2322	
Tech	nnician:	Aaron Wi	lliams			Report Nun	nber:	of	1
	ation:	Subdivision	on Streets			Date:	4	/20/21	
A CHANGE			Medicina del					A SHARE WATER OF THE SHARE	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
477	120.0	22.6	98.0	98.5	22.1	92320-2	D-2937	100	100
478	120.3	22.8	98.0	98.5	22.1	92320-2	D-2937	100	100
479	120.2	22.5	98.1	98.5	22.1	92320-2	D-2937	100	100
480	120.4	22.6	98.2	98.5	22.1	92320-2	D-2937	100	100
481	120.1	22.3	98.2	98.5	22.1	92320-2	D-2937	100	100
482	120.2	22.1	98.4	98.5	22.1	92320-2	D-2937	100	100
est No				LOCATION	OF TESTS			Name and Address of the Owner, where the Party of the Owner, where the Party of the Owner, where the Owner, which is the Owner, where the Owner, which is th	Elevation
477	Turning La	ke Dr., stat	ion 12+50						Subgrade
478	Fauna St., s	station 13+	00						Subgrade
479	Indian Sum			0					Subgrade Subgrade
480		Ct., station							Subgrade
481		Way, static							Subgrade
482	Cider Mill	Way, static	on 16+50						Subgrade
neasu	ons of tests ring distanc should not b	es relative	to refere	nce points p	rovided by	d only accu y others. C	irate to th ompaction	e degree ca of areas not	specifica
	ons reference referenced fr		Plans Contractor		Proctor Control No.	Proc Specifi		Maximum Dry Density (pcf)	Optimur Moistur (%)
-	me Monitori	_		X No	92320-2	D-6	598	98.5	22.1
Nuclea	r Gauge S/N								
Remar	ks								

			Fie	eld Densi	ty Test	Report	HI LINE		
Proj	ect Name:	Autumn I	akes, Ph	ise 3		Project Nur	nber: 9	2322	
	nnician:	Aaron Wi				Report Nun	nber:	1 of	1
100							_	/23/21	
Loca	ation:	Subdivision	on Streets			Date:		1/23/21	
The same of the sa		The Part of the Pa							
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
483	119.9	22.3	98.0	98.5	22.1	92320-2	D-2937	100	100
484	120.2	22.0	98.5	98.5	22.1	92320-2	D-2937	100	100
485	120.0	22.2	98.2	98.5	22.1	92320-2	D-2937	100	100
486	120.2	22.4	98.2	98.5	22.1	92320-2	D-2937	100	100
487	119.9	22.2	98.1	98.5	22.1	92320-2	D-2937	100	100
488	120.4	22.5	98.3	98.5	22.1	92320-2	D-2937	100	100
Test No.				LOCATION	OF TESTS			To bett 20	Elevation
483	Turning La								Subgrade
484	Cider Mill								Subgrade
485	Fauna Stree								Subgrade
486	Crackling (Subgrade Subgrade
487	Indian Sum								Subgrade
488	Indian Sum	mer St., sta	11011 15+30	,					Buograde
	-								
	1								
	+								
measur	ons of tests ing distance should not b	es relative	to referer	red approxi nce points p e results.	mate, and rovided by	only accu others. Co	rate to th ompaction	e degree ca of areas not	specifically
	ns reference	_	lans		Proctor Control	Proc Specific		Maximum Dry Density	Optimum Moisture
Depth r	eferenced fro	om: <u>C</u>	ontractor		No.	D-6		(pcf) 98.5	22.1
Full Tir	ne Monitorir	ng:	Yes 2	No	92320-2	D-6	98	98.3	22.1
Nuclear	Gauge S/N:	_							
Remark	ks								
4905 Pro Raleigh,	poration No. (I ofessional Cou North Carolin (19) 876-9799	irt na 27609	376-8291	Rev	iewed by:	7	D		

			Fi	eld Densi	ty Test	Report		# 7 ab	
Desails	aat Nassas	Autom	Lakes, Ph	200	The second second second	Project Nur	nher 0	2322	
	ect Name:			ase 5		-			1
Tech	nnician:	Aaron W	illiams			Report Nun	_	of	1
Loca	ition:	Subgrad	e Soil			Date:	4	/26/21	
				超 高分子及5-48	AND LOCAL	COLUMN TO SERVICE STATE OF THE SERVICE STATE STATE OF THE SERVICE STATE STATE OF THE SERVICE STATE STATE STATE OF THE SERVICE STATE STATE STATE OF THE SERVICE STATE	ZOT ZINGE, CARS	A CALL TO A	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
489	120.2	22.5	98.1	98.5	22.1	92320-2	D-2937	100	100
490	120.1	22.1	98.4	98.5	22.1	92320-2	D-2937	100	100
491	120.3	22.1	98.5	98.5	22.1	92320-2	D-2937	100	100
492	120.2	22.3	98.2	98.5	22.1	92320-2	D-2937	100	100
493	120.0	22.0	98.4	98.5	22.1	92320-2	D-2937	100	100
494	120.2	22.4	98.2	98.5	22.1	92320-2	D-2937	100	100
495	120.3	22.4	98.3	98.5	22.1	92320-2	D-2937	100	100
			J					No.	
Test No.		0.024.006.4		LOCATION	OF TESTS	LA SANTA			Elevation
489	Road, static	on 18+50							Subgrade
490	Road, static								Subgrade
491	Road, static								Subgrade
492	Road, static								Subgrade
493	Road, static								Subgrade
494	Road, static	on 30+50							Subgrade
495	Center if cu	ıl de sac							Subgrade
		40.00							
measur	ons of tests ing distance should not b	es relative	to refere	red approxi nce points p e results.	rovided by	only accu others. Co	ompaction	of areas not	specifically
Location	ns reference	d from:	Plans		Proctor	Proc	tor	Maximum Dry Density	Optimum Moisture
D	C 1 C		C		Control	Specific	cation	(pcf)	(%)
Depth re	eferenced fro	om:	Contractor		No. 92320-2	D-6	98	98.5	22.1
Full Tin	ne Monitorir	ng: [Yes 2	No No	92320-2	D-0	76	70.0	
Nuclear	Gauge S/N:	-							
Remark	ks								

4905 Pro Raleigh,	oration No. (1 ofessional Cou North Carolir 919) 876-9799	irt na 27609	876-8291	Rev	iewed by:	-7	D		
www.nv		1 un (717)	070 0271	1.01		ALTERNATION OF THE STREET			

	ect Name:	Autumn	Lakes, Pha	ase 3		Project Nun	nber: 9	2322	
	hnician:	Aaron W				Report Nun	nber:	1 of	1
	ation:			e Patch Stree	et .	Date:		/26/21	
Loc	ation.	Gusty Ea	ne ce Bitti	e i aten stre.	AT LANCE OF THE PARTY.			The William with	Maria Dal Syl
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
496	119.9	21.9	98.3	98.5	22.1	92320-2	D-2937	100	100
497	120.1	22.2	98.3	98.5	22.1	92320-2	D-2937	100	100
498	120.0	22.0	98.4	98.5	22.1	92320-2	D-2937	100	100
499	120.2	22.3	98.3	98.5	22.1	92320-2	D-2937	100	100
est No	Gusty Ln.,	station 11+	-00	LOCATION	OF TESTS				Elevation Subgrade
497	Gusty Ln.,		-00						Subgrade Subgrade
498 499	Gusty Ln. c		10.50						Subgrade
neasu ested	ring distance should not be ons referenced	es relative e inferred d from:	to refere from thes Plans	nce points p	Proctor Control	y others. Co	etor	e degree ca of areas not Maximum Dry Density (pcf)	Optimum Moisture
neasurested	ring distance should not b	e inferred d from: 1	to refere from thes Plans Contractor	nce points p	Proctor Control	y others. Co	etor cation	Maximum Dry Density	Optimum Moisture
ested ocation	ring distance should not be ons referenced referenced from	es relative e inferred d from: om: eng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specific	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)
ested ocation	ring distance should not be ons referenced referenced from me Monitorinar Gauge S/N:	es relative e inferred d from: om: eng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specific	etor cation	Maximum Dry Density (pcf)	Optimur Moistur

			Fie	ld Densi	ty Test	Report			
Proje	ect Name:	Autumn I	akes, Pha	ise 3		Project Nun	nber: 9	2322	
Tech	nnician:	Aaron Wi	lliams			Report Nun	nber:	of	1
Loca	ation:	Lots 444	& 445			Date:	5	/4/21	
						ACPUTATION.			
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
500	118.7	22.4	97.0	98.5	22.1	92320-2	D-2937	99	95
501	119.3	22.2	97.6	98.5	22.1	92320-2	D-2937	99	95
Test No.				LOCATION	OF TESTS				Elevation
500 501	Lot 444 Lot 445								-2 -2
measur	ons of tests ing distance should not be	es relative	to referer	ice points p	mate, and rovided by	only accu others. Co	rate to the ompaction o	e degree ca of areas not	pable from specifically
	ns referenced	_	lans		Proctor Control	Proc Specific		Maximum Dry Density	Optimum Moisture
Depth r	eferenced fro	om: <u>C</u>	ontractor		No. 92320-2	D-6		(pcf) 98.5	22.1
	ne Monitorin	g:	Yes X	No					
	Gauge S/N:	_		-					
Remark	ks								
4905 Pro Raleigh,	poration No. (I ofessional Cou North Carolin	rt a 27609	277 9201	Pari	ewed by:	-7	D		

			Fie	ld Densi	ty Test	Report			
Proj	ect Name:	Autumn I	_akes, Pha	se 3		Project Nun	nber: 9	2322	
Tech	nnician:	Aaron Wi	illiams			Report Nun	nber:	of	1
Loca	ation:	Lot 445				Date:	5	/11/21	
District Co.		spendicus	Malici Shiris	STATE OF THE PARTY	HEALTH IN			STATE OF THE PARTY.	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
502	118.2	22.6	96.4	98.5	22.1	92320-2	D-2937	98	95
Test No.				LOCATION	OF TESTS				Elevation
Locatio	ons of tests	should b	e consider	red approxi	mate, and	l only accu	rate to th	e degree ca	pable fron
measur tested s	ing distance should not be	es relative e inferred	to referen	ce points p	rovided by	others. Co	ompaction	of areas not	specificall Optimum
	ns referenced eferenced from	-	Contractor		Control No. 92320-2	Proc Specific	ation	Dry Density (pcf) 98.5	Moisture (%)
Full Tir	ne Monitorin	g: [Yes X] No	72320-2	D-0			
	Gauge S/N:	_							
Remarl	ks							7	
4905 Pro Raleigh,	ooration No. (Rofessional Cou North Carolin (219) 876-9799	rt a 27609	876-8291	Rev	lewed by:	-7	D		

	Field Densit	y Test Report			
Project Name:	Autumn Lakes, Phase 3	Project Number:	92322		
Technician:	Chris Heston	Report Number:	1	of	2
Location:	Streets Stone Base	Date:	5/14/21		

Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
503	141.0	2.4	137.7	138.1	5.4	QC-0304	D-6938	100	98
504	142.4	2.7	138.7	138.1	5.4	QC-0304	D-6938	100	98
505	142.8	2.5	139.3	138.1	5.4	QC-0304	D-6938	100	98
506	142.3	2.6	138.7	138.1	5.4	QC-0304	D-6938	100	98
507	142.3	2.5	138.8	138.1	5.4	QC-0304	D-6938	100	98
508	143.4	3.0	139.2	138.1	5.4	QC-0304	D-6938	100	98
509	142.1	2.9	138.1	138.1	5.4	QC-0304	D-6938	100	98
510	142.4	3.2	138.0	138.1	5.4	QC-0304	D-6938	100	98
511	141.6	2.9	137.6	138.1	5.4	QC-0304	D-6938	100	98
512	143.0	3.3	138.4	138.1	5.4	QC-0304	D-6938	100	98

Test No.	LOCATION OF TESTS	Elevation
	Crackling Ct., at Lot 364	Stone SG
504	Crackling Ct., at Lot 366	Stone SG
	Crackling Ct., at Lot 368	Stone SG
506	Gusty Ln., at Lot 322	Stone SG
	Gusty Ln., at Lot 325	Stone SG
	Gusty Ln., at Lot 328	Stone SG
	Gustly Ln., center of cul de sac	Stone SG
510	Indian Summer St., station 11+50	Stone SG
511	Indian Summer St., station 13+00	Stone SG
	Indian Summer St., station 14+50	Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans	Proctor Control	Proctor	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contractor	No.	Specification	(pcf)	(%)
	And the same of th	QC-0304	NCDOT	138.1	5.4
Full Time Monitoring:	Yes X No				
Nuclear Gauge S/N:	37926				
Remarks					

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by:



Technician: Chr.		Chris H		se 3		Project Number: Report Number: Date:		2322 2 of /14/21	2
		Streets S	Stone Base		N 1 45 No. 1 W. 1	Date.			Marian De Viera
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
513 514	142.1 141.5	2.8	138.2	138.1	5.4 5.4	QC-0304 QC-0304	D-6938 D-6938	100	98 98
513 514	Indian Sum		tation 16+00 tation 17+50		OF TESTS				Elevation Stone SG Stone SG
1easu	ons of tests ring distanc	should es relativ	e to refere	nce points p	imate, and	d only accu	urate to th	e degree ca	pable fro
	ons reference	d from:			Proctor Control	Proc Specifi	1	Maximum Dry Density (pcf)	Optimum Moisture (%)
	Depth referenced from: Full Time Monitoring:			No No	QC-0304	NCL	TOOT	138.1	5.4
Depth 1	me Monitori								
epth i	r Gauge S/N	:	37926						

	Field Densit	y Test Report			
Project Name:	Autumn Lakes, Phase 3	Project Number:	92322		
Technician:	Chris Heston	Report Number:	1	of	2
Location:	Streets Stone Base	Date:	5/17/21		

Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
515	142.4	2.4	139.1	138.1	5.4	QC-0304	D-6938	100	98
516	141.6	2.5	138.1	138.1	5.4	QC-0304	D-6938	100	98
517	142.0	2.6	138.4	138.1	5.4	QC-0304	D-6938	100	98
518	141.2	2.5	137.8	138.1	5.4	QC-0304	D-6938	100	98
519	140.9	2.6	137.3	138.1	5.4	QC-0304	D-6938	100	98
520	142.4	2.8	138.5	138.1	5.4	QC-0304	D-6938	100	98
521	141.5	2.6	137.9	138.1	5.4	QC-0304	D-6938	100	98
522	142.0	2.4	138.7	138.1	5.4	QC-0304	D-6938	100	98
523	141.4	2.7	137.7	138.1	5.4	QC-0304	D-6938	100	98
524	142.6	2.8	138.7	138.1	5.4	QC-0304	D-6938	100	98

Test No.	LOCATION OF TESTS	Elevation
	Fauna St., station 11+50	Stone SG
	Fauna St., station 13+00	Stone SG
	Cider Mill Way, station 11+50	Stone SG
	Cider Mill Way, station 13+00	Stone SG
	Cider Mill Way, station 14+50	Stone SG
	Cider Mill Way, station 16+00	Stone SG
	Cider Mill Way, station 17+50	Stone SG
	Little Patch St., station 11+50	Stone SG
	Little Patch St., station 13+00	Stone SG
	Little Patch St., station 14+50	Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans	Proctor Control	Proctor	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contractor	No.	Specification	(pcf)	(%)
		QC-0304	NCDOT	138.1	5.4
Full Time Monitoring:	Yes X No				
Nuclear Gauge S/N:	37926				
Remarks					

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by:



		Fic	eld Densi	ty Test	Report					
Project Name:	Autumn	Lakes, Pha	ase 3		Project Nun	nber: 9	2322			
Technician:	Chris He				Report Num	ber:	2 of	2		
					Date:	_	/17/21			
Location:	Streets 5	tone Base		フロル 守む 大大 大大 大手 二年	Dute.					
			,				F2000000000000000000000000000000000000	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
Test Wet Dens No. (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction		
525 141.0		137.6	138.1	5.4	QC-0304	D-6938	100	98		
526 142.5		138.9	138.1	5.4	QC-0304	D-6938	100	98		
527 140.8	The same of the sa	137.0	138.1	5.4	QC-0304	D-6938	99	98		
528 142.1	2.6	138.5	138.1	5.4	QC-0304	D-6938	100	98		
529 141.5	2.5	138.0	138.1	5.4	QC-0304	D-6938	100	98		
530 142.4	2.8	138.5	138.1	5.4	QC-0304	D-6938	100	98		
							 	 		
					-	 	-			
					 		†			
								Elevation		
Test No.	LOCATION OF TESTS									
	Little Patch St., station 16+00									
526 Turning	Lake Dr., sta	tion 11+50						Stone SG		
527 Turning	Furning Lake Dr., station 13+00									
528 Turning	Lake Dr., sta	tion 14+50						Stone SG Stone SG		
529 Turning	Lake Dr., sta	tion 10+00						Stone SG		
530 Turning	Lake Dr., sta	tion 17+30								
Locations of te measuring dista tested should no	nces relativ	e to refere	nce points p	imate, and rovided b	d only accu y others. C	urate to the	e degree co	specifical		
Locations referen	nced from:	Plans		Proctor	Pro	ctor	Maximum	Optimun		
				Control	Specifi		Dry Density	Moisture		
Depth referenced	from:	Contractor		No.			(pcf) 138.1	(%)		
Full Time Monit	oring:	Yes [X No	QC-0304	NCI	501	138.1	3.4		
Nuclear Gauge S	/N:	37926								
Remarks										
NC Corporation N 4905 Professional	Court					A				
Raleigh, North Ca	rolina 27609				/	2/1/				
Raleigh, North Ca Phone (919) 876-9) 876-8291	Re	viewed by:						

Project Name:		Autumn L	akes, Pha	ise 3		Project Nun	nber: 9	92322		
	nnician:	Chris Hes				Report Number: Date:		of	1	
Loca	ation:	Streets Sto	one Base					5/17/21		
		Moisture	Dry	Maximum	Optimum	D	ASTM Test	Compaction	Required	
Test No.	Wet Density	Content	Density	Dry Density	Moisture	Proctor Control No.	ASTM Test Method	(%)	Compact	

Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
531	140.9	2.7	134.2	138.1	5.4	QC-0304	D-6938	99	98
532	141.5	2.5	138.0	138.1	5.4	QC-0304	D-6938	100	98
533	142.0	2.8	138.1	138.1	5.4	QC-0304	D-6938	100	98
534	141.7	2.7	138.0	138.1	5.4	QC-0304	D-6938	100	98
535	140.8	2.5	137.4	138.1	5.4	QC-0304	D-6938	100	98
536	142.0	2.6	138.4	138.1	5.4	QC-0304	D-6938	100	98
537	141.4	2.7	137.7	138.1	5.4	OC-0304	D-6938	100	98
538	141.7	2.5	138.2	138.1	5.4	QC-0304	D-6938	100	98
539	142.0	2.6	138.4	138.1	5.4	QC-0304	D-6938	100	98
540	141.6	2.7	137.9	138.1	5.4	QC-0304	D-6938	100	98

Test No.	LOCATION OF TESTS	Elevation
531	Turning Lake Dr., station 19+00	Stone SG
	Turning Lake Dr., station 20+50	Stone SG
532	Turning Lake Di., station 20+30	Stone SG
	Turning Lake Dr., station 22+00	Stone SG
534	Turning Lake Dr., station 23+50	Stone SG
535	Turning Lake Dr., station 25+00	Stone SG
536	Turning Lake Dr., station 26+50	Stone SG
537	Turning Lake Dr., station 28+00	
538	Turning Lake Dr., station 29+50	Stone SG
539	Turning Lake Dr. cul de sac, NE side	Stone SG
540	Turning Lake Dr. cul de sac, SW side	Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans		Proctor Control	Proctor Specification	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contrac	tor	No.	Specification	(pcf)	(%)
Depth roteleness is sur-			QC-0304	NCDOT	138.1	5.4
Full Time Monitoring:	Yes	X No				
Nuclear Gauge S/N:	37926					
Remarks						

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by:



Project Name: Autumn Lakes, Phase 3			Lakes, Pha	ise 3		Project Number: 92322				
Technician	,	Aaron W	illiams			Report Number: 1 of			1	
Location:	,	Walking	Trail			Date:	5	/21/21		
all manifest them.				MANUAL AND	* 45% 16%					
CALES/25/25/1905 \$4,003 1 \$450 \$4,000	Density ocf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction	
541 12	20.0	21.9	98.4	98.5	22.1	92320-2	D-2937	100	100	
	9.7	22.1	98.1	98.5	22.1	92320-2	D-2937	100	100	
543 12	20.2	22.0	98.5	98.5	22.1	92320-2	D-2937	100	100	
est No.				LOCATION	OF TESTS	A TAMES OF THE PARTY.	10.32.23.01.24		Elevation	
		Phase 1 be							Subgrade Subgrade	
			Dr. cul de Dr. parkir						Subgrade	
neasuring d	istance	s relative	to referei	red approxi nce points p e results.	imate, and rovided by	d only accu y others. Co	rate to the	e degree ca of areas not	specifical	
neasuring dested should	istance I not be	es relative e inferred d from: <u>I</u>	to reference from these Plans	nce points p	Proctor Control	d only accu y others. Co Proc Specific	tor	Maximum Dry Density	Optimum Moisture	
Locations of neasuring dested should Locations reference	istance I not be	es relative e inferred d from: <u>I</u>	to referen	nce points p	Proctor	y others. Co	tor cation	Maximum	Optimum Moisture (%) 22.1	
neasuring dested should cocations referenced by the referenced to the reference of the refe	istance I not be erenced aced fro onitorin	es relative e inferred di from: <u>I</u>	to reference from these Plans	e results.	Proctor Control No.	Proc Specific	tor cation	Maximum Dry Density (pcf)	Optimum Moisture	
neasuring dested should cocations referenced by the reference of the refer	istance I not be erenced aced fro onitorin	es relative e inferred di from: <u>I</u>	to reference from these Plans Contractor	e results.	Proctor Control No.	Proc Specific	tor cation	Maximum Dry Density (pcf)	Optimum Moisture	
neasuring dested should Locations referent Pull Time Mo	istance I not be erenced aced fro onitorin	es relative e inferred di from: <u>I</u>	to reference from these Plans Contractor	e results.	Proctor Control No.	Proc Specific	tor cation	Maximum Dry Density (pcf)	Optimum Moisture	
neasuring dested should	istance I not be erenced aced fro onitorin	es relative e inferred di from: <u>I</u>	to reference from these Plans Contractor	e results.	Proctor Control No.	Proc Specific	tor cation	Maximum Dry Density (pcf)	Optimun Moisture	

Project Name: Autumn Lakes, Phase 3						Project Number: 92322			
Technician:		Aaron Wi	lliams			Report Nun	nber:	1 of	1
Loc	ation:	Walking Trail				Date: 5/21/21			
					100-100-100-100-100-100-100-100-100-100	MILLS TO SERVE		consultation the ch	1年20年9月2日
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
544	120.2	22.1	98.5	98.5	22.1	92320-2	D-2937	100	100
545	120.0	22.3	98.1	98.5	22.1	92320-2	D-2937	100	100
546	120.4	22.1	98.0	98.5	22.1	92320-2	D-2937	100	100
Sest No. 544 545	300' from Pl		ndary	LOCATION	OF TESTS				Elevation Subgrade Subgrade Subgrade
neasurested s	ons of tests ring distance should not be	s relative e inferred f	to referer	ice points p	rovided by Proctor	others. Co	ompaction of	of areas not Maximum	Specifical Optimum
neasurested s	ring distance should not be	e inferred to the inferred to	to referer rom these	ice points p	Proctor Control No.	Proc Specific	ompaction of	Maximum Dry Density (pcf)	Optimum Moisture (%)
neasurested socation	ring distance should not be ons referenced	e inferred for the from: P	rom these	e results.	Proctor Control	others. Co	ompaction of	Maximum Dry Density	Optimun Moisture
neasurested socation	ring distance should not be ons referenced referenced fro	e inferred for the from: P	rom these	e results.	Proctor Control No.	Proc Specific	ompaction of	Maximum Dry Density (pcf)	Optimum Moisture
neasurested socation	ring distance should not be ons referenced referenced fro me Monitorin r Gauge S/N:	e inferred for the from: P	rom these	e results.	Proctor Control No.	Proc Specific	ompaction of	Maximum Dry Density (pcf)	Optimum Moisture (%)

Project Name: Autumn Lakes, Phase 3						Project Nun	nber: 9	2322		
Technician:		Aaron Wi				Report Number: 1 0			11	
	ation:	Lot 449				Date: 5/28/21				
					S AR A LES	0.115 (2) (4) (4)	BELLEVIE - 127-1		5.000	
Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compactio	
547	119.4	22.8	97.2	98.5	22.1	92320-2	D-2937	99	98	
				-						
				 						
est No				LOCATION	OF TESTS	Life the Alex			Elevation Subgrade	
547	Lot 449									
ieasu	ons of tests ring distanc should not b	es relative	to refere	red approxince points peresults.	imate, and	d only accu	rate to th	e degree ca	pable fro	
ieasu ested	ring distanc	es relative e inferred	to refere	nce points p	imate, and rovided by Proctor Control	y others. C	etor	Maximum Dry Density	Optimur Moistur	
ested	ring distance should not b	es relative e inferred d from: <u>I</u>	to refere	nce points p	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)	
neasu ested ocation	ring distanc should not b ons reference	es relative e inferred d from: <u>I</u> om: <u>(</u>	to refere from thes	nce points p	Proctor	Proc Specifi	etor cation	Maximum Dry Density	Optimur Moistur	
neasu ested ocation Depth	ring distance should not be ons reference referenced from	es relative e inferred d from: F om: C ng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)	
ested ocation Depth Tull Ti	ring distance should not be considered from Monitorial ar Gauge S/N:	es relative e inferred d from: F om: C ng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)	
ested ocation depth ull Ti	ring distance should not be considered from Monitorial ar Gauge S/N:	es relative e inferred d from: F om: C ng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimui Moistur (%)	
neasu ested ocation Depth	ring distance should not be considered from Monitorial ar Gauge S/N:	es relative e inferred d from: F om: C ng:	to refere from thes Plans Contractor	nce points p e results.	Proctor Control No.	Proc Specifi	etor cation	Maximum Dry Density (pcf)	Optimur Moistur (%)	

	Field Densit	y Test Report			
Project Name:	Autumn Lakes, Phase 3	Project Number:	92322		
Technician:	Chris Stafford	Report Number:	1	_ of _	2
Location:	Greenway Trail	Date:	6/24/21		

Test No.	Wet Density (pcf)	Moisture Content (%)	Dry Density (pcf)	Maximum Dry Density (pcf)	Optimum Moisture (%)	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
548	142.5	5.0	135.7	138.1	5.4	QC-0304	D-6938	98	98
549	143.4	5.2	136.3	138.1	5.4	QC-0304	D-6938	99	98
550	143.1	4.8	136.5	138.1	5.4	QC-0304	D-6938	99	98
551	144.0	5.0	137.1	138.1	5.4	QC-0304	D-6938	99	98
552	144.3	5.1	137.3	138.1	5.4	QC-0304	D-6938	99	98
553	143.0	4.7	136.6	138.1	5.4	QC-0304	D-6938	99	98
554	144.5	5.0	137.6	138.1	5.4	QC-0304	D-6938	100	98
555	143.7	5.2	136.6	138.1	5.4	QC-0304	D-6938	99	98
556	144.1	4.7	137.6	138.1	5.4	QC-0304	D-6938	100	98
557	143.9	5.1	136.9	138.1	5.4	QC-0304	D-6938	99	98

Test No.	LOCATION OF TESTS	Elevation
548	150' from Phase 1 line	Stone SG
	300' from Phase 1 line	Stone SG
	450' from Phase 1 line	Stone SG
551	600' from Phase 1 line	Stone SG
552	750' from Phase 1 line	Stone SG
553	900' from Phase 1 line	Stone SG
	1050' from Phase 1 line	Stone SG
555	1200' from Phase 1 line	Stone SG
556	1350' from Phase 1 line	Stone SG
557	1500' from Phase 1 line	Stone SG

Locations of tests should be considered approximate, and only accurate to the degree capable from measuring distances relative to reference points provided by others. Compaction of areas not specifically tested should not be inferred from these results.

Locations referenced from:	Plans		Proctor Control	Proctor Specification	Maximum Dry Density	Optimum Moisture
Depth referenced from:	Contract	or	No.	Specification	(pcf)	(%)
Depth references it said			QC-0304	NCDOT	138.1	5.4
Full Time Monitoring:	Yes	X No				
Nuclear Gauge S/N:	38081					
Remarks						

NC Corporation No. (F-1333) 4905 Professional Court Raleigh, North Carolina 27609 Phone (919) 876-9799 Fax (919) 876-8291 www.nv5.com

Reviewed by:



Proi	ect Name:	Autumn I		ld Densi ise 3		Project Nun	nber: 9	2322	
	nnician:	Chris Stat				Report Number:		2 of	2
		Greenway				Date:	_	/24/21	
Loca	ation:	Greenway	IIan	A section of the section of		Dute.	ALL A PERSONAL PROPERTY.		
Test	Wet Density	Moisture Content	Dry Density	Maximum Dry Density	Optimum Moisture	Proctor Control No.	ASTM Test Method	Compaction (%)	Required Compaction
No.	(pcf)	(%)	(pcf)	(pcf)	(%)			是在1000000000000000000000000000000000000	98
558	144.3	5.0	137.4	138.1	5.4	QC-0304	D-6938	100 99	98
559	143.7	4.8	137.1	138.1	5.4	QC-0304	D-6938 D-6938	99	98
560	144.0	5.3	136.8	138.1	5.4	QC-0304 QC-0304	D-6938	99	98
561 562	143.5 144.3	5.0	136.7 137.7	138.1	5.4	QC-0304 QC-0304	D-6938	100	98
558 559 560	Greenway	Trail 200' fr	om Turnir	LOCATION 128 128 Lake Dr. c					Elevation Stone SG Stone SG Stone SG
561	Greenway	Trail between	en center o	f Lots 441 &	442				Stone SG
562	Greenway	Trail 150' fr	om Lots 4	41 & 442					Stone SG
ocatio	ons of tests	should b	e conside	red approxi	mate, and	d only accu	rate to the	e degree ca	pable fro
neasui	ring distance	es relative	to referen	nce points p	rovided by	y others. Co	ompaction	of areas not	specifical
	ons reference	· · · · · · · · · · · · · · · · · · ·	Contractor		Proctor Control No.	Proc Specific		Maximum Dry Density (pcf)	Optimum Moisture (%)
	me Monitorii	_	Yes 2	No No	QC-0304	NCD	TOO	138.1	5.4
Nuclea	r Gauge S/N:	3	8081						
Remar	ks								
4905 Pr Raleigh	poration No. (rofessional Cou , North Caroli	urt	07/ 0201	Par	iewed by:	-7	D		





May 21, 2021 Via Electronic Mail



Autumn Lakes Subdivision-Phase 3 0 Old Bunn Road Zebulon, NC 27597 BE # NCR162057

Engineer Certified Statement for Water Installation

I, Steven Keidel, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe periodically, the construction of the project, Autumn Lakes Subdivision Phase 3, hereby state that, to the best of my abilities, due care and diligence was used in the observation of the construction such that by my inspection of the constructed improvements and my review of the as-built survey data, I hereby certify that the (1) public improvements, (2) private improvements, and (3) public safety of the above referenced project as constructed are in compliance with the requirements of the improvements as prescribed in the approved Construction Drawings, approved design documents, and/or any approved modifications, except as noted in red on the 'As-Built' drawings. Furthermore, I certify that the red-noted exceptions do not adversely affect the required performance or public safety aspects of the improvements.

Name: Steven Keidel

SEAL NOISE

2021.05.21



Engineer Certified Statement for Sewer Installation

I, Steven Keidel, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe periodically, the construction of the project, Autumn Lakes Subdivision Phase 3, hereby state that, to the best of my abilities, due care and diligence was used in the observation of the construction such that by my inspection of the constructed improvements and my review of the as-built survey data, I hereby certify that the (1) public improvements, (2) private improvements, and (3) public safety of the above referenced project as constructed are in compliance with the requirements of the improvements as prescribed in the approved Construction Drawings, approved design documents, and/or any approved modifications, except as noted in red on the 'As-Built' drawings. Furthermore, I certify that the red-noted exceptions do not adversely affect the required performance or public safety aspects of the improvements.

Allow Showither

Name: Steven Keidel

2021.05.21

PARTIAL WAIVER AND RELEASE OF LIEN BY SUBCONTRACTOR OR SUPPLIER

The undersigned Wynn Site Development Inc. (hereinafter referred to as "Subcontractor"), as a subcontractor, materialman, supplier or other person who furnished services, labor, materials and/or equipment in the construction, renovation or improvement of the real property located at 0 Old Bunn Road - Zebulon NC 27597-Autumn Lakes Subdivision Phase 3 -(the "Premises"), to LGI Homes - NC, LLC. (hereinafter referred to as "General Contractor"), acknowledges and confirms as follows:

In consideration of the payment of \$0 and other valuable consideration received and acknowledged, this document is immediately effective as a partial waiver, release and relinquishment by subcontractor of: (1) any and all claims for payment which the subcontractor has or may have, now or in the future, against any party, including but not limited to the General Contractor and Autumn Lakes Subdivision Phase 3. (hereinafter referred to as "Owner"), arising from services, labor, materials and/or equipment provided on the Premises; and (2) any and all liens or rights to claim a lien on the Premises which Subcontractor has or may have in any way arising out of the or related to services, labor, materials and/or equipment provided on the Premises up and through the date of 07/01/21, excepting those rights and liens that the Subcontractor might have in any retainage amounts.

The undersigned certifies that all of its material and equipment suppliers, subcontractors and employees have been paid and the undersigned agrees to fully indemnify and hold completely harmless the Owner and General Contractor in the event of any claims hereafter asserted by or on behalf of Subcontractor's material and equipment suppliers, subcontractors, or its or their employees.

This the /5 day of July 20 21

My Commission Expires <u>Mผู้ในวง</u>อร

165 Sommerville Park Road Raleigh, NC 27603
THIS FORM MUST BE WITNESSED BY A NOTARY PUBLIC THAT IT IS SIGNED BY A CORPORATE OFFICER, OWNER, OR AUTHORIZED
State of North Capoline
County of WAKE
Derek Shankweiler a Notary Public for said county and state, do hereby certify that personally appeared before me this day and acknowledged the foregoing instrument. Witness my hand and official seal this the day of
before me this day and acknowledged the loregoing instrument.
(Alynol Soin
Catherine Holland Smith (Notary Public)
MIQIARYISHIBLIGITES Way 22 2025
Watauga County, NC



Page 1

Joh
CONTRACTOR OF THE PARTY OF THE

Run Type Low Month Year High Month Year Date Report Ran

For Active Southeast Division North Carolina Autumn Lakes Allocations and all child jobs

06/29/2021

Activity				2011-1	Invoice Number	Check Amount Number	Check Date
Code	Description	Vendor Name	Typical Work	PO Number	lyumber	Amountivamer	CHECK Date
	1-				N36311923	\$12.821.81 00027507	4/17/2020
14300	Entrance	Duke Energy Progress					
14300	Entrance	Duke Energy Progress			N36312030	\$20.068.92 00027507	4/17/2020
15100	Other Fees	Duke Energy Progress			Check	\$150.00 00022120	8/15/2019
15100	Other Fees	Duke Energy Progress			CRL0000208	\$21,183.86 00032430	4/9/2021

LGI Homes

_Cost_History

	Variance	STATE OF THE PARTY.		Trans	action (Control Data		REAL PROPERTY.	Payment		Flagged	
Paid Dollars	Request	Adjustment	Batch	Reference	Year	Month	Date	Accounting Amount	Request	Source	as paid	Job
\$12.821.81			001530	0154	2020	04	4/15/2020	\$12,821,81	26152	LandDev/New		Active Southeas
\$20,068.92		-	001530		2020	04	4/15/2020		26156	LandDev/New		Active Southeas
\$150.00	STATE OF		001211	0005	2019	08	8/9/2019	\$150.00	10161	LandDev/New		Active Southeas
\$21,183.86		T-120000	002002	0148	2021	04	4/5/2021	\$21,183.86	54474	LandDev/New		Active Southeas

AS-BUILTS

FOR

AUTUMN LAKES SUBDIVISION PHASE III

(TRC 2019-03)

LOCATION OF SITE 0 OLD BUNN ROAD ZEBULON, NC 27597 PIN # 2706615785; 2706729236; 2706514158

CONTACT INFORMATION

REFERENCES

CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT

OWNERS

BUNN EDGAR ROGER III HEIRS 136 E SECOND STRILET OCEAN ISLE BEACH NO 28681

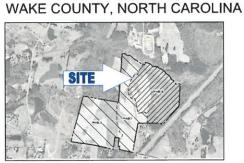
DEVELOPER

LGI HOMES, INC.

UTILITY SERVICE CONTACTS

SERVICE	UTILITY / GOVERNING AGENCY
TOWN OF ZUBLICON PUBLIC WORKS	age in control enterer Conflact Auton serves, spreame Enchetzend inchetzen Conflact Auton serves, spreame Enchetzend inchetzen Conflact, Cutting Sun, implication of Conflact, Sun Sun, Sun,
WATER AND SEWER	COTY OF RELEASE TORILI CHITTER OF PARAMENT ONE RECHANGE PLACE STREET ONE RECHANGE PLACE STREET ROCKET MAGGINGEL - DIRECTOR PROMISE CHITTER OF PROMISE OF PROM
PROSION CONTROL	STORMANTS MANACEURY TONDON 127 H. MARIE T. STREET, 81H FLOOR BALLIDIN K. D. WILLIAM PHORE: (310) DRILING
	POINT FRERRY 100 AND TRANSPORTE
EFFCIAG	DUNC ENERGY 411 FART THY MLE STREET RALSOR NO ZINGS PHONE (800) 453-2777
TELEPHONE/CABLE	Date WARDLER CARLS THE WARDLER





LOCATION MAP





4130 PARKLAKE AVE., SUITE 130 RALEIGH, NC 27612

Phone: (919) 578-9000 (919) 703-2665

NC@BohlerEng.com

CONTACT: CHARLIE YOWELL- CYOWELL@BOHLERENG.COM

INFRASTRUCTURE	PUBLIC	HOA	
STORE	MATER		
15" RCP	1970 ; F	1564 L	
1/* RCP	907 LF	48 LF	
M'RCP	1,336 LF	87 LF	
30" RCP	1,294 LF	87 LF	
M" RCP	269 LF	194 LF	
42' RCP	13 LF	140 LF	
AF RCP	168 LF	OLF	
TOTAL	7810 LF	2060 U	
ug	MING		
STREET LIGHTS	57	2	

PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER(S)	2		
TOTAL NUMBER OF LOT(S)	466		
LOT NUMBER(\$) BY PHASE	PH1: 121		
LOT NUMBER(S) BY PHASE	PH II: 188		
LOT NUMBER(S) BY PHASE	PH III: 157		
PHASE IS PUBLIC UT	numes		
PUBLIC SEWER (LF)	5.415		
PUBLIC WATER (LF)	5,846		
PHASE III PURLIC ST	REETS		
RESIDENTIAL COLLECTOR (LF)	378		
LOCAL STREET (LF)	5.346		
PUBLIC SIDEWALK (LF)	7,027		

STREET NAME	CLASSIFICATION	POSTED SPEED	PUBLIC OR PRIVATE	LENGTH OF
CRACKLING COURT	RESIDENTIAL COLLECTOR	30/25	PURUC	376
TURNING LAKE DRIVE	LOCAL STREET	30/25	PUBLIC	2.004"
LITTLE PATCH STREET	LOCAL STREET	30/75	PUBLIC	641"
CIDER MILL WAY	LOCAL STREET	30/25	PUBLIC	825
FAUNA STREET	LOCAL STREET	30/25	PUBLIC	405"
INDIAN SUMMER STREET	LOCAL STREET	30/25	PUBLIC	816"
CUSTY LANE	LOCAL STREET	30/25	PUBLIC	655



100-007-00						
REV	DATE	COMMENT				
Н	-		+			
		30.00	1			
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ASBUILT RECORD DRAWING

AUTUMN LAKES PHASE III







COVER SHEET

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GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- 1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN
- SURVEY "BOUNDARY SURVEY OF GAY FAMILY PARTNERSHIP II" PREPARED BY ALLIED ASSOCIATES, P.A. PROJECT SPANSOVEZ DATED 10/24/2019
- GEOTECHNICAL INVESTIGATION REPORT: "SUBMARY OF GEOTECHNICAL EVALUATION, OLD BURN PROPERTY" PREPARED BY SUBMIT, PROJECT #1235-ORE DATED 1005/19 AND "SUBMARY" OF GEOTECHNICAL EVALUATION, 1225 OLD BURN ROAD PROPERTY PREPARED BY SUBMIT, PROJECT 1525-046 (DATED 1531/4).
- ENVIRONMENTAL SITE ASSESSMENT "PHASE I ENVIRONMENTAL SITE ASSESSMENT OLD BURN POAD SITE" PREPARED BY SUMMIT PROJECT MUSES 500 DATED DISJOINS AND "PHASE I ENVIRONMENTAL ASSESSMENT OLD BURN ROAD SITE" PREPARED BY SUMMIT PROJECT MUSES 500 DATED 1032145
- TRAFFIC ASSESSMENT TRAFFIC IMPACT ANALYSIS FOR AUTUMN LAKES * PREPARED BY RAMEY KEMP & ASSOCIATES, INC. DATED: 19/22/16
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR MUST VERBY THAT HEISHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.
- ALL ACCESSES (ANA AND PARKIOS SHAPE BE CONSTRUCTED TO MET, AT A MARKAL THE MORE STRINGER TO THE RECORD TO MET, AT A MARKAL THE MORE STRINGER TO THE RECORD TO THE MET AND THE MET.
- 3. PROR TO STARTING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN DISTANCE. NO CONSTRUCTIONS OF FABRICATION SHALL BECOMMENT THE CONFIDENCION HAS RECEIVED AND THOROUGH A PREVIOUS THE COMMENTS TO ALL PASS AND OTHER COORDINATIS TREVIOUS DAY APPROVED BY THE PERMITTIES AUTHORITIES AND CONTINUED THAT ALL RECEISANCY OF REPORT THAT HAVE BEEN OLDHARD, CONTINUED RESPONSE OF THE PERMITTIES AND CONTINUED THAT ALL RECEISANCY OF REPORT AND THE PERMITTIES AND CONTINUED THAT ALL THESE. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CIRCLIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF DCCUPANCY.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REQUIREMENTS, STATUTION FEQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL DOWN PANIENTAL ENTITIES WITH JURISDICTION OVER THESE PROJECT.
- THE OFFICEWORK REPORT AND RECOMMENDATIONS SET FORTH-HEIBIN ARE A PART OF THE REQUARD CONSTRUCTION OCCUMENTS AND IN CASE OF COUNTLY TRECOMENTS OF ANALYSIS. THE CONSTRUCTION OF THE RECOMENT AND IN CASE OF COUNTLY TRECOMENT AND IN CASE OF COUNTLY THE CONSTRUCTION OF TH
- THE SE PLANS ARE BASED ON BUTCHMATION PROVIDED TO BONLER LAGRELERING BY THE OWNER AND OTHERS PROOF TO THE TIME OF PLANS PREPARATION CONTROCTOR MUST RELOCATED VERSITY LESSING CONCITIONS AND NOTIFY BONLER. CONCRETENCE, IN SMITTER, ARROUNDED FOR ACTUAL BY A CONCRETING BY ER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFUCTS WITH ANY OTHER SHE PLANSAGE.
- THE PROTESSES MERCHANDLESS AND AN ADMINISTRATION OF THE CONTRACTOR PROOF TO THE STATE OF CONTRACTOR PROOF TO THE STATE OF CONTRACTOR ADMINISTRATION CONTRACTOR ADMINISTRATION FOR THE PROOF TO THE STATE OF CONTRACTOR ADMINISTRATION FOR THE PROOF TH
- CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- O PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CARFEIL REVIEW OF THE ENTIRE SITE BUAN AND THE LATEST ARCHITECTURA HAVA SPACLATION BUT NOT LIGHTED TO. STRUCTURAL, RECOMMENT, RETURNED, IN LIMINARY AND THE SUPPRESSION FAME WHERE APPLICANCE, CONTRACTOR MUST MERCENTEY YOU'RE OWNER, RECORDED AND SITE FROMETER, IN WINTING, OF ANY CONFLICTS, OSCORPANCES OR ARRICULTED WHEN DEST.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL BHORISM REQUIRED DUTING EXCANTION TO BE REFERENCED IN ACCORDANCE WITH CONSISTENCE OF A STANDARDS) AND ANY STRUCTURES AND PROPERTY. TWENTY TO ASSUME THE STRUCTURE OF A DURCHITH A MARKET AND CONTROLLORISM.
- 13. THE CONTRACTOR OF TO CREMCE, CHTMAR CARE, WHILE PERFORMING ANY MORE ACTIVATES AQUACUT TO PASSACH.
 STRICTURES, SET WHICH ARE TO RELAWAR LIBERTOR AND RINK, PHASE OF THE PROJECT OR AS WHILD TO BE TANK.
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 CONCRITION, CONTRACTOR DESCRIPTIONS OF TO AMENDAL AND PROJECT OF TO AS WHILD THE PROJECT OF THE PROJECT OF
- HIGHER TO BE REPORTED AS PROPOSED AS ON REPARRISON AND DAMAGE DOME TO ANY NEW OR EXECUTED CONSTRUCTION OF A RECOGNIZATION OF A
- 15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PS) AT 26 DAYS URLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 16. THE ENGNEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNOLOUS OR PROCEDURES, QUIENALLY OR YOU THE CONSTRUCTION MIANA METHODS. TECHNOLOUS OR PROCEDURES FOR COMPLITION OF THE WORK DEPOSITOD SOFTH OF THESE FAMILY, AND FOR ANY CONSELUCTION OF PROTECTION WHICH CHEST FROM TABLE. CONTINUED AN RESPONSIBLE FOR DETERMINAND THE METHODISMEANS FOR CONFIDENCY OF THE WORK PROOF TO THE COMMENCEMENT OF CONSTRUCTION.

- WHICH THE PRESENCE ACTIVITY OF THE TOTAL CONTRIBUTION OF THE PRESENCE OF THE PRESENCE ACCOUNTY OF THE PRESENCE OF THE PRESENCE

- SOMER ENGINEERING SHALL SE INDEMMETED BY THE GENERAL CONTRACTOR AND MUST SE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN MOST 64 FOR A DUSTIC SAFETY.
- 2) If the CONTRACTOR DEMANS RISON THE PLANS AND SPECIFICATIONS INVOLVED BY NOTES CONTRACTOR RISEN. THE PLANS AND SPECIFICATIONS INVOLVED BY THE PLANS AND SPECIFICATION OF THE PLANS AN
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S INVESTIGATION.
- ALL SIGNING AND PAYENENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
- 24. EXCHAER, IT SHOT IN LERONNING, I ON ANY INARE OR DAMACES REBILLING FROM CONTINCTIONS ARAME TO RIAD OR AND CONSTRUCT IN BIRT JACKDOOM, WHY IT HE APPROVED FALSE IT CONTINCTION ROOM OWNER FALS READ OR CONSTRUCT IN STRICT JACKDOOM, WHIT IT ARE PROVED FALSE. IT ARE REFLET TO JOINTLY AND SEVERALLY ROBLEMBLY AND AND CONTINUE AND CO
- OWNER WAST MARTAN AND PRESENTE ALL PHYSICAL SITE FEATURES AND DESIGN FRATURES DEPOTED ON THE PLANS AND REALIST DOCUMENTS, IN STRICT ACCORDINACE WITH THE AMERICAN DIVISION AND, TRUTHER HEADERS AND REALIST DOCUMENTS, IN STRICT ACCORDINACE WITH THE ARREST AND REALIST DOCUMENTS. TO WASTERN AND RESERVE AND REALIST DOCUMENTS AND RESERVE AND REALIST DOCUMENTS. OWNER AGREES FOR ALL PRACEINS AND REALIST DOCUMENTS. OWNER AGREES FOR ALL PRACEINS AND REALIST DOCUMENTS. AND REALIST DOCUMENTS. AND REALIST DOCUMENTS AND REALIST DOCUMENTS. AND REALIST OF SOME PARTIES AND DOMARDES.
- IN ALL DIMENSIONS MUST BE TO FACE OF CURB. EDGE OF PAYEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWIS 27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL STATE AND LOCAL REQUILATIONS, LAWS, ORDINANCES, RILES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
- 26 CONTRACTOR AND OWNER MUST INSTALL ALL ELLEMENTS AND COMPONENTIS IN STREET COMPLIANCE WITH AND ACCOMPANCE WITH MANY ACTURE OF STREET SHADOWS AND RECEIVED INSTALLATION CRITERIA AND EXCEPTATIONS. STREET SHADOWS AND RECEIVED AND EXCEPTATION STREET, AND EXCEPTATIONS OF THE ACTURE TO CONTRICT ON STREET, WITH CONTRICT AND EXCEPTATE ROCKETS AND ACTURE INSTALLATION STREET, WITH SHADOWS AND ACTURE INSTALLATION STREET, AND COSTS THAT ENGINEER INCIDES AND ACTURE OF THE ACTURE OF THAT ENGINEER INCIDES AND ACTURE OF THE ACTURE OF T
- 26. CONTRACTOR IS RESPONDING TO MAINTAIN ON SITE STOMMANTER POLLUTION PREVENTION IP AN (SMPP) IN COMPUNE WITH PER MEDIUMENTS FOR SITES SHIPE ONE (I) NOTE OR MORE (SMRESS THE LOCAL AURISOCIONAL ACTIVITIES, NOLUMEN TORSS OF SILVENDING CONTRACTOR, AND EXCHANGES WITH PREVENT MORE THAN SILVENDING THE SILVENDING THAT OF S
- 20. AS CONTRANED IN THESE DRAWINGS AND ASSOCIATED APPLICATION SOCIABINTS INSPARED BY THE SIZHATORY PROFESSIONAL DISCRESS. THE USE OF THE WORDS CERTIFY OR COURTILICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL PROPORT (SCIENCE) THE INFORMATION FACHING SEQUENCE OF THE LANGERISCH OFFICE SEGONAL ON AN EXPRESSION OF THE CONTRACT OF

GENERAL GRADING & UTILITY NOTES

- LOCATIONS OF ALL DISTING AND PROPOSED SERVICES AND APPROPRIATI AND MAST BE INCURRENCED FOR PROPRIED AND ADMITTANCE ADMITTANCE ADMITTANCE ADMITTANCE ADMITTANCE ADMITTANCE AND ADMITTANCE ADMITTANCE
- CONTRACTOR WEST VIRTICALLY AND WORKSHILLY (COUT ALL URLITIES AND SERVICES SECURIOS, BUT NOT LIMITED LIMIT OR DETINAMACE ON WORK SPICE, WINDOWS SECURITY THE CONTRACTOR WEST USE, EXPLIENT O, AND COUNTY WITH THE SECURIMENTS OF THE AMERICAN SECURITY SECURITY OF THE CONTRACTOR WEST USE, EXPLIENT O, AND COUNTY WITH THE SECURIMENTS OF THE AMERICAN SECURITY SECURITY OF THE THE SECURITY OF THE SECURIT
- TO ANY LIGHT SOUTHING ORDING CONTINUED AND CONTINUED CON
- THE CONTRACTOR MUST FAMILIARZE ITEM F WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND RESPONDENT FOR ALL COORDINATION REQUIREMENTS AND RESPONDENT FOR ALL COORDINATION REQUIREMENTS AND REPORT OF THE PROPERTY OF THE PERSON OF TH
- . THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVIT PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- WHORLD FOR RESIDUATION OF ALL ORDER VIOLETS.

 CONTRACTOR IS RESIDUATED AT CONTRACTOR OF THE PARADOCARRINTS AND ADSTRUCTURE, OR SOME PARADOCARRINTS AND ADSTRUCTURE, OR SOME PARADOCARRINTS AND ADSTRUCTURE, OR SOME PARADOCARRINTS AND ADSTRUCTURE AND ADSTRUCTURE, OR SOME PARADOCARRINTS AND ADSTRUCTURE, OR ADSTRUCTURE AND ADDRUCTURE ADDRUCTURE AND ADDRUCTURE ADDRUCTURE AND ADDRUCTURE
- ALL NEW LITELITES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CASILETV, ETC. ARE TO BE INSTALLED UNDER ALL NEW LITELITES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE LITELITY/SERVICE PROVIDER INST. SPECIFICATIONS AND STANDARDS.
- INFORMATION AND STANDARDS

 BY ETT GENEROUS MATERIA THE PRINCIPACE DIS ACCORDANCE WITH THESE PLANS AND DESCRIPTION FOR ADDITION.

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- 2. THE CONTINUED RIGHT COMPLY, TO THE PALLEST EXTENT, WITH THE LATEST OBJACT STREAMED AND RECOLATIONS, AMORE AND THE AUGUST THE AUGUST AND THE AUGUST AND AUGUST AND THE AUGUST AND AUGUST
- PAYEMENT MUST BE SAW OUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAYEMENT, ALL DEBISS FROM REMOVAL OPTRATIONS MUST RE REMOVED FROM THE SITE AT THE TABLE OF EXCHANION, STOOPPILING OF DEBISS WILL NOT BE PERMITTED.
- 14. THE TOPS OF EXISTING MANHOLES, INLET ETRUCTURES, AND SANETARY CLEANOUT TOPS MUST BE ADJUSTED, AS INCCESSARY, TO MATCH PROPRIED OF AND ESTATED HIS ACCORDANCE WITH ALL APPLICABLE STAMPARDS, REQUIREMENTS, RULES STATUTES, LAWS, ORDINANCES AND CODES.

- DURING THE INSTALLATION OF SANTIARY SERVER, STORM SERVER, AND ALL UTE, THE CONTRACTOR BUST MAINTAIN CONFIGUREMENT OF THE STATE OF THE S
- WHEN THE SITE MEMOVEMENT PLANS INVOLVE MAITTY E BUILDINGS, SOME OF WINDOWN MY BE BUILT AT A LATER DATE. THE CONTRACTION MAIN TO THROUGH LIBES INVOLUTIONS BY HOT MEMOD TO STORM WHEN THE MANGAM SHARE. TO SHIFT AND PROPRIESSES. CONTRACTION MAIN TO APPROVE AND A PROPRIESSES. BANK (CONTRACTION AND ALM MAIN THROUGH THE COLORIDO OF ALL OT THE MAIN CONTRACTION AND TO APPROVED THE CONTRACTION MAIN THROUGHT Y PROVIDE TO IT COMMISSION FOR COMPLITIONS OF HE WAS AND A WAS AN
- THE COMPLETE OF THE RESPONSE FOR REPORTED TO EXECUTE DEPORTED PROPRIES OF THE REPORTED AND ALL THE PROPRIES OF THE REPORTED AND ALL THE REPORT AND ALL THE REP
- IN THE EVENT OF DESCREPANCIES AND OR CONFLICTS BETWEEN IN ANS OR RELATIVE TO OTHER PLANS. THE SETE PLAN WILL TAKE PRECEDENCE AND CONTRUC, CONTRUCTOR MUST BIMEDIATELY NOTIFY THE DESCRIPENGEER, IN WRITING, OF ANY DESCREPANCES AND OCCUPANCIES.
- CONTRACTOR IS REQUIRED TO SCOURE ALL NECESSARY AND/OR REQUIRED PLRMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACULTES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRICE TO INITIATING MORE AND MORE APPLICATIONS AND WORKER PRICE AND
- THESE IS INN'S HALL ENERTHS OR NOT THE MEET THE ASSISTANCE SEPARATION HE DESTRICT ON TAME.

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- UNLESS INFOCUTED OTHERWISE, ALL STORMESHOP FIRE MAINT BE REPREVIOED CONCERTS FOR FROM, CAUSE WHITE THE REPRESENCE CONCERTS FOR FROM, CAUSE WHITE THE REPRESENCE OF THE THE REPRESENCE OF THE THE PROPERTY ACCURATE FOR MAINTENANCE AND THE REPRESENCE OF THE THE PROPERTY ACCURATE THE REPRESENCE WITH ADMINISTRATION WITH GARRIET FOR WATER THE REPRESENCE OF THE
- A. SAMTARY SEWER PIPE MUST BE POLYVINYL CHLORDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE, SAMTARY LATERAL MUST BE PVC SCHEDILE 40 OR PVC SDR 25 UNLESS INDICATED IN WRITING, OTHERWISE.
- 25. STORM AND SANTARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
- 26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS, CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.
- IS CONFIDE CONCENTS (MAIL ART FLOW COMBINE) DANT ART AND ETOMANS THE FLOW OF RECURSION, FLOW ARE THE COMMAND RICH WHITE WAYS OF A DESTANCE OF AT LIBED TO FIRST PROCEDULARLY IS COLUMBED, SEPARATIONS ON PORTRIBLE, IN PRINCE WITH A WAY OF A DESTANCE OF A THE CONFIDENCE OF THE CONFIDENCE OF THE CONFIDENCE OF THE OF THE WAITER WAY, OR SUCH OTHER SEPARATION AS APPROVED BY THE COMPRIMENT ADDRESS WITH A PRESCRICTION OWER SAME.
- 79 WHERE APPROPRIATE SEPARATION FROM A HATTER MAN IS NOT POSSIBLE. THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTEE BROWN PRE USING MECHANICAL OR SIP-DOK SORTS FOR A DISTANCE OF AT LEAST TO FEET ON ETHER SIDE OF THE CROSSING. IN ANCOTION, ONE RELIGIONATION SEMEN PROPER SHOULD BE CONTRESS ON BOTH ADMITT. WILL BE A FAR FROW THE MATTER LIME AS POSSIBLE. WHERE A WATTER MAN CROSSES UNDER A SEWER, ADRIQUATE STRUCTUMES, SUPPORT FOR THE SEWER MUST BE PROVIDED.

- WHEN EAST OF A PERSONNEL OF A STATE OF A STA
- OS FOR BONGE FIND THO JAMES PRESENTAL PROJECTS, WHERE THE PROPOSED DWILLING AND ADJACSMY SHOT IN PLANDED, AND EXPENSES FOR DISHMEN, BUILDING FOR THE PROPOSED DWILLING AND ADJACSMY SHOT IN PLANDED AND ADJACSMY ADJACSMY AND ADJACSMY ADJA
- 34 LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY
- IS CONSULTANT IS NETHER LIMILE HOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIMBULTY FOR ANY IMPARTIOUS MATERIALS, IMPARTIOUS SUBSTRAICES, OR POLLUTANTS ON, ABOUT OR UNDER THE REPORTERY.
- THE TOWN OF ZERLON WILL BE RESPONSIBLE FOR ALL STREET CRAINAGE INTRASTRUCTURE WITHIN THE ROW OF DETOCATED PURECTIONS EXAMENTS ALL OTHER STORM DRAINAGE IS TO BE LOCATED BY A HAND BRAINAGE AND ACCESSS MAINTENANCE EXCEPTION THAN THE ACRESS AND ACCESS AND ACCESS THE PROPERTY OF THE PROPERTY AND ACCESS AND ACCESS THAN ACCESS AND ACCESS AND ACCESS AND ACCESS AND ACCESS AND ACCESS AND ACCESS. MAINTENANCE FOR HAND ACCESS AND ACCE

TOWN OF ZEBULON CONSTRUCTION NOTES

- ALL ROADWAY AND GREENWAY IN FRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE TOWN OF ZEBLA,ON STANDARDS AND SPICETICATIONS.
 CONTRACTOR SHALL CONTRACT JASON BROWN AT 919-785-6640 WITH THE TOWN OF ZEBLA ON TO SCHEDULE A
- ARIST ROCK THAT MALE THRO PRICE TO BECOME COURS HOLD HER.

 MODDWAY, GREENWAY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS IN ROW OR DEDICATED PUBLIC MENTS WILL BE REQUIRED TO BE DEDICATED TO THE TOWN OF ZEBULON AT COMPLETION OF THE

- ASSEMBLY SHILL BE REQUEST OR BETTLEFTED TO THE TOWN OF ZEROCA IN COMMUNITION OF THE
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TOWN OF ZEBULON ROADWAY/GREENWAY NOTES

- COWN OF ZEBULON ROADWAY/GREENWAY NOTES

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AUTUMN LAKES



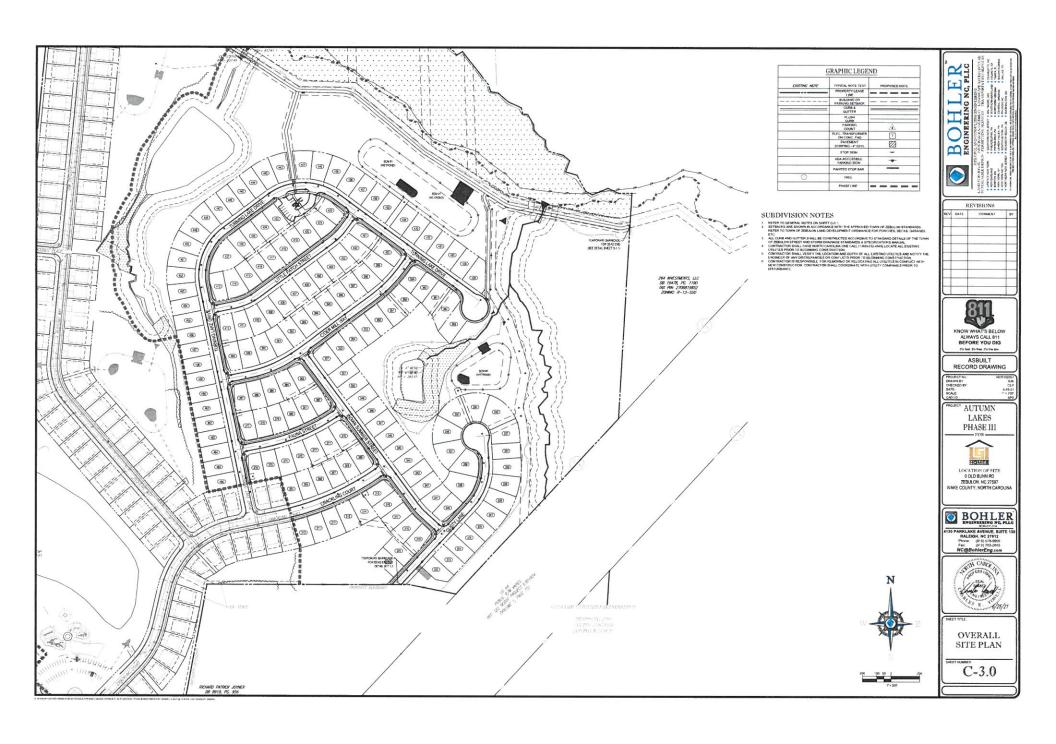
LOCATION OF SITE 0 OLD SUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA

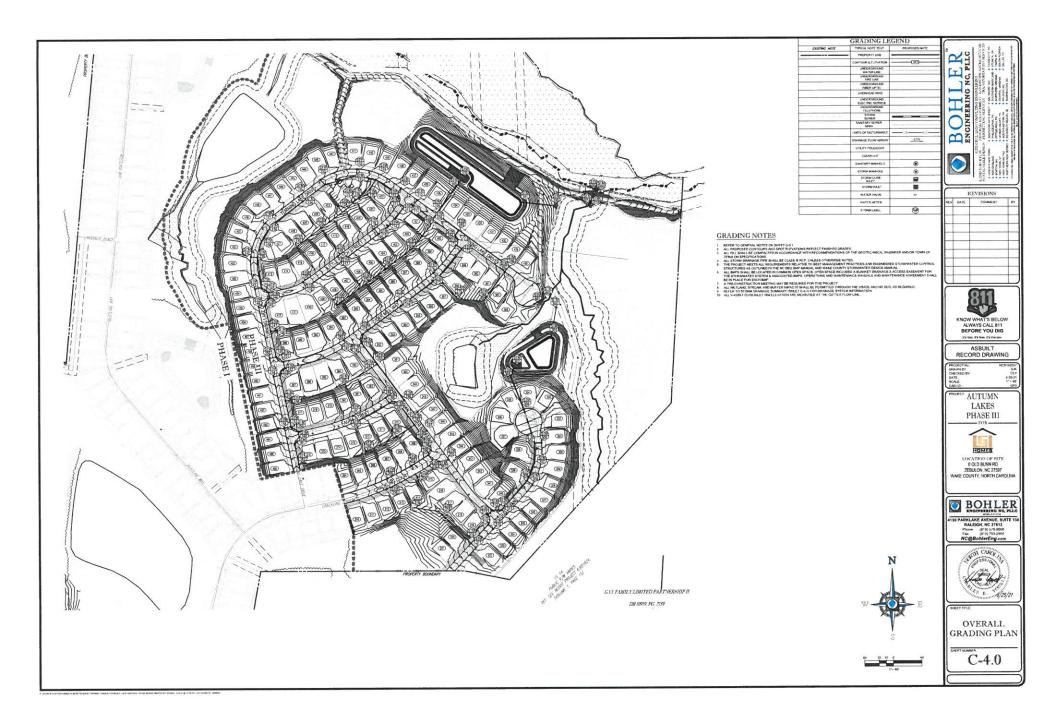




GENERAL NOTES

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ST	ORM STRUCTURE SCHEDUL	E ST	ORM STRUCTURE SCHEDU	LE ST	ORM STRUCTURE SCHEDU	LE

NAME	(FT.)	INVERTS
100		(NV (N = 758.57 (07)
101	767.96	19V OUT = 259.18 (307)
10.7		BV/B+281.87 (42')
103	772.0 6	84V84 + 281,861(421) 14V OUT + 281,761(421)
101	774.67	8NV 8N = 286 85" (90") 8NV 8N = 263 90" (90") 8NV OUT = 262 90" (42")
105	774.65	RV R = 286.36' (30") RV R = 266.75' (15") RV OUT = 266.10' (30")
106	2/4.64*	INV Bt = 270.62" (16") INV OUT = 270.42" (15")
107	279.11	BN/BH = 275.06" (15") HW/ DUT = 274.88" (15")
108	284.15	BN/ BN = 280 GF (197) 1NV OUT = 279 BF (157)
109	287.95	BN/ BN + 283.80" (19") INV OUT + 283.53" (19")
110	793.57	FW OUT + 289.86' (19')
in.	275.77	80V 84 = 288 37 (30°) 80V 84 = 270 52' (15°) 80V 0UT = 288 32' (30°)
112	275.47	INV DUT + 270.74" (15")
113	2/7.45	964 96 + 271.51" (50") 964 96 + 270.60" (50") 196 (50" + 270.51" (50")
114	201.38	(NV DUT + 275.58" (34")
115	283.45	19V/ 8x + 278 32 [157] 19V/ 8x + 278 81 [187] 19V GUT + 277 88 (247)
116	383.4T	IN OUT + 278:17 (15')
117	291.07	90 0 = 286,28 (15°) 90 0 = 286,48 (15°) 100 0 UF = 286,04 (16°)
118	291,107	PNV DUT + 287 01" (15")
119	MIAZ	BNV BN = 790 00" (15") INN OUT = 790 77" (15")

AME	RBM ELEV. (FT.)	INVERTS
135	287.79	94/ OUT = 783,77 (197
191	717.57	INV BA = 271,221 (307) INV OUT = 271,021 (307)
122	277.92	(N/ (6 = 271 (87 (24°) (N = 91 = 277 (87 (15°) (NV OUT = 271 (77 (80°
173	277.ME	PM: OUT = 272.08 (16"
124	790.7E	INV BY = 274.36" (24") (NV BY = 274.36" (16") (NV QUT = 274.31" (24"
175	179.79	INV 8 - 275.33" (15") INV QUT - 275.18" (18"
134	761.87	INV BL = 278.30 (197) INV BL = 278.27 (197) INV OUT = 278.87 (197
127	763.40	19V OUT - 278, 44" (15"
129	283.51	1NV IN = 279.84" (19") 1NV OUT = 279.96" (19"
129	NF 30	INV N = 284.31 (197) RN/ OUT = 284.15 (187)
130	299.47	SW/ OUT + 286.56" (15"
131	792.9V	INV IN = 277.3E (MF) INV IN = 277.8E (MF) INV QUE = 277.1E (QAF
132	763.04	PHY OUT = 2/8.24"(16"
133	298.00	(NV IN = 280, 47 (24°) (NV IN = 280, 99° (13°) (NV OUT = 280, 31° (24°
133A	796.33	19V OUT + 281,331(15"
134	298.29	(N/ 8k = 282.48" (24") (N/ 8k = 282.67" (18") (N/ OUT = 282.40" (24"
136	258.34	1NV OUT + 283,84" (15"
136	291.63	(NV IN + 286,79" (24") (NV IN + 286,66" (15") (NV OUT + 285,61" (24"
132	291.54	INV OUT + 2M, NF (IS
138	790,27	1NV 84 = 267 37 (247) 1NV DUT = 267 17 (247)

ANE	RIM ELEV. (FT.)	INVERTS
130	79-59	51/2 \$1 + 288,44" (34") 51/2 \$1 + 288,59" (15") 51/2 \$1.50 (24")
140	794.36	1944 CUT - 786.56 (167
141	794.90	391 84 + 291 311 (MT) 391 94 + 291 ART (197) 391 QUT + 391,10 (MT)
142	296.9T	991 OUT - 791.86 (195
143	207.80	9V A - 2919F (247) 9V OUT - 291,6V (247
144	297.91°	947 84 + 282,78* (18*) 947 00/7 + 787,31* (24*
148	798.47	BN/ BN + 289.27 (187) BN/ BN + 289.27 (187) BN/ DUT + 289.12 (187
146	296,64"	IN/ OUT - 280.48 (15*
147	300.30	PNV BN + 296,38° (18°) BNV BN + 294,38° (15°) BNV DUT + 294,08° (18°
148	297 MF	PN/ OUT = 294.97 (18*
149	X02.54	907 84 + 297 AF (18") 907 94 + 297 52" (18") 907 907 + 297 39" (18"
150	902,917	PN/ OUT = 297,74 (16*
151	303.57	94/ 94 + 296/36' (18') 94/ OUT + 296/16' (18'
162	303.64	\$147 BH + 298.54" (18") \$147 OUT + 286.46" (18"
153	304.00	3HV 8H + 288,90" (18") 3HV 8H + 288,90" (19") 3HV DUT + 288,90" (18"
154	304.90"	PN: QUT = 299.50 [167
156	XXI.37	Profes = 301,38" (18") Profes = 286,88" (18") Profes = 286,88" (18")
156	303.MF	PRI OUT + 299.24 (18*
157	309.57	PV B + 304.57 (15") PV B + 304.57 (15") PV OUT + 304.37 (15"
158	309.54	NAVOUT - SOURT (15)

NAME	(FT.)	INVERTS	NAME	RIM ELEV. (FT.)	PWERTS
150	310.83	\$517.54 + 305.48(15") \$41.00F < 305.48(15")	181	307.03	(NV/8N = 708.86" (19") (NV OUT = 708.86" (19")
90	310.89	BM/ Bit = 306 BF (15") FM/ OUT = 306 BF (15")	192	301.9W	19/ OUT = 287.98"(857
181	311 W	BN/Bi = 501.08 (16") 14V OUT = 305.08 (15")	163	X0 X7	INV N - 297,61" (197) INV N - 293,32" (307) INV OUT - 293,21" (307)
M2	254.60	BAV BI + 308.25" (15")	184	302.37	INV 84 - 298, 97 (197) INV OUT - 297, 97 (197)
63	311.25	14V OUT = 308.98"(19")	186	305.09	1947 DUT = 296 22' (197
iği.	275.67	90/34 = 266 18*(30*) 110/30/1 = 264 20*(30*)	196	302.49	DOV BY = 293.64" (24") HAV OUT = 293.74" (30"
165	775.85	9N+ 9N = 283 75 (30°) 9N+ 9N = 263 86° (18°) 19N OUT = 263.56° (30°)	19,7	302.47	1907 BN = 294.08" (38") 1907 BN = 297.96" (15") 1907 OUT = 299.96" (28")
166	272.65	8NV 9N = 288 38" (19") 1MV QUII = 288 20" (18")	166	303.147	1967 PM = 287, 295 (1971) 1967 PM = 287, 871 (1973) 1967 CMT = 287, 867 (1971)
167	773.78	BNVBN = 266.97" (197) INV DUT = 266.64" (197)	189	303.27	PW OUT = 298.50" (197
168	279,56	(W/OUT = 200.92"(15")	190	308,08	(NV 8N + 300, 12 (187) (NV CNLT + 300, 887 (187)
171	775.49	8NV 8N + 268 21" (30") 1NV OUT + 269 27" (30")	191	206.00	19V OUT = 300.63' (15'
177	276.63	BN/BK = 376 28' (30') 14V OUT = 375 88' (30')	182	W-27	INV B: = 294.87 (247) INV B: = 294.87 (157) INV OUT = 294.77 (347)
173	362,19	BV B: 275.90 (30°) BV B: 275.05 (15°) BV B: 275.90 (15°) BV OUT = 274.90 (30°)	194	305 AF	(NV IN = 209,29 (16") (NV CULT = 206,16" (16")
174	382,19	IN DE - 277 M (187)	196	307.007	INV OUT = 303.96" (18")
175	279.107	14V DUT + 276.21" (15")	198	201.90	INV IN = 296.51" (187) INV IN = 296.46" (187) INV DUT = 296.26" (367)
176	790.76	86/ 96 + 280 81" (30") 86/ 96 + 284 91" (15") 196/ OUT + 282 71" (20")	197	301.037	INV OUT = 294.28" (15")
177	790.29	INV OUT = 285.88" (15")	198	301.90	(NV (N = 798,66" (18") (NV (DUT = 798,65" (18")
176	298.63	(NV (NF = 781.78 (107) (NV (NF = 781.78 (107)	130	300,77	1N7 (N = 298,57 (157) (NY (N = 298,57 (157)
179	300,50	(6V Sh = 792 MF (307) (6V Sh = 796 MF (167) (14V OUT = 751 MF (307)	260	304.0V	(NV OUT = 298, 27 (NST) (NV IN = 298, 29 (NST) (NV OUT = 298, 18 (NST)
180	300,45	91/91 + 795.90 (151) 191/047 + 795.76 (151)	201	304.91	(NV IN = 700 NF (15") INV OUT = 700 RF (15")

NAME	RIM ELEV. (FT.)	INVERTS
200	301.00	INV OUT + 300.16 (157
200	307.30	867 84 + 301 54" (15") 867 84 + 301 18" (15") 867 067 + 300 88" (15")
304	306.67	99/ OUT + 301.00 (197)
205	312.4F	INV IN + 207.68" (19") INV OUT + 200.697 (19")
206	313.2F	INV DUT + 308.56 (197
300		PNV BN + 268,00° (15°)
301	276.48	RV N+ 36 30 PN OUT + 26 60 (197
362	110000	PAY IN + 270:97 (36")
803	790,80	847 94 + 274 99 (98°) 947 OUT + 271 94 (98°)
304	298,70	894 89 + 781 887 (887) 894 OUT + 381 72 (387)
305	294,007	(907) 94 + 767,707 (907) 84V 94 + 766,707 (18") 94V OUT + 767,007 (18")
308	790.94°	99V OUT + 296.54 (197)
307	797.75	INV IN - 290,827 (307) INV OUT - 760-637 (307)
308	300,547	917 81 + 294.98' (15") 917 91 + 294.98' (34") 1917 017 + 786.94' (30")
309	300.65	INVOUT - 786.86 (197)
310	306.40	BN/ BN + 296.95' (34") BN/ BN + 300.00' (15") BN/ GUT + 296.85' (34")
311	306.9F	PN/ OUT - 301.06 (187)
313	907.7W	(NE) BH + 298-88" (NE") 891/ OUT = 298,44" (NE")
3:3	307.907	997 BN - 300:27" (18") 997 OUT - 300:17" (18")
314	208.96	907 95 + 300.80" (18") 907 95 + 300.45" (19") 907 007 + 300.70" (18")

STORM STRUCTURE SCHEDULE STORM STRUCTURE SCHEDULE STORM STRUCTURE SCHEDULE

NAME	(FT.)	INVERTS
315	309.01	PN: OUT + 364,47 (197)
376	317.45	PN: 81 + 307.04" (15") PN: 91 + 301.34" (15") PN: OLT + 301.34" (15")
317	31247	PN OUT - 307.67 (15")
346	305.91	84/84 • 302.81 (15") 84/ OUT • 302.71 (16")
319	309.71	PM OUT + 306.67 (15')
4008		BN N + N7.84 (48')
400A		99. Bt = 247,90° (48°)
4018		PRV DUT + 248.9K (487)
401A		PN OUT - 248.00 (487)
100A		\$40 \$1 × 256 44" (24")
5008		NV N = 256 43" (NY)
5018		PN/ DUT = 298.77 (247)
501A		PM DUT + 256.70 (247)
600		PN/ Pt = 265.96 (15")
501	209.67	PM OUT + 265.91" (15")

FROM	то	FROM	TO	PIPE	SLOPE (%)	DIAMETER (IN.)	MATERIA
601	500	265,91	76.66	30.87	0.13%	15	RCP
5016	5308	296.72	256.43	47.08	0.77%	34	100
501A	500A	256.70	796.44	30.90	0.87%	34"	RCP.
415	4008	249.96	247.94	18.27	0.17%	45	802
#31A	400A	748.00	347 00	58.41	0.03%	4	809
316	218	306.77	302.81	86.81	4.25%	19"	RCP
318	316	302.71	301,34	19.4	0.87%	· ir	400
317	216	307,62	307.04	78.77	2.85%	15"	100
318	314	301.21	300.60	89,77	0.49%	ia.	809
318	314	304.47	303.46	76.18	390%	15	100
314	313	300.76	300.27	21.48	1375	· r	100
313	212	300.17	799.60	78.85	1.84%	18"	RCP
312	310	299.41	298.90	31.22	237%	30	209
311	210	301.06	300.06	25.62	1884	18"	HCP
310	308	798.85	794.09	134.65	3546	34.	RCP.
300	308	295-98	251.66	26.02	190%	15	102
300	307	793.94	290 63	66.61	4.67%	M	RCP
106	305	290.53	297,20	86.62	cars	30"	809
306	305	799.54	788.70	78.70	1225	16"	903
XX	301	287.00	281,96	127.224	4125	ж	RCP

FROM	то	FROM	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATER
186	185	265.20	26782	214.68	0.58%	· r	ROP
165	104	253.55	263.00	98.27	0.68%	30"	ROP
194	193	254.20	283.75	3.97	1,72%	37	ROP
183	152	338.58	308.75	77.86	1,44%	18"	RCP
182	181	306.00	307.00	69.72	1.31%	16"	RCP
161	150	307.09	306.97	28.16"	3.62%	15"	ROP
100	152	305,10	305.48	76.51	1,58%	18"	PCP.
198	157	308,43	304,52	28.57	12%	42.	RCP
158	197	334.99	304,57	26,17	1,47%	·F	ROP
157	156	304.32	301.36	92.01	1.22%	15"	HOP
198	155	300 15	299.58	22.46	1.18%	45	RCP
155	153	299.55	298,90	R:W	0.71%	· r	RCP
154	153	299.50	298,10	25,07	28%	15	ROP
153	157	798.55	798,54	28.10	0.39%	·r	RCP.
152	151	296.54	298.76	26.03	0.77%	18"	ROP
151	149	796.16	297.49	78.17	2.36%	· · · · · ·	ACP
150	149	267.74	297.32	26.01	0.89%	19"	RCP
148	147	207.39	76 39	92.47	219%	·re	ROP
146	147	294.97	294.30	23.85	2.62%	15"	ROP
147	145	294.00	703.22	91.37	0.00%	18	RCP

ST	OF	RM S	EW	ER P	PES	CHED	ULE
FROM	to	FROM	TO	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
107	108	274,50	770.57	99,78"	4275	15"	RCP
106	105	279.42	266.75	25,97	1.00%	15"	ROP
106	104	796.10	265.55	35.30	1,71%	307	RCP
104	103	252.00	282,11	108.67	0.12%	e.	ROP
103	102	767.01	291.95	37.78	0.12%	e	RCP.
101	100	29618	756.02	101.79	1,58%	30"	RCP

ROM	то	FROM	TO	PIPE LENGTH	SLOPE (%)	(IN.)	MATERIAL	FROM	10	FROM	TO	PIPE	SLOPE (%)	(IIL)	MATERIAL
304	303	781,77	274.15	134,45	1.00%	M	107	198	w	797.58	797,74	12.57	699%	15"	BCP.
300	302	271.94	275.93	32.67	10%	36"	RCP	187	196	293.54	295.54	26.25	0.38%	24"	PCP
301	300	769.00	765.00	93.82	101%	16	100	188	165	793.80	790.37	181.107	030%	37	RCP
206	205	305.16	307.58	N.H	2.98%	19	RCP	185	184	299.23	298.10	101.72	111%	15"	RCP
706	703	305 57	301.19	95.10	6.07%	· tr	RCP	184	183	797.53	297.61	47.04	0.80%	15	RCP
204	253	301.80	201,14	96.76	105	15.	RCP	183	179	293,24	292,19	88.N.	116%	307	PCP
203	199	300.96	299.57	70.19	145%	15"	ROP	182	181	297,39	755.38	75.90	1775	15"	RCP
202	201	300,18	799.00	35.07	1,91%	115	aca .	181	180	795.55	296.90	31.78	113%	15"	PCP
201	200	299.61	299.29	32.14	1.62%	15"	109	180	179	295.75	255.34	26.05	137%	15.	PCP
700	190	790 19	794 52	26,27	0.79%	th.	NOP .	179	178	791.39	291.78	29.67	0.70%	30"	RCP
199	198	298.17	796.85	31.42	4325	15"	RCP	176	176	291.73	383.81	168.61	4795	XF	PCP
168	196	795,67	765.46	48.88	2.37%	16"	ROP	177	178	785.89	294.51	Mir	175%	18"	RCP
197	196	296.28	296.61	78.15	28%	15"	ROP	175	173	283.71	279.36	183.71	22%	30"	PCP
198	192	295.26	294.E7	41,11	0.00%	24"	827	125	173	276,21	275.10	94.45	1.13%	45.	RCP
195	194	323.50	799.79	116.48	25%	15"	ROP	171	173	277.35	775.05	26.34	8.77%	15	POP
194	192	298.19	294.62	76.87	5.98%	12	809	173	172	274.95	273.28	132.30	1575	30"	RCP
192	187	794.77	794.09	91.58	0.75%	54.	ROP	172	171	770.00	209.71	26.13	14%	307	ROP
191	190	303.62	303.12	28.17	2,00%	ıy	600	41	154	298.27	259.19	31.45	0.29%	37	RCP
190	166	307.88	297.81	13467	2775	13.	ROP	188	187	268.97	266.01	UNST	0.77%	15"	ROP
180	186	298.50	297,78	76.07	284	15"	NO.	167	186	265.94	265.30	26.07	131%	15.	PCP

20.00			1000		SLOPE	DIAMETER		10000				-	SLOPE	DIALECTOR D	
FROM	TO	FROM	TO	LENGTH	(%)	(IN.)	MATERIAL	FROM	10	FROM	TO	PIPE	(%)	DIAMETER (IIL)	MATERIAL
304	303	781,77	274.15	134.67	6.00%	M	107	198	127	297.58	797,24	12.17	699	15"	to
303	302	271.94	275.93	32.97	10%	36.	ROP	187	196	293.54	295.54	24.25	0.965	34"	PCP
01	300	769.00	765.00	93.82	1.01%	1F	100	188	165	793.80	790.37	181.107	030%	37	RCP
26	205	308.16	307.58	N.W	2.98%	19	ROP	185	184	299.23	298.10	101,72	111%	15"	RCP
26	703	305.57	301.19	96.15	6.07%	tf.	ROP .	184	183	797.53	297.61	47.04	0.80%	18"	ACP
и	253	301.80	301,14	56.74	105	15.	100	183	179	293,24	292,19	88.N.	116%	30"	PCP
23	199	300.96	299.57	70.19	145%	15.	ROP	102	181	297,39	755.38	75.90	1775	15"	PCP
	201	300,18	799.00	35.07	1.81%	15.	BCb.	181	180	795.95	796.90	31.78	112%	15"	PCP
Ī	200	299.61	294.29	32.14	1.62%	15"	109	180	179	295.75	295.34	26.05	1.57%	15	POP
-	190	790.19	794 52	26,27	0.79%	ıt.	NOP .	179	178	791.39	291.78	29.67	0.70%	30"	RCP
-	198	298.17	796.65	31.42	4323	15	ROP	176	176	291,73	283.81	108.61	4795	30"	PCP
	196	795.67	765.46	48.82	2.57%	W	ROP	177	176	785.89	294.91	MIT	175%	18"	RCP
	196	296.28	296.61	28.15	2,81%	15"	ROP	175	1/3	283.71	279.36	183.75	129%	30"	PCP
-	192	295.26	294.67	41,11	0.98%	26"	829	125	173	276,21	275.10	14.47	1.13%	15.	RCP
5	194	323.50	799.79	116.48	25%	15"	109	171	173	277.35	775.05	ЖЖ	8.77%	15"	PCP.
	192	299.19	294.62	76.87	5.98%	12	809	173	172	274.95	279.28	132.36	157%	30"	RCP
ю	187	794.77	794.00	01.58	0.75%	24	RCP	172	171	779.00	200.71	2617	145	30"	ROP
n	190	303.62	303.12	28.17	280%	19	809	411	154	298.27	259.19	31.45	0.25%	37	RCP
90	166	307.88	297.81	134.67	277%	th.	ROP	188	187	268.67	266.01	UNST	0.77%	15"	ROP
10	1	298 50	297,78	26.07	284	155	nrp	167	186	265.84	265.30	26.07	131%	42.	PCP
	OR	MS	EW	ER PI	PES	CHED	ULE	ST	OF	-				CHED	ULE
Т	_		_		PES	CHED DAVETER (IN.)	ULE	ST	OF TO	RM S	EW	ER PI	PE S	CHED DAMETER	ULE
	OR	M S	EW	ER PI	PE S	DIAMETER	01311		_	FROM	то	PIPE	SLOPE	DIAMETER	
	OR TO	M S	EW	ER PI	PES	DIAMETER (IN.)	MATERIAL	FROM	то	FROM INV	TO NN	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
	OR	M S	TO 1960 280.22	ER PI	PES	DIAMETER (IN.)	MATERIAL ROP	FROM 527	TO 126	FROM INV	TO 8NV 276,27	PIPE LENGTH 34.47	SLOPE (%)	DIAMETER (IN.)	MATERIAL ROP
T	OR	M S FROM 1NV 288.44 298.47	TO 19W 280.22 280.79	PIPE LENGTH 28.07	PES	DIAMETER (IN.) 19"	MATERIAL ROP ROP	FROM 527 536	TO 126	FROM INV 27E-H	TO 8NV 276,27 276,22	PIPE LENGTH 34.47	SLOPE (%) 6.30%	DIAMETER (IN.) 15°	MATERIAL RCP
T	OR	M S FROM INV 283.44 283.17	TO 190 280.22 280.79 289.94	PAPE LENGTH 26.607 28.447 28.447	PES	DIAMETER (IN.) 19" 18"	MATERIAL ROP ROP	FROM 527 531 328	TO 126 125 134	FROM INV 278.44 275.97 275.19	TO 8NV 276,27 276,30 274,36	PIPE LENGTH 34.47 44.79 51.72	SLOPE (%) 6.30% 1.47%	DIAMETER (IN.) 15°	NATERIAL ROP ROP
T	OR 10 14 14 14 14 14 14 14 14 14 14 14 14 14	M S FROM INV 283.44 293.17 285.31 285.31	FW 100 15W 280.22 280.79 281.34	PIPE LENGTH 28-07 28-47 28-47	PES SLOPE (%) 288% LIPE LIPE 2115	DIAMETER (IN.) 15° 16' 36' 16'	MATERIAL 80° 80° 80°	FROM 527 138 139 139	TO 126 125 134 122	FROM INV 275.44 275.97 275.19 275.21	TO BNV 276,27 276,30 274,36 271,92	PIPE LENGTH 34-07 44.79 51.72 86.67	SLOPE (%) 6.30% 1.47% 1.44% 2.55%	DIAMETER (IN.) 15° 15° 15°	MATERIAL ROP ROP ROP
T	OR 10 10 10 10 10 10 10	EM S FROM INV 283.44 293.17 291.54 291.54	FW 100 100 280.22 280.79 281.94 281.94 281.94	PAPE LENGTH 28.60° 28.40° 28.40° 28.40° 28.40° 28.40° 28.40° 28.40°	PES SLOPE (%) 28% UPS LUPS 21% 150%	DIAMETER (IN.) 15° 16' 26' 16' 16'	MATERIAL SO SO SO SO SO SO	FROM 127 138 139 139	100 126 125 134 127 122	FROM INV 275.44 275.97 275.78 275.78	TO 8NV 276,27 276,30 274,30 271,90 272,60	PIPE LENGTH 34.47 44.79 51.72 86.87 75.86	SLOPE (%) 6.30% 1.47% 1.44% 2.55%	DAMETER (IN.) 15° 15° 16° 16° 16°	MATERIAL ROP ROP ROP ROP
ST ON IN	OR 10 145 141 141 198	FROM 1NV 288.44 298.17 288.31 297.94 297.94 297.96	FW 1NV 283.22 292.79 291.94 291.34 291.46	PAPE LENGTH 28-607 28-647 28-647 28-647 28-167 28-167	PES SLOPE (%) 2894 UPA UPA 2195 1596 2496	DIAMETER (IN.) 19" 16" 24" 15" 15" 24"	MATERIAL IOI IOI IOI IOI IOI	FROM 677 139 139 139 139 129	170 126 125 134 172 122 121	FROM INV 275.44 275.97 275.29 275.20 275.20	TO 8NV 276.27 276.38 276.36 276.30 276.30 276.30 276.30	PIPE LENGTH 34.47 44.79 51.72 86.67 75.86 32.86	SLOPE (%) 630% 149% 149% 149% 159%	DIAMETER (IN.) 15° 15° 16° 26° 15° 27°	MATERIAL ROP ROP ROP ROP ROP
ST OU 46 46 40 40 38	OR 10 143 143 141 141 198	FROM 1NV 280.44 290.17 291.94 291.86 291.90 290.36	FW TO INV 293.22 292.79 291.94 291.24 291.46 208.44 208.44	PAPE LENGTH 26.00 26.44 26.00 26.44 26.00 26.47 26.17 26.79 26.79	PES SLOPE (%) 288% 1978 2176 1576 2476 1576	DIAMETER (IN.) 15° 16° 26° 15° 15° 26° 15°	MATERIAL ROP ROP ROP ROP ROP ROP ROP RO	FROM 527 139 125 135 135 137 122 122 121	170 126 125 134 177 122 121 113	FROM INV 278.44 278.97 278.79 278.08 271.08 271.09	TO 8NV 276.27 276.30 274.30 274.30 271.50 272.60 272.60 272.60	PIPE LENGTH NAT ALT SLT MEF NM NM NM NM	SLOPE (%) 6304 1495 1495 1495 1595 1595 1595	DIAMETER (IN.) 15° 15° 16° 16° 16° 16° 16° 16° 16° 16° 16° 16	MATERIAL ROP ROP ROP ROP ROP ROP ROP
ST 004 46 46 46 46 46 46 46 46 46 46 46 46 46	OR 10 145 141 141 199 139	FROM INV 280.44 290.17 281.54 291.86 281.86	FW 100 1NV 280.22 280.79 291.94 291.34 280.44 280.45 280.37	PIPE LENGTH 26.00 TR. 40 TR. 4	PES SLOPE (%) 28% UPS UPS 21% 15% 24% UPS UPS UPS	DIAMETER (IN.) 15° 16° 26° 15° 15' 26° 15' 26°	MATERIAL ROP ROP ROP ROP ROP ROP ROP RO	FROM 577 1391 1295 1394 122 122 1291 1200	170 126 125 134 127 122 121 113 119	FROM INV 275.44 275.49 273.49 273.66 271.72 271.92 271.92	TO 8NV 276,27 276,38 274,38 271,59 272,67 271,22 271,23 271,23 271,23 271,23	PIPE LENGTH 34.07 44.79 51.72 86.67 76.86 76.06 74.06 74.06	SLOPE (%) 630% 149% 149% 149% 159% 159%	DIAMETER (IN.) 15° 15° 16° 16° 15° 15° 15° 15° 15° 15° 15° 15° 15°	MATERIAL ROP ROP ROP ROP ROP ROP ROP ROP
ST OM 44 44 44 44 44 44 44 44 44 44 44 44 44	OR 100 144 144 144 144 144 144 144 144 144	M S FROM 1NV 283,44 291,54 291,54 291,56 291,56 297,66 297,66	EW 100 100 280,22 290,79 291,94 291,46 280,46 280,19 287,37 286,79	PIPE LENGTH 26.00 78.40 78.47 38.00 78.47 38.16 106.79 38.30 44.40 66.30	PES SLOPE (%) 2895 UPS UPS 2175 1576 2495 1576 2595	DIAMETER (IN.) 19° 18° 18° 19° 19° 19° 19° 19° 19° 19° 19° 19° 19	MATERIAL RO RO RO RO RO RO RO RO RO R	FROM 527 139 125 13M 127 122 122 121 132 132 132 132 132 132 132	10 128 125 134 122 121 113 119 117	FROM INV 275,44 275,57 275,79 275,79 275,70 271,72 271,72 271,72 280,77	TO 88V 276.27 276.38 274.38 271.92 272.92 271.22 270.06 280.06 280.06	PIPE LENGTH 34.07 44.79 51.72 86.67 73.86 74.06 74.17 93.53	SLOPE (%) 6.30% 1.42% 1.44% 2.55% 1.54% 1.62% 1.62% 1.62%	DIAMETER (IN.) 15° 15° 16° 26° 15° 15° 15° 15° 15° 15° 15° 15° 15° 15	MATERIAL ROP
ST OM 46 44 40 40 38 39 39 39	OR 10 143 141 141 191 199 136 136	M S FROM 1NV 283,44 291,92 291,94 291,96 291,96 297,96 297,96 297,96 297,96 297,96	TO 19V 283.22 290.79 291.54 291.54 291.54 291.57 291.57 291.57 291.57 291.56	PRPE LENGTH 28.007 28.407 28.407 28.407 28.407 48.407 48.407 48.407 48.407	PES SLOPE (%) 2895 UPS UPS 2175 1539 2495 UPS 2495 UPS 2495 UPS 2495 UPS 2495 UPS 2495 UPS 2495	DIAMETER (IN.) 19° 10° 20° 15° 15° 16° 20° 19° 20° 20° 20° 20°	MATERIAL RO RO RO RO RO RO RO RO RO R	FROM 127 129 129 122 122 121 119 119	TO 126 125 122 121 113 119 117 117	FROM INV 275.44 275.97 275.79 275.78 275.78 275.78 275.78 275.78 275.78 285.27 285.27 285.27	TO 8NV 276.27 276.32 274.38 274.38 271.52 272.67 271.22 270.66 280.76 280.76	PIPE LENGTH SL47 ALW SL72 SL87 SL87 SL87 SL87 SL87 SL87 SL87 SL87	SLOPE (%) 630% 149% 149% 159% 169% 169% 169% 169%	DAMACTER (N.) 15' 15' 16' 15' 16' 15' 16' 15' 15' 15' 15' 15' 15' 15' 15'	MATERIAL ROP
ST OM 46 44 44 45 47 27 28 38 39 39 39 39	OR 10 143 143 141 141 199 139 136 136 136	EM S FROM 1NV 283,44 293,17 291,54 291,56 291,56 297,56 297,56 297,56 297,56 297,56 297,56 297,56 297,56	FW 100 INV 2803.22 2802.79 2815.64 2815.79 2815.65 2812.46 2812.77 2815.65 2812.46	PAPE LENGTH 2607 2644 267 2647 267 267 267 267 267 267 267 267 267 26	PES SLOPE (%) 2894 1495 1596 2496 1396 2496 1498 2496 1498 2496 1498 2496	DIAMETER (III.) 19° 18' 26' 15' 26' 15' 26' 26' 26' 26'	MATERIAL SCI SCI SCI SCI SCI SCI SCI SC	FROM 427 438 128 129 129 129 120 120 140 140 140 1517	TO 126 125 134 127 122 121 113 119 117 115	FROM INV 275.44 275.49 275.25 275.06 271.22 273.06 271.22 273.06 271.22 273.06 271.22 273.06 271.22	TO 8NV 276.27 175.33 274.36 271.52 271.52 271.52 271.52 271.52 271.52 271.53 271.54 271.55 27	PIPE LENGTH 34-07 44-07 51-72 51-86 71-97 71-97 93-97 93-97 93-97 94-17 94-17	SLOPE (%) 630% 149% 144% 255% 158% 169% 169% 421% 169%	DAMETER (N.) 15' 15' 15' 15' 15' 15' 15' 15' 15' 15'	MATERIAL ROP
ST OM 46 46 46 46 46 46 46 46 46 46 46 46 46	OR 10 143 144 149 199 199 198 198 198 198	FROM S FROM INV 281.44 793.17 291.54 291.75 291.75 291.75 291.76 291.75	FW TO INV 283.22 292.79 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.55 291.54 291.55	PRPE LENGTH 26.607 26.447 26.007 26.447 26.007 26.0	PES SLOPE (%) 288% Cers 219% 159% 249% 159% 249% 249% 249% 249% 249% 249% 249% 24	DIAMETER (IR.) 19° 18° 26° 19° 26° 19° 26° 26° 26° 27° 28° 19° 28°	MATERIAL AD AD AD AD AD AD AD AD AD	FROM 07 09 109 109 109 109 109 109 109 109 109	100 128 125 134 137 122 121 113 119 117 115 115	FROM INV 275.44 275.97 275.19 275.06 271.72 271.07 201.77 201.77 201.77 201.77	TO 8NV 276.27 175.33 274.36 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32 271.32	PIPE LENGTH 34.07 44.79 51.72 86.67 76.06 76.17 763.67 763.67 763.67 763.67	SLOPE (%) 630% 149% 149% 159% 159% 169% 421% 169% 421%	DAMETER (IN) IS	MATERIAL ROP
ST (100 M) (10	TO 143 141 141 141 141 141 141 141 141 141	FROM S FROM INV 281.44 291.07 281.31 281.86 281.80 281.	FW TO INV 283.22 292.79 291.94 291.54 291.54 291.57 291.54 286.64 286.65 282.44 286.67 282.44 286.67 282.44 286.67 282.44	ER PI RPE LENGTH 26.00 78.47 26.07 26.47 26.07 26.47 26.7	PIE S SLOPE (%) 288% 198% 198% 298% 138% 238% 238% 238% 248% 248% 248% 248% 248% 248% 248% 24	DANETER (IN.) 19" 19" 19" 19" 19" 19" 19" 20" 19" 20" 19" 20" 19" 20" 19" 20"	MATERIAL SO SO SO SO SO SO SO SO SO S	FROM 07 OR 109 O	170 126 125 131 122 122 121 113 117 117 115 115	FROM INV 278.44 278.97 278.19 273.08 271.22 271.00 201.27 201.27 201.27 201.27 201.27 201.27 201.27	TO 86V 276.27 276.30 274.36 271.30 271.30 271.30 270.66 281.06 286.49 278.81 278.81 278.81 278.81 278.81 278.81 278.81	PIPE LENGTH 34.07 44.79 51.72 86.67 76.06 76.17 763.67 763.67 763.67	SLOPE (%) 630% 149% 149% 149% 149% 149% 149% 429% 429% 439% 439% 439%	DIAMETER (IN.) 15° 15° 15° 15° 15° 15° 15° 15° 15° 15°	MATERIAL ROP
ST 8000 1546 1546 1540 1540 1540 1540 1540 1540 1540 1540	TO 143 141 141 141 159 159 159 159 159 159 159 159 159 15	FROM S FROM INV 281.44 291.07 281.34 281.86 281.80 281.	FCW 100 100 200 200 200 200 200 200 200 200	ER PI RPE LENGTH 26.07 26.4	PESSOPE (%) 2895 1098 1098 2095 1098 2005 1098 2095 1098 2005 1098 2005 1098 2005 1098 2005 1098 2005 1098 2005 1000000000000000000000000000000000	DAMETER (IN.) 19" 19" 20" 19" 19" 20" 19" 20" 19" 20" 19" 20" 19" 20" 19" 20" 19"	MATERIAL RO RO RO RO RO RO RO RO RO R	FROM 07 09 109 109 109 109 109 109	100 126 125 129 127 127 127 115 115 115 114 113	FROM INV 278.44 775.87 275.19 275.23 275.29 281.27	TO BW 276.27 175.30 274.30 274.30 274.30 275.50 275	PIPE LENGTH 34-07 44/79 51.77 58-87 78-98 74-07	SLOPE (%) 6.50% 1.42% 1.44% 2.55% 1.54% 1.62% 1.62% 1.62% 1.62% 1.62% 1.64% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72% 4.72%	DIAMETER (IN.) 15 15 15 16 16 16 16 16 17 16 17 17 17 17 17 17 17 17 17 17 17 17 17	MATERIAL ROP
	OR 10 143 144 141 139 139 138 138 138 131 131	FROM S FROM 1MV 203.44 203.52 207.56 207.56 207.56 207.56 207.56 207.56 207.57 206.60 207.57 206.60 207.50	FCW 100 100 280.22 280.79 281.94 281.24 281.24 282.77 281.56 282.77 282.78 282.77 282.78 282.	PIPE LENGTH MOT TRAF THOSE THAF THOSE THAF THAF THAF THAF THAF THAF THAF THAF	PES SLOPE (%) 2894 1095 2195 1595 2096 1296 2296 2296 2296 2296 2296 2296 22	DIAMETER (IN.) 19° 18° 36° 19° 36° 19° 36° 19° 36° 19° 36° 36° 36° 36° 36° 36° 36° 36° 36° 36	MATERIAL ACT INC	FROM 67 69 109 109 109 109 109 109 109	100 128 125 129 127 127 129 119 115 115 115 115 115 115 115 115 11	FROM INV 275.44 775.87 275.19 275.25 275.26 275.27 275.86 275.27 280.27 280.27 280.27 280.27 285.25 275.86 275.36 275.36 275.36 275.36 275.36	TO 8W 276,27 175,30 274,36 271,32 271,32 271,32 271,32 271,32 271,32 271,34 271,31 271,31 271,31 271,31 271,31 271,31	PIPE LENGTH 34-07 44/79 51.77 86.87 75.88 76.97 76.17 76.17 76.17 76.17 76.17 76.17 76.17 76.17 76.17 76.17 76.17	SLOPE (%) 6:30% 142% 144% 2:55% 156% 145% 145% 145% 145% 145% 145% 145% 145	DIAMETER (NL) 15° 15° 15° 15° 15° 15° 15° 15° 15° 15°	MATERIAL ROP
ST POW PM	OR 10 143 144 141 149 139 136 136 136 136 136 136 136 136	FROM S FROM 1MV 283.44 293.17 281.21 281.21 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26 281.26	TO INV 285.22 290.79 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.56 29	ERPI APE LENGTH AND	PES (%) 2885 (498 2495 2495 2495 2495 2495 2495 2495 2495	DANETER (IN.) 19" 19" 19" 19" 19" 19" 19" 19" 20" 20" 20" 20" 20" 20" 20" 20" 20" 20	MATERIAL SO SO SO SO SO SO SO SO SO S	FROM 07 09 09 09 09 09 09 192 192 193 194 195 195 196 197 197 198 198 199 199 199 199 199 199 199 199	100 128 125 122 122 129 115 115 115 115 115 115 115 115 115 11	FROM INV 275.44 775.87 275.49 774.21 773.86 271.72 291.77 201.77	TO 8W 276,27 775,30 271	PIPE LENGTH 34-07 44-79 51-77 56-67 76-67	SLOPE (%) 6.30% 6.30% 1.40% 1.44% 2.55% 1.54% 1.54% 1.50% 4.21% 4.50% 4.	CHAMETER (N.1) IS I	MATERIAL ROP
ST ROW 144 145 144 145 147 147 147 147 147 147 147 147 147 147	OR 10 145 144 149 139 139 136 136 136 137 131 131	FROM INV 283.44 783.07 297.54 297.56	TO INV 285.22 290.70 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.54 291.56 29	PRE PIPE LENGTH MATE TAKE THE PIPE LENGTH MATE TAKE THE PIPE LENGTH MATE TAKE THE PIPE LENGTH PIPE LEN	PES SLOPE (%) 2889 1098 1098 2098 2098 2098 2098 2098 2098 2098 2	DIANETER (IN.) 19° 18° 26° 18° 26° 18° 26° 19° 26°	MATERIAL SO SO SO SO SO SO SO SO SO S	FROM 07 09 109 109 109 109 109 109 109 109 109	TO 128 125 129 127 127 127 117 117 115 116 117 117 117 117 117 117 117 117 117	FROM INV 275.44 775.87 275.49 275.27 275.80 277.27 277.80 277.72 297.77 297.77 297.76 277.86 275.17 277.86 275.17 277.86 275.17 277.86 275.17 277.86 275.17 277.86 275.17 277.86 275.17 277.86	TO ##W 276.27 175.30 216.36 217.32 217.36 217.32 217.30 21	PIPE LENGTH 34.07 44.79 51.77 86.67 76.67 76.07	SLOPE (N) 630% 630% 149% 149% 149% 149% 149% 149% 149% 149	DIAMETER (N.1) 167 167 167 167 167 167 167 167 167 167	MATERIAL ROP

	180	799.50	795.90	31,79	213%	18:	(PCF		, , =	ONF 25074
3	179	295.75	295.34	26.05	1.57%	15.	PCP		75	LAND COCKAN CRASTITION OF THE SECOND OF THE
	178	791.20	291.78	29.67	0.70%	30"	RCP	110	Y	PERMIT PE
	176	291.73	583.81	198.61	4795	XF	PCP		- , m	V 7
	178	785.89	294.91	Mir	175%	18"	RCP			SITS DESK DESK No.
7	1/3	283.71	279.36	183.15	22%	30"	RCP .			SEA COM
Ī	173	276,21	275.10	91.47	1.13%	45.	RCP			D SURVEY FALVASLE PITATE NEW SPECKER STORE NA SEN YORK AT
Ī	173	277.25	775.06	26.34	8.77%	15	ROP			STALVALLE STALVALLE STALVALLE STALVALLE SOFTON IN NEW YORK AN NEW YORK AN
Ī	172	274.95	279.28	132.36	157%	30"	RCP			35
1	171	779.00	299.71	26.13	14%	37	ROP			
	154	299.27	259.19	31.45	0.29%	37	PCF		F	EVISIONS
Ī	187	268.97	266.01	UNST	0.77%	15"	ROP	REV	DATE	COMMENT
	185	265.94	255.30	24.07	131%	42.	PCP	1	UNIL	COMMENT
I	OF	RM S	EW	ER P	IPE S	CHED	ULE			
	то	FROM INV	TO	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL			
	126	278.44	276,27	34.07	6.30%	16"	ROF			
	125	275.07	275.33	44.79	142%	15	RCP .			
Ī	124	275.10	274.36	\$1.72	14%	18"	RCF.			
7	- 200	en		***			-			

FROM	то	FROM	TO	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIA
127	126	278,44	276,27	34.07	6.30%	16"	ROF
176	125	275.97	775.33	44.79	142%	15	RCP.
125	124	275.10	274.36	\$2.72	LHK	18"	RCF
534	172	274.21	271.92	86.67	2.55%	20	RCP
122	122	273.00	272.67	25.0E	1.58%	15"	ROP
122	121	271,72	271.22	2.07	1.67%	37"	RCP
121	113	271.80	270.66	76.00	UN	30"	ace
520	119	291,27	263.00	76.17	1,03%	18"	RCP
148	117	261,77	786.76	152.57	421%	98"	809
110	147	267,01	205.45	26.14	1,94%	13"	NCP .
117	115	786.0x	27E.61	160.37	4695		809
116	115	278.17	278.32	26.00	327%	15.	RCH.
115	114	277.86	275,68	43.90	434%	30	RQP.
114	113	275.56	271.51	885"	452%	30	RCP.
113	111	270.51	200.37	30,47	3.75%	30"	RCP
117	111	270,74	770 SP	76.3"	0.94%	16"	ROP
111	126	364.22	266.35	1387	145	XI"	ROP
110	109	200.86	783 90	178.67	42%	16.	802
100	106	283.63	2/1.81	8.4	4.11%	15"	RCP
108	127	279.81	275.06	11507	4:3%	15	ACP.

OM	то	FROM	TO	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
27	126	278,44	276,27	34.07	6.30%	16"	ROF
M	125	275.97	775.33	4479	142%	15	RCP.
25	124	275.10	274.36	\$1.72	14%	18"	RCF
×	172	274.21	271.80	86.67	2.55%	20	RCP
72	122	273.00	2/247	25.00	1.50%	15"	ROP
22	121	271,72	271.22	×m	1.67%	30"	RCP
21	113	271.80	270.66	76.00	UN	30"	ace
20	119	291,27	293.00	76.17	1,03%	18"	RCP
4	117	261,77	786.76	152.57	421%	9"	809
4	142	267,01	286.49	26.16	1.04%	13"	NCP .
17	115	786.04	27E 81	160.37	463%		801
16	115	278.17	278.32	26.00	3.27%	15"	RCP.
1	114	277.86	275,68	43.90	4945	30	RQP.
и	113	275.56	271.55	885"	452%	30	RCP
13	111	270.51	200.37	30,47	175%	30"	RCP
q	111	270,74	770 SP	763"	0.54%	16"	ROP
"	126	364.22	266.36	63.67	245	X°	ROP
10	109	200.86	782.60	178.67	427%	16.	RCP
10	106	283.63	278.81	8.4	4.11%	15"	RCP
_	_					-	







LOCATION OF SITE
0 OLD BUNN RD
ZEBULON, NC 27597
WAKE COUNTY, NORTH CAROLINA

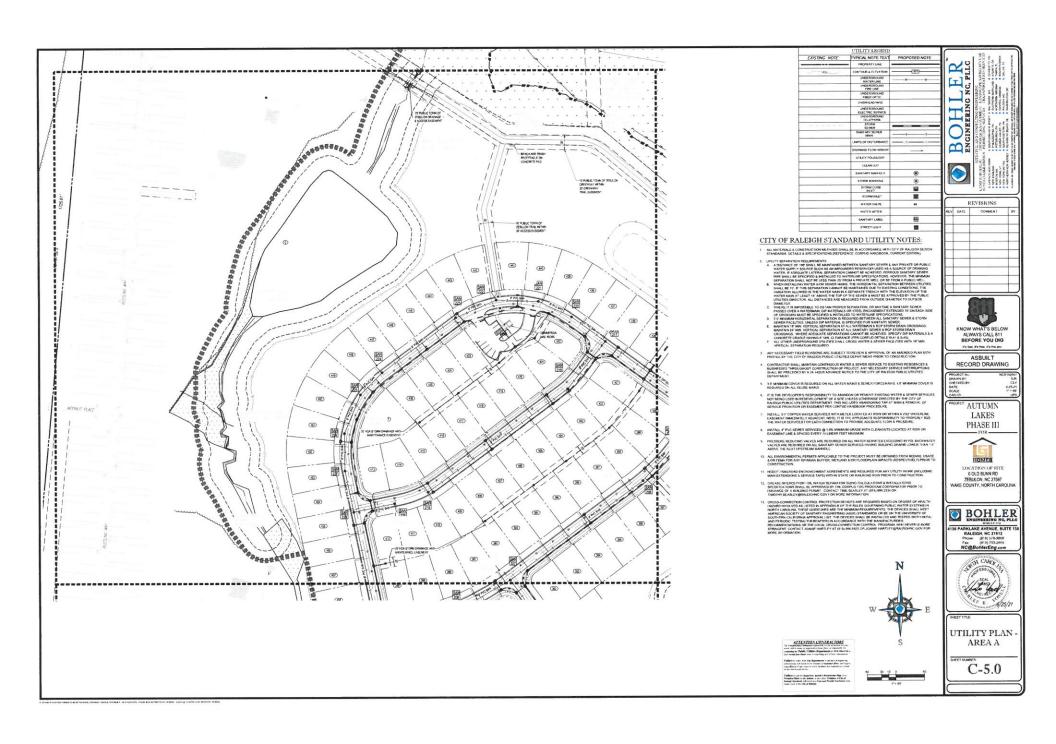


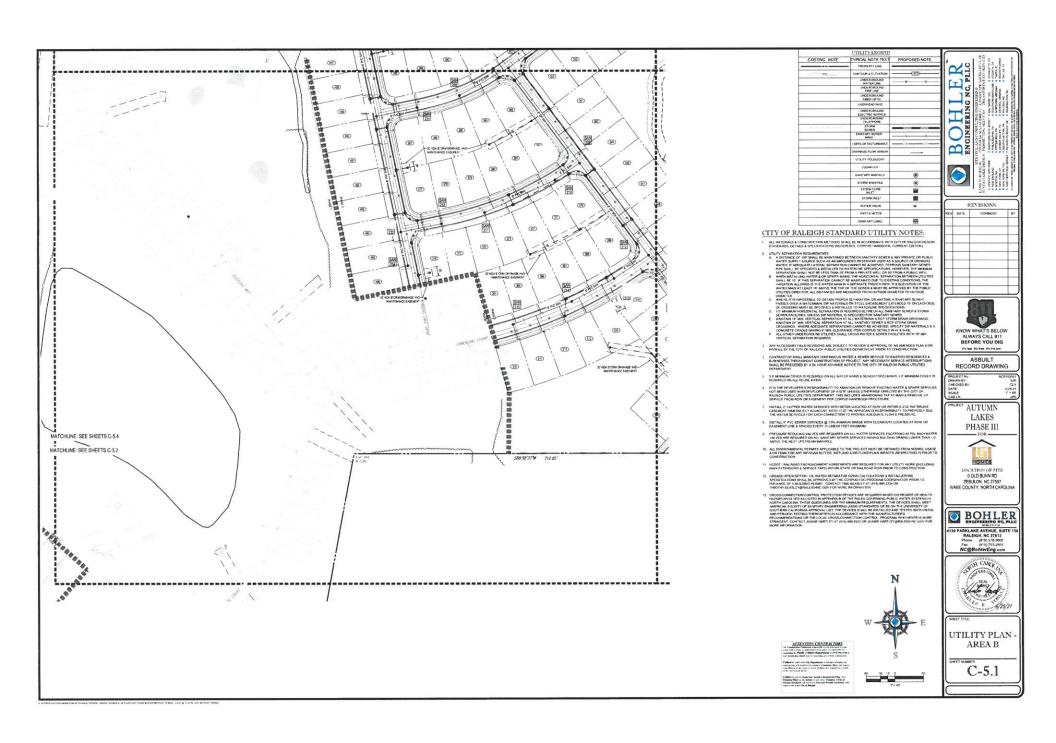


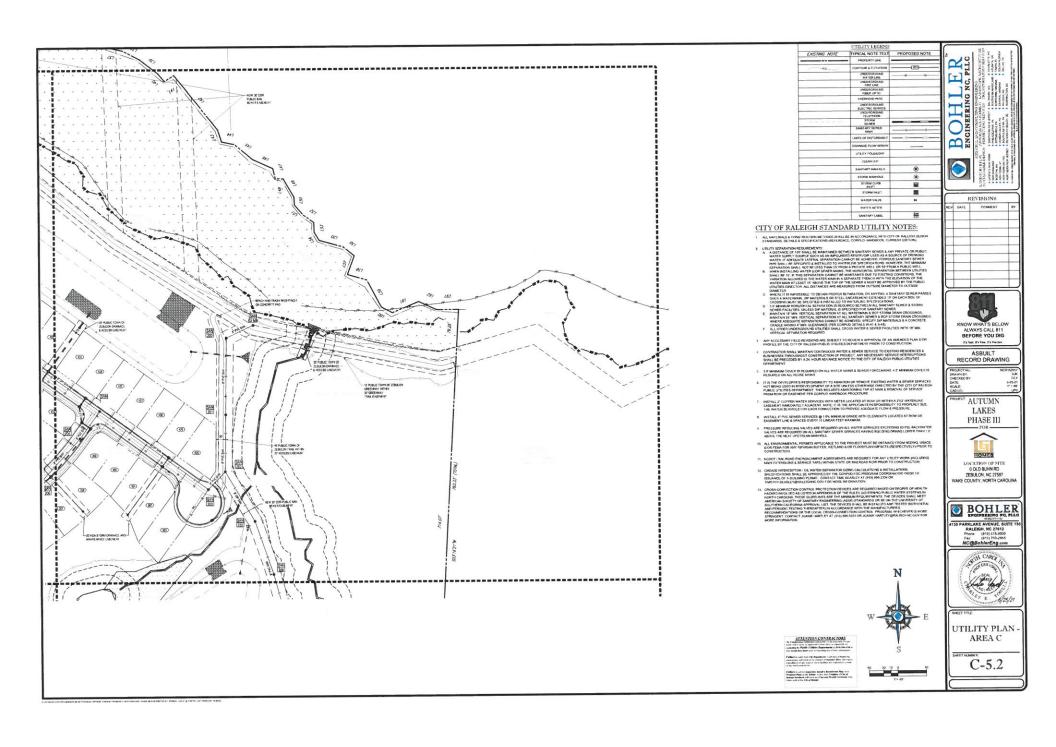
STORM PIPE AND STRUCTURE TABLE

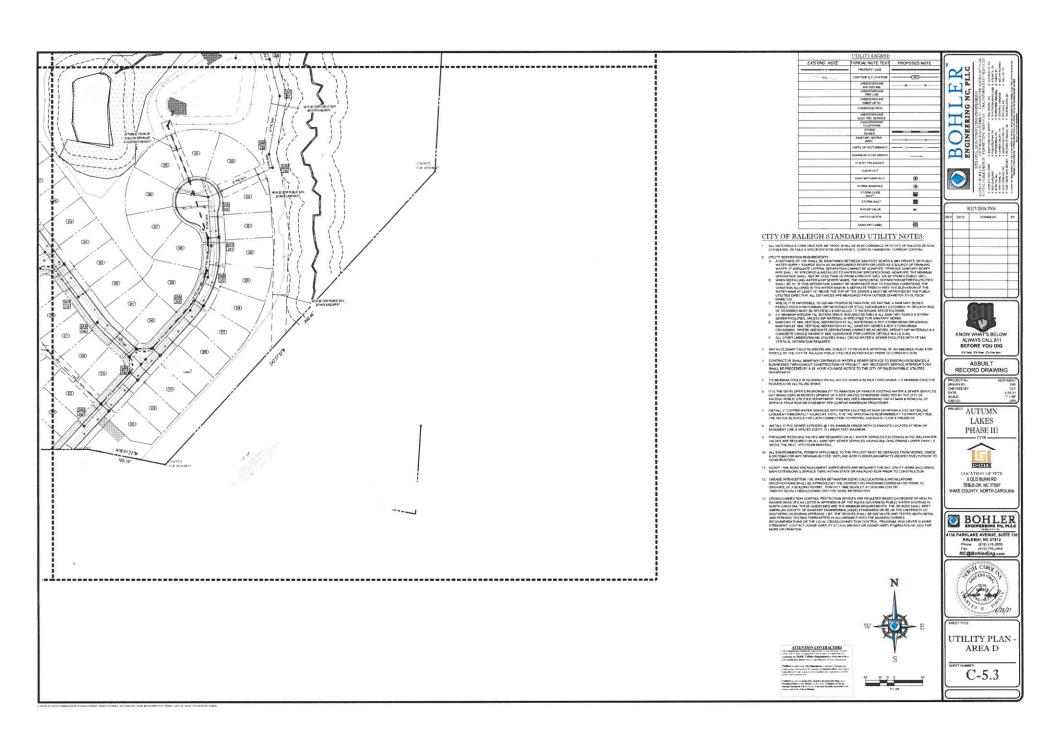












SEWER POINT TABLE

_											THE RESERVE OF THE PARTY OF THE		-	The state of the s			
	SEWER PO	INT TABL	E														
	63265 762524 83 2207255.55	278.74 CO	63393 762336.22	2307119 03	289.68 CO	63491 761482 88	2207499 58	309.25 CO	63623 762305.29	2207672 14	273.77 CO	63728 761447.44	2207680.59	305 26 CO	73421 761957.61	2206912.16	304.56 TS.SEW
		279.19 CO	63394 762368.71			63493 761559.09			63624 762335.96		274.81 CO	63730 761384.83			73425 761944.34		303 54 TS SEW
		280.54 CO	63397 762397.90		284 47 CO	63494 761588.77		306.27 CO	63626 762799.83		275.71 CO	63732 761346.57			73426 761941.91		303.59 MH SEW
	63276 762645.34 2207185.62	282.09 CO	63398 762427.43			63500 761549.14			63629 762331.67		276.17 CO	63734 761305 15			73427 762186.16		297.92 MH.SEW
	63278 762654.27 2207137.39	283.17 CO	63400 752462.84		280.18 CO	63502 761522.38			63631 762365.59		276.17 CO	63739 761291.85			73428 762188.49	2206777.68	297.86 TS.SEW
	63282 762650.73 2207068.62	284.56 CO	63407 762495.53		278.88 CO	63504 761503.25			63633 762396.87		276.43 CO	63741 761326.29		313.53 CO	73433 762276.27	2206760.37	295.93 TS.SEW
	63285 762637 38 2207026.70	285 62 CO	63403 762524.58		278.61 CO	63506 761483.36		316.23 CO	63635 762428.55	2207502.12	276.73 CO	63742 761420.01	2207563.89	309.12 CO	73434 762273.87	2206760.61	295.96 MH.SEW
	63286 762616.01 2206985.82	286.35 CO	63406 762490.49		780.83 CO	63508 761465.69		317.66 CO	63639 762459.99	2207459.78	275.58 CO	63744 761448.54	2207534.33	309.19 CO	73435 762353.68	2206760.24	294.18 MH.SEW
	63291 762567.15 2207010.67	287.04 CO	63407 762440.57	2207173.12	284.15 CO	63511 761526.48	2207114.71	317.48 CO	63641 762502.09	2207400.96	275.34 CO	63746 761482.69	2207499.47	309.17 CO	73436 762356.14	2206760.76	294.07 TS.SEW
	63304 762535.54 2206968.52	288.12 CO	63409 762414.20	2207136.60	287.56 CO	63513 761544.92	2207167.56	315.81 CO	63643 762533.75	2207357.63	276.04 CO	73374 762232 28	2207741.11	270.94 MH.SEW	73437 761698.59		311.09 TS.SEW
	63306 762584.31 2206945.92	287.49 CO	63411 762383.72	2207095.88	289.02 CO	63514 761566.38	2207219.18	313.33 CO	63645 762564.47	2207315.82	277.03 CO	73375 762233.82	2207742.91	270.90 TS.SEW	73438 761696.32		311.19 MH.SEW
	63309 762554.70 2206905.37	289.01 CO	63414 762352.80	2207054.16	291.88 CO	63517 761591.63	2207269.26	310.33 CO	63647 762595.66	2207272.77	279.20 CO	73377 762395.91	2207514.05	276.32 TS.SEW	73443 761628.43		313.89 TS.SEW
	63312 762506.94 2206929.43	289.28 CO	63416 762321.83	2207011.87	294.01 CO	63519 761617.28	2207314.51	307.68 CO	63649 762624.90		280.09 CO	73378 762397.25		276.33 MHLSEW	73444 761626.14		313.98 NH.5EW
	63315 762476.57 2206888.34	290.60 CO	63418 762290.90	2206970.55	296 40 CO	63520 761644.03		304.95 CO	63659 762376.85		276.76 CO	73382 762252 67		283.28 TS.SEW	73445 761713.14		311.36 NH.SEW
	63316 762444.33 2206846.11	291.67 CO	63428 761981.86	2206866.20	304.34 CO	63537 761846.80		304.28 CD	63661 762344.33		278.93 CO	73383 762250.82		283.37 MH.SEW	73446 761712.80		311.37 TS.5EW
	63324 762524.65 2206865.32	290.38 CO	63429 761989.90		305.31 CO	63539 761820.52		305.54 CO	63663 762295.22		282.11 CO	73388 762042.37		300.96 MH.SEW	73447 761737.81		310.65 MH.SEW
		291.19 CO	63432 752027.22		304.33 CO	63541 761794.94			63665 762252.70		285.72 CO	73389 762043.42		300.82 TS.SEW	73448 761738.54		310.54 TS.SEW
	63328 762460.57 2206789.09	292.44 CO	63433 762061.65		301.84 CO	63543 761773.53			63668 762220.96		288.59 CO	73390 762542.37			73449 761806.28 73450 761807.62		304.20 MH.SEW 304.13 TS.SEW
	63331 762422.39 2206764.24	293.09 CO	63437 762093.84		299.21 CO	63546 761745.42		312.12 CO	63671 762180.52		288.59 CO	73391 762543.55			73451 761841.31		303.32 MH.SEW
	63332 762380.35 2206745.31	293.93 CO	63439 762126.13		296.62 CO	63548 761737.20		311.49 CO	63673 762213.85		285.73 CO	73395 762446.21		281.47 TS.SEW	73452 761842.93		303.34 TS.SEW
	63334 762329.39 2206736.78	295.18 CO	63440 762158.15		293.86 CO	63551 761829.25		306.88 CO	63675 762242.32		283.49 CO	73396 762444.31		281.63 MH.SEW	73458 761646.01		303.51 MH.SFW
	63336 762288.54 2206737.24	296.07 CO	63443 762186.69		291.48 CO	63554 761777.15			63679 762286.09		280.54 CO	73398 762228.93		130.11 13.31.11	73459 761648 17		303.43 TS.5EW
		297.31 CO	63446 762144.95		291.53 CO	63565 761723.75		310.60 CO 312.43 CO	63685 761484.36 63686 761456.06		309.02 CO 308.50 CO	73399 762227.48 73400 762202.93		298.27 MH.SEW 298.82 MH.SEW	73464 761598.80		306.84 TS.SFW
	63340 762188 39 2706757 33	297.93 CO	63448 762114.78		293.93 CO	63557 761674.38 63559 761621.05		314.39 CO	63689 761601.57			73401 762202.45		298.81 TS.SEW	73465 761597.23		306.97 MH.SEW
	63343 762137.53 2206766.87	299.61 CO	63450 762080.32		296.60 CO	63564 761685.84		311.62 CD	63691 761665.25		295.28 CO	73403 762433.77		292.19 MH.SEW	73467 761549.57		312.37 TS.SEW
	63344 762085.11 2206779.11	300.79 CO	63457 762002.89		303.08 CO 304.23 CO	63566 761693.52		312.44 CD	63694 761739.53		290.31 CO	73404 762435.77		292.15 TS.SEW	73468 761548.40		312.49 MH.SEW
	63347 762034.27 2206789.36	301.86 CO	63459 761987.29 63461 761965.68		305.33 CO	63569 761718.23		311.23 CO	63695 761772.36		289.89 CD	73405 762482.46		290.61 TS.SEW	73469 761500.84	2207117.52	317.03 MH.SEW
	63348 761984.34 2206799.52 63350 761931.77 2206811.07	303.11 CO 304.23 CO	63464 761965.68		305.34 CO		2207110.60	309.68 CO	63697 761781.03		289.47 CO	73406 762481 16		290.70 MH.SEW	73470 761501.36	2207119.73	316.95 TS.SEW
	63352 761880.76 2206822.52	305.40 CO	63466 761929.42		304.33 CO	63573 761757.09		307.10 CO	63701 761805.45		289.58 CO	73407 762595.51		286.48 MH.SEW	73473 761553.52	2207470.97	307.52 TS.SEW
	63363 762173.99 2206825.99	298.87 CO	63470 761963.08		302.68 CD	63575 761781.29		305.15 CO	63705 761787.55		289.91 CO	73408 762596.89		286.40 TS.5EW	73474 761551.55	2207472.24	307.59 MH.SEW
	63365 762183.51 2206868.63	299.37 CO	63472 761916.95		303.11.CO	63577 761804.44		303.97 CO	63706 761853.52	2207875.11	279.03 MH.SEW	73410 762632.16		284.36 MH SEW	73475 761496.39	2207512.67	308.56 MH SEW
	63369 762210.63 2206945.45	298.84 CO	63474 761874.92		303.49 CO	63596 762551.07		261.19 MH.SEW	63707 761824.66		280.29 MH.SEW	73411 762632.48		284.35 TS.SEW	73476 761494.54	2207514.50	308.54 TS.SEW
		297.06 CO	63477 761792.57		302.08.CO	63597 762389.75	2207777.67	267.79 MH.SEW	63708 761759.27	2207776.61	291.11 CO	73412 762628.05	2207172.50	281.94 TS.SEW	73477 761410.37		308.08 MH.SEW
	63381 762226.63 2206817.39	298.39 CO	63479 761749.28		301.75 CO	63598 762267.58	2207776.09	270.76 MH.SEW	63710 761722.23	2207779.49	292.62 CO	73413 762628.68	2207170.00	281.96 MH.SEW	73478 761412.06		307.98 TS.SEW
	63383 762252 80 2206916 12	298 69 CO	63480 761708.43		302.10 CO	63599 762163.13	2207837.55	269.29 MH.SEW	63713 761667.10	2207783.18	294.79 CO	73414 762594.98	2207240.53	279.68 MH.SEW	73483 761281.16		314.79 TS.SEW
	63388 762273.23 2207032.71	294.78 CO	63483 761698.17	2207402.57	302.25 CO	63610 762262.27	2207730.45	272.10 CO	63716 761615.24	2207781.87	297.09 CO	73415 762593.77	2207242.50	279.59 TS.SEW	73484 761279.49		314.86 MH.SEW
	63389 762301.19 2207070.90	792.66 CO	63484 761656.28	2207433.39	304.22 CO	63612 762159.91	2207689.57	270.67 CO	63719 761566.60	2207769.05	299.41 CO	73418 761985.52	2207006.63	304.87 TS.SEW	73487 761522.74		301.80 MH.SEW
	63390 762301.26 2207070.83	292.49 CO	63486 761613.05	2207465.48	306.13 CO	63615 762230.93		272.66 CO	63721 761518.80		301.57 CO	73419 761984.52		304.91 MH.SEW	73488 761524.68		301.71 TS.SEW
			63489 761569.53	2207498.12	308.18 CO	63619 762276.45	2207623.82	274.74 CO	63775 761488.01	2207716.96	302.87 CO	73420 761958.23	2206914.40	304.63 MH.SEW	73489 761593.22		298.03 MH.SEW 297.88 TS.SEW
															73490 761595.62		294.88 MH.5EW
															73492 761659.82 73493 761662.24		294.88 MH.SEW 294.76 TS.SEW
															73494 761761.22		290.32 TS.SEW
															73495 761763.51		290.29 MH.SEW

WATER POINT TARLE

WATER POI	NT TABLE										
63266 762522.50 2207253.81	278.79 WM	63380 762227.16 2206819.41	298.84 WM	63478 761750.59 2207363.46	301.62 WM	63576 761800.45 2207238.4	304.06 WM	63709 761756.53 2207776.87	291.12 WM	73432 762201.77 2206828.37	298.35 WV
	278.82 FH	63392 762252 41 2206914 24	299.00 WM	63481 761706.42 2207396.84	302.21 WM	63609 762211.79 2207774.2	269.58 FH	63711 761719 58 2207779 45	293.05 WM	73439 761706.95 2206889.59	311.04 WV
	779.36 WM	63387 762271.60 2207030.61	294.64 WM	63482 761700.55 2207401.00	302.27 WM	63611 762263 98 2207728.3		63714 761664.29 2207783.65	295.16 WM	73440 761711.45 2206892.63	310.84 WV
63274 762626 27 2207229 17		63391 762299.98 2207069.24	292 44 WM	63485 761654.77 2207436.07	304.32 WM	63613 762160.98 2207687.2	270.80 WM	63715 761620.10 2207776.78	297.09 FH	73441 761714.60 2206888.09	310.70 WV
63277 762646 63 2207187 29	282.28 WM	63392 762334.25 2207116.45	289.62 WM	63487 761611.01 2207467.87	306.36 WM	63614 762232.98 2207664.5		63717 761613 24 2207781.74	297.24 WM	73442 761664 18 2206900.82	312.52 WV
63279 762654.54 2207134.24	283.53 WM	63395 762366.31 2207158.83	287.14 WM	63488 761568 07 2207500.13	308.44 WM	63618 762277.75 2207622.1	274.89 WM	63720 761564.53 2207768.42	299.40 WM	73453 761853.52 2207260.61	303.29 WV
63283 762649.87 2207065.85	284.92 WM	63396 762396.61 2207199.97	284.73 WM	63490 761486.68 2207495.13	308.94 WM	63622 762306.51 2207670.5	274.10 WM	63722 761516.83 2207742.95	301.79 WM	73454 761854.33 2207255.39	303.41 WV
63284 762635.78 2207023.21	285.83 WM	63399 762461.06 2207272.78	280.43 WM	63492 761556.97 2207442.30	307.58 WM	63625 762337.52 2207628.3	275.48 WM	63726 761486.09 2207715.79	303.15 WM	73455 761859.69 2207256.15	303.37 WV
63287 762609.00 2206980.09	286.81 WM	63401 762493.37 2207298.46	279.45 WM	63495 761590.26 2207418.92	306.18 WM	63627 762301.25 2207587.4	275.85 WM	53727 761446.36 2207679.61	305.36 WM	73456 761879.10 2207238.39	
63290 762572.45 2207013.90	286.74 FH	63404 762522 63 2207253.95	278.78 WM	63496 761599.31 2207405.18	305.23 FH	63628 762332.92 2207545.1	276.18 WM	63729 761416.42 2207639.70	307.23 FH	73460 761647.08 2207415.28	
63292 762565.01 2207008.37	287.07 WM	63405 762489.17 2207230.23	280.68 WM	63501 761547.95 2207319.67	309.35 WM	63630 762354.13 2207512.6	277.00 FH	63731 761382.98 2207622.46	308.73 WM	73461 761638.77 2207416.02	303.96 WV
63303 762533.72 2206967.02	288.21 WM	63408 762438.56 2207170.20	284.55 WM	63503 761520.86 2207269.32	312.26 WM	63632 762367.49 2207585.2	276.66 WM	63733 761344.96 2207587.36	310.83 WM	73462 761635.07 2207423.64	
63307 762583.21 2206943.93	287.89 WM	63410 762412.06 2207133.44	286.60 WM	63505 761502.27 2207225.55	314.40 WM	63634 762398.86 2207542.2	276.81 WM	63735 761303.62 2207547.86	313.19 WM	73463 761618.69 2207432.30	
63308 762553.41 2206903.29	289.05 WM	63412 762382.55 2207092.31	289.08 WM	63507 761482.28 2207175.83	316.45 WM	63636 762430.70 2207500.1	276.32 WM	63738 761289.64 2207467.24	315.50 WM	73466 761549.57 2207273.55	
63313 762505.47 2206927.24	289.40 WM	63413 762353.62 2207059.03	291.37 FH	63509 761465.55 2207125.79	317.47 WM	63640 762451.66 2207457.9	275.56 WM	63740 761324.69 2207498.27	313.74 WM	73471 761486.30 2207124.72	
63314 762475.20 2206887.34	290.58 WM	63415 762351.33 2207051.54	291.53 WM	63510 761525.77 2207117.46	317.45 WM	63642 762503.86 2207399.3	275.47 WM	63743 761422.86 2207561.21	309.05 WM	73472 761473.40 2207068.91	
63317 762442.41 2206844.30	291.76 WM	63417 762320.65 2207008.85	293.88 WM	63512 761544.13 2207165.25	315.86 WM	63644 762535.46 2207355.2	7 276.07 WM	63745 761450.46 2207532.01	309.26 WM	73479 761414.23 2207615.93	
63318 762396.16 2206805.62	293.16 FH	63419 762289.40 2206967.37	296.58 WM	63515 761565.77 2207216.42	313.52 WM	63646 762565.93 2207313.2	2 277.20 WM	63747 761486.55 2207494.96	308.94 WM	73480 761406.17 2207616.27	307.81 WV
63325 762523.43 2206862.96	290.25 WM	63420 762424.89 2207236.57	282.53 WM	63516 761591.06 2207267.04	310.49 WM	63648 762597.24 2207271.2	2 279.39 WM	73373 762214.90 2207760.31	270.25 WV	73481 761414.36 2207624.14	
63327 762492.92 2206823.51	291.26 WM	63427 761982 55 2206868.73	304.48 WM	63518 761616.41 2207312.77	307.85 WM	63650 762626.26 2207229.2		73376 762370.23 2207525.02	276.35 WV	73482 761421.33 2207634.73	
63329 762458.13 2206786.90	292.48 WM	63430 761990.61 2206914.01	305.28 WM	63521 761643.50 2207355.17	305.13 WM	63660 762375 60 2207455.6		73379 762393.46 2207498.57	276.27 WV	73486 761238.15 2207462.32	
	293.28 WM	63431 762026.77 2207021.94	304.67 WM	63536 761863.25 2207214.73	303.89 FH	63662 762342.62 2207431.1		73390 762392.86 2207493.24	276.18 WV	73491 761620.53 2207765.16	
63333 762378.24 2206744.15	294.06 WM	63434 762060.72 2207079.01	302.18 WM	63538 761844.97 2207203.90	304.16 WM	63664 762294.13 2207387.9		73381 762398.00 2207492.44	276.14 WV	73496 761785.79 2207748.58 73769 761469.89 2207130.20	
	295.31 WM	63435 762058.27 2207094.52	300.67 FH	63540 761819.29 2207164.47	305.67 WM	63666 762251.64 2207337.5		73384 762247.29 2207362.27	284 46 WV	73771 762561.53 2207263.97	278.27 WV
	295.96 WM	63436 762092.34 2207122.26	299.33 WM	63542 761794.08 2207114.18	308 81 WM	63667 762254.25 2207357.1		73385 762059.53 2207114.96	300.10 WV	73771 762361:33 2207263.97	210.27 ***
63339 762237.33 2206746.81	297.10 WM	63438 762125.51 2207165.45	296.63 WM		310.70 WM	63669 762219.83 2207294.7		73386 762051.54 2207113.73	300.49 WV		
63341 762185.56 2206757.77	298.04 WM	63441 762156.69 2207208.04	293.98 WM		312.02 WM	63670 762178.38 2207325.8		73387 762052.71 2207105.76	300.66 WV		
63342 762134.72 2206767.40	299.40 WM		291.43 WM	63547 761737.58 2206922.96	311.46 WM	63672 762212.15 2207370.9		73392 762539.08 2207295.74	277.14 WV		
63345 762082.82 2206779.47	300.77 WM	63447 762142.66 2207277.62	291.63 WM	63552 761826.56 2206833.20	306.85 WM	63674 762240.57 2207406.6		73393 762538.69 2207290.93	277.27 WV		
63346 762032.26 2206789.64	301.77 WM	63449 762111.77 2207237.09	294.20 WM	63553 761774.42 2206843.64	308.42 WM	63678 762283.99 2207451.0		73394 762543.80 2207289.87	277.37 WV		
63349 761981.44 2206799.83	303.23 WM	63451 762078.34 2207192.21	296.98 WM	63556 761720.58 2206853.73	310.58 WM	63684 761486.05 2207568.0		73397 762341.44 2207067.79	290.71 WV		
63351 761929.51 2206811.14	304.22 WM	63458 762001.57 2207086.77	303.14 WM	63558 761672.39 2206864.25	312.55 WM	63687 761458.83 2207597.5		73402 762402.94 2206792.42	292.72 WV		
63353 761878.33 2206822.68	305.48 WM	63460 761986.01 2207055.77	304.25 WM	63560 761619.13 2206876.35	314.86 WM	63688 761599.47 2207726.8		73409 762584.40 2207004.79	286.38 WV		
63354 761911.94 2206864.98	304.57 FH	63462 761964.20 2207009.61	305.45 WM	63563 761667.54 2206916.84	313.11 FH	63690 761662.92 2207732.7		73417 762051.43 2207099.62	300.89 WV		
63364 762174.29 2206828.82	298.85 WM	63463 761939.14 2206921.57	305.36 WM	63565 761686.50 2206934.92	311.63 WM	63693 761736.94 2207673.4		73422 761955.13 2206841.97	303.55 WV		
63366 762183.41 2206871.94	299.48 WM	63465 761929.75 2206882.25	304.54 WM	63567 761694.35 2206973.61	312.05 WM	63696 761774.89 2207674.6		73423 761957.91 2206837.57	303.45 WV		
63367 762185.30 2206831.50	298.82 FH	63471 761960.89 2207208.21	302.77 WM	63568 761717.08 2207060.31	311.12 WM	63698 761783.74 2207679.4		73424 761950.43 2206839.14	303.62 WV		
63368 762206.73 2206943.84	299.01 WM	63473 761914.91 2207241.64	303.23 WM	63570 761734.08 2207106.77	309.67 WM	63702 761805.82 2207732.5		73429 762195.46 2206788.86	297.91 WV		
63370 762240.10 2206988.11	297.24 WM	63475 761872.43 2207272.93	303.44 WM	63572 761756.38 2207155.71	307.24 WM	63703 761802.19 2207742.3		73430 762199.68 2206791.77	297.81 WV		
		63476 761794.79 2207331.03	302.28 WM	63574 761780.38 2207200.64	305.19 WM	63704 761789.68 2207762.8	1 290.06 WM	73431 762202.90 2206787.38	297.71 WV		



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ASBUILT RECORD DRAWING

AUTUMN LAKES PHASE III



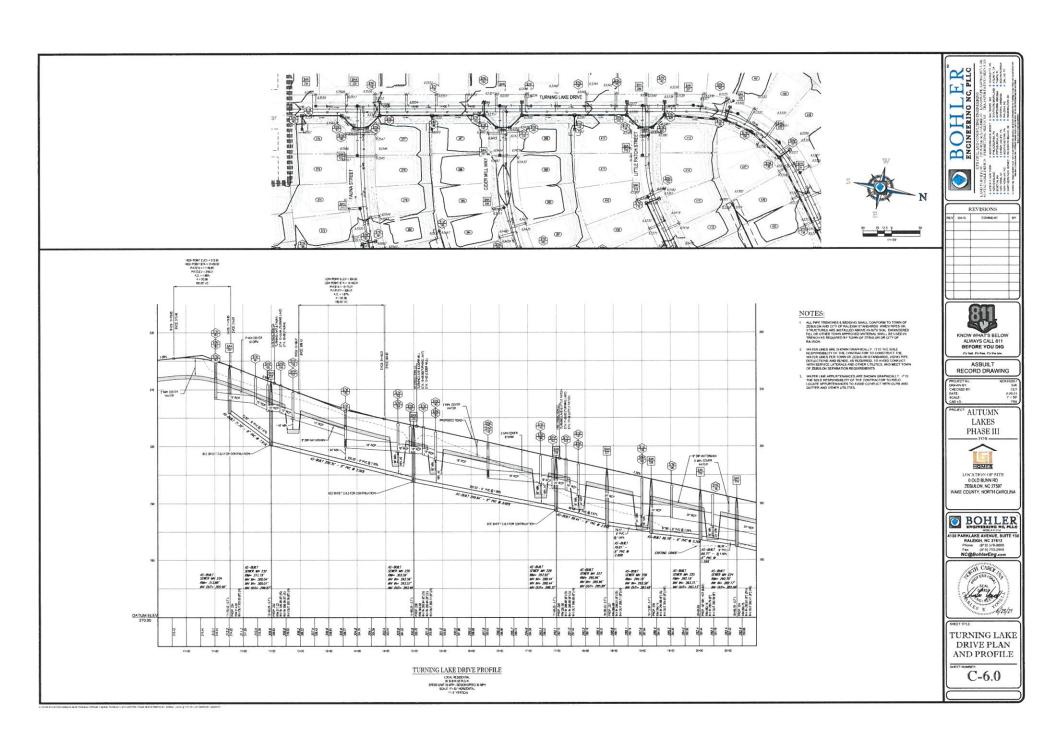
LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA

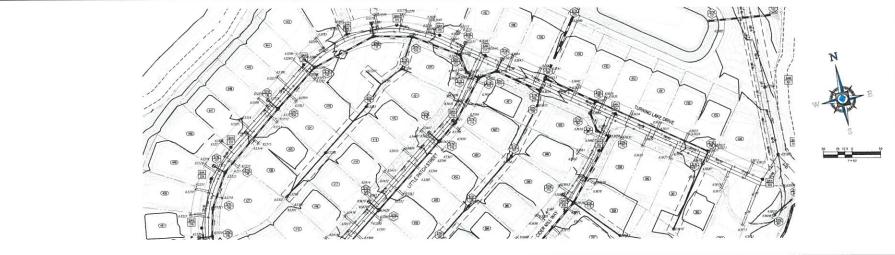


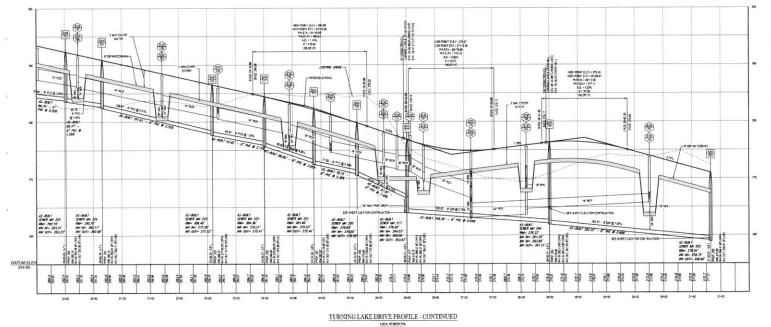


SANITARY PIPE AND STRUCTURE TABLE

C-5.6







NOTES

- ALL PIPE TRENCHES & BEDDING SHALL CONFORM TO TOWN OF ZEBIA, ON AND CITY OF RALLEGH STANDARDS, WHITH PIPES OR STRUCTURES ARE INSTALLED AROUSE POIL DISCUSSIONAL PIEL OR OTHER TOWN APPROVED MATERIAL SHALL BE USED IN TRENCHAS REQUIRED BY TOWN OF ZEBIA, OR OR CITY OF
- WATER LINES ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBLITY OF THE CONTRACTOR TO CONSTRUCT THE WATER LINES PER TOWN OF FEBBLO ON TAMORROW, ISSNING PPI DEFLICTIONS AND BLINDS, AS REQUIRED, TO AVIOL DOMESTO WITH SEPPOCE LATERALS AND OTHER UTILITIES. AND MEET TO
- WATER LINE APPURTENANCES ARE SHOWN GRAPHICALLY. IT THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PIELD LOCATE APPURTENANCES TO AVOID CONFUCT WITH CIERS A



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> AUTUMN LAKES PHASE III



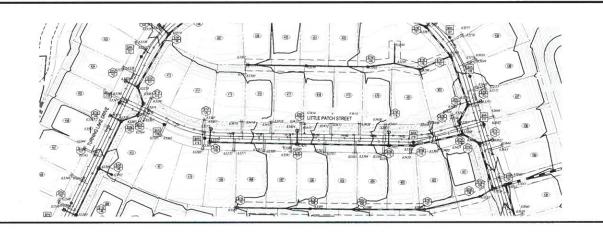
LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA





TURNING LAKE DRIVE PLAN AND PROFILE

C-6.1









H3H POINT \$1A = 11-02.35 PM \$12 = 11-32.50 PM BLEV - NOT 9 AD - \$195 E = 72.67 150.00 VC

NOTES:



ASBUILT RECORD DRAWING

PROJECT AUTUMN LAKES PHASE III



LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA

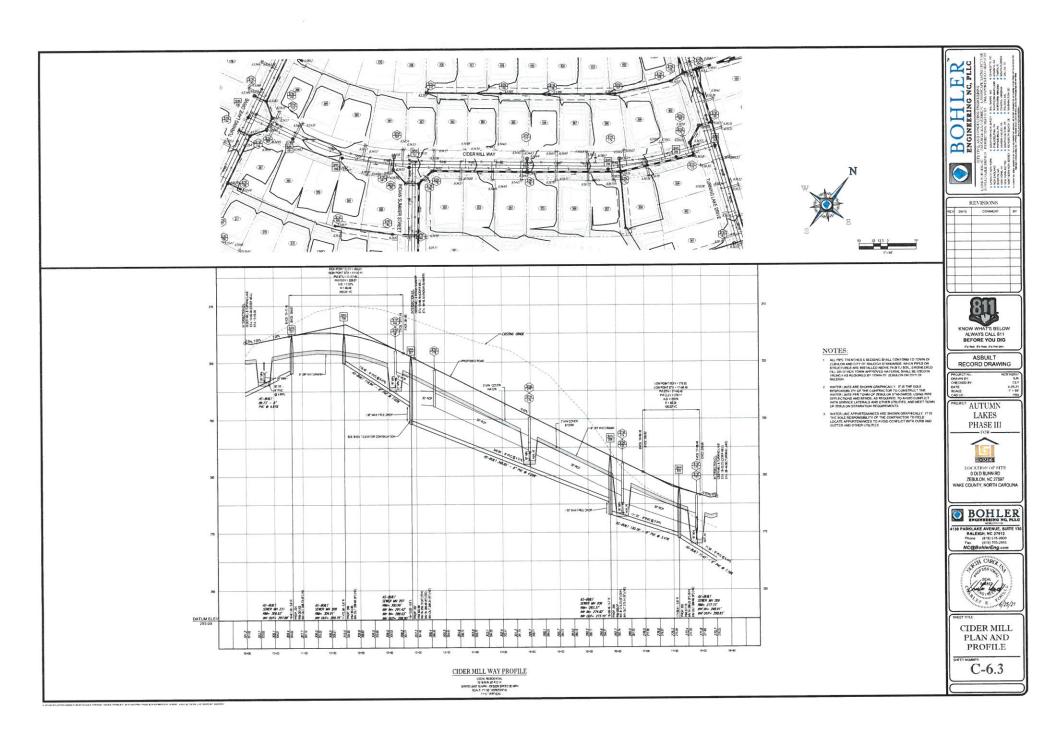


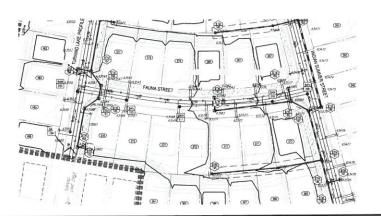


LITTLE PATCH PLAN AND PROFILE

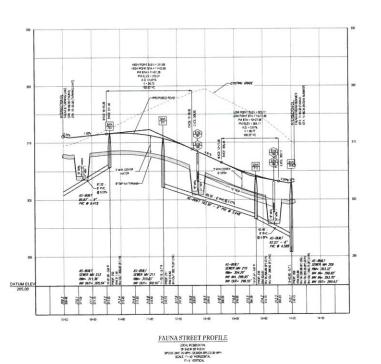
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NOTES:

- E. ALL PIPE TREADURES & BEZDING SHALL CORE ORN TO TOWN OF ZERIO, HAN CITY OF RALEGO STANDARDS. WHEN PIPES OR STRUCTURES ARE HIST FALLED MED'VE IN-SETU BOIL, ENGINE LIFE FILL OR OTHER TOWN APPROVICE METERIAL SHALL BE USED IN TREADCH AS REQUIRED BY TOWN OF ZERIO, ON CITY OF BALEGO.
- WATER LIPES ARE DROWN GRAPHICALLY. IT IS THE SOLE REPONDEDLITY OF THE CONTRACTOR TO CONSTITUCT THE WATER LIPES PER TOWN OF ZERU. ON STANDARDS, USING PIFE DEFLECTIONS AND REVISE AS REQUESTED, TO AVIOD CONTROL WITH SERVICE LATERALS AND OTHER UTILITIES, AND IMPET TOW OF JEBULOS SEPARATION REQUESTED.
- WATER LINE APPLIETENANCES ARE SHOWN GRAPHICALLY.
 THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE APPLIETEMANCES TO AVOID CONFLICT WITH CURB QUITTER AND OTHER UTILITIES.



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PROJECT AUTUMN LAKES PHASE III



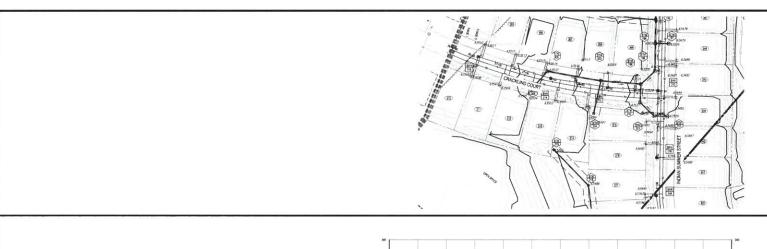
LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA





FAUNA PLAN AND PROFILE

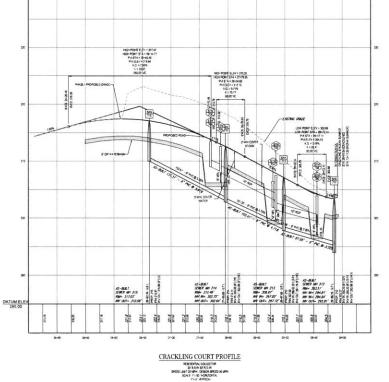
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ASBUILT RECORD DRAWING

AUTUMN LAKES PHASE III



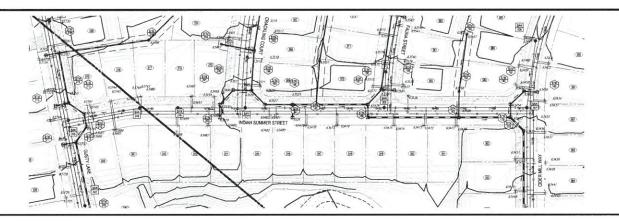
LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA







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ASBUILT RECORD DRAWING

AUTUMN LAKES



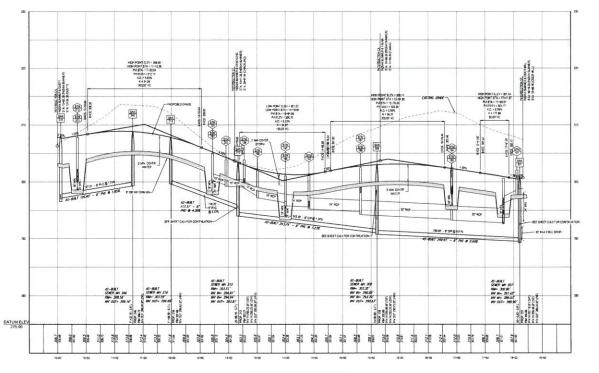
LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA





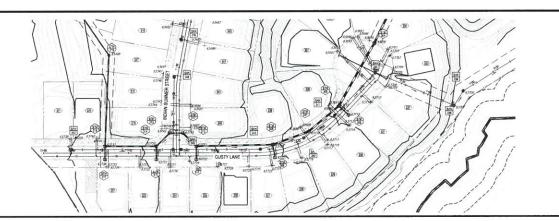
INDIAN SUMMER STREET PLAN AND PROFILE

C-6.6



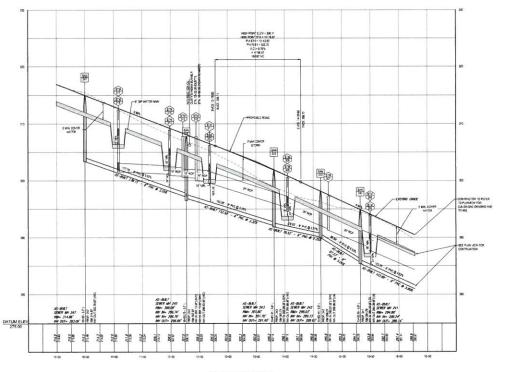
INDIAN SUMMER STREET PROFILE

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NOTES:



REVISIONS						
REV	DATE	COMMENT	BY			
	-		+			
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ASBUILT RECORD DRAWING

AUTUMN LAKES PHASE III



LOCATION OF SITE 0 OLD BUNN RD ZEBULON, NC 27597 WAKE COUNTY, NORTH CAROLINA



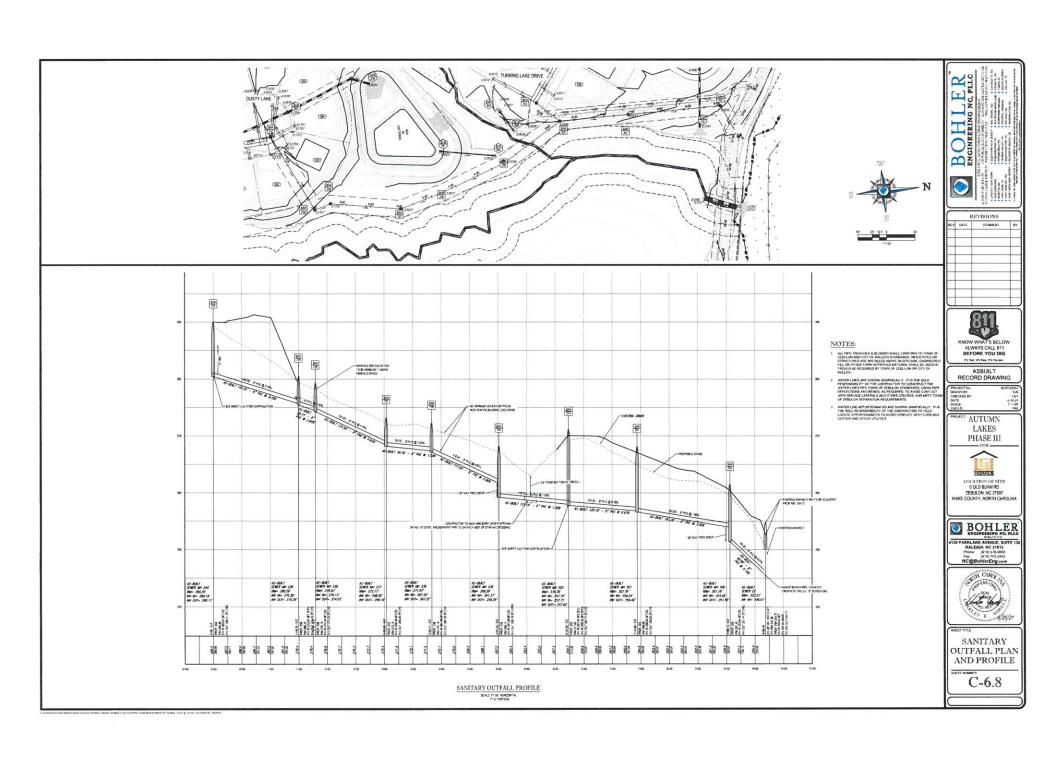


GUSTY LANE PLAN AND PROFILE

C-6.7

GUSTY LANE PROFILE

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Chris Ray

From:

Chris Ray

Sent:

Wednesday, June 30, 2021 11:29 AM

To:

Meade Bradshaw

Cc:

Jason Brown; Roger Silvers; Michael Clark; Bobby Fitts

Subject:

Construction Inspection Fees - Autumn Lake Phase III

Meade.

Based on the submittal data for Autumn Lakes Phase III closeout; please bill Autumn Lakes for the following:

- Roadway Inspection Fees 5,724 LF * \$2.50 per LF = \$14,310.00
- Sidewalk Inspection Fees 7, 027 LF * \$1.00 per LF = \$7,027.00
- Stormwater Inspection Fees 6,233. LF * \$1.00 per LF = \$6,233.00
- Stormwater Mapping Fees 6,233. LF * \$1.50 per LF = \$9,349.50 (new this year)
- Greenway Inspection Fees 1,575 LF * 1.50 per LF = \$2,362.50 (new rate this year)

Total Cost

\$ 39,282.00

Let me know if you have any questions. Please send me a copy of the bill for my files and check when paid in full.

Regards,

Chris D. Ray
Zebulon Public Works Director
450 East Horton Street
Zebulon, NC 27597
Ph# 919-269-5285
Fax# 919-269-2617
Email — cray@townofzebulon.org
www.townofzebulon.org



Pursuant to North Carolina General Statutes Chapter 132, Public Records, this electronic mail message and any attachments hereto, as well as any electronic mail message(s) that may be sent in response to it may be considered public record and as such are subject to request and review by anyone at any time.



Town of Zebulon 1003 N. ARENDELL AVENUE ZEBULON, NC 27597 (919)823-1806

INVOICE # 22-00002

YOU CAN PAY ONLINE BY CREDIT/DEBIT/ACH: WWW.EDMUNDSGOVPAY.COM/ZEBULON YOU WILL NEED YOUR ACCOUNT ID AND PIN

ACCOUNT ID: BOHL PIN: 165234 INVOICE DATE: 07/01/21

DUE DATE: 07/02/21

Bohler Engineering NC, PLLC 4130 Parklake Avenue STE 130 Raleigh, NC 27612

QUANTITY/UNIT	SERVICE ID	DESCRIPTION	UNIT PRICE	AMOUNT
		Autumn Lakes Phase 3		
7027.0000/LF	SIDEWALK	Sidewalk Construction Inspecti	1.000000	7,027.00
5724.0000/LF	STREETCU	Streets/Curb/Gutter Constr Ins Roadway	2.500000	14,310.00
6233.0000/LF	STORMDRA	Storm Drainage Constr. Inspect Stormwater	1.000000	6,233.00
6233.0000/LF	STORMMAP	STORMWATER MAPPING FEES Stormwater Mapping	1.500000	9,349.50
1575.0000/LF	GREENWYC	Greenway Construction Inspecti	1.500000	2,362.50
160.0000/LOT	PLAT PER	MAJ SUBDIVISION PLAT FEE/LOT Planning	5.000000	800.00
			TOTAL DUE:	\$ 40,082.00
		Prn Payment: 07/29/21 CK 33459		-40,082.00
			BALANCE:	\$ 0.00

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon 1003 N. ARENDELL AVENUE ZEBULON, NC 27597 (919)823-1806

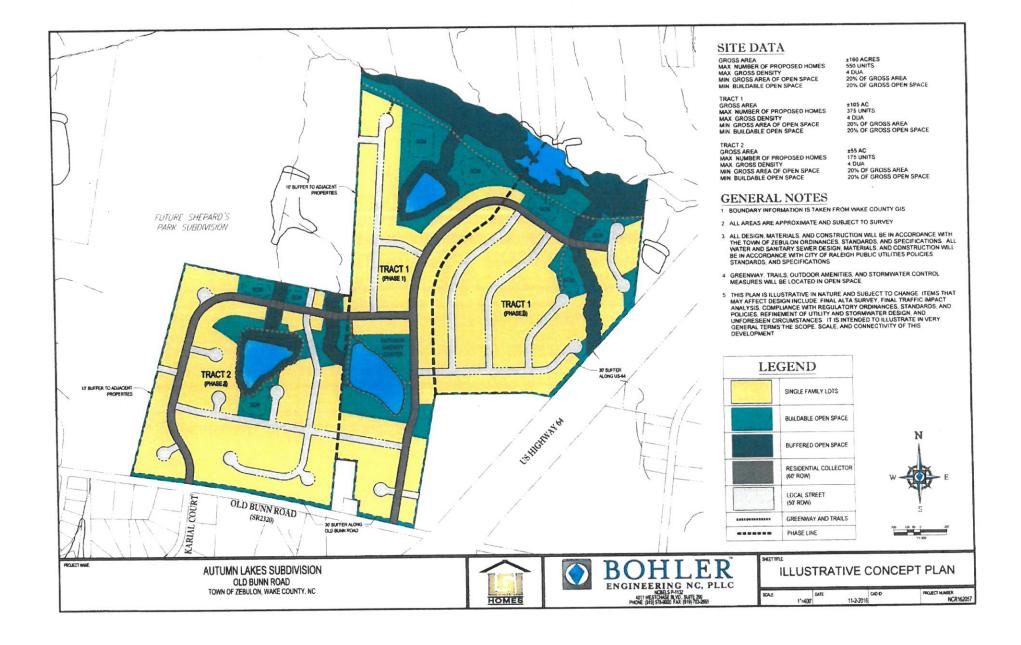
INVOICE #: 22-00002

DESCRIPTION: Autumn Lakes Phase 3
ACCOUNT ID: BOHL PIN: 165234

DUE DATE: 07/02/21 TOTAL DUE: \$ 0.00



Bohler Engineering NC, PLLC 4130 Parklake Avenue STE 130 Raleigh, NC 27612



RESOLUTION 2022-05 ACCEPTING ROADWAY, STORM DRAINAGE AND GREENWAY INFRASTRUCTURE FOR AUTUMN LAKES PHASE 3

WHEREAS, LGI Homes – NC, LLC, the developers of Autumn Lakes Phase 3, has requested the Town of Zebulon to assume ownership and maintenance of the roadway, greenway and storm drainage infrastructure within the public right-of-way or dedicated easements of Autumn Lakes Phase 3, consisting of 6,233 linear feet (LF) of drainage infrastructure, 2,166 LF of 10-foot asphalt greenway, and 5,724 LF of roadway:

- 378 LF at Crackling Court
- 2004 LF at Turning Lake Drive
- 641 LF at Little Patch Street
- 825 LF at Cider Mill Way
- 405 LF at Fauna Street
- 816 LF at Indian Summer Street
- 655 LF at Gusty Lane

WHEREAS, the Town of Zebulon has inspected said infrastructure; and

WHEREAS, LGI Homes-NC, LLC has completed all punch list tasks; and

WHEREAS, the Town of Zebulon has received all required documentation needed for Dedication and Warranty; and

WHEREAS, the Town of Zebulon has received a subdivision bond from IAT Insurance Company for completion of final asphalt roadway overlay, five-foot sidewalk, access ramps, stormwater pond conversion, greenway amenities, street trees and mail kiosk; and

WHEREAS, the Town of Zebulon may accept an offer of dedication of streets, greenways, sidewalks, curb and gutter, and storm drainage by resolution of the Board of Commissioners per the Town of Zebulon Uniform Development Ordinance section 6.4.1 and 6.10.4.

NOW, THEREFORE, BE IT RESOLVED that the Board of Commissioners of the Town of Zebulon accepts dedication of the aforementioned roadway, storm drainage, and greenway infrastructure as described in the attached documents effective September 13, 2021.

Adopted this 13th day of September 2021.

SEAL	Robert S. Matheny - Mayor
SEITE	
	Lisa M. Markland, CMC - Town Clerk



STAFF REPORT ROTARY CLUB "FLAGS FOR HEROS" ZEBULON MUNCIPAL COMPLEX FACILITY USE APPLICATION SEPTEMBER 13, 2021

Topic: Rotary Club "Flags for Heros" Zebulon Municipal Complex Facility Use

Application

Speaker:
From:
Chris Ray, Director of Public Works
Approved by:
Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider Zebulon Rotary Club's request to install 200, 10-foot American flags on the municipal grounds over the Veterans Day holiday weekend.

Background:

On May 22, 2013, Zebulon's Board of Commissioners adopted a facility use policy detailing the requirements for non-profit groups to utilize the Zebulon Municipal Complex.

The Zebulon Rotary Club has requested the use of the municipal complex to install 200, 10-foot US flags to support our veterans and other local heroes from November 9th through November 14th. Flag bases will be installed November 9. The flags will be installed on Veterans day, Thursday, November 11th, and kept up through Sunday, November 14th. The Rotary Club also requests installation of a 10'x10' tent staffed with members from Thursday thru Sunday (11/11-11/14) from 10am to 4pm.

Approximately 138 flags will line both sides of the front circle drive, along the front fence, and outlining the Blue Star Memorial. An additional 62 flags will be spread out on the rear lawn. If the event is a success, the Rotary Club may choose the leave bases installed in ground.

Rotary Club members will work closely with Zebulon Public Works Staff on the installation to avoid damage to the irrigation system. The Rotary Club requests a waiver of the facility use fee of \$1,000. All proceeds from the event will go to support Rotary Club charitable activities throughout the year.

Based on the projected number of attendees, the Rotary event will be smaller than other events held at ZMC (e.g., Zebulon Night Out and Relay for life). There should be minimal impact to the facility grounds. The event does not require use of the buildings; therefore, there should be no impact on the buildings.

Discussion:

The discussion before the Board is whether to allow the Rotary Club to install the 200 flags on the municipal complex grounds over the Veterans Day Holiday weekend, and waive the facility use fee.



STAFF REPORT ROTARY CLUB "FLAGS FOR HEROS" ZEBULON MUNCIPAL COMPLEX FACILITY USE APPLICATION SEPTEMBER 13, 2021

Policy Guidance:

The Zebulon Rotary request to use the municipal complex facilities is consistent with the first four considerations in Exhibit D of the Facility Use Policy for the Zebulon Municipal Complex:

- Nonprofit status or public service
- Substantial presence in the community
- Proven track record over time of contributions to benefit the Town, its institutions, and its citizens
- Stimulate or encourage community participation in nonprofit activities

Fiscal Analysis:

The FY2021 facility use fee is \$1,000. The approximate cost for labor and other expenses for the event is \$440.00. The event fundraiser goal is \$10,000, less the cost of flags.

Staff Recommendation:

Staff recommends the Zebulon Board of Commissioners approve the use of the facility and waive the facility use fee. Public Works staff will be available to assist if an issue arises.

Attachments:

1. Rotary Club Site Layout



STAFF REPORT ROTARY CLUB – FLAGS FOR HEROES EXHIBIT LAYOUT SEPTEMBER 13, 2021

