

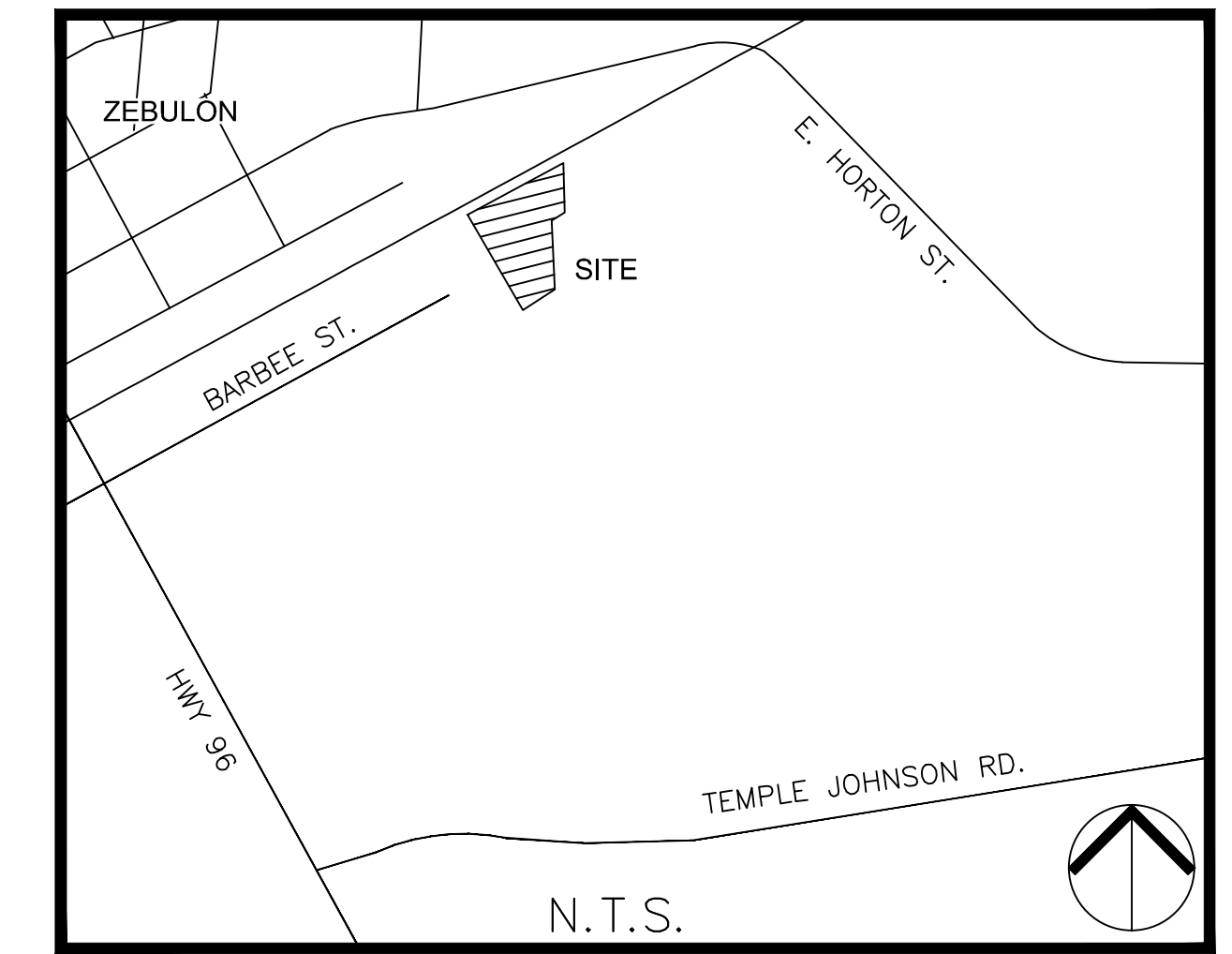
PARKVIEW TOWNES

0 EAST BARBEE STREET

ZEBULON, NORTH CAROLINA

CONSTRUCTION DRAWINGS

TOWN OF ZEBULON PROJECT # 895911



N.T.S.
VICINITY MAP

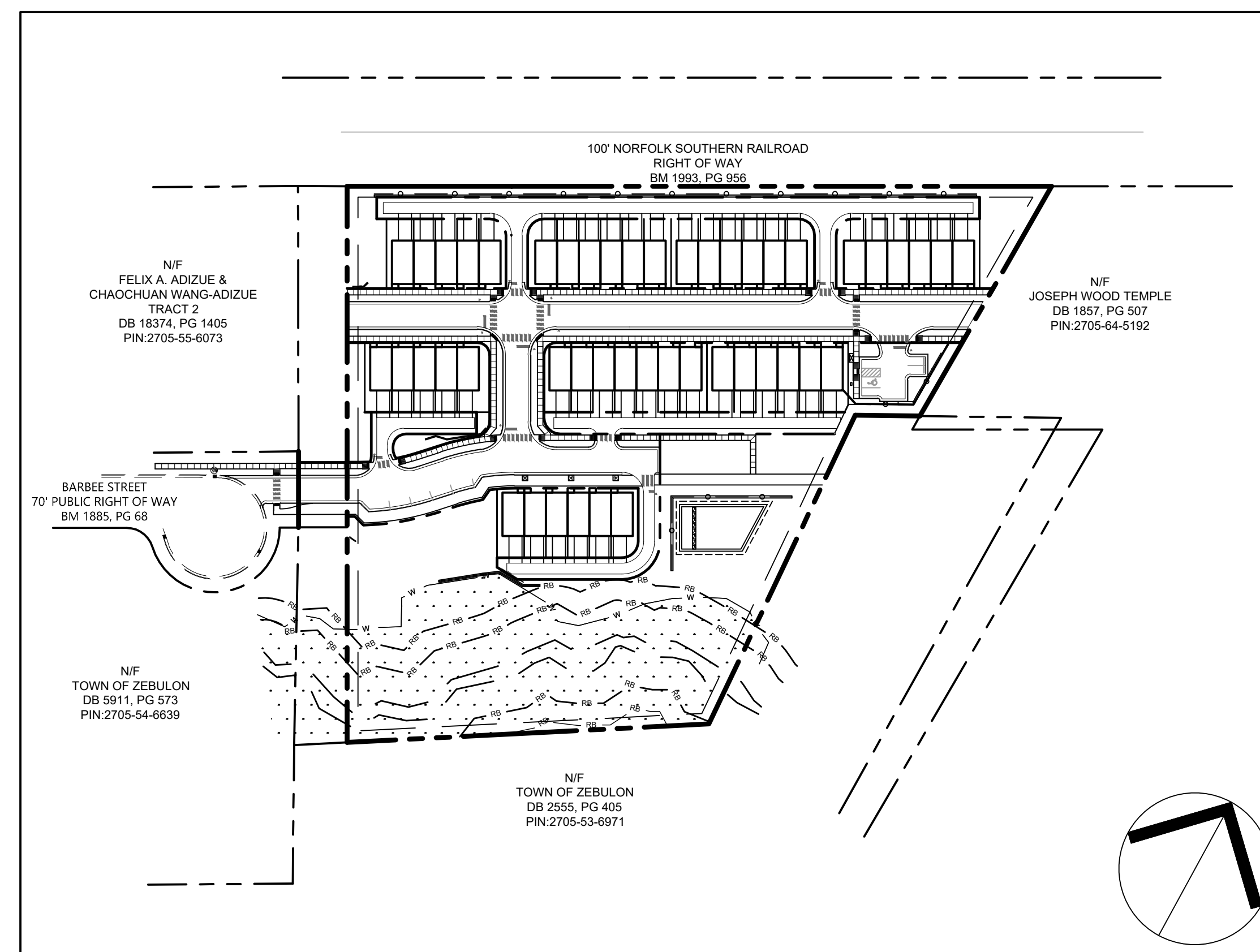
SITE DATA SUMMARY

PROJECT NAME:	BARBEE ST. SUBDIVISION
PIN(S):	2705-65-0231 2705-65-0707
SITE ADDRESS:	PORTION OF 2705-65-6073 0 E. BARBEE STREET 413 E. BARBEE STREET
JURISDICTION:	TOWN OF ZEBULON
ZONING:	(6 PTS ZEBULON UTILITY ALLOCATION POLICY) DTP
RIVER BASIN:	NEUSE
TOTAL EXISTING ACREAGE:	240,598 SF / 5.52 ACRES
PROPOSED USE:	VACANT
PROPOSED USE:	SINGLE-FAMILY ATTACHED DWELLING
BUILDING SETBACKS:	
STREET:	NONE
SIDE:	5 FT
REAR:	15 FT
TOTAL NUMBER OF UNITS:	(6 PTS ZEBULON UTILITY ALLOCATION POLICY) 47 UNITS
MINIMUM LOT AREA:	3,000 SF
AVERAGE LOT AREA:	
PROVIDED PARKING:	104 RESIDENT
DISTURBED AREA:	202,373 SF / 4.65 AC.
IMPERVIOUS AREA:	
DWELLINGS:	50,008 SF
ROADWAY/PARKING:	46,765 SF
SIDEWALKS:	13,647 SF
TOTAL:	116,490 SF
IMPERVIOUS LIMIT/LOT:	1,064 SF
PUBLIC IMPROVEMENT QUANTITIES:	
WATER PIPE:	1,155 FT.
WATER STUB:	2
SANITARY SEWER PIPE:	812 FT.
SANITARY SEWER STUB:	2
STORMWATER:	1,648 FT.
OPEN SPACE REQUIREMENT:	
URBAN:	12,030 SF / 10,827 SF W/ 10% ADMIN. ADJUST.
ACTIVE:	12,030 SF / 10,827 SF W/ 10% ADMIN. ADJUST.
OPEN SPACE PROVIDED:	
ACTIVE:	12,268 SF (5.1%)
URBAN:	12,072 SF (5.0%)
PASSIVE:	37,225 SF (15.1%)

*NOTE: PER SECTION 5.8.3. OF THE TOWN OF ZEBULON UDO. THIS DEVELOPMENT WITHIN THE DTP IS EXEMPT FROM MINIMUM OFF STREET PARKING REQUIREMENTS.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF ZEBULON, WAKE COUNTY AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, PLLC DATED JUNE 1, 2022.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED WITHIN A FEMA AE FLOOD ZONE BASED ON THE MAP #3720270500K MAP REVISED JULY 19, 2022.
- THE ROAD CLASSIFICATIONS FOR THIS PROJECT CONSIST OF LOCAL AND ALLEY.
- CONSTRUCTION WILL FOLLOW ALL USE SPECIFIC GUIDELINES LAID OUT IN CHAPTER 4 OF TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE THAT PERTAIN TO THIS PROJECT.



EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-

STORMWATER MGMT. S-

FLOOD STUDY S-

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4078

Authorization to Construct _____

Date _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5390

Authorization to Construct _____

Date _____

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919) 996-4340 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of *monetary fines*, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for *Inspection, Install a Downstream Plug*, have *Permitted Plans* on the *Jobsite*, or any other *Violation of City of Raleigh Standards* will result in a *Fine and Possible Exclusion* from future work in the *City of Raleigh*.

Private Sewer Collection / Extension System

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5391(P)

Authorization to Construct _____

Date _____

DRAWINGS INDEX:

SITE 001	COVER SHEET
SITE 002	PROJECT NOTES
BD-1	BOUNDARY SURVEY
SITE 100	EXISTING CONDITIONS PLAN
SITE 200	SITE LAYOUT PLAN
SITE 300	GRADING & DRAINAGE PLAN
SITE 301	WET DETENTION POND PLAN
SITE 302	INITIAL EROSION CONTROL PLAN PHASE 1
SITE 302A	INITIAL EROSION CONTROL PLAN PHASE 2
SITE 303	FINAL EROSION CONTROL PLAN
SITE 304	NPDES PLAN
SITE 400	UTILITY PLAN
23-0401	DUKE ENERGY LIGHTING PLAN
SITE 500	LANDSCAPE PLAN
SITE 600	BARBEE ST. AND ROAD "A" PLAN AND PROFILE
SITE 601	PUBLIC ROAD "B" PLAN AND PROFILE
SITE 602	SANITARY SEWER PLAN AND PROFILE
SITE 700	SITE DETAILS
SITE 701	SITE DETAILS
SITE 702	SITE DETAILS
SITE 703	SITE DETAILS
SITE 704	SITE DETAILS
SITE 705	SITE DETAILS
SITE 706	SITE DETAILS
SITE 707	SITE DETAILS
SITE 708	SITE DETAILS

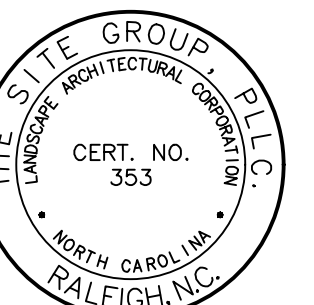
FLOODPLAIN NOTE:

THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720270500K DATED JULY 19, 2022.



Call before you dig. Dial 811 or visit www.nc811.org for more details.

THIS PROJECT MUST FOLLOW ALL USE SPECIFIC GUIDELINES LAID OUT IN CHAPTER 4 OF THE TOWNS UDO WHICH PERTAIN TO THIS PROJECT.



NC ENGINEERING LICENSE NO. P-0803



THE SITE GROUP, PLLC
111 W. GARDNER ST.
RALEIGH, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By **WRR**
Checked By **SRN**

DATE: 07 NOV 2022
REVISED:
△ 03 FEB 2023
△ 09 MAY 2023
△ 24 AUG 2023
△ 21 NOV 2023
△ 12 DEC 2023
△ 08 JAN 2024

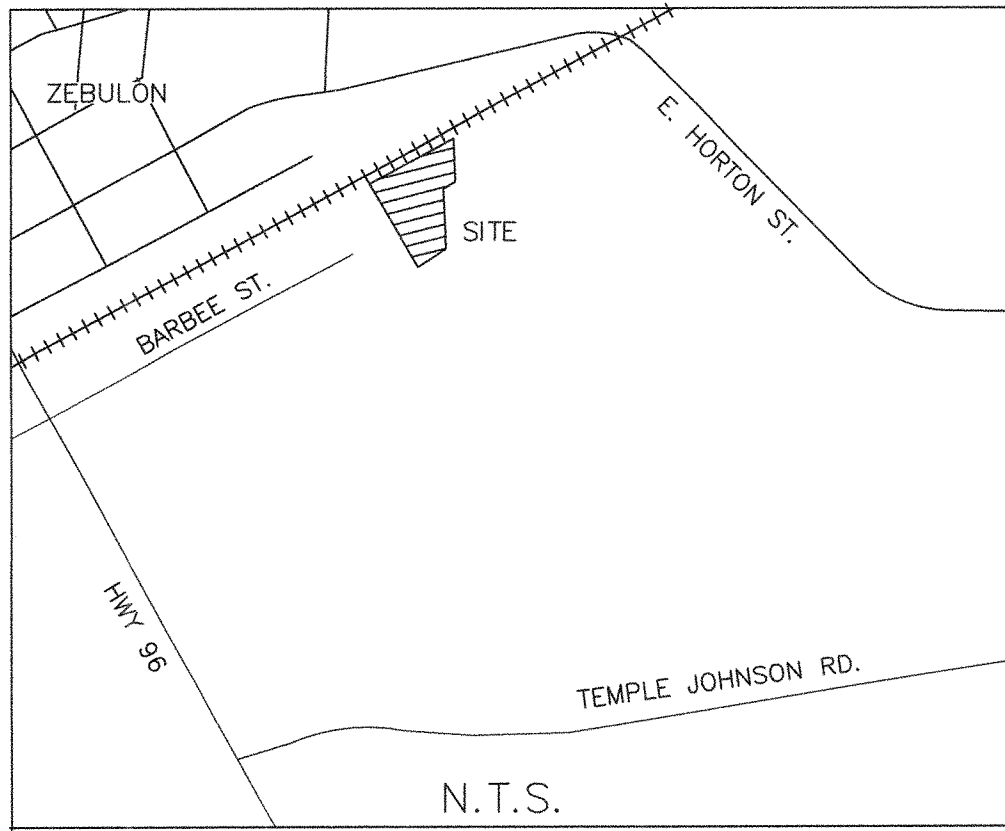
CONSTRUCTION DRAWINGS

COVER SHEET

Job Code **SCBSZ**

Dwg No. **SITE 001**

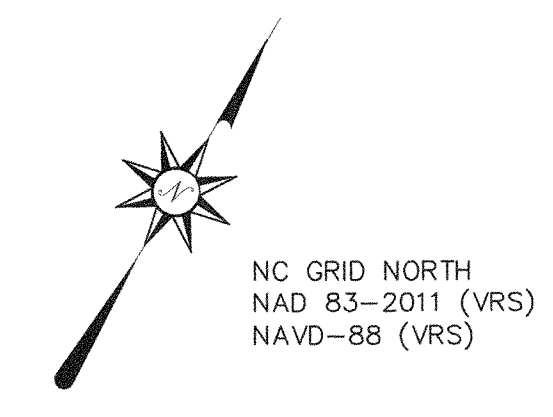
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REFERENCES:
 DB 2279, PG 269
 DB 4246, PG 470
 DB 14827, PG 1322
 BM 1991, PG 1078
 BM 1981, PG 9801
 BM 1993, PG 956
 BM 1885, PG 68
 BM 2011, PG 472
 OTHERS AS NOTED

LEGEND

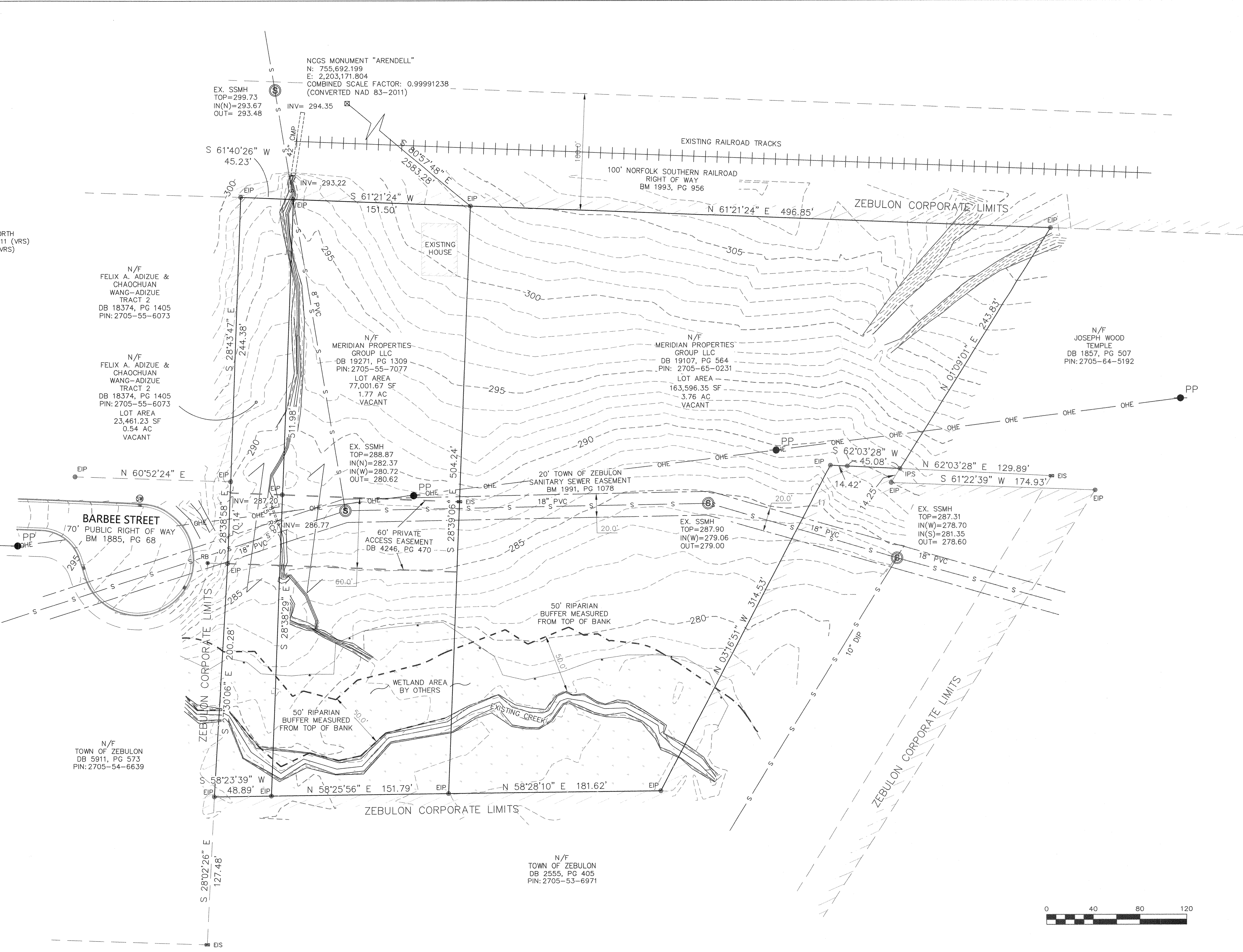
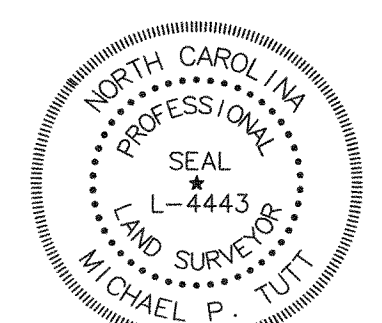
- ⊙ EIP EXIST. IRON PIPE
- ⊠ ECM EXIST. MONUMENT
- RB EXIST. REBAR
- ⊞ EIS EXIST. IRON STAKE
- PP POWER POLE
- ⊞ WATER METER
- ⊞ EXISTING SIGN
- ⊞ GAS METER
- ⊞ ELECTRIC METER
- ⊞ WATER VALVE
- EXISTING LINK FENCE
- POWER LINE
- ⊙ GAS LINE MARKER
- ⊙ FIBER OPTIC MARKER
- ⊙ SEWER MANHOLE
- ⊞ TELE PEDESTAL
- ##### ADDRESS



NOTE:
 1. THIS PROPERTY IS NOT WITHIN A FEMA AE FLOOD ZONE BASED ON FEMA MAP #3720270500K MAP REVISED JULY 19, 2022.
 2. HORIZONTAL DATUM IS NAD 83/2011 (VRS), VERTICAL DATUM NAVD-88 (VRS).
 3. ALL DASHED LINES HAVE NOT BEEN SURVEYED.
 4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
 5. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD THAT MAY OR MAY NOT BE SHOWN. SURVEY CONDUCTED WITHOUT BENEFIT OF TITLE REPORT.
 6. AREA DETERMINED BY COORDINATE METHOD.

THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CHANGE A STREET OR CREATE A NEW STREET.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS NOTED; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:20,860 AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600); THAT THE GLOBAL POSITIONING SYSTEM OBSERVATIONS WERE PERFORMED USING THE FOLLOWING INFORMATION:
 (1) CLASS OF SURVEY: CLASS A
 (2) POSITIONAL ACCURACY: 0.05"
 (3) TYPE OF GPS FIELD PROCEDURE: NC VRS
 (4) DATES OF SURVEY: 5-31-22
 (5) DATUM/EPOCH: NAD 83, 2011/2010
 (6) PUBLISHED/FIXED-CONTROL USE: ARENDELL (NCGS MON)
 (7) GEOID MODEL: GEOID18
 (8) COMBINED GRID FACTOR(S): 0.999912238
 (9) UNITS: US SURVEY FEET
 THIS 14TH DAY OF JUNE, 2023.
 Michael P. Tuttle
 PROFESSIONAL LAND SURVEYOR: MICHAEL P. TUTT, L-4443

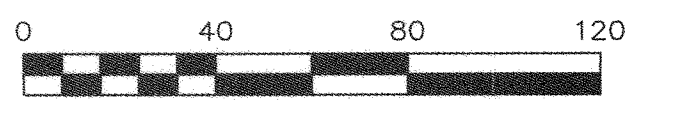


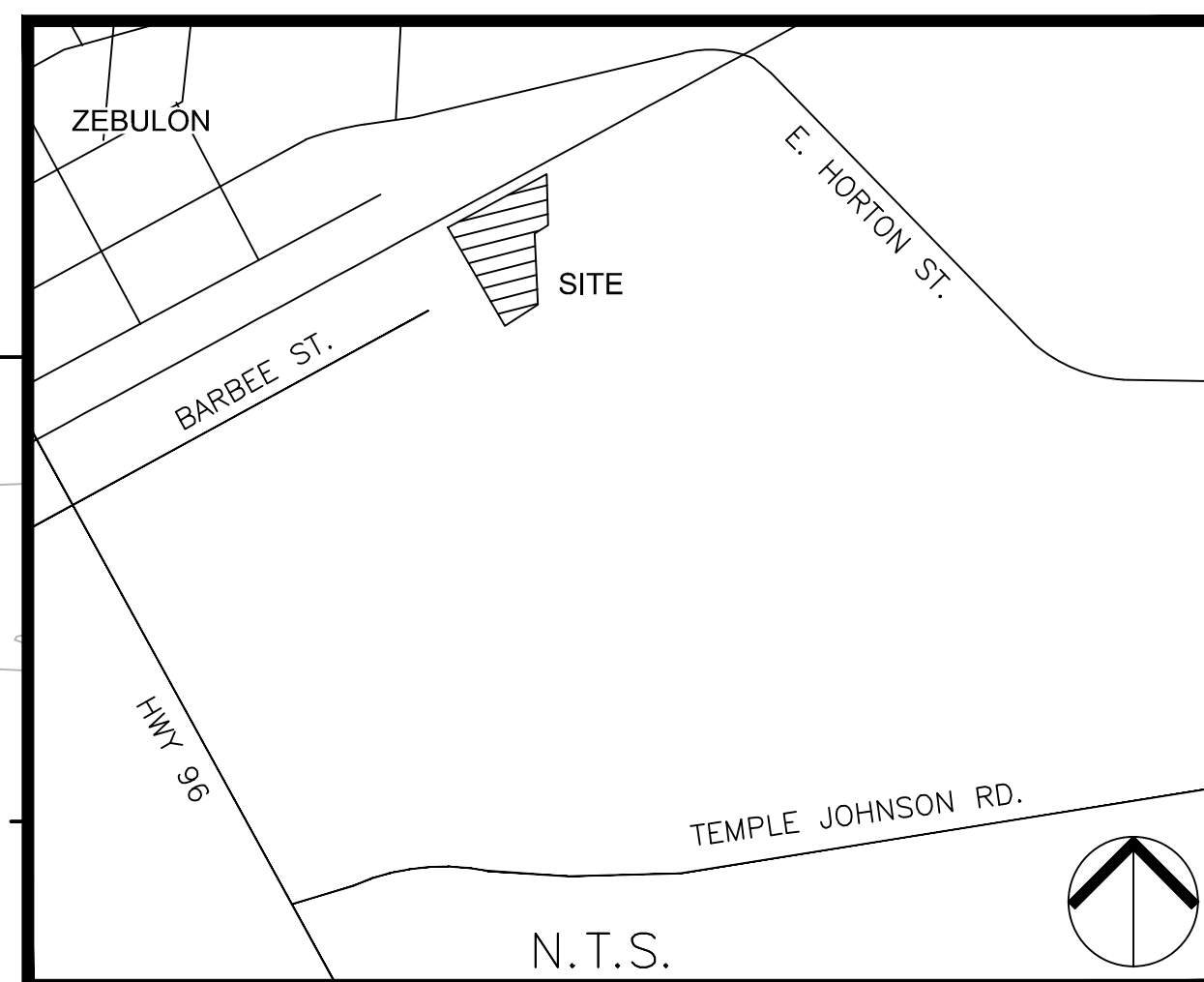
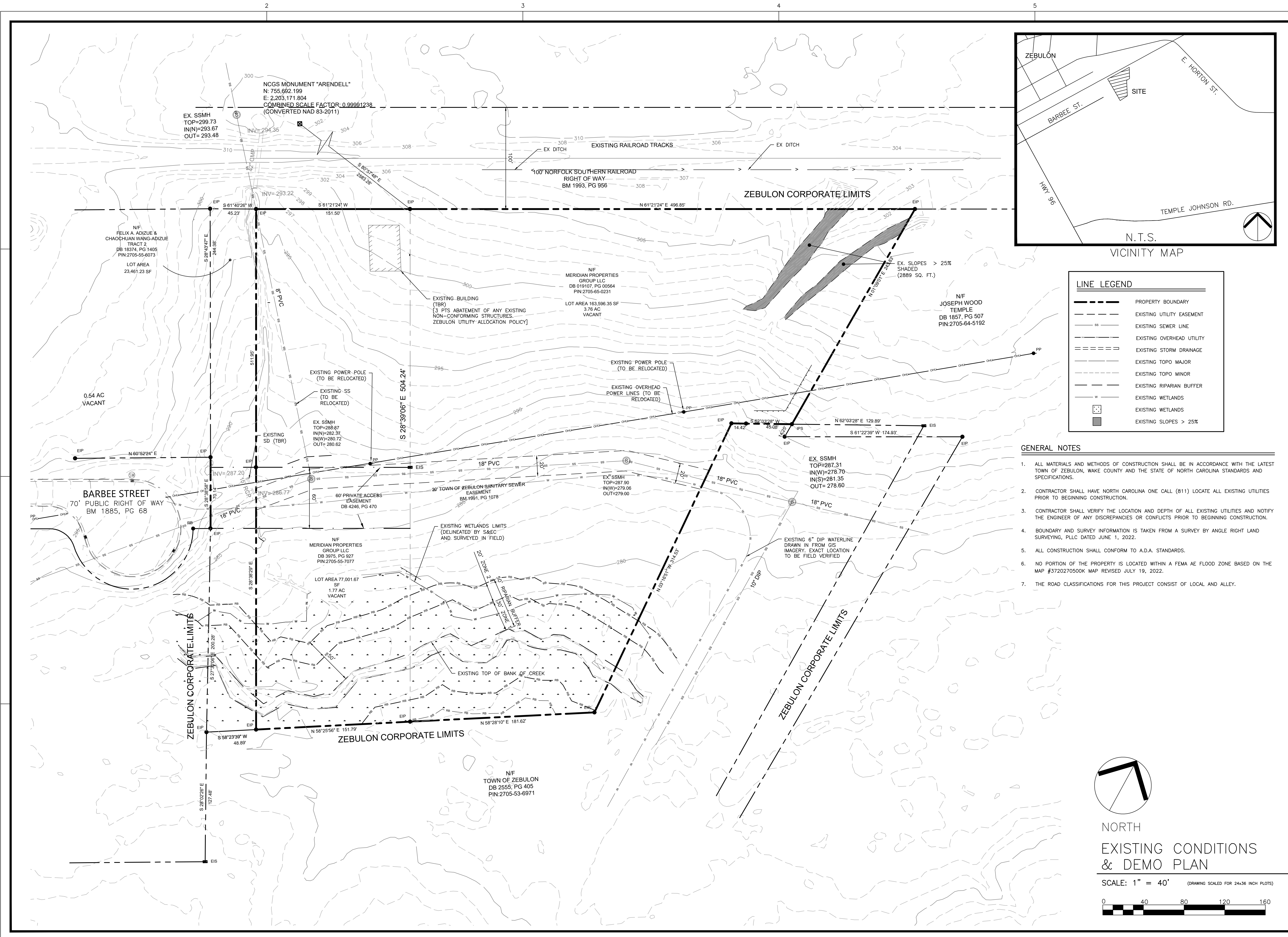
ANGLE RIGHT LAND SURVEYING, PLLC
 SURVEYING THE PAST AND THE FUTURE TODAY
 919-810-4324
 P-0446 LIC#
 3008 ANDERSON DRIVE, SUITE 160 RALEIGH, NC 27609

REV.	DESCRIPTION	DATE
1	ADDED OFF-SITE SEWER MANHOLE INFORMATION	3-23-23
2	REVISED FEMA MAP REFERENCE AND ISSUE DATE.	5-1-23
3	REVISED PIPE FROM 8" TERRACOTA TO 8" PVC	6-14-23
4	UPDATED NEW OWNER INFORMATION ON INDIVIDUAL LOTS	6-14-23

BOUNDARY & TOPOGRAPHIC SURVEY OF:
0 E. BARBEE STREET
 LITTLE RIVER TOWNSHIP, TOWN OF ZEBULON, WAKE COUNTY, NC
 OWNERS: MERIDIAN PROPERTIES GROUP LLC

SURVEYOR: ANGLE RIGHT LAND SURVEYING
 SCALE: 1" = 40'
 ZONING: DTP
 DATE OF SURVEY: 6-1-22, 9-12-22
 JOB NUMBER: 22_195
 PAGE 1 OF 1

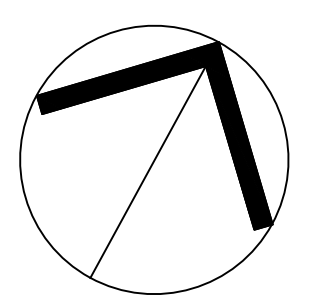




LINE LEGEND

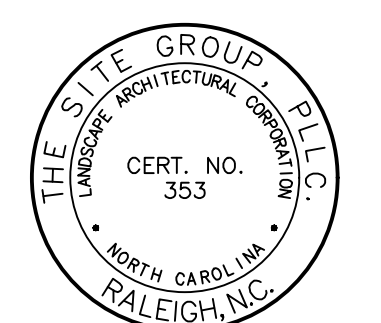
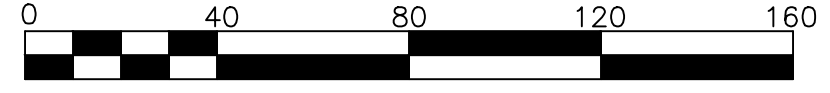
	PROPERTY BOUNDARY
	EXISTING UTILITY EASEMENT
	EXISTING SEWER LINE
	EXISTING OVERHEAD UTILITY
	EXISTING STORM DRAINAGE
	EXISTING TOPO MAJOR
	EXISTING TOPO MINOR
	EXISTING RIPARIAN BUFFER
	EXISTING WETLANDS
	EXISTING WETLANDS
	EXISTING SLOPES > 25%

- GENERAL NOTES**
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 7. THE ROAD CLASSIFICATIONS FOR THIS PROJECT CONSIST OF LOCAL AND ALLEY.



NORTH
EXISTING CONDITIONS
& DEMO PLAN

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NC ENGINEERING LICENSE NO. P-0803



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
111 S. COLEMAN ST., 4TH FLOOR
RALEIGH, NC 27601-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **SRN**

DATE:
07 NOV 2022
REVISED:
03 FEB 2023
09 MAY 2023
24 AUG 2023
21 NOV 2023

CONSTRUCTION DRAWINGS

EXISTING CONDITIONS & DEMO PLAN

Job Code: **SCBSZ**

Dwg No.
SITE 100

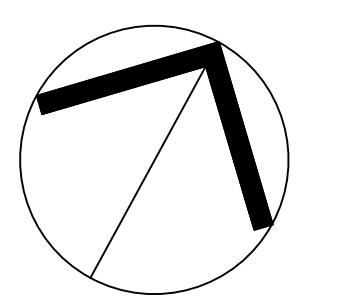
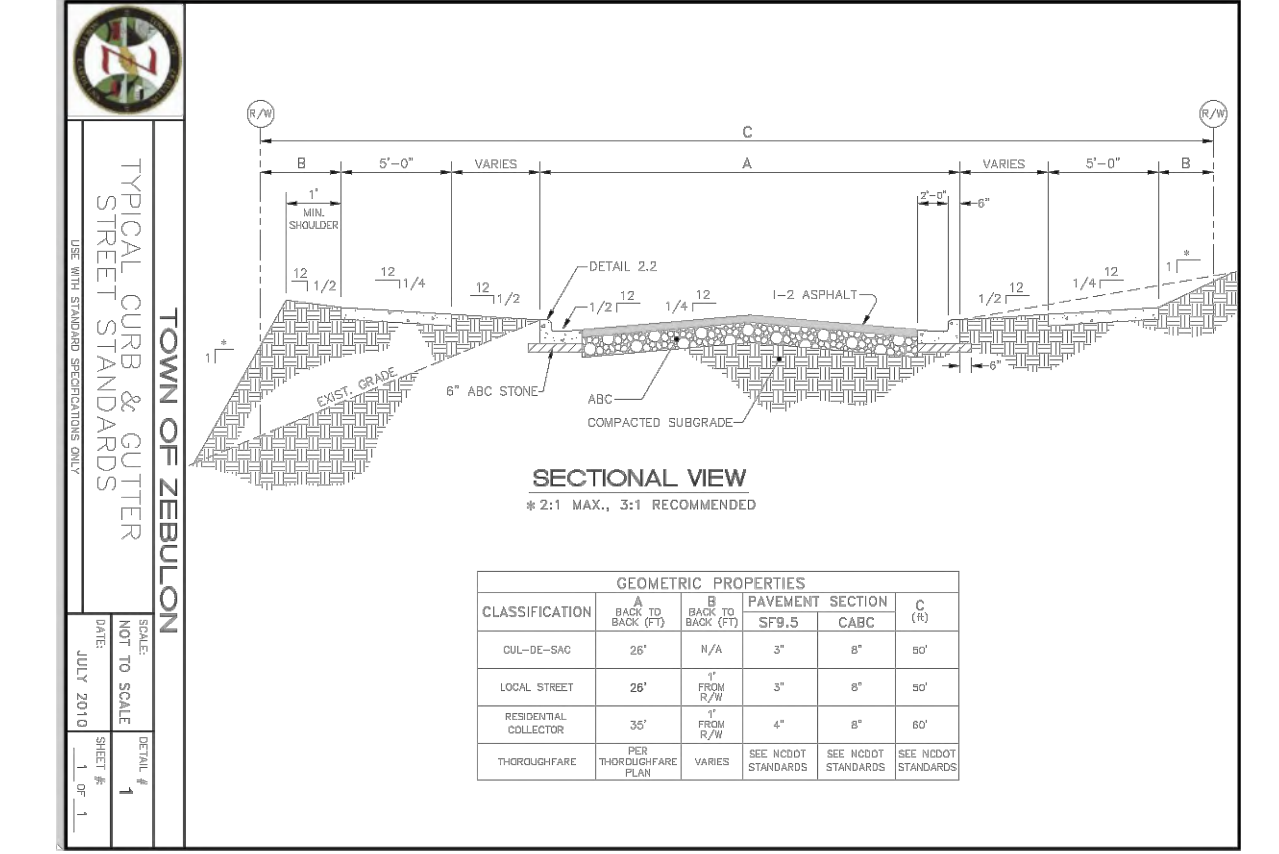
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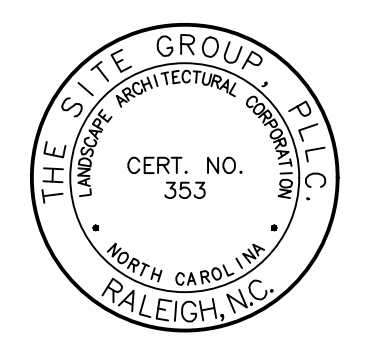
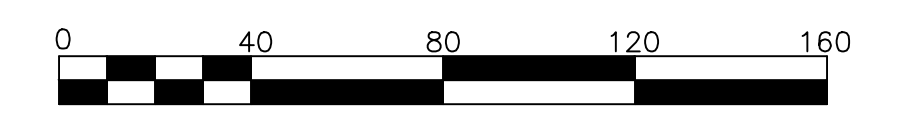
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NORTH SUBDIVISION LAYOUT PLAN

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NO ENGINEERING LICENSE NO. P-0803



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 THE SITE GROUP, PLLC
 111 S. COLEMAN ST., 27055-1136 USA
 Raleigh, NC 27605-1136 USA
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 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

DATE:
 07 NOV 2022
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 24 AUG 2023
 21 NOV 2023
 12 DEC 2023
 08 JAN 2024

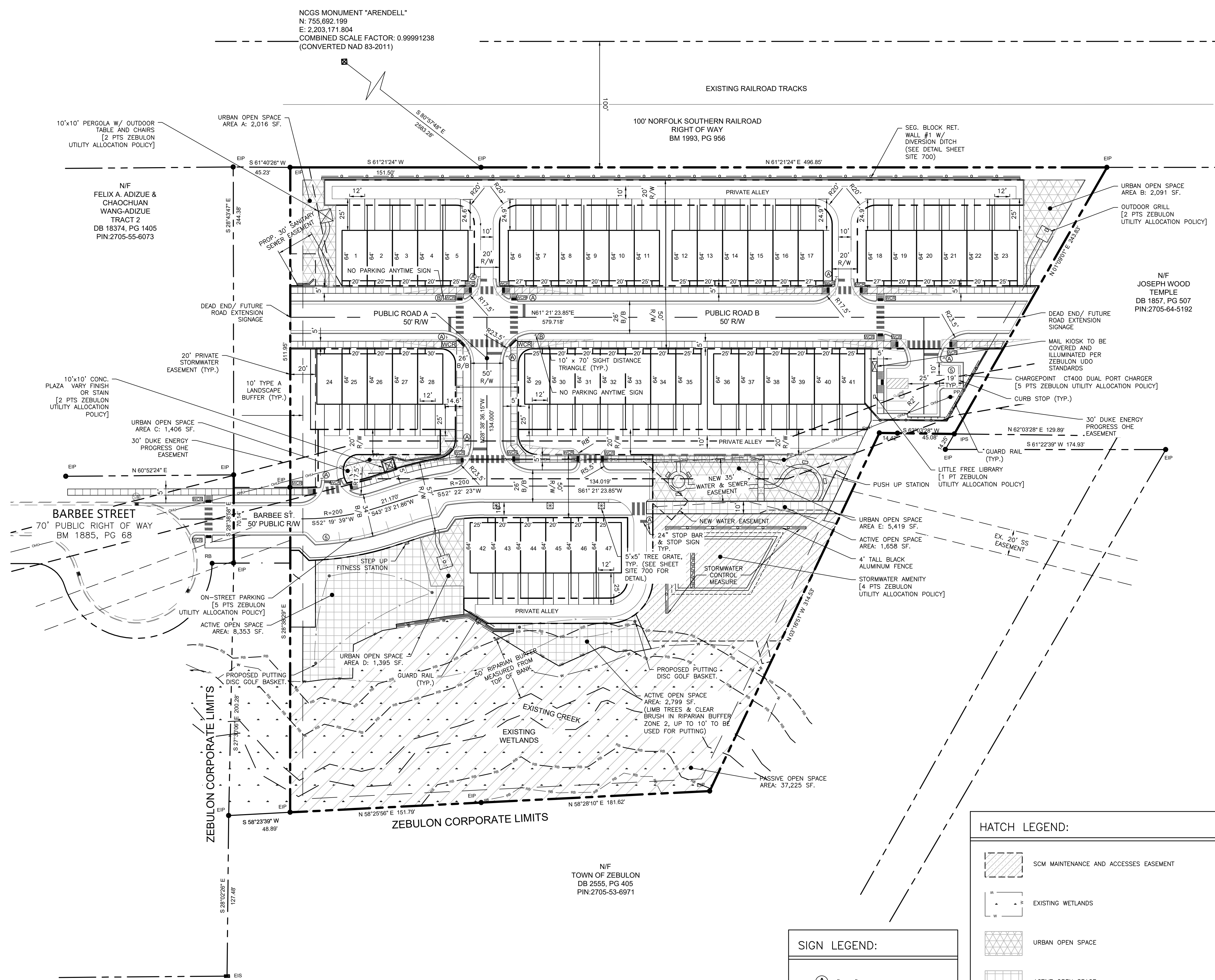
CONSTRUCTION DRAWINGS

SUBDIVISION LAYOUT PLAN

Job Code: **SCBSZ**

Dwg No. **SITE 200**

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HATCH LEGEND:

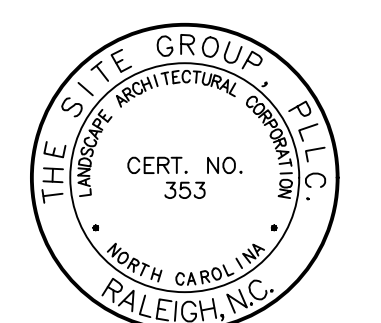
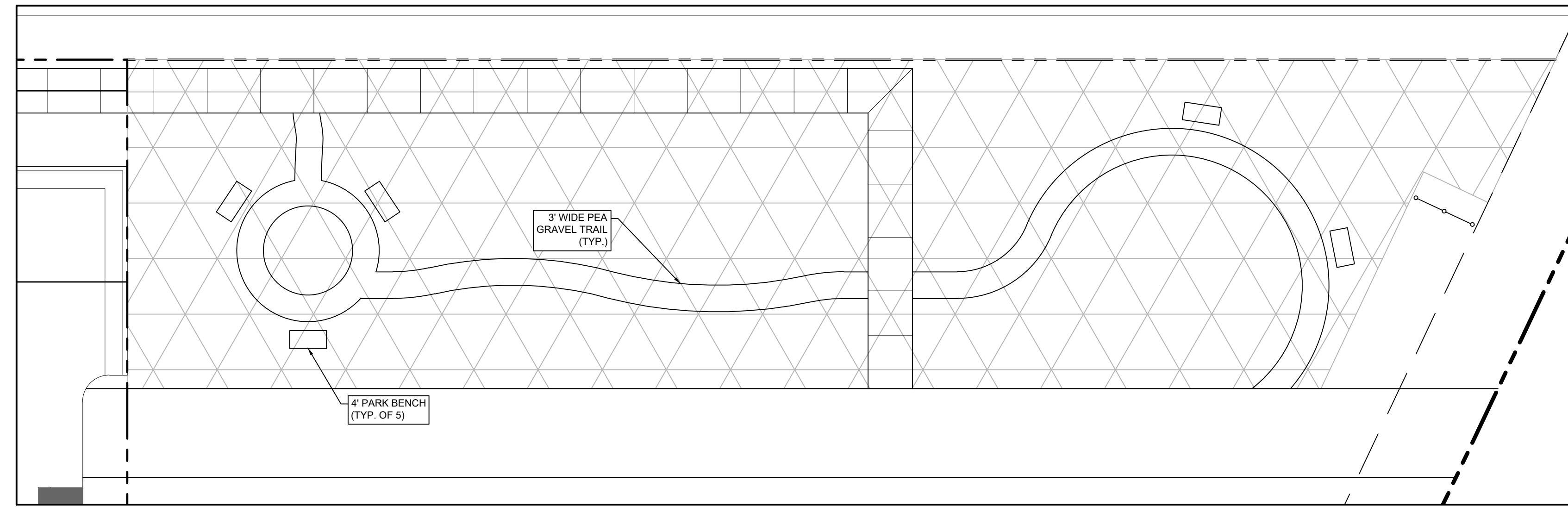
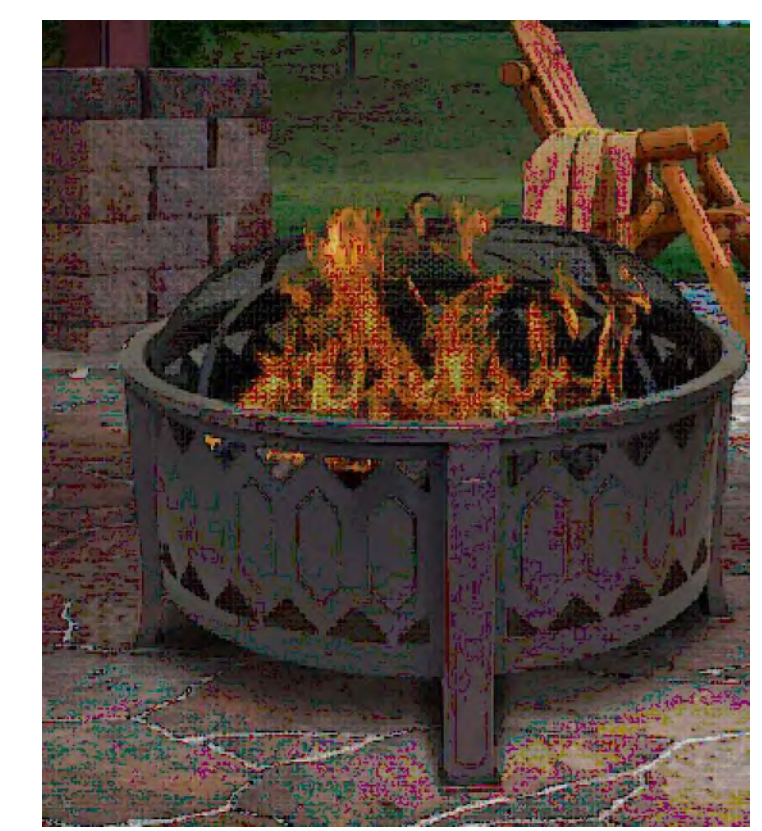
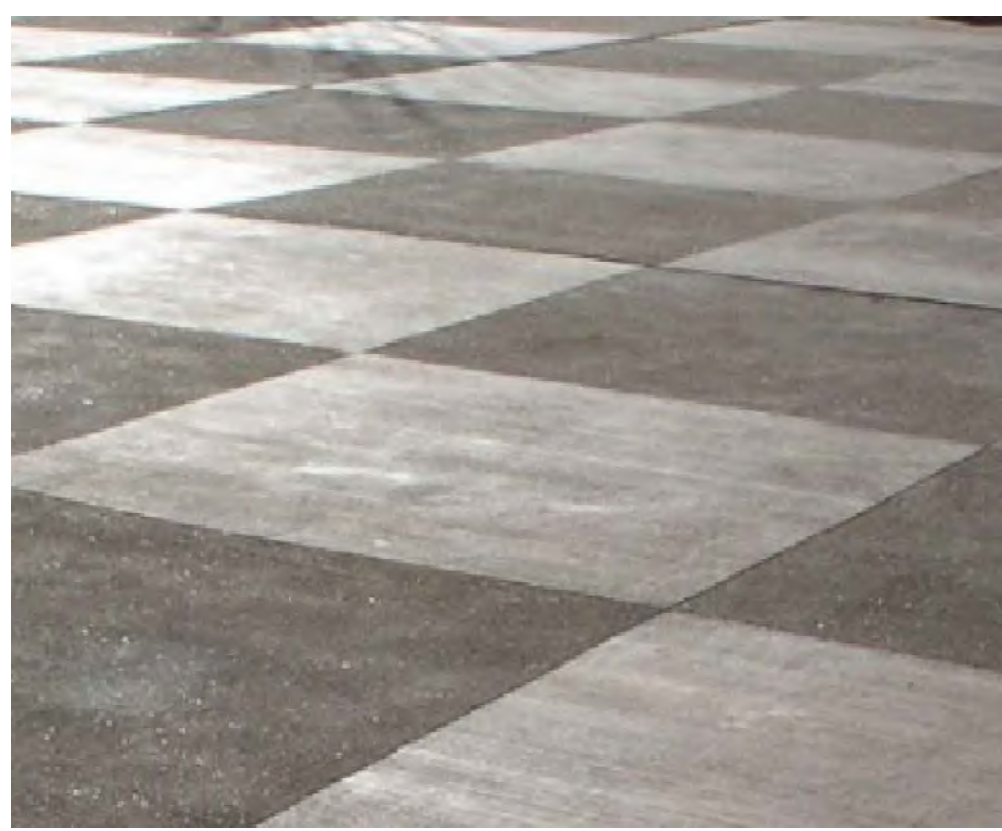
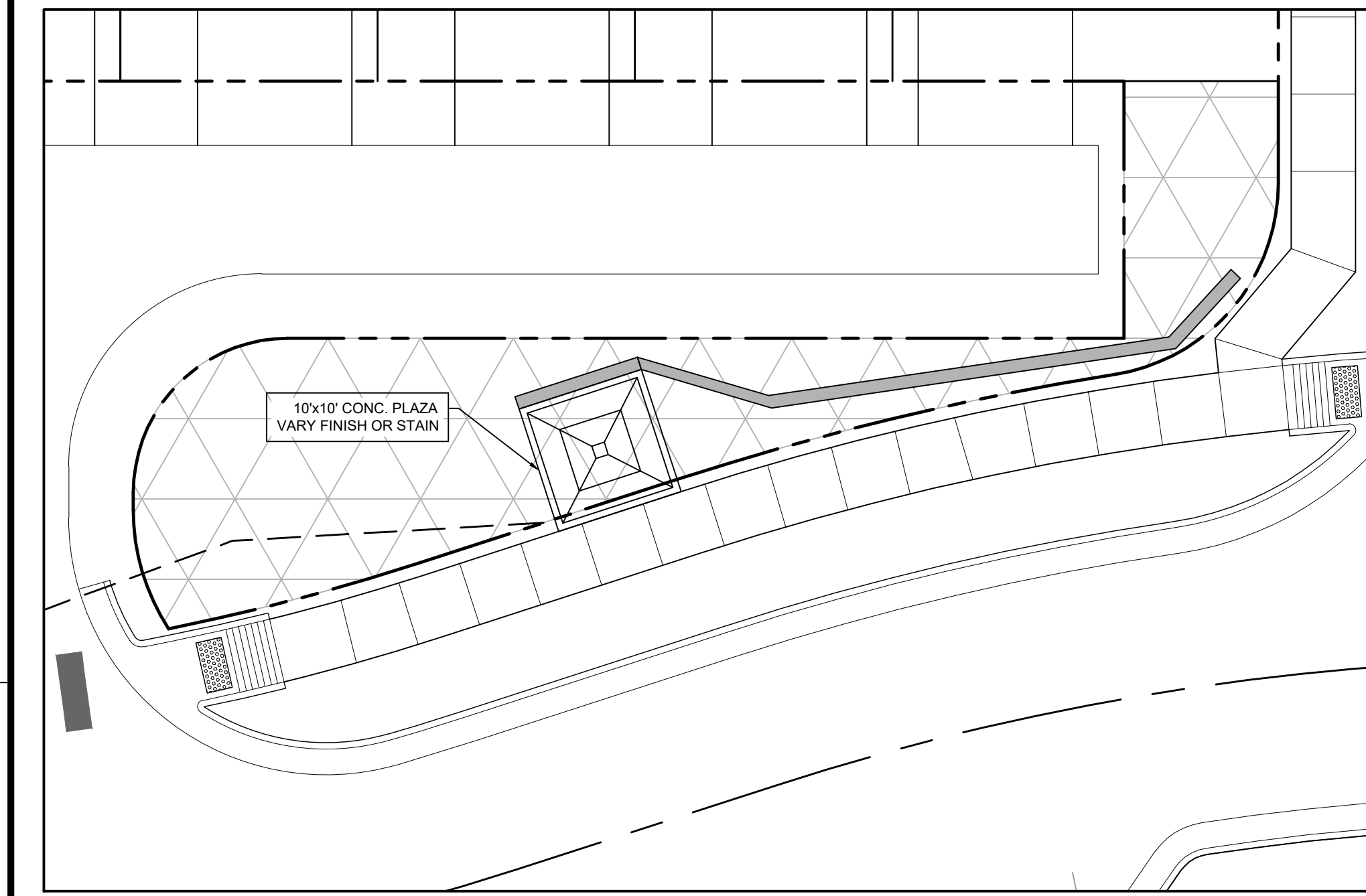
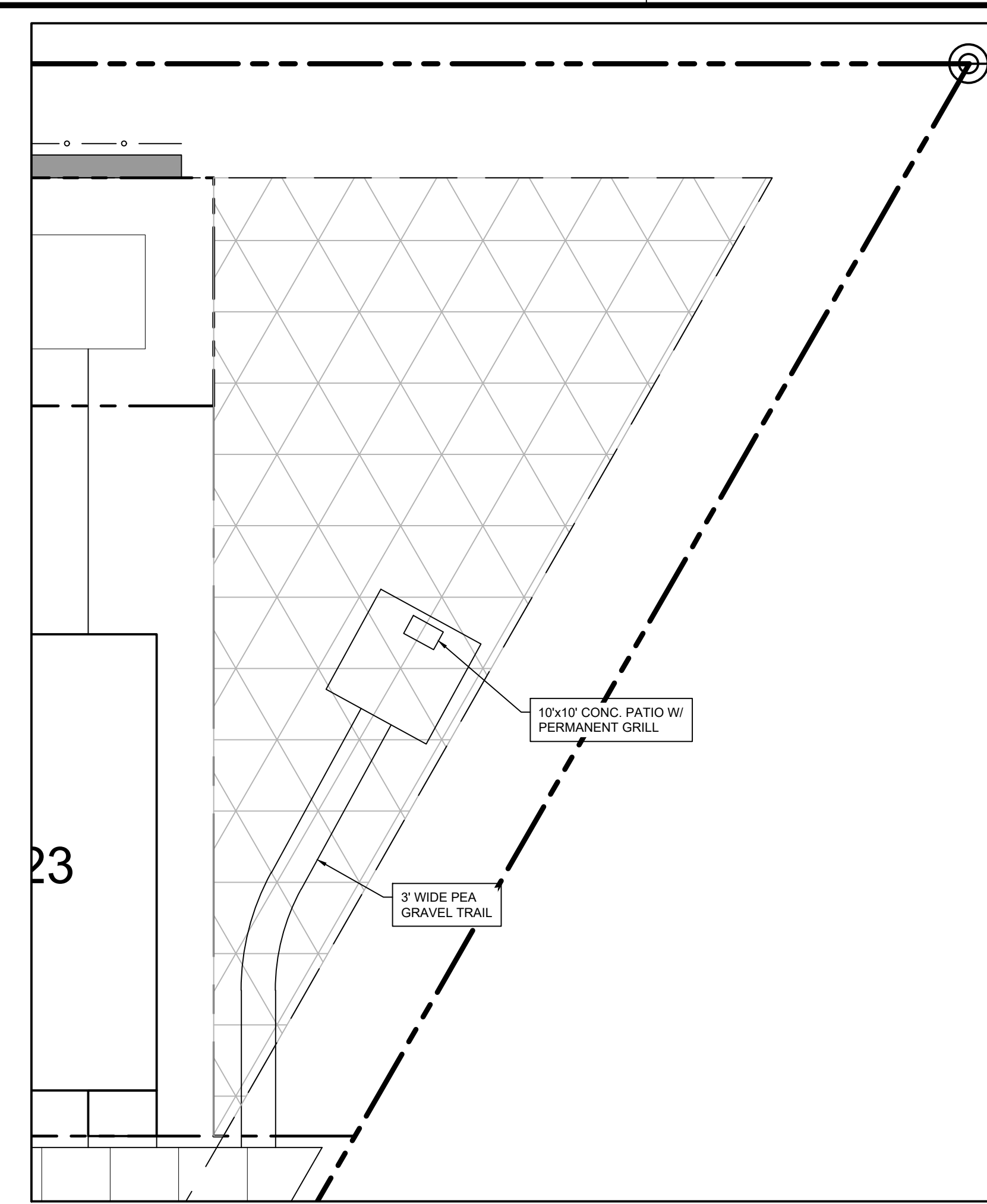
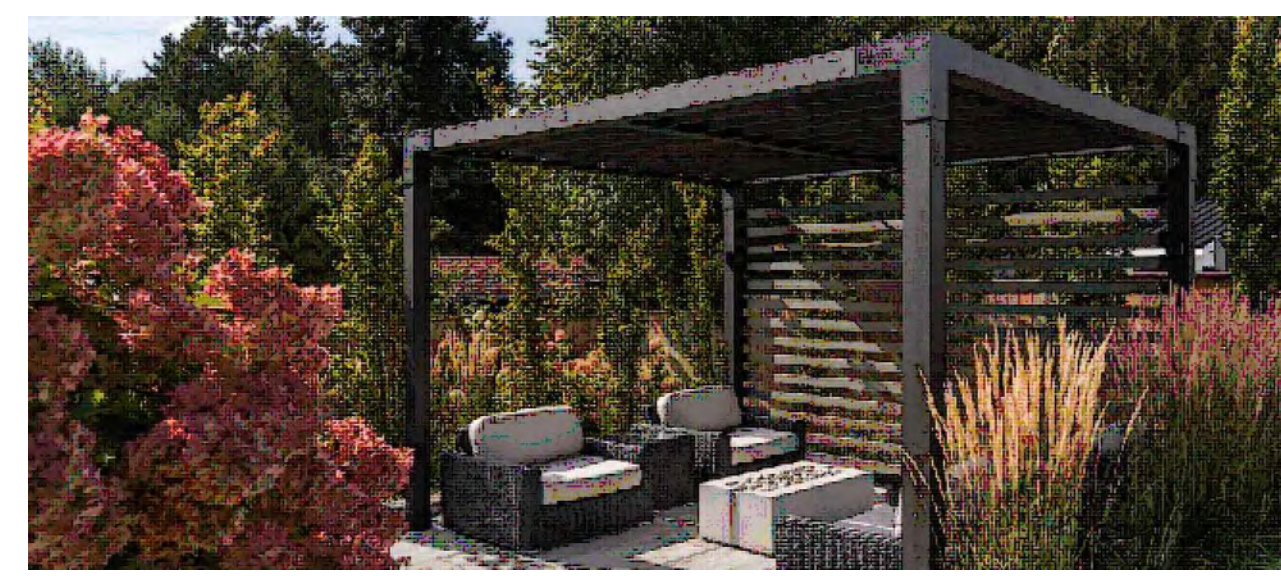
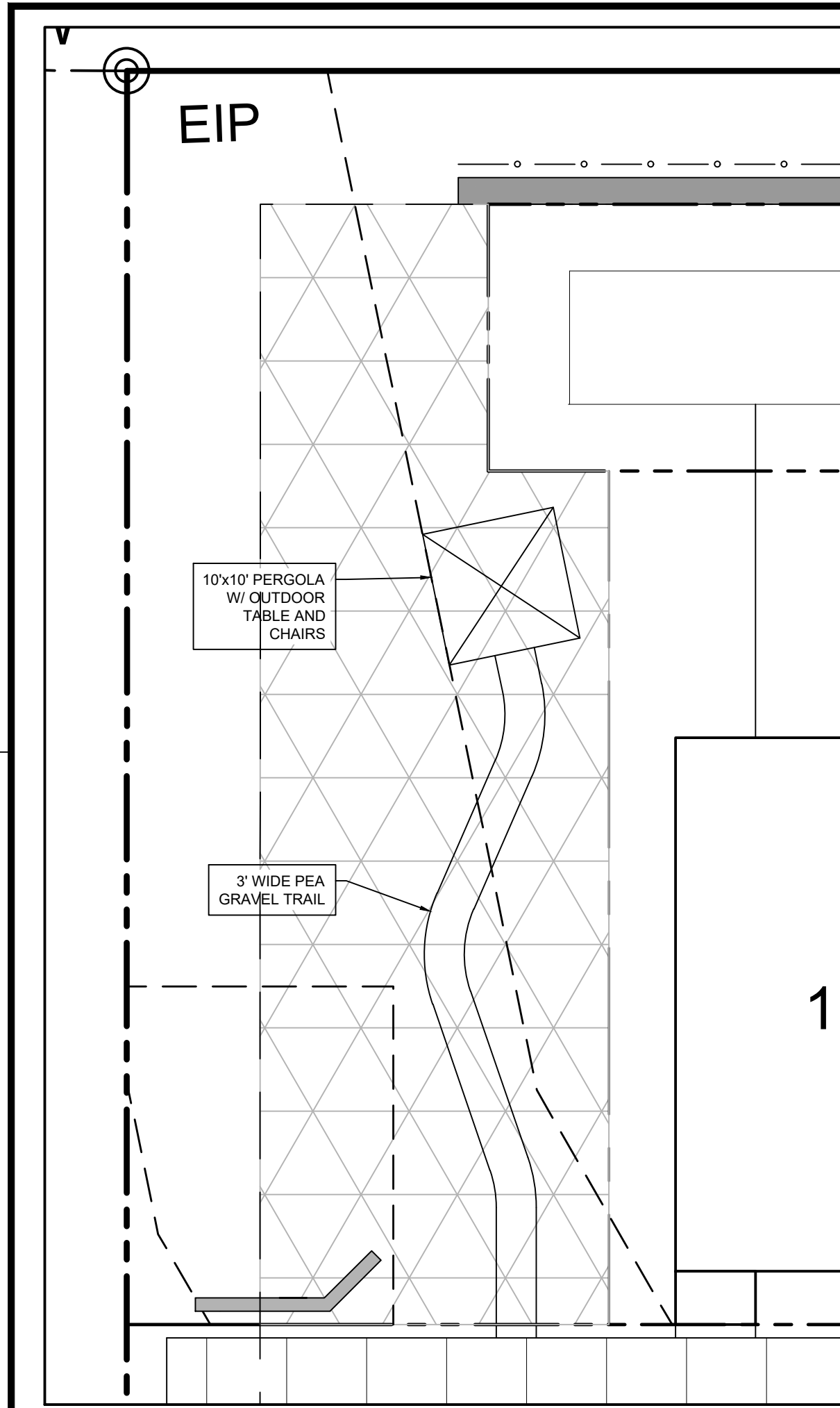
- SCM MAINTENANCE AND ACCESSES EASEMENT
- EXISTING WETLANDS
- URBAN OPEN SPACE
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE

SIGN LEGEND:

- (A) "STOP" SIGN
- (B) "NO PARKING ANY TIME" SIGN

NCGS MONUMENT "ARENDELL"
 N: 755,692.199
 E: 2,203,171.804
 COMBINED SCALE FACTOR: 0.99991238
 (CONVERTED NAD 83-2011)

N/T
 TOWN OF ZEBULON
 DB 2555, PG 405
 PIN: 2705-53-6971



THE SITE GROUP
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 THE SITE GROUP, PLLC.
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 Office: 919.835.4787
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 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

DATE: 09 MAY 2023
 REVISED:
 ▲ 24 AUG 2023
 ▲ 21 NOV 2023

CONSTRUCTION DRAWINGS

URBAN OPEN SPACE PLAN

Job Code: SCBSZ

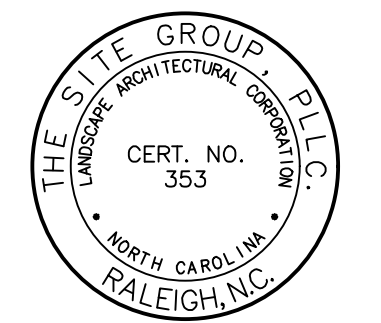
Dwg No. **SITE 201**

PLAN: 1"=10'

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GRADING NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF ZEBULON AND WAKE COUNTY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF BUFFERS AND STREETSCAPES, THE CONTRACTOR SHALL CUT MIN. 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR, THE TREE ROOTS. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL THE SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
- ALL STORM DRAIN FRAMES GRATES & HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS.
- ALL RISER STRUCTURES AND BARRELS MUST BE ON SITE BEFORE THE GRADING PERMIT IS ISSUED.
- THIS PROJECT WILL REQUIRE A PRE-CONSTRUCTION CONFERENCE BEFORE THE GRADING PERMIT IS ISSUED.
- ALL CUT AND FILL SLOPE THAT IS (2:1) OR GREATER SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES. SLOPES GREATER THAN THREE TO ONE (3:1) SHALL NOT BE STABILIZED WITH TURF GRASS BUT MUST BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE. WEEPING LOVE GRASS, RED FESCUE OR OTHER APPROVED VARIETY.
- THE ESTABLISHMENT OF PERMANENT GROUND COVER WILL BE ESTABLISHED IN 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICH EVER IS SHORTER. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- THE TREE PROTECTION FENCING ON THIS PROJECT WILL BE INSTALLED AND INSPECTED BEFORE THE GRADING PERMIT IS ISSUED. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
- THE PROJECT WILL MEET ALL OF THE REQUIREMENTS RELATIVE TO BEST MANAGEMENT PRACTICES AND ENGINEERED STORMWATER CONTROL STRUCTURES AS OUTLINED IN THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE.
- NO TIEBACKS FOR RETAINING WALLS WILL BE ALLOWED TO ENCRANCH INTO THE CITY OF RALEIGH PUBLIC UTILITY EASEMENT.
- RETAINING WALLS WILL REQUIRE A SEPARATE PERMIT FROM THE TOWN OF ZEBULON INSPECTIONS AND PERMITS DEPARTMENT.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- CURB INLET RIM ELEVATIONS REFER TO FLOW LINE. ADD 6" FOR TOP OF CURB ELEVATION.
- ALL STORM DRAIN FRAMES, GRATES AND HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS.
- RISER STRUCTURES AND BARRELS MUST BE ON SITE BEFORE THE GRADING PERMIT IS ISSUED.



NC ENGINEERING LICENSE NO. P-0803



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, P.L.L.C.
 1111 W. NC HIGHWAY 27605-1136 USA
 Raleigh, NC 27605-1136
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

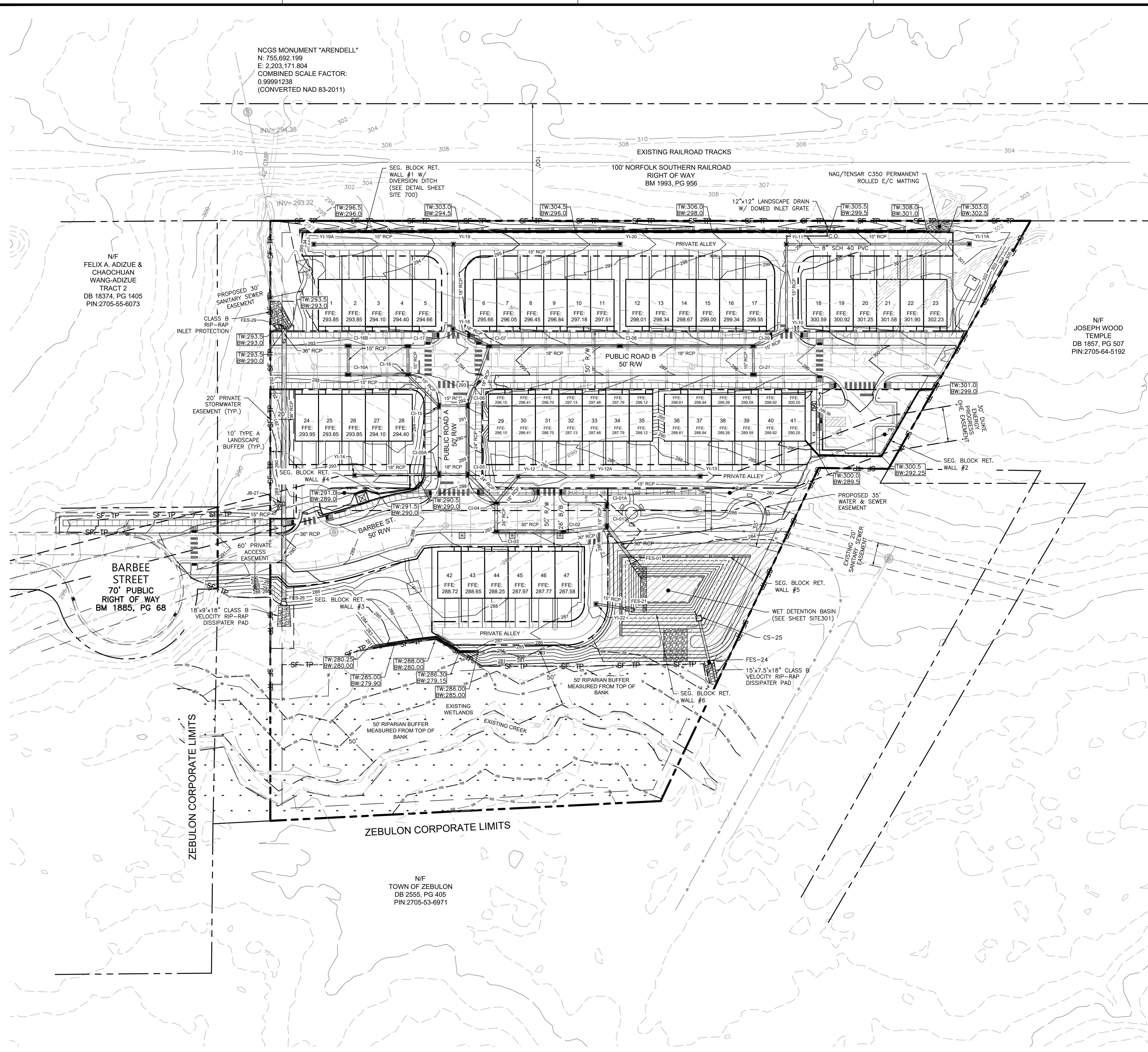
DATE: 07 NOV 2022
 REVISED:
 03 FEB 2023
 09 MAY 2023
 24 AUG 2023
 21 NOV 2023
 12 DEC 2023
 08 JAN 2024

CONSTRUCTION DRAWINGS

GRADING PLAN

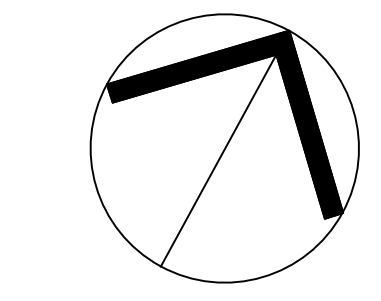
Job Code: **SCBSZ**

Dwg No. **SITE 300**



HATCH LEGEND:

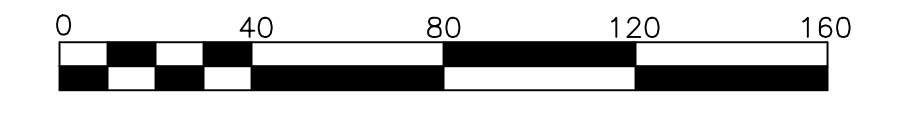
- SCM MAINTENANCE AND ACCESS EASEMENT
- EXISTING WETLANDS
- ROLLED E/C MATTING



NORTH
 GRADING
 PLAN

DISTURBED AREA
 202,385 SF / 4.65 AC

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NGS MONUMENT "ARENDELL"
 N: 755,892.199
 E: 2,203,171.804
 COMBINED SCALE FACTOR:
 0.99991238
 (CONVERTED NAD 83-2011)

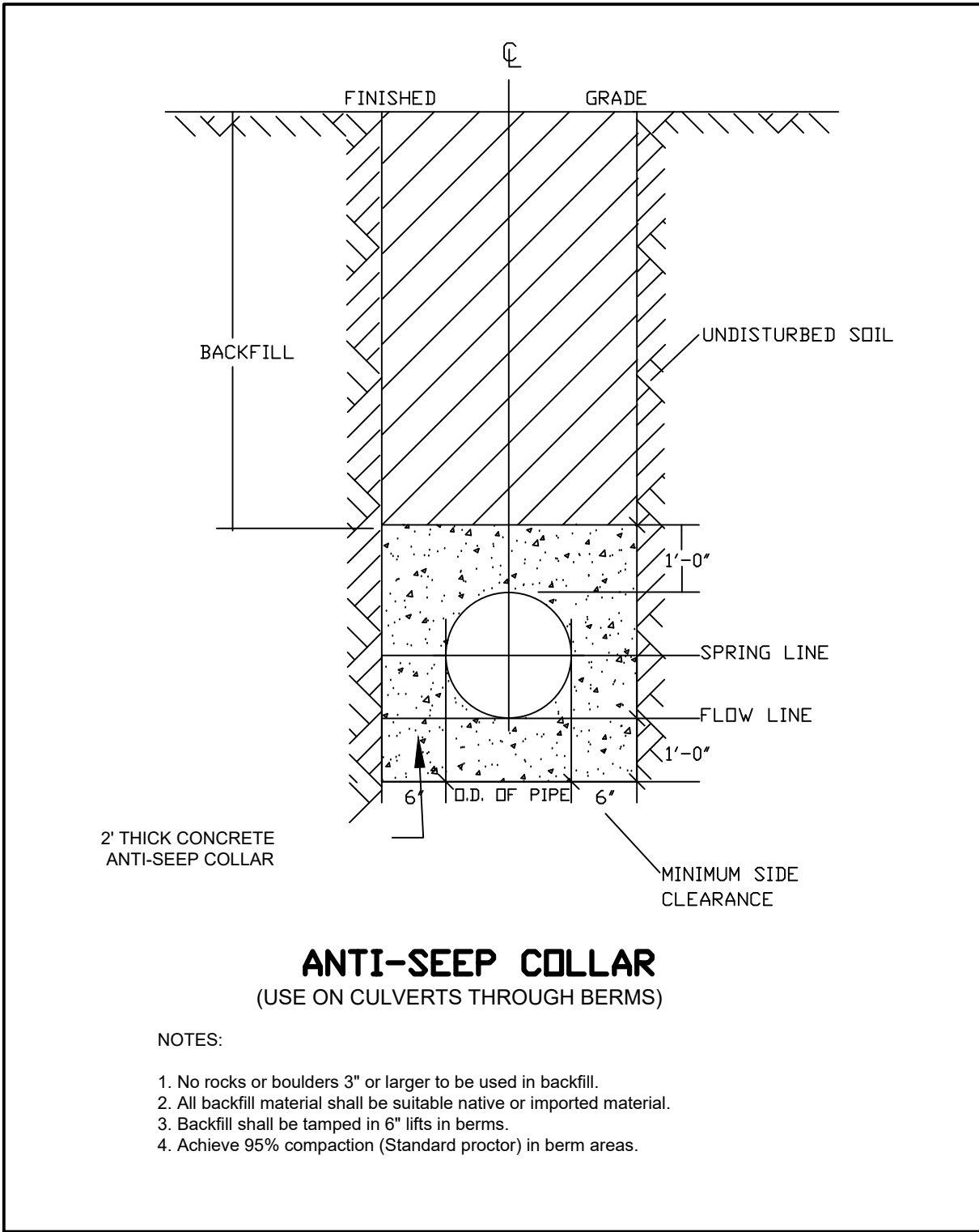
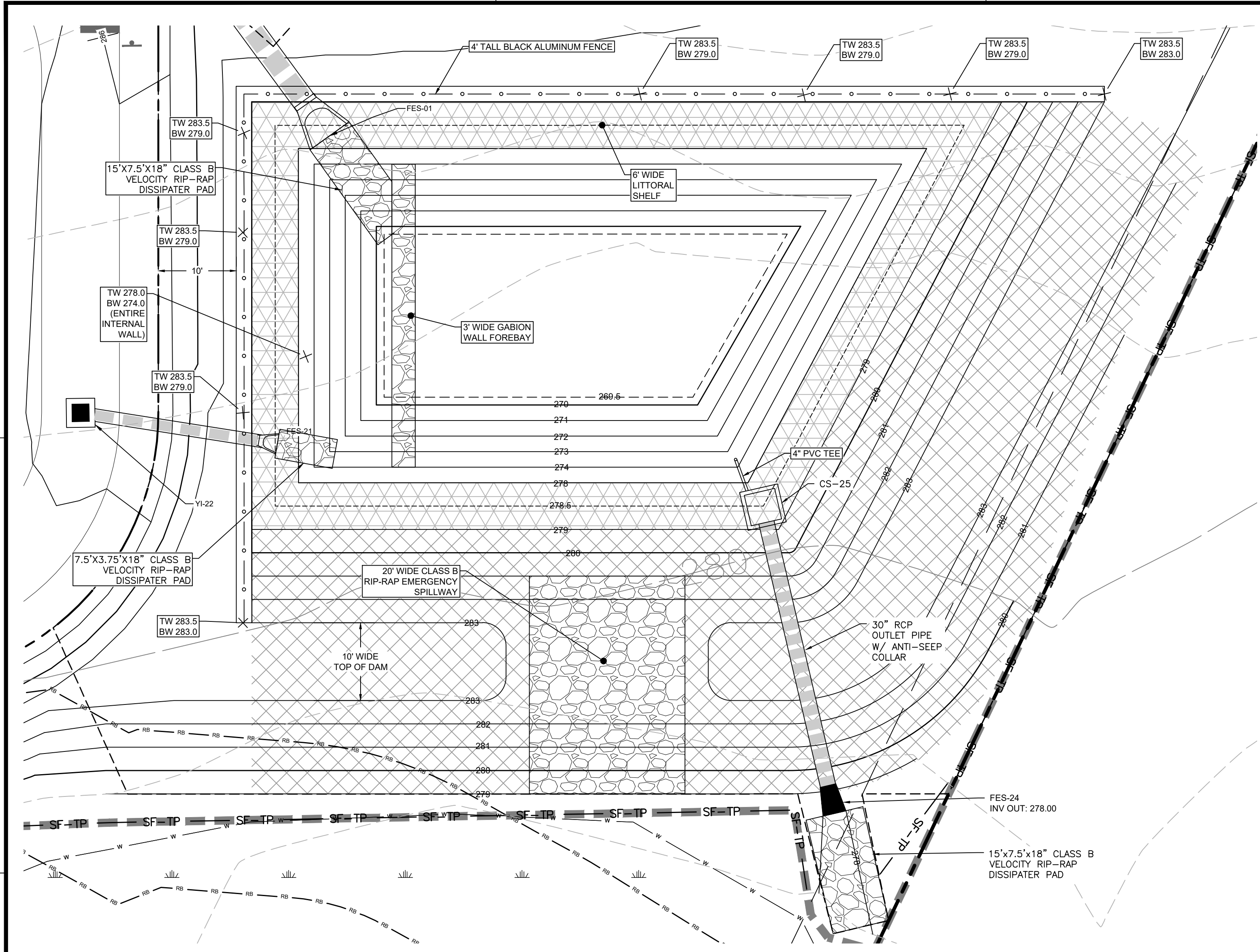
N/F FELIX A. ADIZUE & CHAOCHUAN WANG-ADIZUE TRACT 2 DB 18374, PG 1405 PIN:2705-55-6073

N/F JOSEPH WOOD TEMPLE DB 1857, PG 507 PIN:2705-64-5192

BARBEE STREET 70' PUBLIC RIGHT OF WAY BM 1885, PG 68

ZEBULON CORPORATE LIMITS

N/F TOWN OF ZEBULON DB 2555, PG 405 PIN:2705-53-6971



ANTI-SEEP COLLAR
(USE ON CULVERTS THROUGH BERMS)

NOTES:
 1. No rocks or boulders 3" or larger to be used in backfill.
 2. All backfill material shall be suitable native or imported material.
 3. Backfill shall be tamped in 6" lifts in berms.
 4. Achieve 95% compaction (Standard proctor) in berm areas.

WET POND STAGE-STORAGE & DESIGN SUMMARY

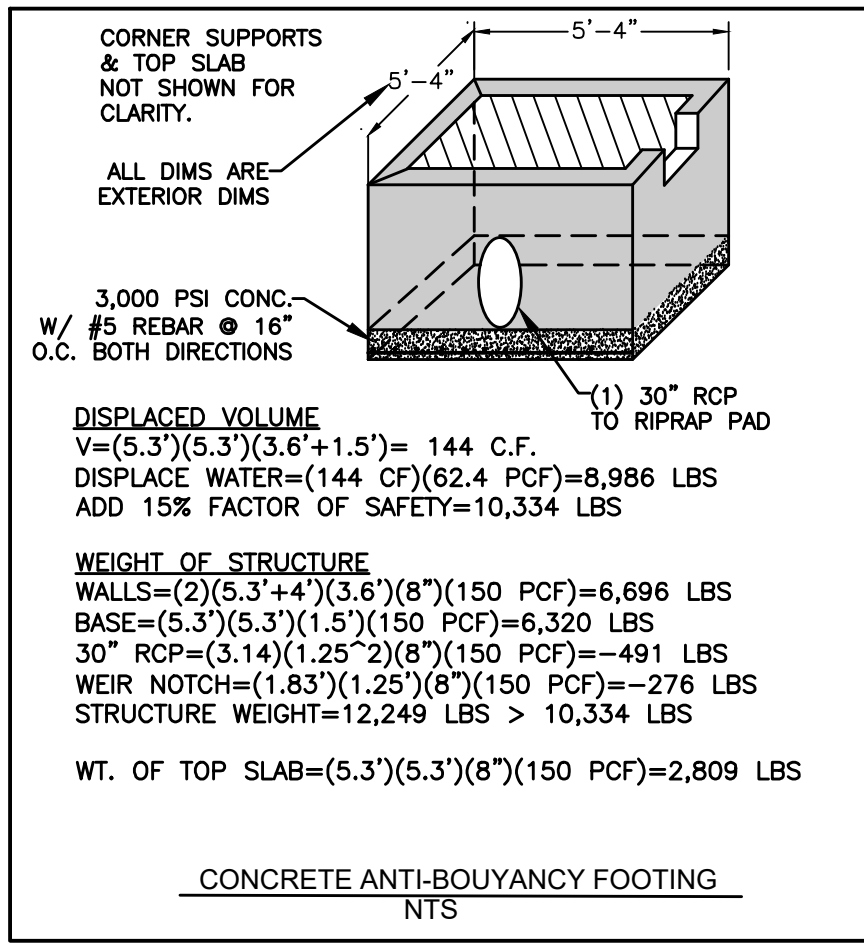
SCM #1 - WETPOND SIZING CALCULATIONS
(Drainage Area #1)

Total Impervious Landcover:	2.630							
Total Drainage Area (DA):	3.900							
Percent of Impervious in Drainage Area (I):	67%							
Calculate the required storage volume (Rv) for the 1" first flush storm event: $R_v = 0.05 + (0.009)I$ Where I = Percent of impervious from above.	0.653							
Calculate the required drainage volume from the 1" storm to be controlled: $WQ_v = (\text{design rainfall})(R_v)(\text{Drainage Area})$ $WQ_v = 3630 * R_d * R_v * A$	Required WQV = 9,245 C.F. Provided WQV = 9,269 C.F.							
Calculate the Wet Pond Dimensions:								
Elev.	Tot. Inc. SA	Forebay	Mainpool	FB Inc. Vol.	MP Inc. Vol.	Disc.	Inc. Vol.	Total Vol.
283	6176	1306	4870	1277	4590		5866	38942
282	5738	1247	4491	1218	4309		5527	33076
281	5316	1189	4127	587	2020		2507	27549
280.5	5111	1160	3951	573	1932	WQv	2505	24942
280	4909	1131	3778	1102	3609		4710	22437
279	4511	1072	3439	470	1584	A-top shelf	2054	17727
278.5	3704	807	2897	347	1324	A-perm pool	1670	15673
278	2977	580	2397	485	2212	A-bot shelf	2697	14003
277	2417	390	2027	390	2027		2417	11306
276	2417	390	2027	390	2027		2417	8889
275	2417	390	2027	390	2027		2417	6472
274	2417	390	2027	335	1883		2218	4055
273	2019	280	1739	233	1604		1837	1837
272	1655	186	1469	147	1344		0	0
271	1326	108	1218	77	1102		0	0
270	1032	46	986	0	0	0 Sed Cleanout		
269.5						A-bot pond		
				2794	15549		18%	Forebay to Main Pool Volume
							11,306	V-perm pool
							9,269	V-water quality pool
							5.37	d-ave
							6.40	d-ave
							6.40	(use greater)
							6	(rounded down to nearest 0.5')
							1.49	SA/DA

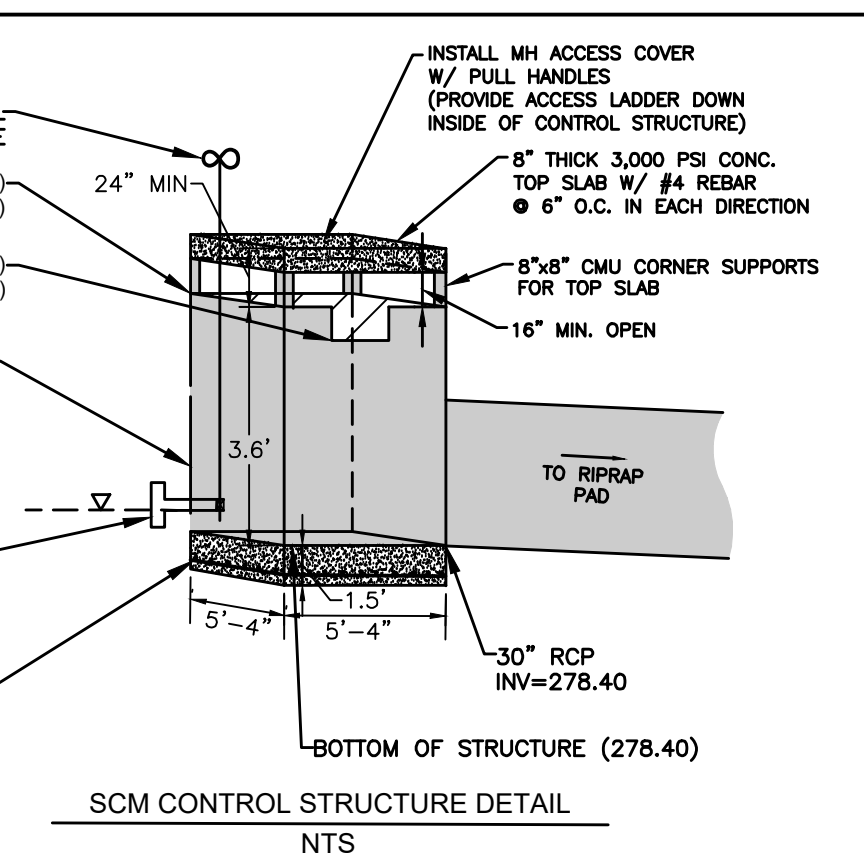
Required SA 2,531 S.F.
 Provided SA 2,897 S.F.

SCM CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ZEBULON AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- THE PROJECT WILL MEET ALL REQUIREMENTS RELATIVE TO BEST MANAGEMENT PRACTICES AND ENGINEERED STORMWATER CONTROL STRUCTURES AS OUTLINED IN THE NCDEQ STORMWATER DESIGN MANUAL.
- THE CONTRACTOR SHALL WARRANTY ALL PLANTED MATERIALS FOR A PERIOD OF 2 YEARS FROM DATE OF INSTALLATION. AT THE END OF THE FIRST YEAR AND AT THE END OF THE SECOND YEAR, THE CONTRACTOR SHALL REPLACE ALL PLANTS WHICH DO NOT SURVIVE. ANY HEALTHY PLANTS DAMAGED DURING PLANT REPLACEMENT SHALL ALSO BE REPLACED.
- SOIL BELOW ELEVATION 345.00 SHALL BE TESTED BY THE USDA AGRICULTURAL EXTENSION OFFICE FOR pH, WHICH MUST FALL BETWEEN 5.5 AND 7.0. TESTS SHALL ALSO BE PERFORMED FOR NUTRIENTS SUCH AS NITROGEN, PHOSPHORUS, AND POTASSIUM, AND FOR MINERALS SUCH AS CHELATED IRON AND LIME. AMENDMENTS TO SOIL RECOMMENDED BY USDA SHALL BE INCORPORATED INTO SOIL TO PROMOTE VIGOROUS VEGETATION AND PLANT GROWTH. RECORDS OF TESTS AND AMENDMENTS PROVIDED BY CONTRACTOR SHALL BE PROVIDED TO THE ENGINEER.
- LANDSCAPING PLANTINGS SHOWN HEREON SHALL BE INSTALLED DURING FALL SEASON OR EARLY WINTER IF POSSIBLE FOR MAXIMUM PLANT SURVIVABILITY.
- THE CONTRACTOR OR OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OF THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR BASINS SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS AVAILABLE UPON REQUEST.



CONCRETE ANTI-BOUYANCY FOOTING
NTS



SCM CONTROL STRUCTURE DETAIL
NTS

Table 1: Clay Liner Specifications (Source: VADCR, 1999).

Property	Test Method	Unit	Specification
Permeability	ASTM D-2434	Cm/sec	1 x 10 ⁻⁶
Plasticity Index of Clay	ASTM D-423/424	%	Not less than 15
Liquid Limit of Clay	ASTM D-2216	%	Not less than 30
Clay Particles Passing	ASTM D-422	%	Not less than 30
Clay Compaction	ASTM D-2216	%	95% of standard proctor density

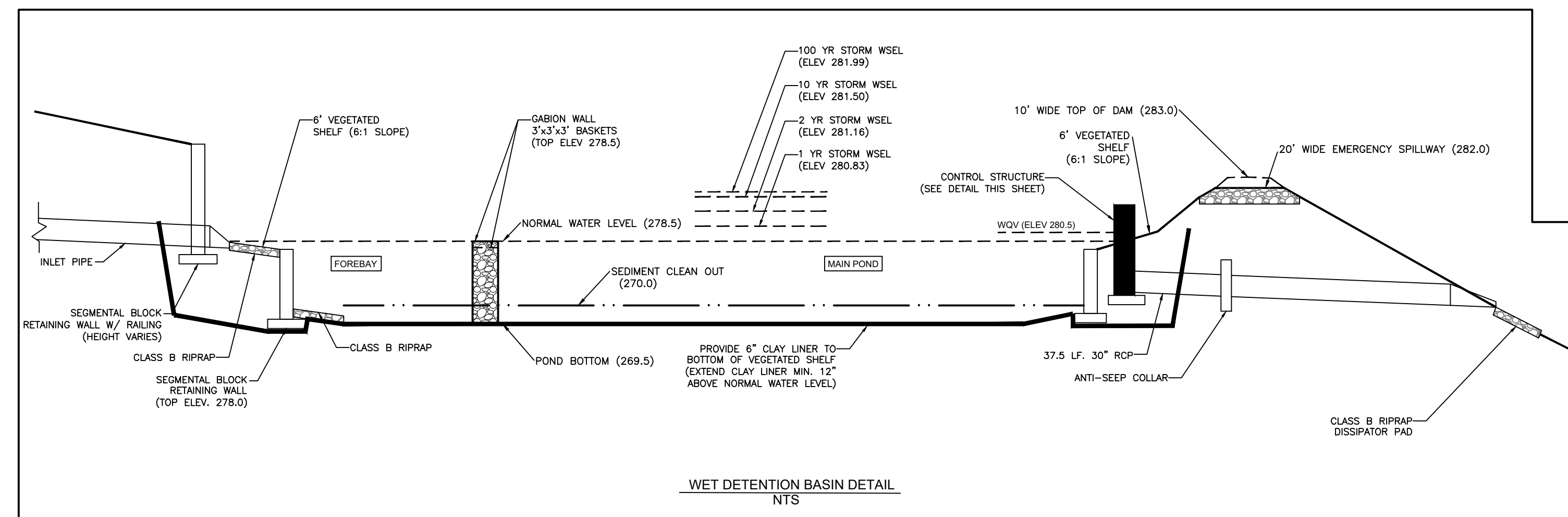
GRADING CONTRACTOR MUST DOCUMENT CLAY LINER AND VERIFY MATERIAL WITH GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO ENSURE POND HOLDS WATER. STRUCTURAL ENGINEER FOR RETAINING WALLS AND GEOTECHNICAL ENGINEER TO DESIGN CLAY LINER LOCATION SUCH THAT SEGMENTAL WALL BACKFILL DOES NOT DRAIN POND.

WET POND PLANTING LEGEND

CENTIPEDE GRASS (4,371 SF.)	
LITTORAL SHELF PLANTINGS (1,535 SF.)	

WET POND PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
WET POND LITTORAL SHELF - 1,535 SF (200 x 50 = 384 PLUGS REQUIRED)				
CT	96	Carex tenera*	Quill Sedge	3" x 2.5" SQUARE PLUGS (MIN)
EM	96	Eupatoriadelphus maculatus	Spotted trumpetweed	3" x 2.5" SQUARE PLUGS (MIN)
PV	96	Peltandra virginica	Arrow arum	3" x 2.5" SQUARE PLUGS (MIN)
SA	96	Schoenoplectus americanus	Three-square bulrush	3" x 2.5" SQUARE PLUGS (MIN)
SLOPE STABILIZATION GRASSES				
CENTIPEDE GRASS	4,371 SF	Eremochloa ophiuroides		SEED AT 50 LBS. PER ACRE



WET DETENTION BASIN DETAIL
NTS



NC ENGINEERING LICENSE NO. P-0803



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1000 N. W. 27th St., Suite 1136
 Raleigh, NC 27605-4787
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: WRR
 Checked By: SRN

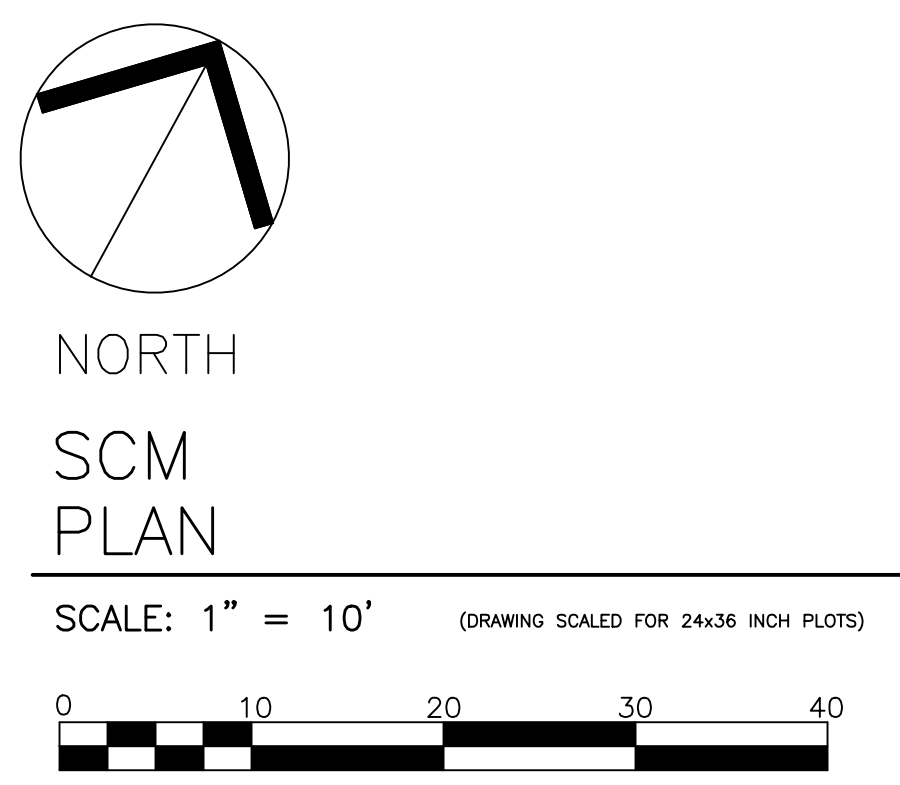
DATE: 07 NOV 2022
 REVISED:
 03 FEB 2023
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 24 AUG 2023
 21 NOV 2023

CONSTRUCTION DRAWINGS

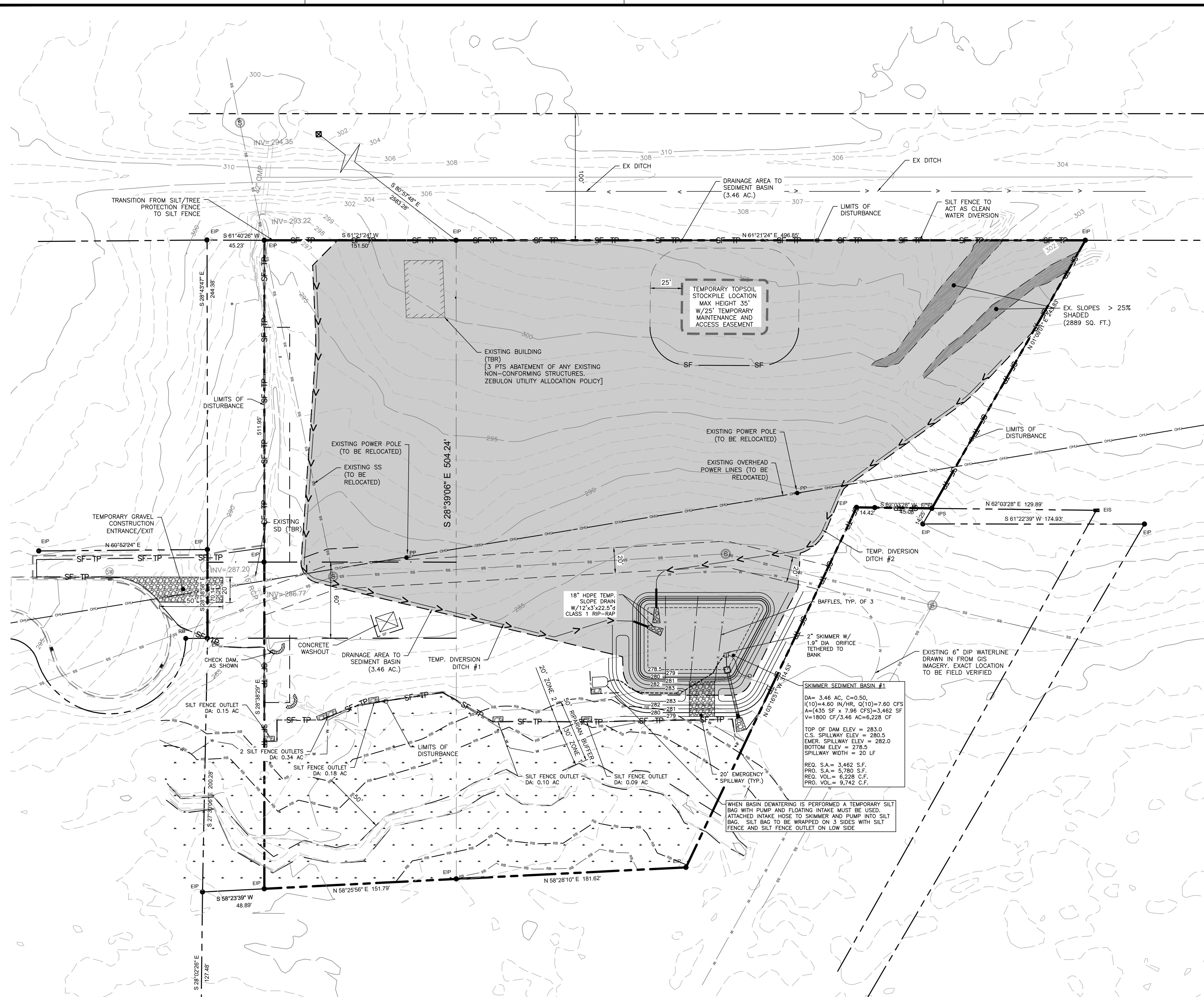
SCM PLAN

Job Code: SCBSZ

Dwg No. SITE 301



SCALE: 1" = 10' (DRAWING SCALED FOR 24x36 INCH PLOTS)



EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.
- EXISTING CONDITION INFORMATION SHOWN IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, PLLC DATED JUNE 1, 2022.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OR ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
- TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREA(S) WITHOUT WRITTEN AUTHORIZATION OF THE TOWN'S ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA, SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN'S ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.

CONSTRUCTION SEQUENCE (PHASE 1):

- OBTAIN A LAND DISTURBING PERMIT.
- PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTOR TO SCHEDULE AN ON-SITE PRECONSTRUCTION MEETING.
- CLEAR ONLY AS NECESSARY TO INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE INITIAL EROSION CONTROL PLAN (PHASE 1):
 - INSTALL CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCING AND SILT FENCE OUTLETS.
 - INSTALL DIVERSION DITCHES.
 - INSTALL SEDIMENT SKIMMER BASIN.
- MAINTAIN EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- SCHEDULE A SITE INSPECTION THROUGH WAKE COUNTY.
- UPON APPROVAL OF THE STORMWATER SITE INSPECTION, DEMOLISH EXISTING STRUCTURES AS DETAILED ON EXISTING CONDITION AND DEMOLITION PLAN.
- PROCEED TO PHASE 2 OF THE EROSION CONTROL SEQUENCE. SEE SITE 302A

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE

- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WAKE COUNTY ENVIRONMENTAL CONSULTANT. OBTAIN A LAND DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

NPDES GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

STOCKPILE MAINTENANCE REQUIREMENTS:

- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

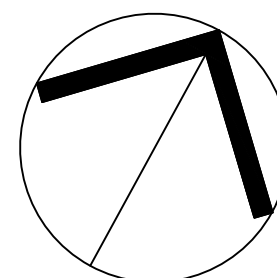
EROSION CONTROL LEGEND

	EXISTING MINOR TOPO		SILT FENCE
	EXISTING MAJOR TOPO		TEMPORARY CHECK DAM
	EXISTING GAS LINE		TEMPORARY CONSTRUCTION ENTRANCE
	EXISTING STORM DRAINAGE		SILT FENCE OUTLET
	EXISTING RIPARIAN BUFFER		INLET PROTECTION
	PROPOSED SILT/TREE PROTECTION FENCE		
	PROPOSED LIMITS OF DISTURBANCE		
	TREE PROTECTION FENCE		

DRAINAGE SWALE CHART

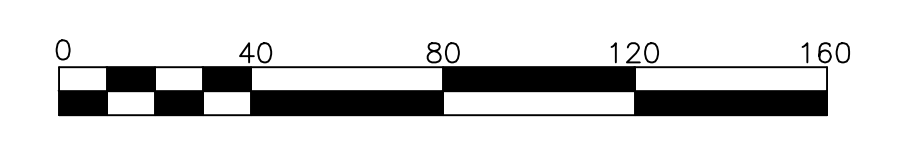
Swale Number	Swale Bottom Width (ft)	Side Slope	Depth of Swale (ft)	Channel Slope (ft/ft)	Depth of Flow Q10 (in)	Velocity Q10 (fps)	Temporary Liner	Permanent Liner
1	1	2	1	0.0280	7.0	4.3	S75	N/A
2	1	2	1	0.0530	5.9	5.4	SC150	N/A

DISTURBED AREA
202,385 SF / 4.65 AC



INITIAL EROSION CONTROL PLAN - PH 1

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NC ENGINEERING LICENSE NO. P-6803



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
1114 100th St
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.835.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: WRR
Checked By: SRN

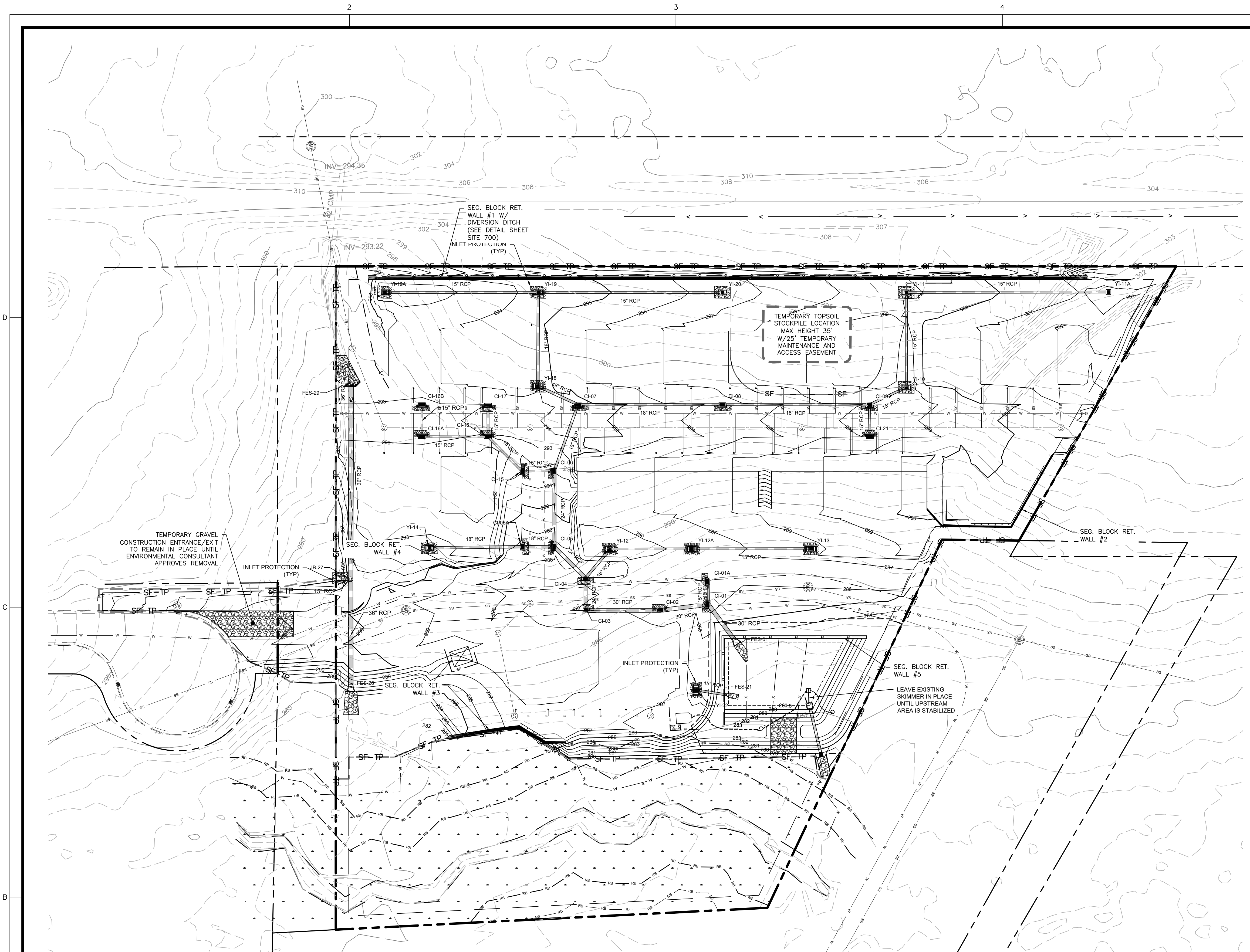
DATE:
07 NOV 2022
REVISED:
03 FEB 2023
09 MAY 2023
24 AUG 2023
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CONSTRUCTION DRAWINGS

INITIAL EROSION CONTROL PLAN PHASE 1

Job Code: SCBSZ

Dwg No.
SITE 302



EROSION CONTROL NOTES

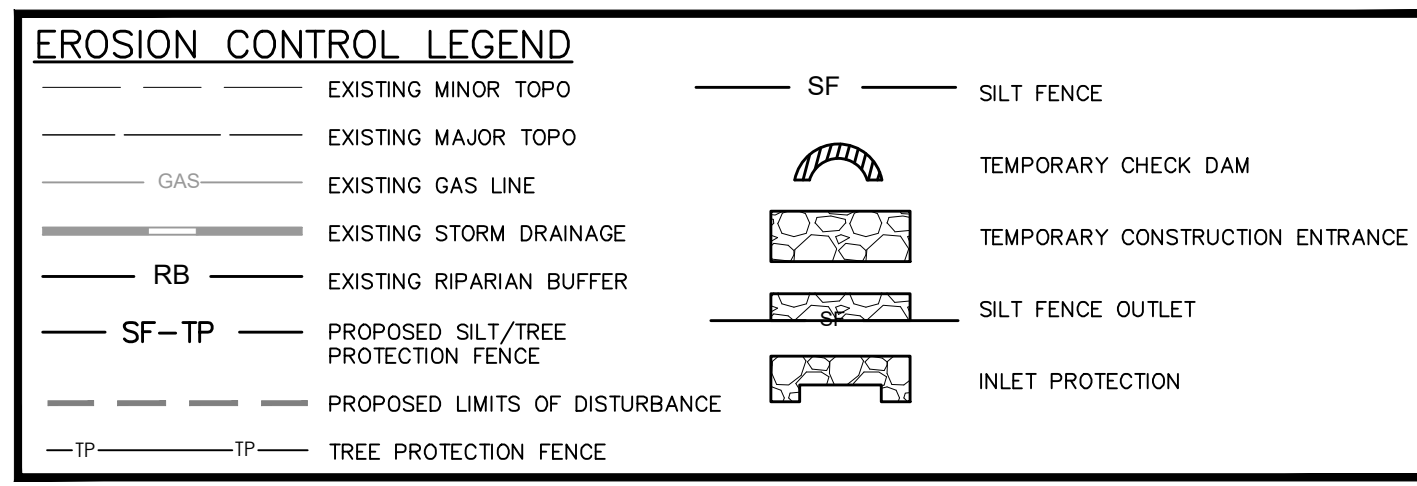
1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
2. EXISTING CONDITION INFORMATION SHOWN IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, PLLC DATED JUNE 1, 2022.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OR ANY DISCREPANCIES OR CONFLICTS.
4. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
6. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
7. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
8. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
9. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
10. TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREA(S) WITHOUT WRITTEN AUTHORIZATION OF THE TOWN'S ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA, SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN'S ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.

CONSTRUCTION SEQUENCE (PHASE 2):

- CONTINUED FROM SITE 302
1. COMMENCE PERMITTED LAND DISTURBING ACTIVITY.
 2. PROCEED WITH CLEARING, GRUBBING AND GRADING. ADJUST TEMPORARY DIVERSIONS AS REQUIRED.
 3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT BEFORE THEY ARE HALF FULL. CLOGGED STONE FILTERS MUST BE REFRESHED/REPLACED. SILT FENCE CAN NOT HAVE HOLES OR TEARS.
 4. INSTALL ALL UTILITIES, STORMWATER PIPES, INLETS, ROAD BEDS, CURB AND GUTTER AND RETAINING WALLS #1-#5. SEE PHASE 3 FOR RETAINING WALL #6.
 5. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
 6. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG010000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
 7. SCHEDULE A SITE INSPECTION THROUGH WAKE COUNTY.
 8. UPON APPROVAL OF THE STORMWATER SITE INSPECTION, PROCEED TO PHASE 3 OF THE EROSION CONTROL SEQUENCE. SEE SITE 303.

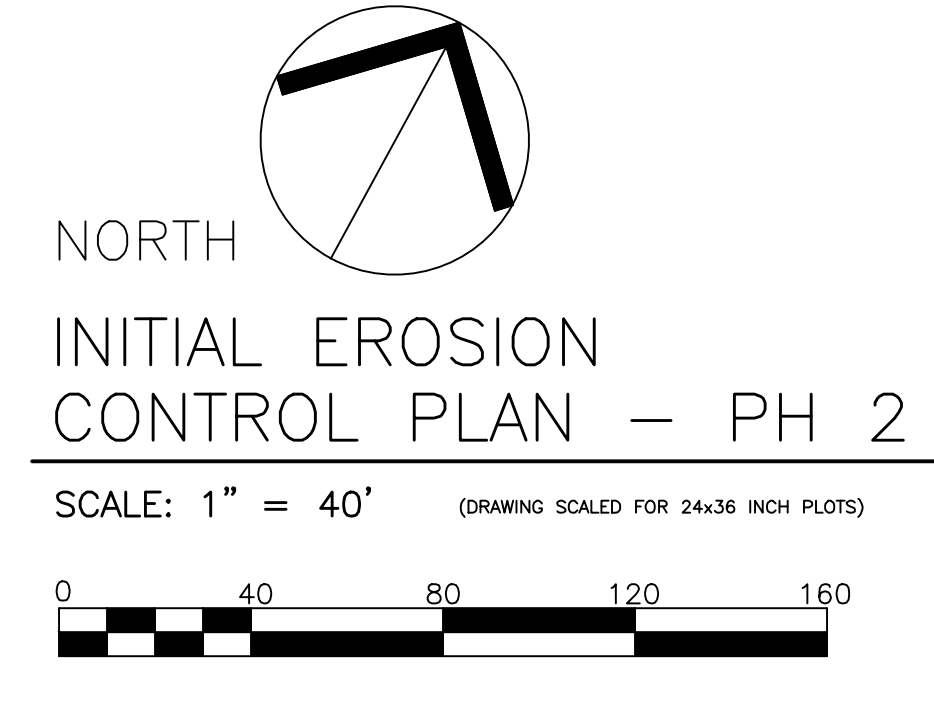
REQUIRED WAKE COUNTY BASIN REMOVAL AND/OR CONVERSION SEQUENCE

1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF BASIN.
2. CONTACT NCDQM - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDQM-DEMR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ON SITE. THE EMAIL SHOULD INCLUDE: E&S JURISDICTION; WAKE COUNTY, WAKE COUNTY PROJECT: NAME, NUMBER, AND LOCATION (CITY/TOWN); ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A)REASON FOR CONVERSION, B)BASIN #, C)DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION)
3. AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDQM-DEMR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING
4. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY.
5. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
6. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

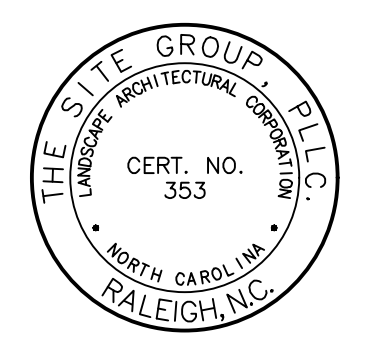


NPDES GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)



DISTURBED AREA
202,385 SF / 4.65 AC



NO ENGINEERING LICENSE NO. P-0803



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
111 S. COLEMAN ST.
RALEIGH, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **SRN**

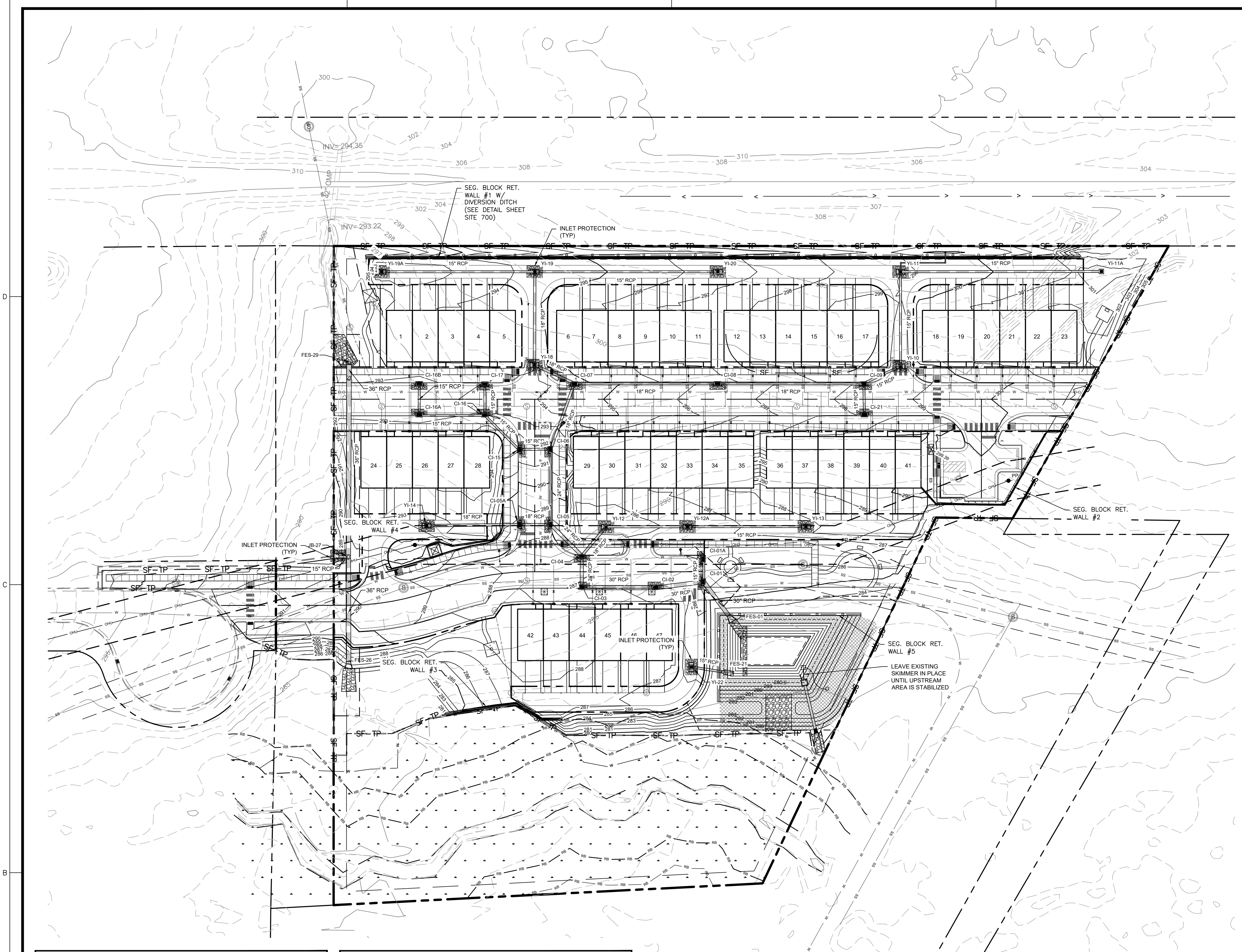
DATE:
21 NOV 2023

CONSTRUCTION DRAWINGS
INITIAL EROSION CONTROL PLAN
PHASE 2

Job Code: **SCBSZ**

Dwg No.
SITE 302A

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EROSION CONTROL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
2. EXISTING CONDITION INFORMATION SHOWN IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, PLLC DATED JUNE 1, 2022.
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4. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
6. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
7. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
8. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
9. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
10. TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREA(S) WITHOUT WRITTEN AUTHORIZATION OF THE TOWN'S ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA, SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN'S ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.

CONSTRUCTION SEQUENCE (PHASE 3):

- CONTINUED FROM SITE 302A
1. INSTALL RESIDENTIAL CONSTRUCTION ENTRANCES AT EACH BUILDING.
 2. INSTALL SILT FENCE WITH SILT FENCE OUTLETS AROUND EACH BUILDING.
 3. PROTECT ALL INLETS AS INSTALLED.
 4. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT BEFORE THEY ARE HALF FULL. CLOGGED STONE FILTERS MUST BE REFRESHED/REPLACED. SILT FENCE CAN NOT HAVE HOLES OR TEARS.
 5. WHEN AREA TRIBUTARY TO SEDIMENT BASIN #1 HAS BEEN STABILIZED, CONVERT SEDIMENT BASIN #1 TO FINAL CONFIGURATION.
 - 5.1. DEWATER BASIN AND REMOVE ACCUMULATED SEDIMENT. UTILIZE SILT BAG FOR DEWATERING.
 - 5.2. INSTALL INTERIOR RETAINING WALL.
 - 5.3. REMOVE TEMPORARY SLOPE DRAIN AND INSTALL FES #1, FES#21 & RIP-RAP DISSIPATER PAD
 - 5.4. SET GRADES TO FINAL ELEVATIONS.
 - 5.5. REMOVE SKIMMER AND SET OUTLET STRUCTURE WEIRS/ORIFICES TO FINAL CONFIGURATION.
 6. CALL S&W NYE AT 919-835-4787 FOR SITE INSPECTION A MINIMUM TWO WEEKS PRIOR TO REQUESTING TOWN FINAL INSPECTION.
 7. ONCE APPROVED, SURVEY EXISTING SCM TOPO AND STRUCTURE ELEVATIONS.
 8. AS-BUILTS MUST BE COMPLETED AND SUBMITTED ONE WEEK PRIOR TO FINAL INSPECTION.
 9. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
 10. SCHEDULE THE FINAL SITE INSPECTION THROUGH WAKE COUNTY.
 11. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG010000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.

NPDES GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

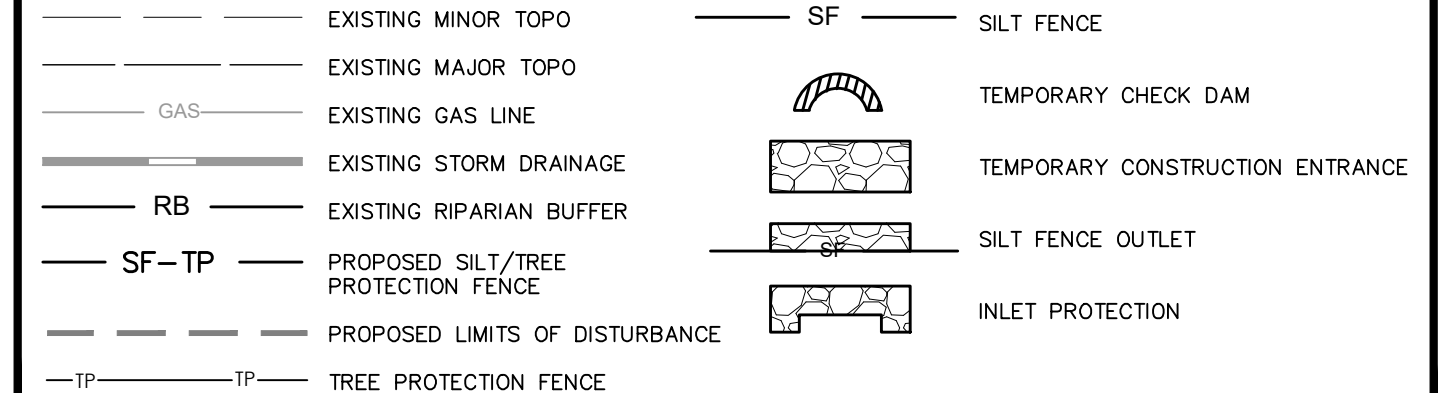
REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE

1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WAKE COUNTY ENVIRONMENTAL CONSULTANT. OBTAIN A LAND DISTURBING PERMIT.
2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
3. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
5. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDE AREAS PER GROUND STABILIZATION TIME FRAMES.
7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
8. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
9. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

REQUIRED WAKE COUNTY BASIN REMOVAL AND/OR CONVERSION SEQUENCE

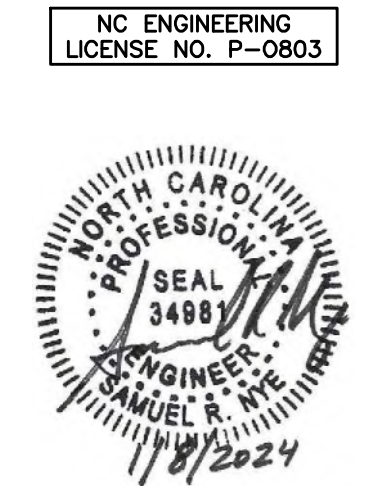
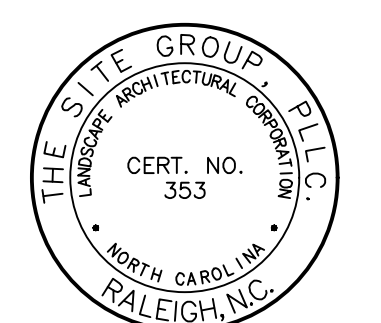
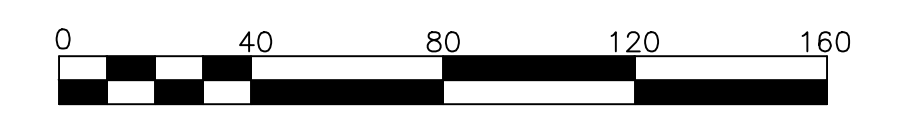
1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF BASIN.
2. CONTACT NCDOD - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDOD-DEMUR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ONSITE. THE EMAIL SHOULD INCLUDE: EASEC - JURISDICTION: WAKE COUNTY, WAKE COUNTY PROJECT: NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART 4, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION)
3. AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDOD-DEMUR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING
4. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY.
5. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
6. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

EROSION CONTROL LEGEND



DISTURBED AREA
202,385 SF / 4.65 AC

EROSION CONTROL PLAN
SCALE: 1" = 40'
(DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
111 S. GARDNER ST.
RALEIGH, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **SRN**

DATE: 07 NOV 2022
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24 AUG 2023
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12 DEC 2023
08 JAN 2024

CONSTRUCTION DRAWINGS

EROSION CONTROL PLAN

Job Code: **SCBSZ**

Dwg No. **SITE 303**

STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP SEWER DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY SERVICE INTERRUPTION SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF ZEBULON, WAKE COUNTY AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, PLLC DATED JUNE 1, 2022.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED WITHIN A FEMA AE FLOOD ZONE BASED ON THE MAP #3720270500K MAP REVISED JULY 19, 2022.
- THE ROAD CLASSIFICATIONS FOR THIS PROJECT CONSIST OF LOCAL AND ALLEY.

SEWER INSTALLATION & BYPASS PUMPING NOTES

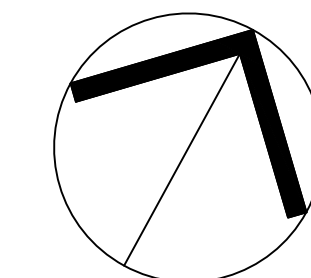
- PRE-CONSTRUCTION COORDINATION MUST TAKE PLACE WITH THE CITY OF RALEIGH BEFORE ANY WORK ON THE PUBLIC SEWER NETWORK IS COMMENCED.
- WORK WITH CITY OF RALEIGH INSPECTOR TO SCHEDULE WORK.
- NOTIFY RESIDENCES OF E VANCE ST. & E. HORTON ST. THAT WORK WILL BE OCCURRING ON THE SEWER SYSTEM AT LEAST ONE WEEK IN ADVANCE OF BEGINNING CONSTRUCTION.
- FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- INSTALL DOGHOUSE SSMH #5A OVER THE 8" PVC AND DOGHOUSE SSMH #1 OVER 18" PVC. ONCE CONNECTING LINES ARE INSTALLED DIVERT FLOW IN 8" TERRICOTA TO NEW LINE OUT OF SSMH #5.
- BEGIN INSTALLATION OF NEW SANITARY SEWER RUN SSMH 1-SSMH 5.
- PLUG THE DOWNSTREAM LINE OF SUCTION SSMH #5A. INSTALL PUMP, STANDBY PUMP AND SUCTION PIPES IN SUCTION SSMH #5A. INSTALL DISCHARGE PIPING TO DISCHARGE SSMH #5. NOTE: EITHER SEPARATE DISCHARGE LINES OR WYED CONNECTION WITH CHECK VALVES ARE REQUIRED ON DISCHARGE LINES.
- CONSTRUCT 8" PVC BETWEEN SSMH 5A AND SSMH 5.
- DO NOT LEAVE ACTIVE SEWER LINES PLUGGED OVERNIGHT. IF SEWER RUN SSMH #5A TO SSMH #5 CANNOT BE COMPLETED IN ONE DAY, REMOVE PLUG IN SUCTION MH, REMOVE SUCTION AND DISCHARGE LINES AND COMPLETE INSTALLATION THE FOLLOWING DAY.
- WHEN PRESSURE TEST AND TELEVISION INSPECTION OF NEW SEWER LINES HAVE BEEN APPROVED, PLUG 8" PVC CONNECTION IN EX SSMH B, ABANDON EXISTING LINES BY FILLING WITH GROUT.

BYPASS PUMPING PHASE	ACTION TO BE COMPLETED	SUCTION MH	DISCHARGE MH	DISCHARGE STATIC LIFT	SUCTION STATIC LIFT	APPROX LENGTH	PEAK FLOW
1	PUMP FROM SSMH #5A TO SSMH #5	SSMH #5A	SSMH #5	5'	±8.5'	50'	10 GPM

Public Sewer Collection / Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit# S-5390
 Authorization to Construct _____
 Date _____

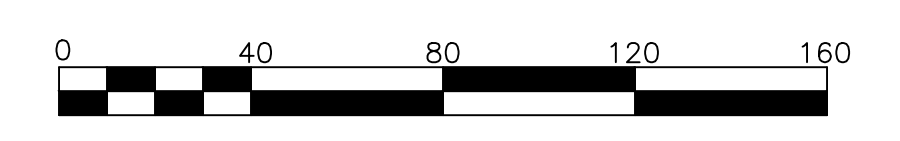
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 City of Raleigh
 Public Utilities Department Permit# S-5391(P)
 Authorization to Construct _____
 Date _____

Public Water Distribution / Extension System
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 City of Raleigh
 Public Utilities Department Permit# W-4078
 Authorization to Construct _____
 Date _____



NORTH
UTILITY
PLAN

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NC ENGINEERING LICENSE NO. P-0803



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1111 100th Street
 Raleigh, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.835.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

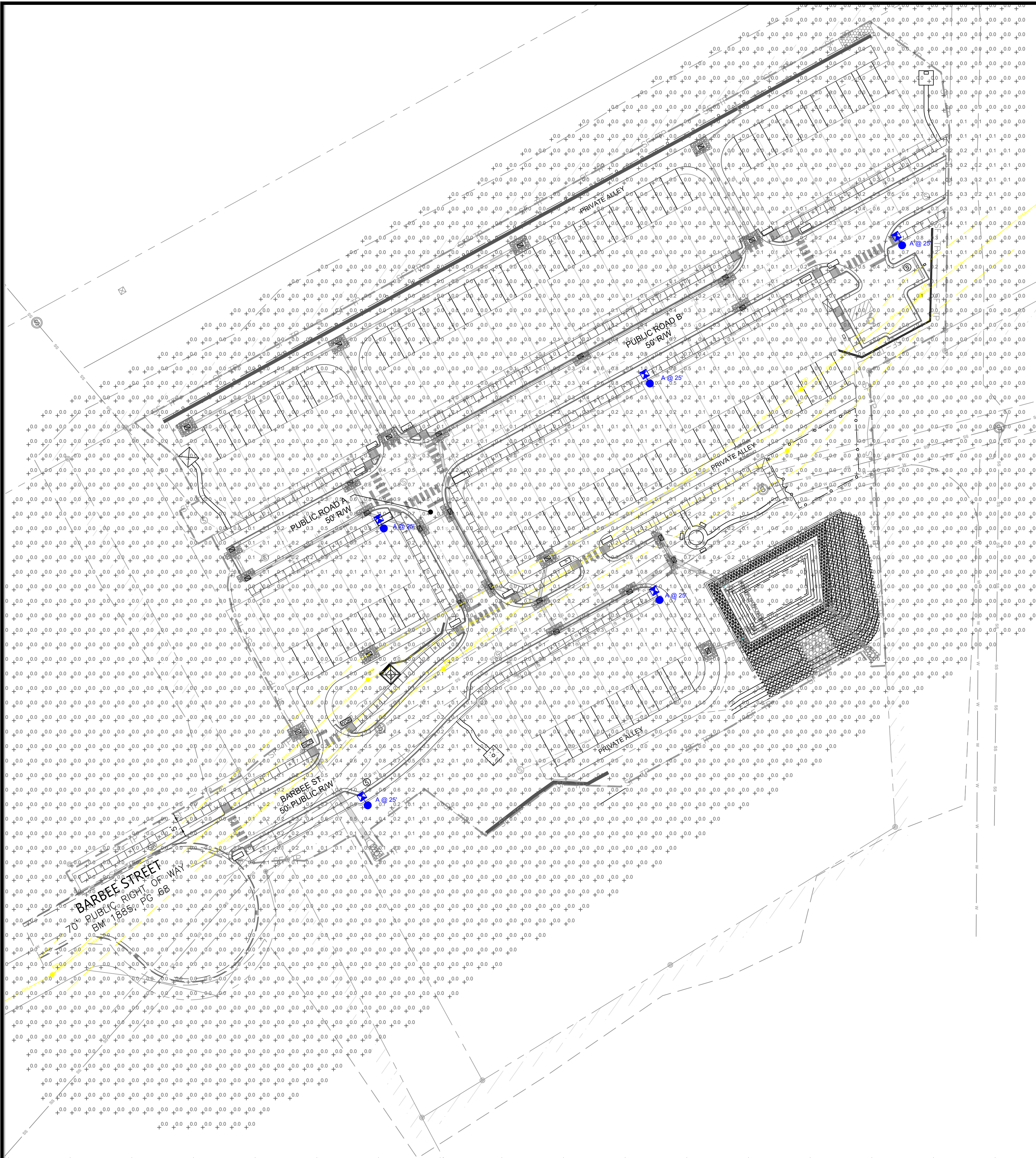
DATE:
 07 NOV 2022
 REVISED:
 03 FEB 2023
 09 MAY 2023
 24 AUG 2023
 21 NOV 2023
 12 DEC 2023
 08 JAN 2024

CONSTRUCTION DRAWINGS

UTILITY PLAN

Job Code: **SCBSZ**

Dwg No. **SITE 400**



Outdoor Lighting
Roadway LED

The Roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or fiberglass poles for mount on an existing pole. Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

LED (Light Emitting Diode) 50 | 75 | 105 | 150 | 215 | 280 watts

Mounting heights 25, 30, 35'

Color Gray, Black

Poles Fiberglass, Metal (special conditions), Wood

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.739.6417.

Outdoor Lighting
Roadway LED

Light source: LED (white)
Lumens: 4,807 - 25,050 (fixture dependent)

Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (BUG) Rating
LED 50	IESNA Type III (medium oval)	B1-U0-G1
LED 75	IESNA Type II (long oval)	B1-U0-G2
LED 105	IESNA Type II (long oval)	B2-U0-G3
LED 150	IESNA Type III (medium oval)	B2-U0-G2
LED 215	IESNA Type III (medium oval)	B3-U0-G3
LED 280	IESNA Type III (medium oval)	B3-U0-G4

Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

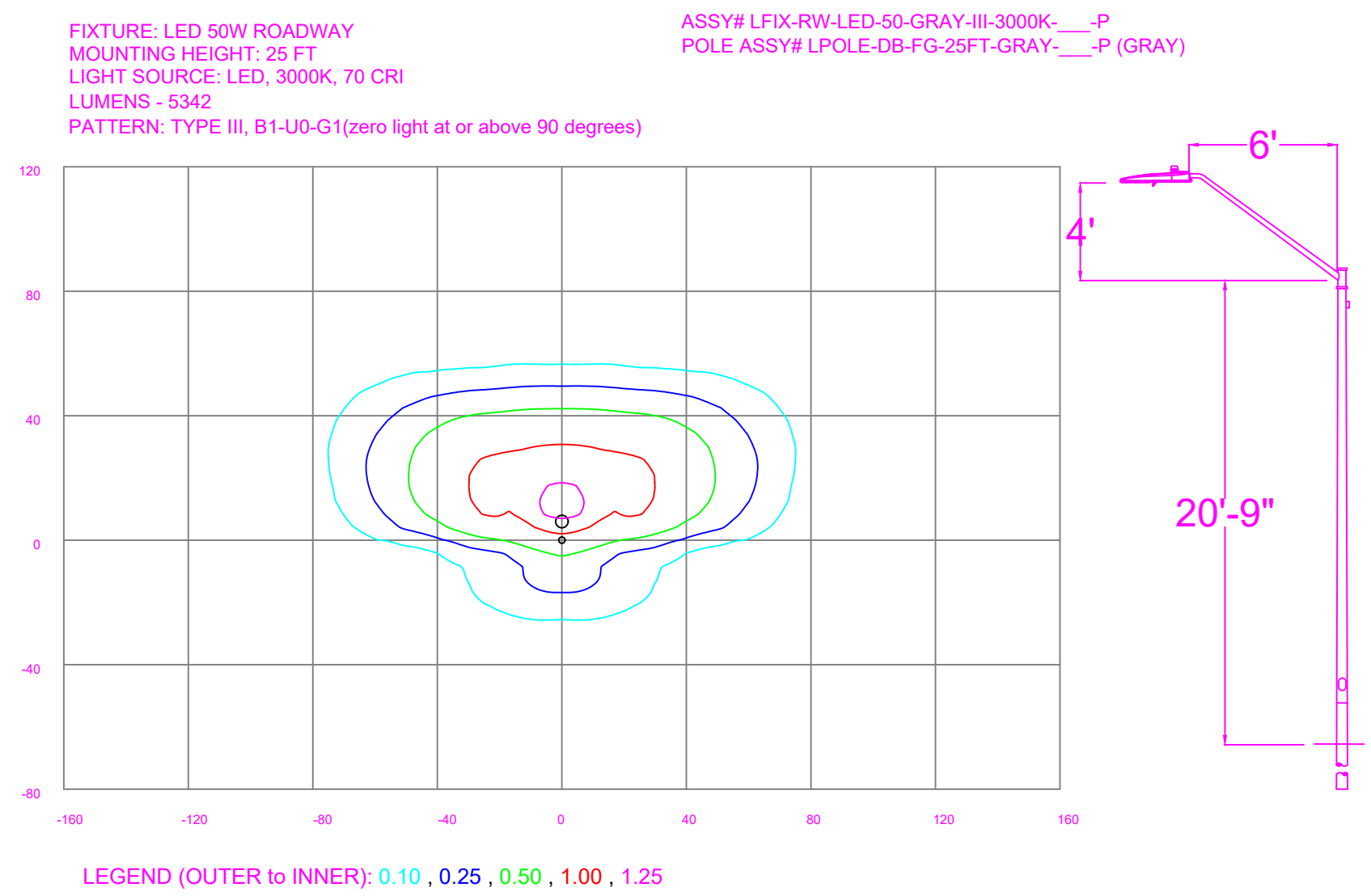
Poles available:	Mounting height	Color
Fiberglass	25, 30, 35'	Gray
Wood	25, 30, 35'	Standard
Metal (special conditions)**	25, 30, 35'	Gray

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

** raised foundation available when required.

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ISOFOOTCANDLE CURVES

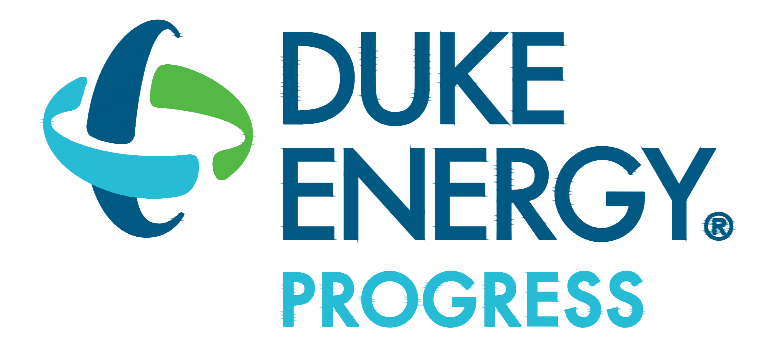


Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
⊗	A	5	LED 50W Roadway - Type III - 3000K	1	5312	0.85

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Barbee Street	⊗	0.3 fc	0.9 fc	0.0 fc	N/A	N/A
Public Road A	⊗	0.4 fc	0.9 fc	0.0 fc	N/A	N/A

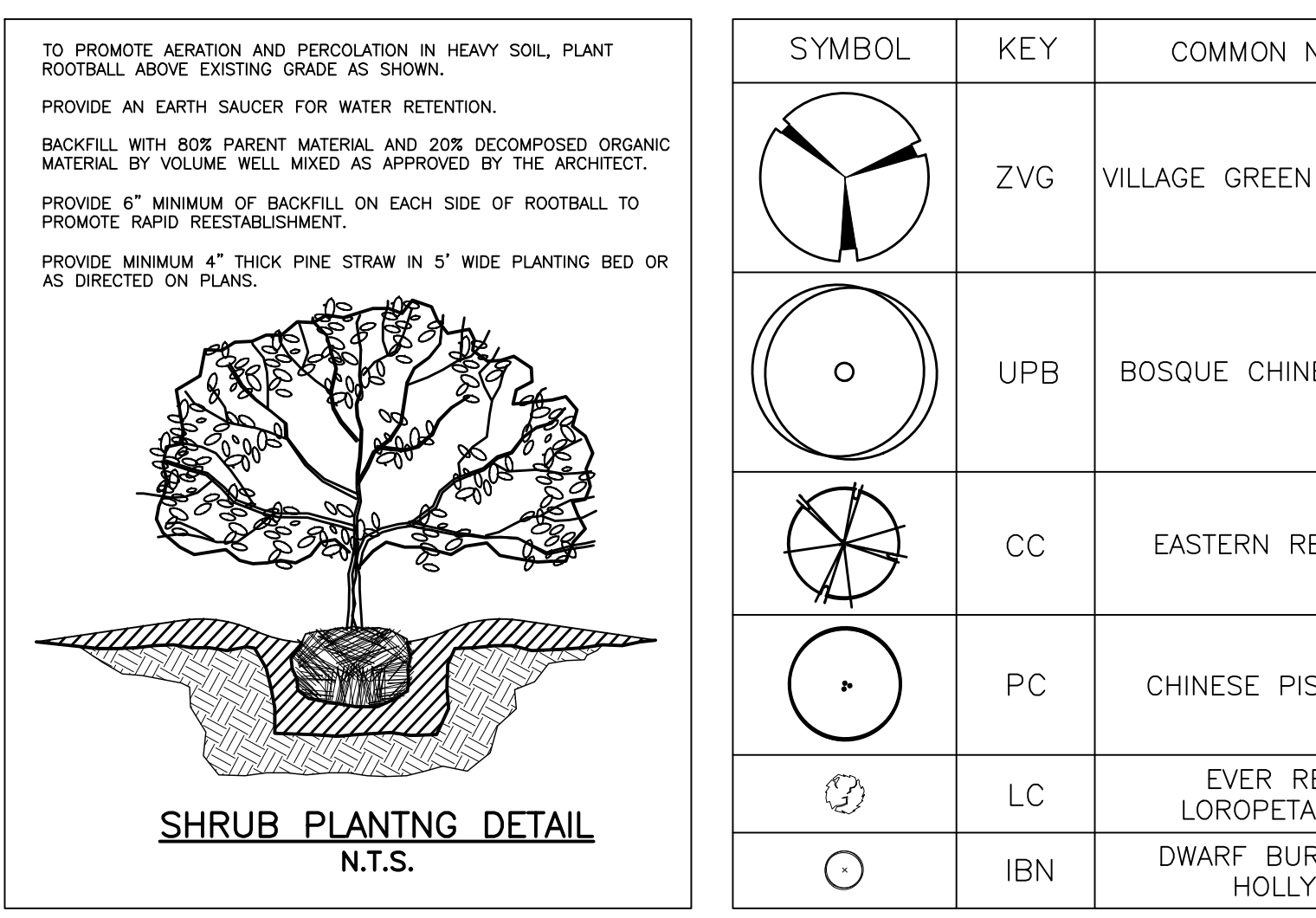
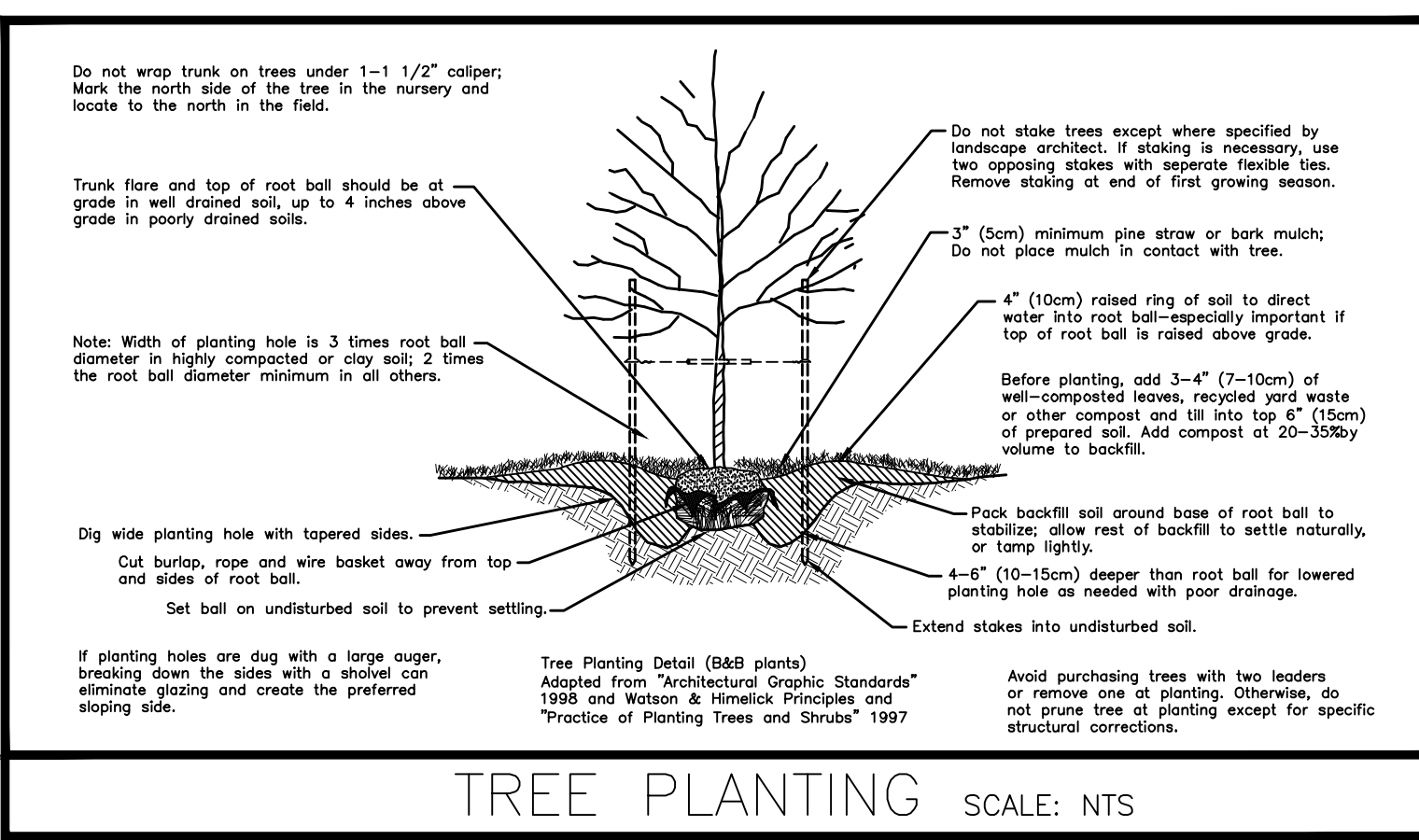
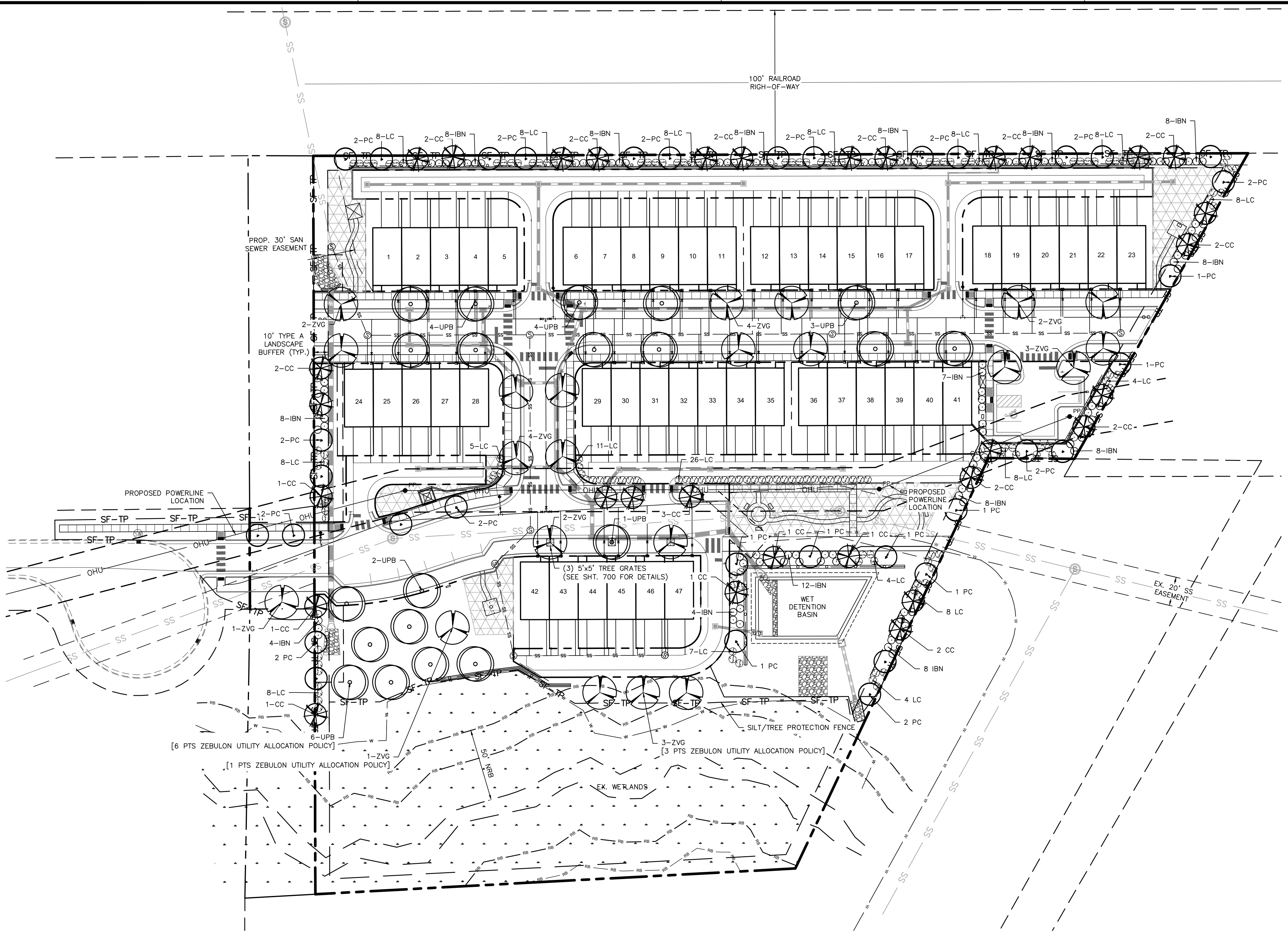
NO.	DATE	REVISION	BY

LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL
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0 Barbee Street	
Zebulon, NC	
STREET LIGHTING ARRANGEMENT	
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by A. Herrera	Scale 1" = 40'
Date 9/28/2023	Size Drawing size "D"
Description LED Roadway	
Drawing No. 23-0401	Sht. 1 OF 1



OVERALL PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	ROOT	REMARKS
CANOPY TREES							
UPB	20	ULMUS PARVIFOLIA 'BOSQUE'	BOSQUE CHINESE ELM	10'	3" CAL.	B&B	MATCHING
ZVG	22	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	10'	3" CAL.	B&B	MATCHING
UNDERSTORY TREES							
CC	31	CERCIS CANADENSIS	EASTERN REDBUD	8' MIN.	2" CAL.	B&B	MATCHING
PC	34	PISTACHIA CHINENSIS	CHINESE PISTACHE	8' MIN.	2" CAL.	B&B	MATCHING
SHRUBS							
IBN	115	ILEX CORNUTA 'BURFORDII' NANA'	DWARF BURFORD HOLLY	24" HT. MIN.	5 GAL.	CONT.	MATCHING
LC	149	LOROPETALUM CHINENSE 'EVER RED'	EVER RED LOROPETALUM	24" HT. MIN.	5 GAL.	CONT.	MATCHING

PLANTING NOTES:
 LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER, (R) = TO REMAIN
MULCH: MULCH ALL BED AREAS WITH HARDWOOD MULCH TO A DEPTH OF 3".
NOTE:
 1. ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
 2. ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

LANDSCAPE MAINTENANCE PLAN:

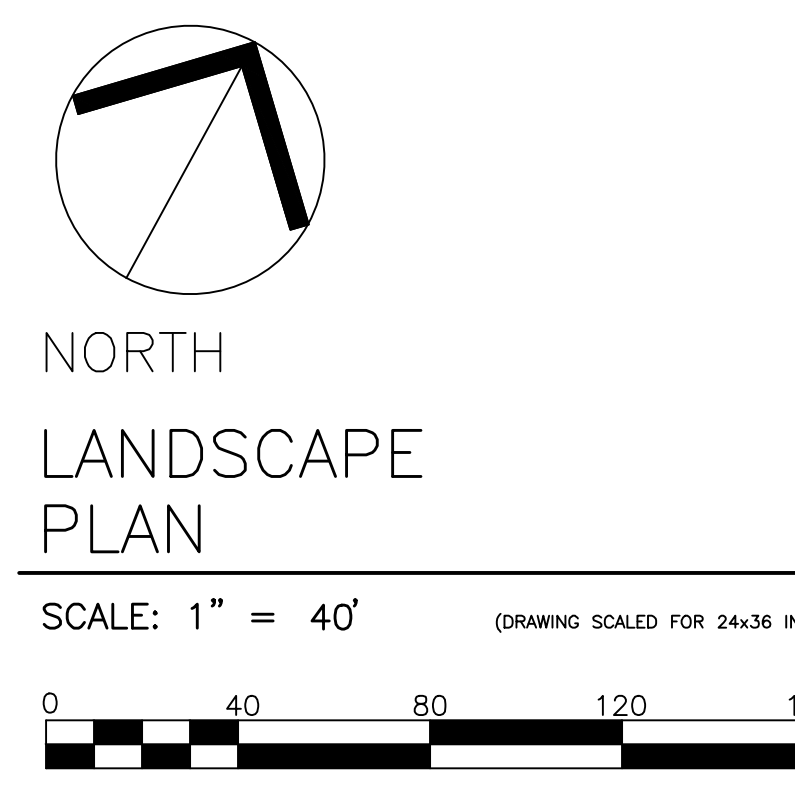
THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:

- FERTILIZATION:** FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
- PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REAPPLIED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
- MOWING:** PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE MOWED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
- PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- WATERING:** IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING TOWN OF ZEBULON WATER/IRRIGATION SUPPLIES)
- PLANT REPLACEMENT:** ANY REQUIRED PLANTING WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.

REMOVAL OF DISEASE INFESTED MATERIAL SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.
 FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS SHALL CONSTITUTE A VIOLATION OF THIS UDO ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-ENFORCEMENT.

LANDSCAPE REQUIREMENTS:

- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT OF WAY OR WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION.
- ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
- UPON ESTABLISHMENT OF FINISHED GRADES AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCAPE ARCHITECT AND BE PROVIDED TO THE TOWN OF ZEBULON PLANNING DEPARTMENT.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO CITY STAFF SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
- THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.
- ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO TOWN OF ZEBULON UDO SECTION REQUIREMENTS. THE TOWN OF ZEBULON SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE ADDITIONAL PLANTINGS BASED ON ACTUAL FIELD CONDITIONS.
- ALL PLANTINGS WITHIN THE SIGHT DISTANCE TRIANGLES MUST BE 30 INCHES OR LESS IN HEIGHT OR MUST BE LIMBED UP TO PROVIDE 8' FROM THE LOWEST LIMBS TO THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURBING EXISTS.



THE SITE GROUP, PLLC
 LANDSCAPE ARCHITECTURE COMPANY
 CERT. NO. 353
 NORTH CAROLINA
 RALEIGH, NC

NC ENGINEERING LICENSE NO. P-0803

NORTH CAROLINA LANDSCAPE ARCHITECTS
 1419
 RANDOLPH D. WOOD
 8/20/2024

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1110 S. COX RD.
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

DATE: 07 NOV 2022
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CONSTRUCTION DRAWING

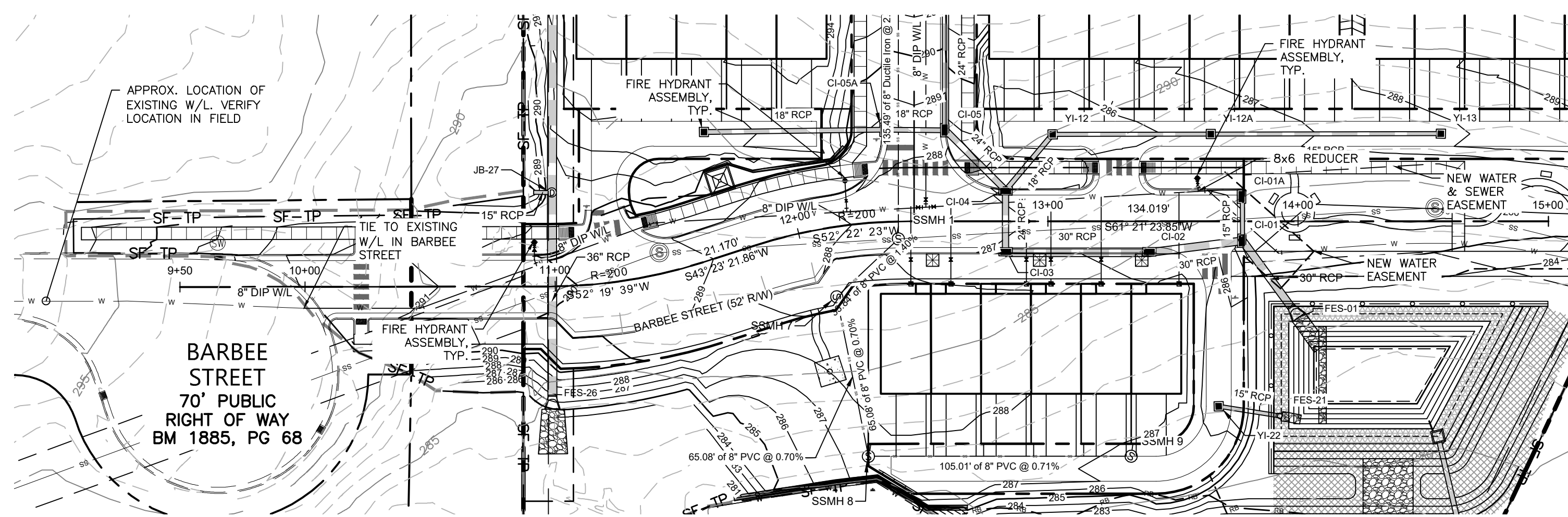
LANDSCAPE PLAN

Job Code: **SCBSZ**

Dwg No. **SITE 500**

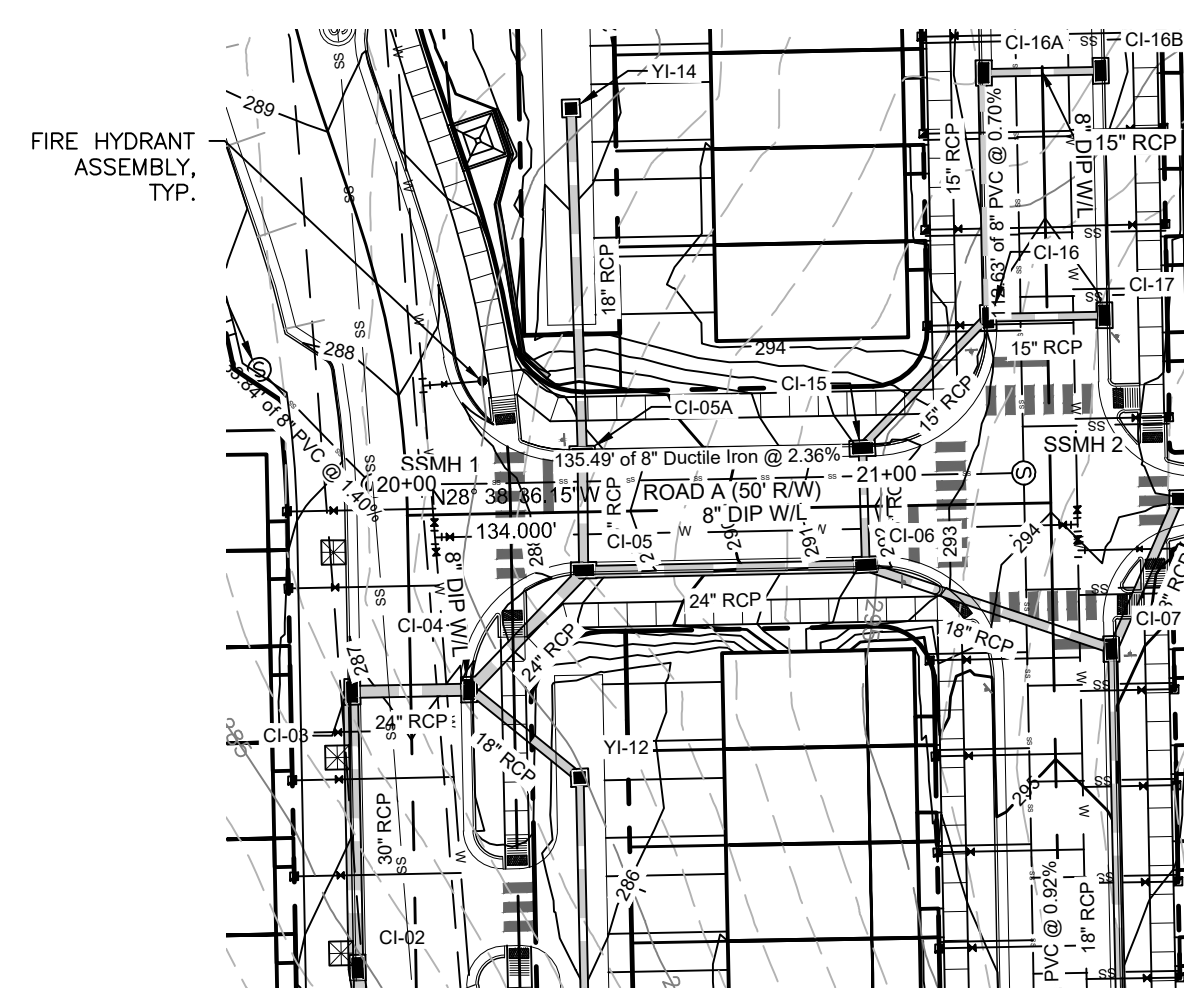
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BARBEE STREET

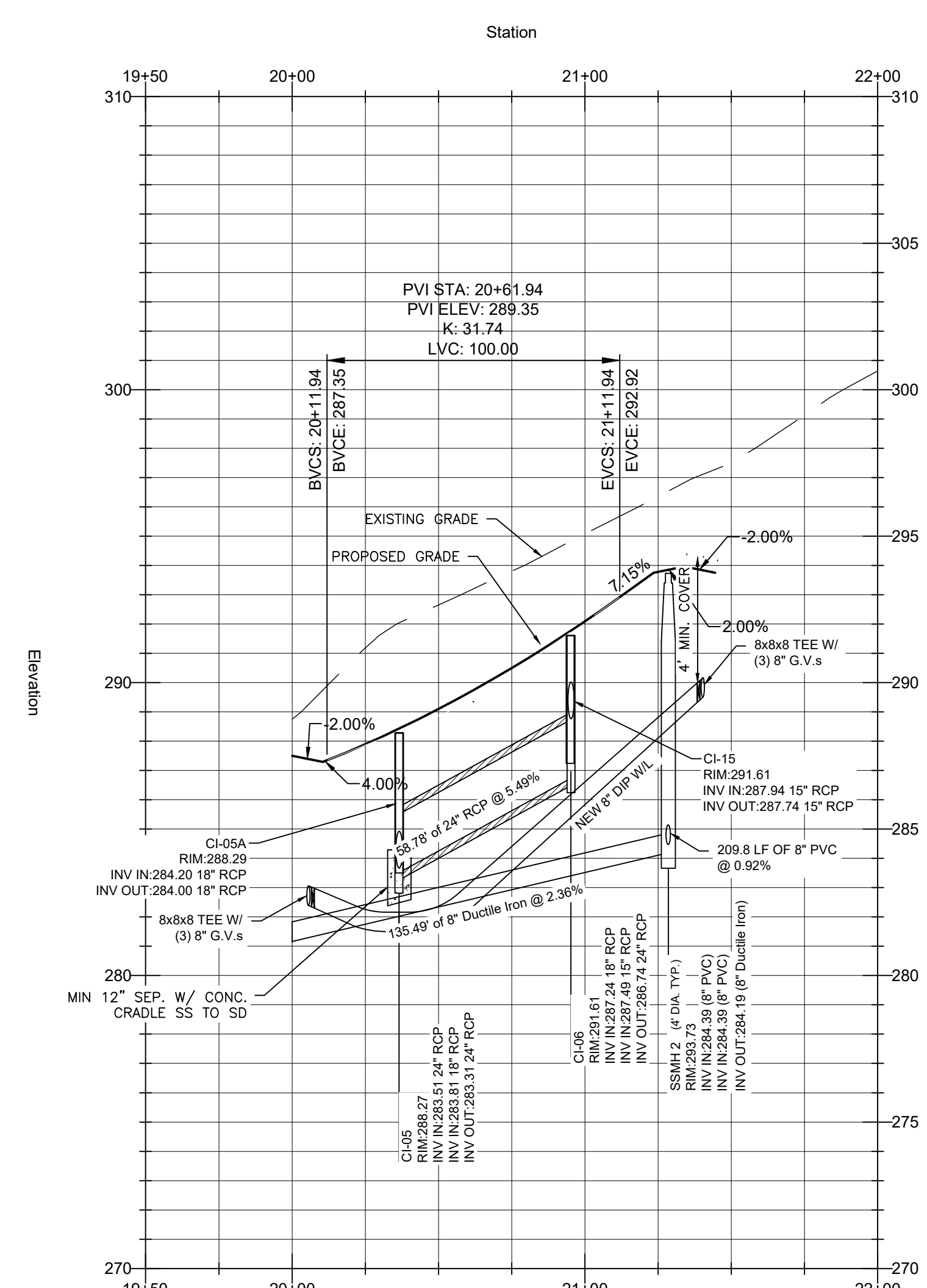
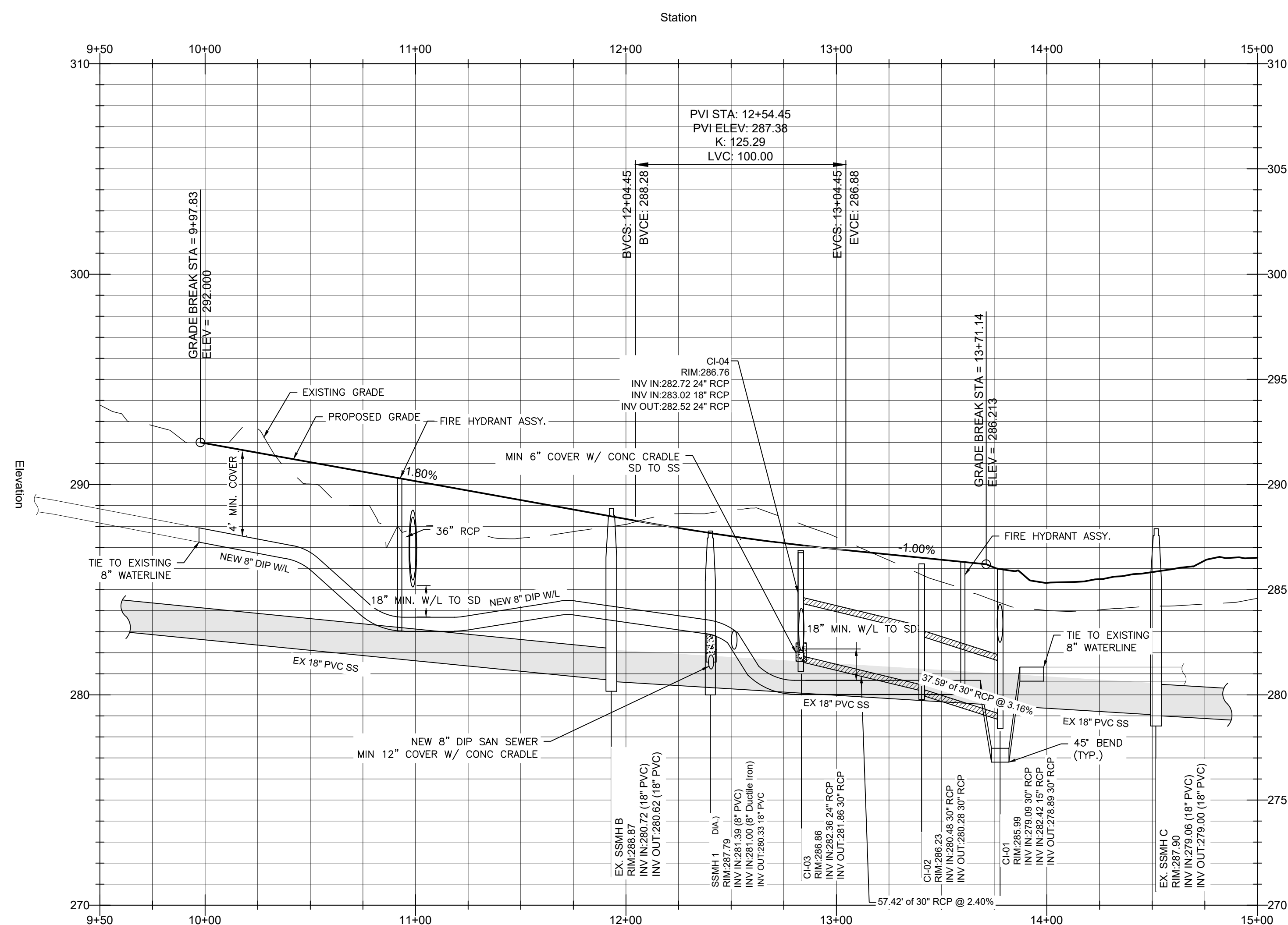


PLAN: 1"=40'
 PROFILE: 1"=40' HORIZ.
 1"= 4' VERT.

PUBLIC ROAD A



PLAN: 1"=40'
 PROFILE: 1"=40' HORIZ.
 1"= 4' VERT.



Public Sewer Collection / Extension System

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City of Raleigh
 Public Utilities Department Permit # S-5390

Authorization to Construct _____
 Date _____

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City of Raleigh
 Public Utilities Department Permit # S-5391(P)

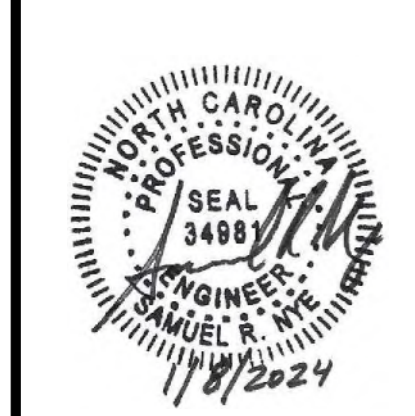
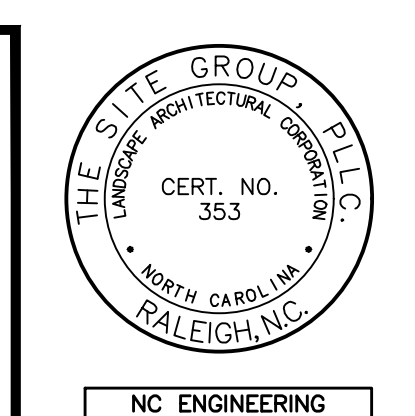
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 Public Utilities Department Permit # W-4078

Authorization to Construct _____
 Date _____



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1115 OLIVE GARDEN DRIVE, SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
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PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

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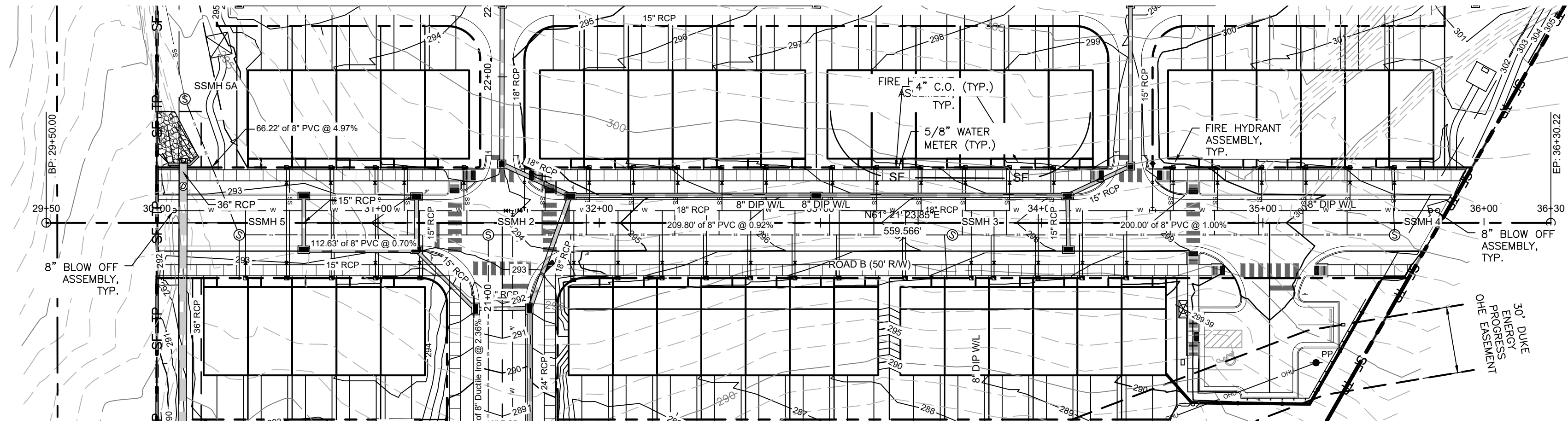
BARBEE ST & ROAD A
PLAN & PROFILE

Job Code: SCBSZ

Dwg No. **SITE 600**

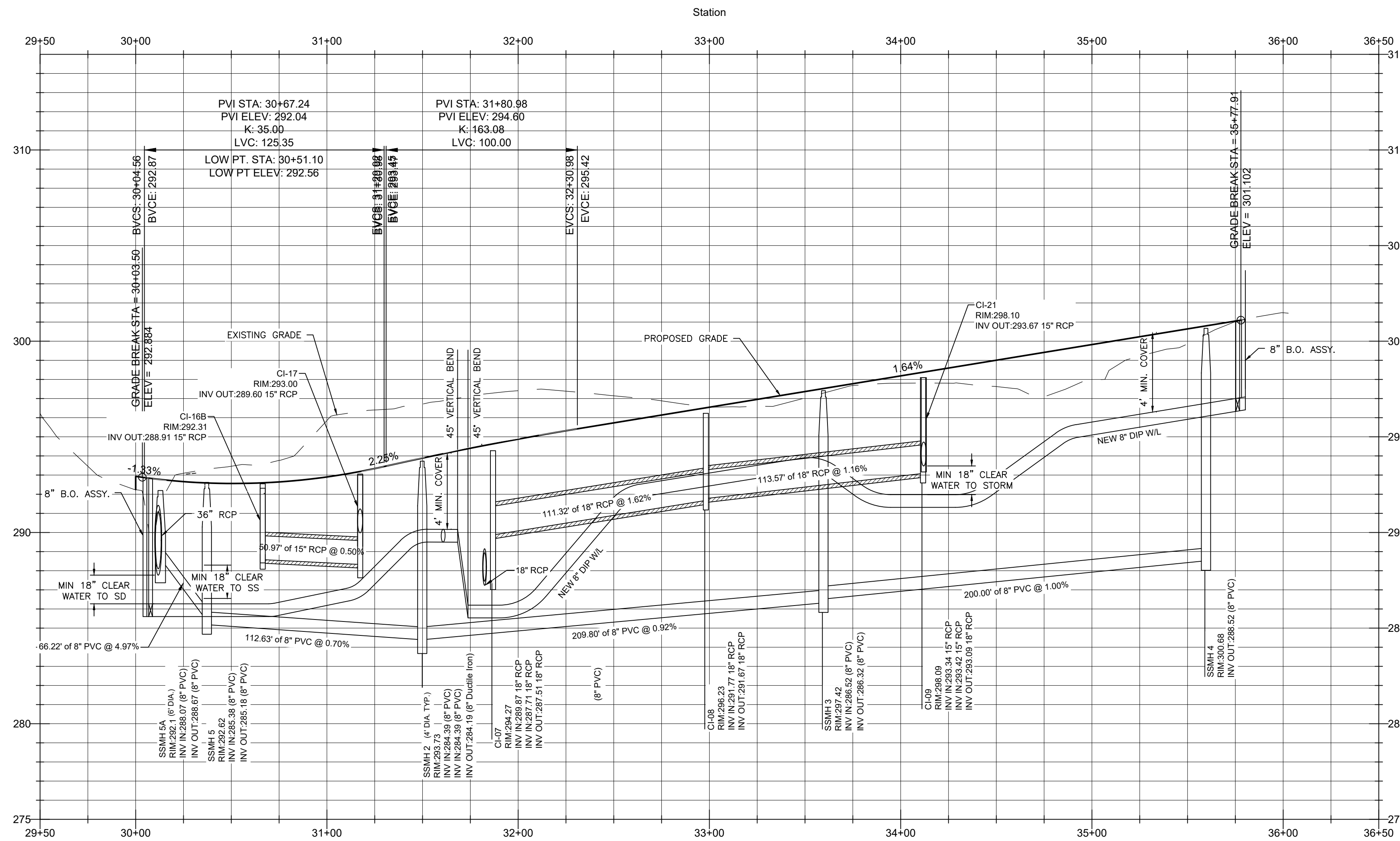
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PUBLIC ROAD B



PLAN: 1"=40'
 PROFILE: 1"=40' HORIZ.
 1"= 4' VERT.

STRUCTURE NAME:	DETAILS:	STRUCTURE NAME:	DETAILS:	STRUCTURE NAME:	DETAILS:
YI-11A	RIM = 300.44 INV OUT = 296.09 (156.0 LF 15" RCP @ 1.00%)	CI-16	RIM = 293.06 INV IN = 289.47 (24.8 LF 15" RCP @ 0.50%) INV OUT = 288.33 (51.0 LF 15" RCP @ 0.50%)	YI-13	RIM = 287.82 INV OUT = 284.75 (92.0 LF 15" RCP @ 0.89%)
YI-11	RIM = 288.77 INV IN = 294.53 (156.0 LF 15" RCP @ 1.00%) INV OUT = 294.33 (73.3 LF 15" RCP @ 1.00%)	CI-17	RIM = 283.00 INV OUT = 289.60 (24.8 LF 15" RCP @ 0.50%)	CI-03	RIM = 286.86 INV IN = 282.36 (25.0 LF 24" RCP @ 0.64%) INV OUT = 281.86 (57.4 LF 30" RCP @ 2.40%)
YI-10	RIM = 298.71 INV IN = 293.60 (73.3 LF 15" RCP @ 1.00%) INV OUT = 293.50 (31.4 LF 15" RCP @ 0.51%)	YI-14	RIM = 292.65 INV OUT = 286.00 (71.6 LF 18" RCP @ 2.51%)	CI-04	RIM = 286.76 INV IN = 282.72 (34.0 LF 24" RCP @ 1.75%) INV OUT = 282.52 (25.0 LF 24" RCP @ 0.64%)
CI-21	RIM = 298.10 INV OUT = 293.67 (24.9 LF 15" RCP @ 0.99%)	CI-16A	RIM = 292.55 INV IN = 288.78 (25.0 LF 15" RCP @ 0.50%) INV OUT = 288.58 (51.4 LF 15" RCP @ 0.50%)	YI-12A	RIM = 286.30 INV IN = 283.93 (92.0 LF 15" RCP @ 0.89%) INV OUT = 283.73 (63.2 LF 15" RCP @ 0.50%)
CI-09	RIM = 298.09 INV IN = 293.34 (31.4 LF 15" RCP @ 0.51%) INV OUT = 293.09 (113.6 LF 18" RCP @ 1.16%)	YI-19A	RIM = 292.52 INV OUT = 289.28 (118.9 LF 15" RCP @ 0.50%)	CI-02	RIM = 286.23 INV IN = 280.48 (57.4 LF 30" RCP @ 2.40%) INV OUT = 280.28 (37.6 LF 30" RCP @ 3.16%)
YI-20	RIM = 296.46 INV OUT = 292.04 (142.2 LF 15" RCP @ 2.08%)	CI-16B	RIM = 292.31 INV OUT = 288.91 (25.0 LF 15" RCP @ 0.50%)	CI-01	RIM = 285.99 INV IN = 279.09 (57.6 LF 30" RCP @ 3.16%) INV OUT = 282.42 (17.7 LF 15" RCP @ 1.00%)
CI-08	RIM = 296.23 INV IN = 291.77 (113.6 LF 18" RCP @ 1.16%) INV OUT = 291.67 (111.3 LF 18" RCP @ 1.62%)	CI-06	RIM = 291.61 INV IN = 287.24 (54.2 LF 18" RCP @ 0.50%) INV OUT = 287.49 (24.9 LF 15" RCP @ 1.00%)	CI-01A	RIM = 285.89 INV OUT = 282.60 (17.7 LF 15" RCP @ 1.00%)
FES-29	RIM = 296.00 INV OUT = 290.00 (12.7 LF 36" RCP @ 7.89%)	CI-15	RIM = 291.61 INV IN = 287.94 (37.3 LF 15" RCP @ 0.50%) INV OUT = 287.74 (24.9 LF 15" RCP @ 1.00%)	YI-22	RIM = 285.70 INV OUT = 281.39 (57.4 LF 15" RCP @ 11.28%)
YI-19	RIM = 294.64 INV IN = 289.08 (142.2 LF 15" RCP @ 2.08%) INV IN = 288.69 (118.9 LF 15" RCP @ 0.50%) INV OUT = 288.49 (72.4 LF 18" RCP @ 0.57%)	JB-27	RIM = 290.00 INV IN = 286.00 (139.0 LF 36" RCP @ 1.71%) INV IN = 287.80 (7.3 LF 15" RCP @ 1.36%) INV OUT = 285.80 (86.5 LF 36" RCP @ 0.92%)	YI-12	RIM = 285.58 INV IN = 283.42 (63.2 LF 15" RCP @ 0.50%) INV OUT = 283.17 (29.2 LF 18" RCP @ 11.28%)
CI-07	RIM = 294.27 INV IN = 289.87 (111.3 LF 18" RCP @ 1.62%) INV OUT = 287.71 (34.0 LF 18" RCP @ 0.50%)	FES-26	RIM = 288.42 INV IN = 285.00 (86.5 LF 36" RCP @ 0.92%)	FES-21	RIM = 283.50 INV IN = 278.50 (25.8 LF 15" RCP @ 11.28%)
YI-18	RIM = 293.97 INV IN = 288.08 (72.4 LF 18" RCP @ 0.57%) INV OUT = 287.88 (34.0 LF 18" RCP @ 0.50%)	CI-05A	RIM = 288.29 INV IN = 284.20 (71.6 LF 18" RCP @ 2.51%) INV OUT = 284.00 (24.9 LF 18" RCP @ 0.76%)	FES-01	RIM = 281.38 INV IN = 278.50 (38.0 LF 30" RCP @ 1.04%)
JB-28	RIM = 293.18 INV IN = 289.00 (12.7 LF 36" RCP @ 7.89%) INV OUT = 286.37 (139.0 LF 36" RCP @ 1.71%)	CI-05	RIM = 288.27 INV IN = 283.51 (58.9 LF 24" RCP @ 5.49%) INV IN = 283.81 (24.9 LF 18" RCP @ 0.76%) INV OUT = 283.31 (34.0 LF 24" RCP @ 1.75%)		



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 THE SITE GROUP, P.L.L.C.
 1110 S. ROSS ST., 2ND FLOOR
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: WRR
 Checked By: SRN

DATE: 03 FEB 2023
 REVISED:
 09 MAY 2023
 24 AUG 2023
 21 NOV 2023
 08 JAN 2024

CONSTRUCTION DRAWINGS

PUBLIC ROAD B
 PLAN & PROFILE

Job Code: SCBSZ

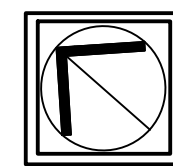
Dwg No. SITE 601

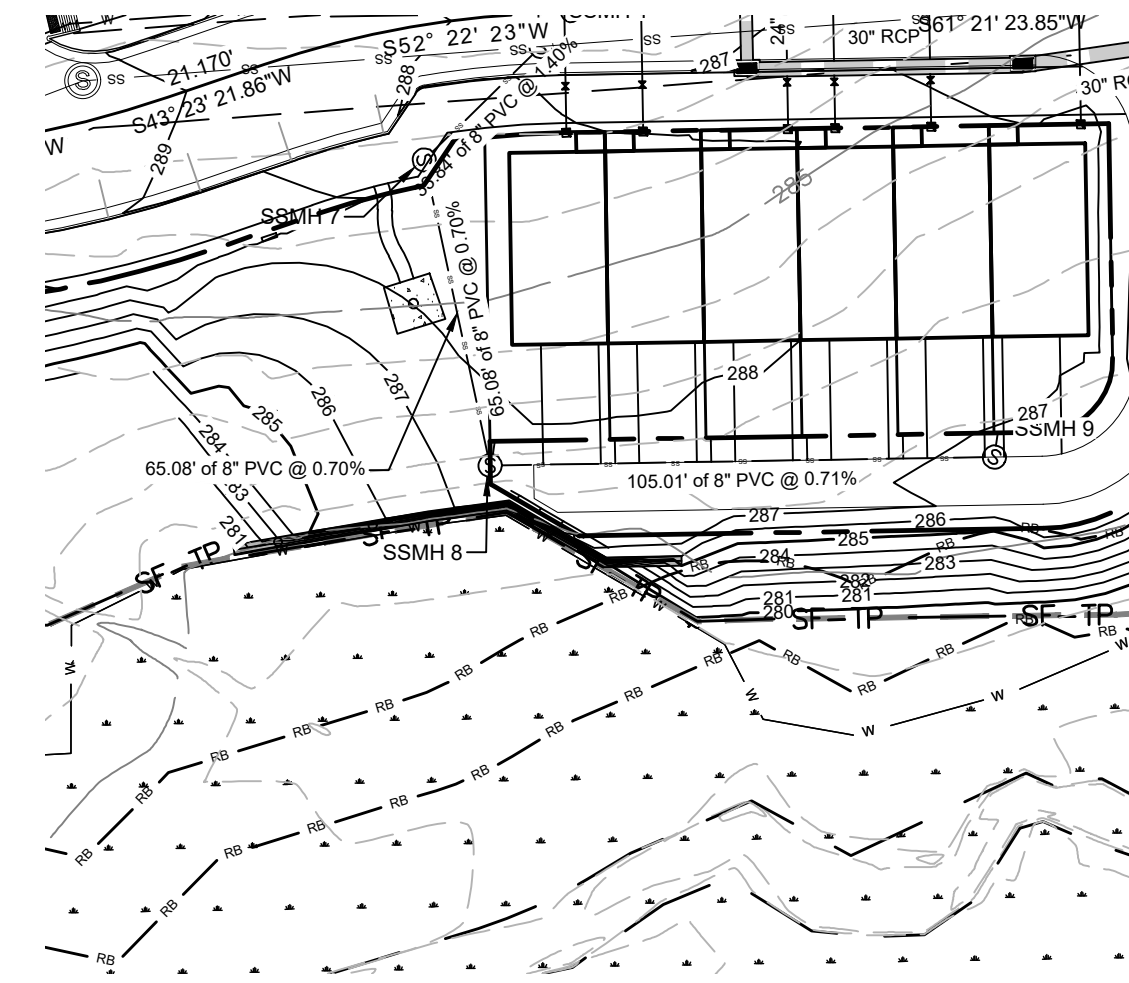
Public Sewer Collection / Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # S-5390
 Authorization to Construct _____
 Date _____

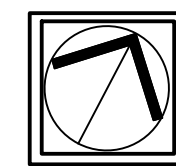
Private Sewer Collection / Extension System
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # S-5391(P)
 Authorization to Construct _____
 Date _____

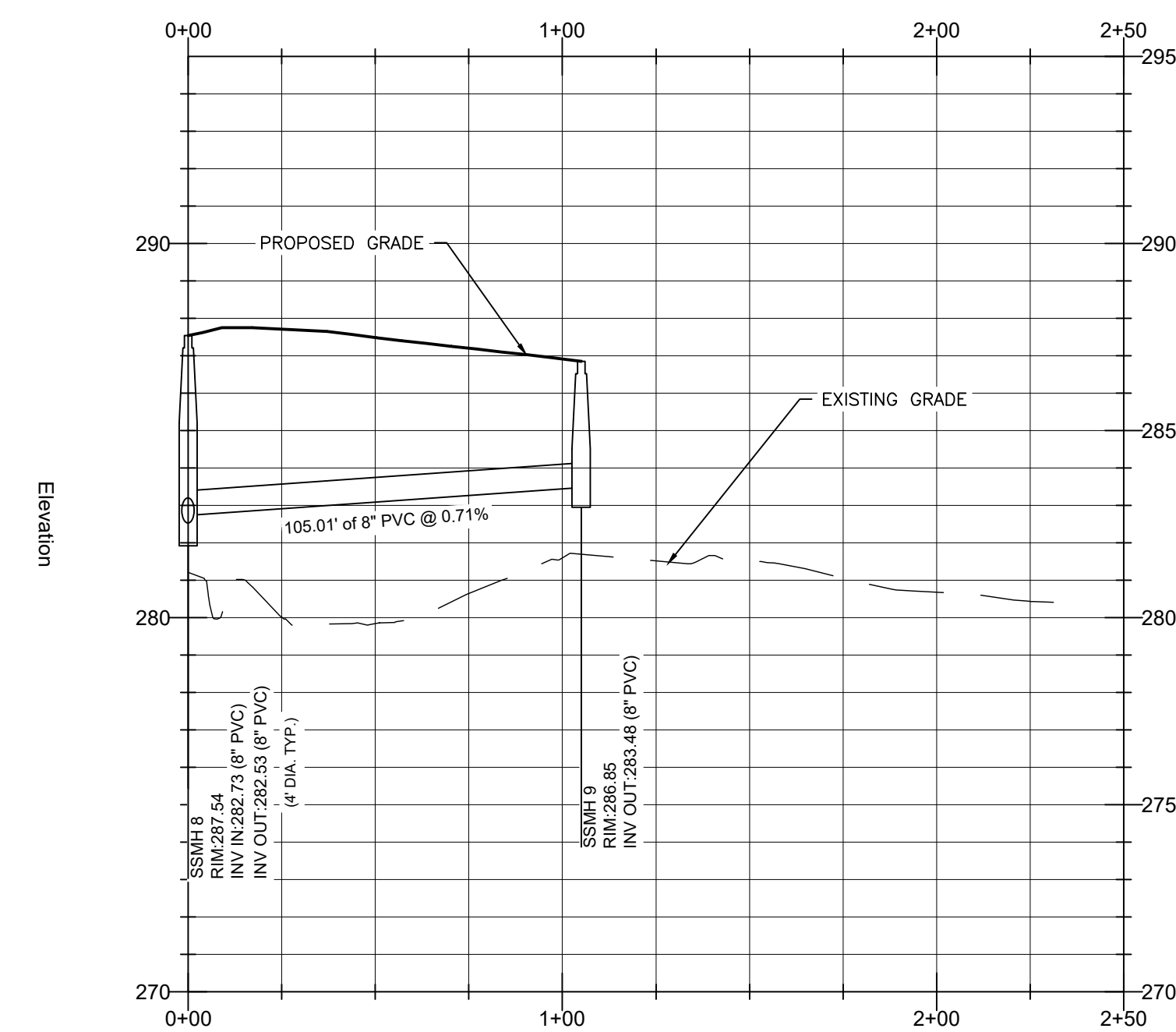
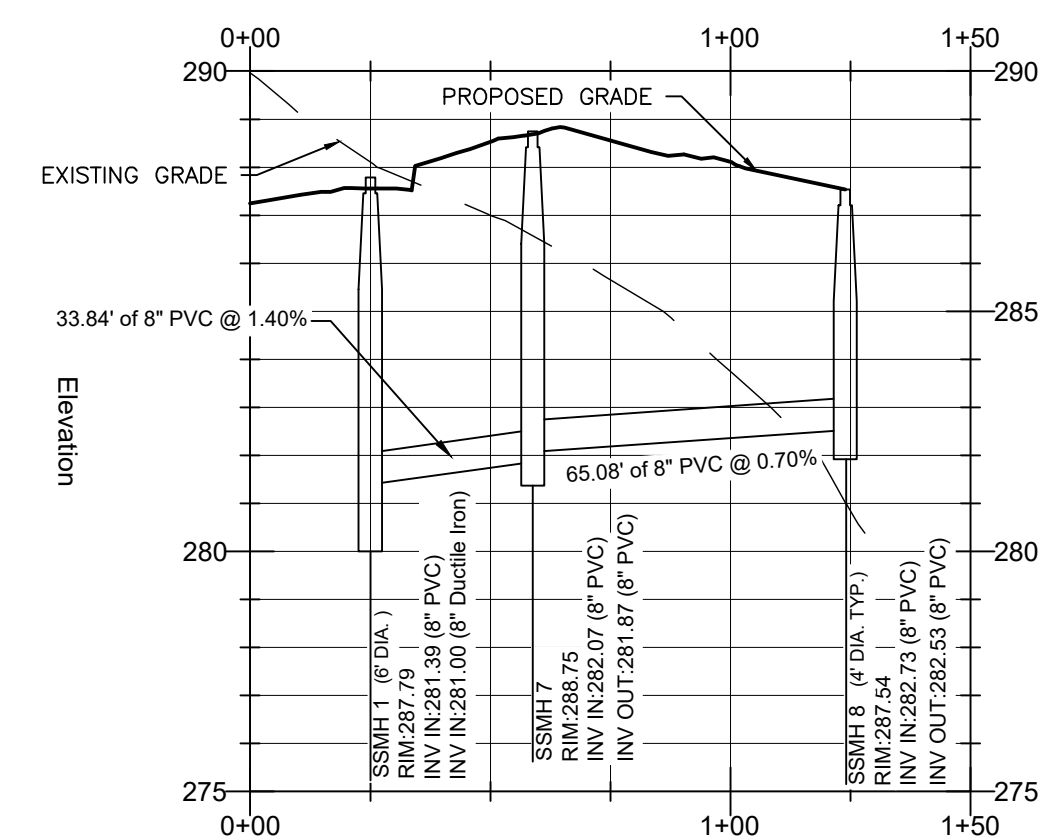
Public Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # W-4078
 Authorization to Construct _____
 Date _____




PLAN: 1"=40'
PROFILE: 1"=40' HORIZ.
 1"= 4' VERT.




PLAN: 1"=40'
PROFILE: 1"=40' HORIZ.
 1"= 4' VERT.



Public

Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5390

Authorization to Construct _____
Date _____

Private

Sewer Collection / Extension System

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5391(P)

Authorization to Construct _____
Date _____

Public

Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4078

Authorization to Construct _____
Date _____



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THE SITE GROUP, PLLC.
1111 DOWNSIDE DRIVE
RALEIGH, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By **WRR**
Checked By **SRN**

DATE: 09 MAY 2023
REVISED:
24 AUG 2023
21 NOV 2023

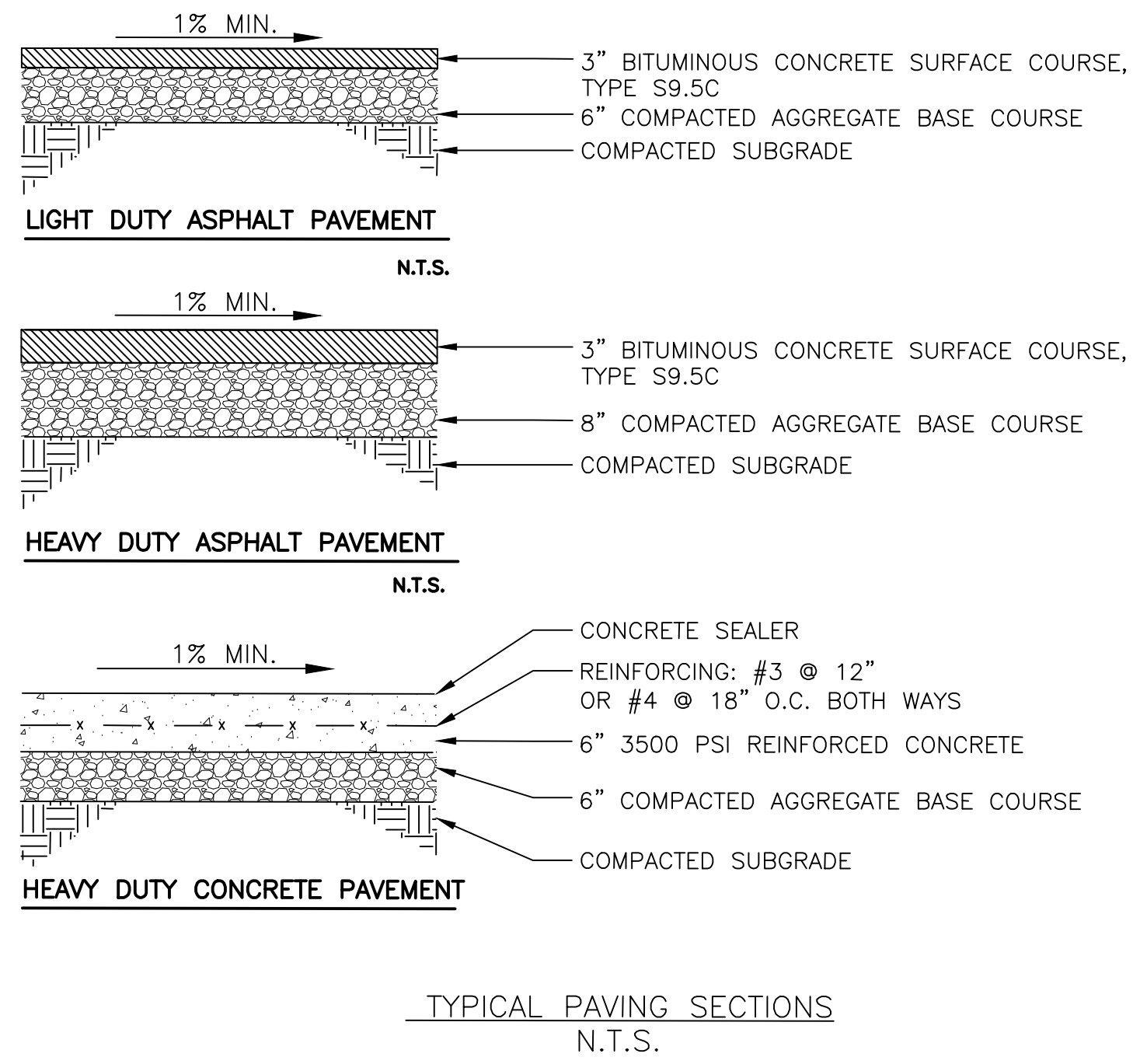
CONSTRUCTION DRAWINGS

SANITARY SEWER PLAN & PROFILE

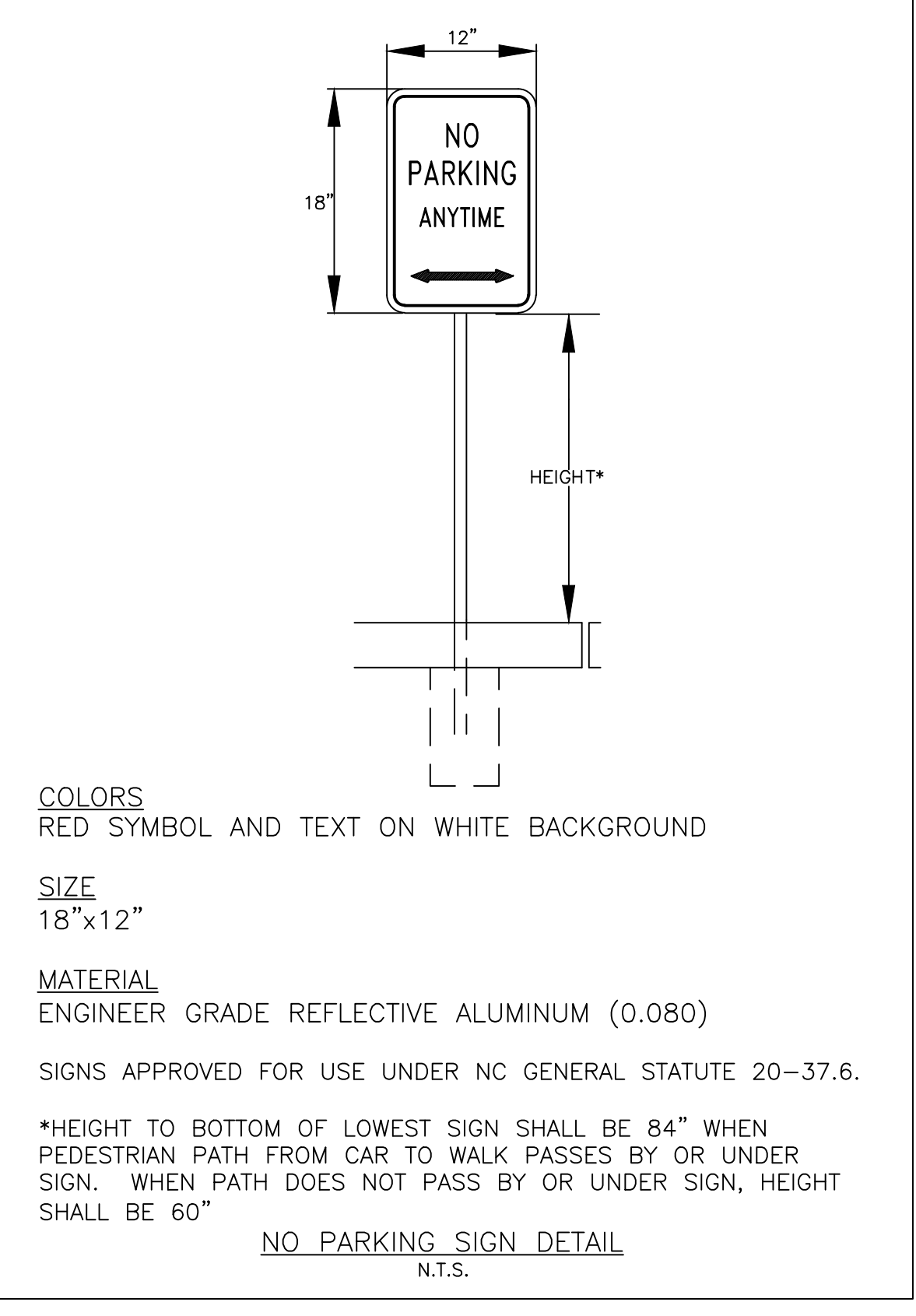
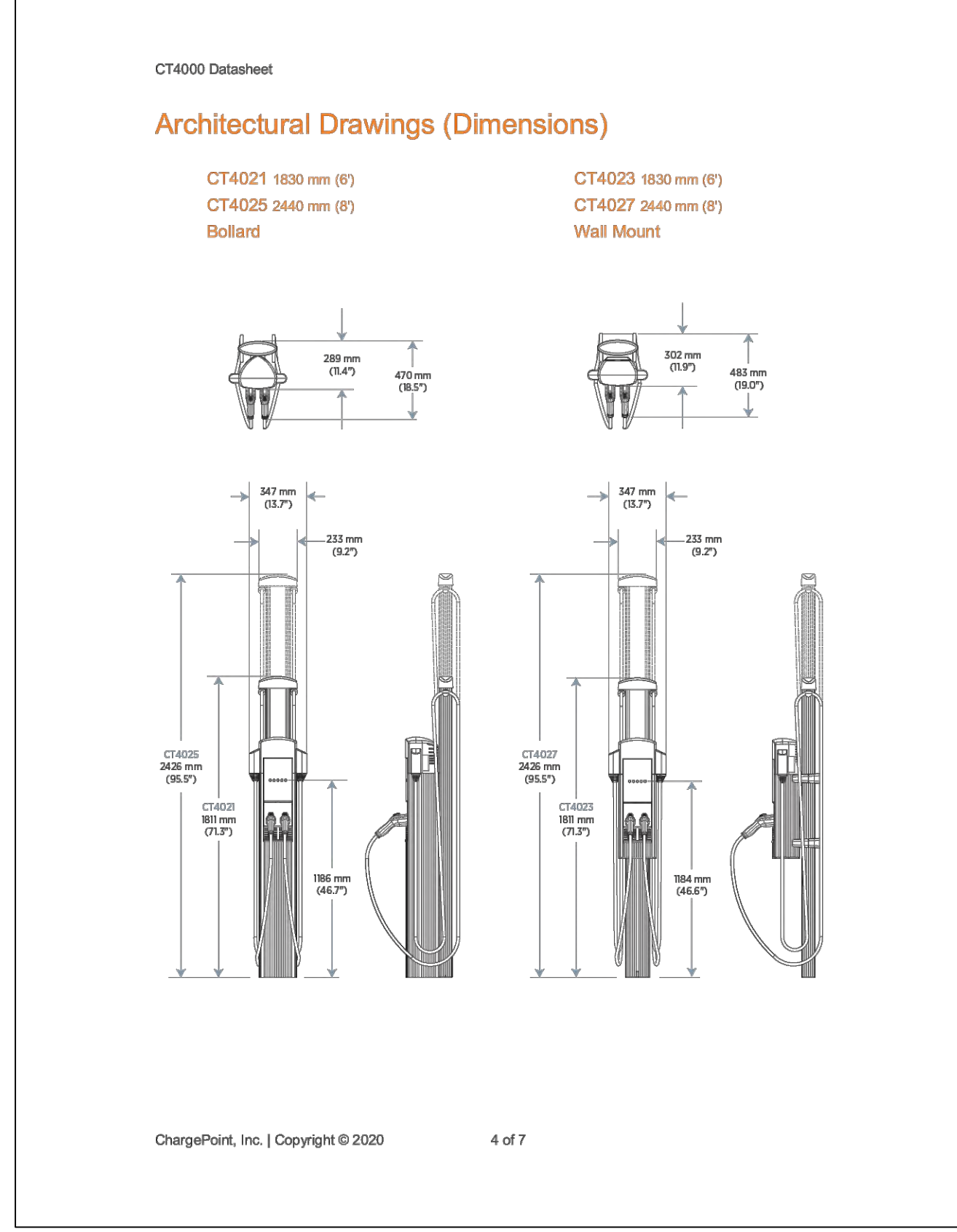
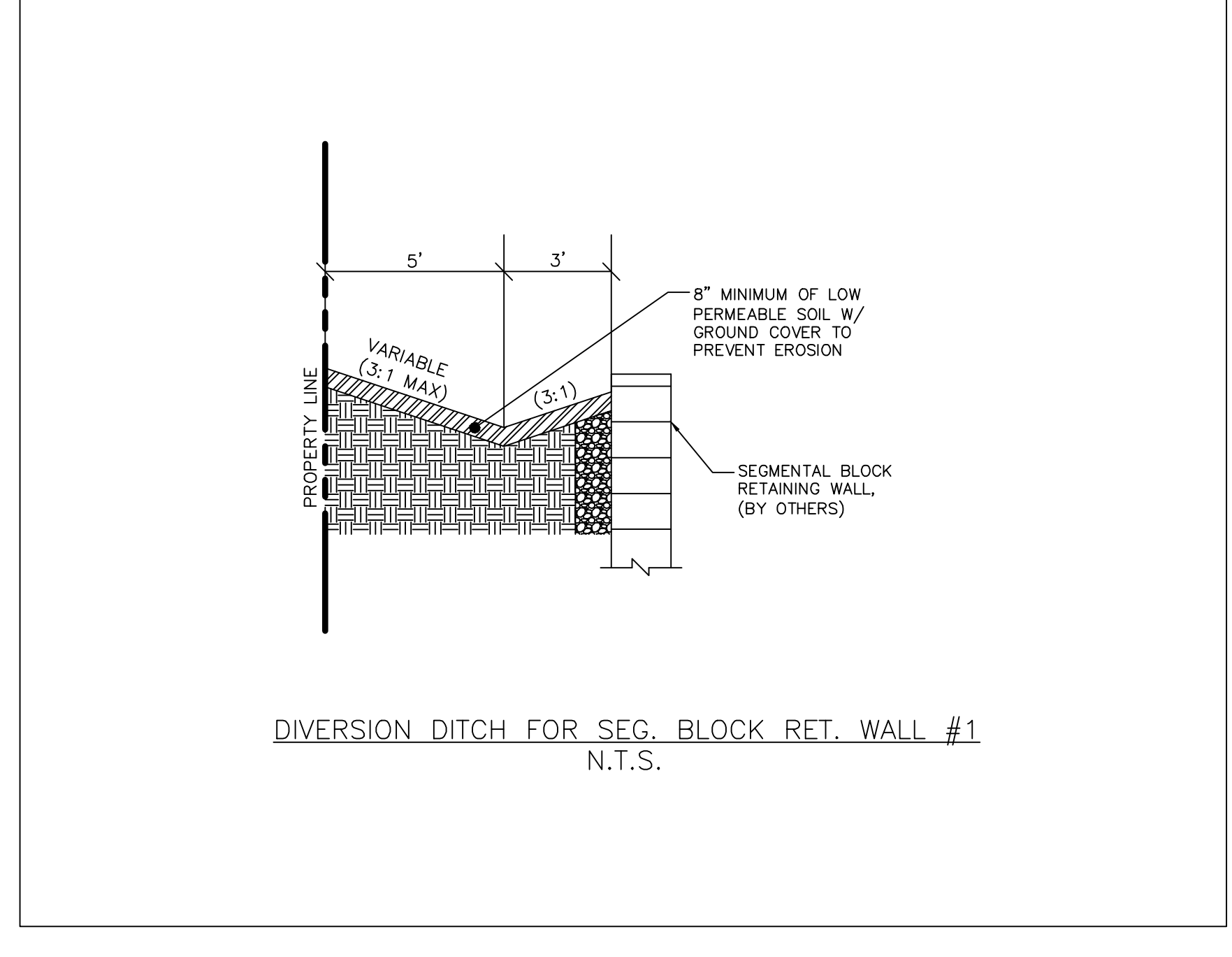
Job Code **SCBSZ**

Dwg No.
SITE 602

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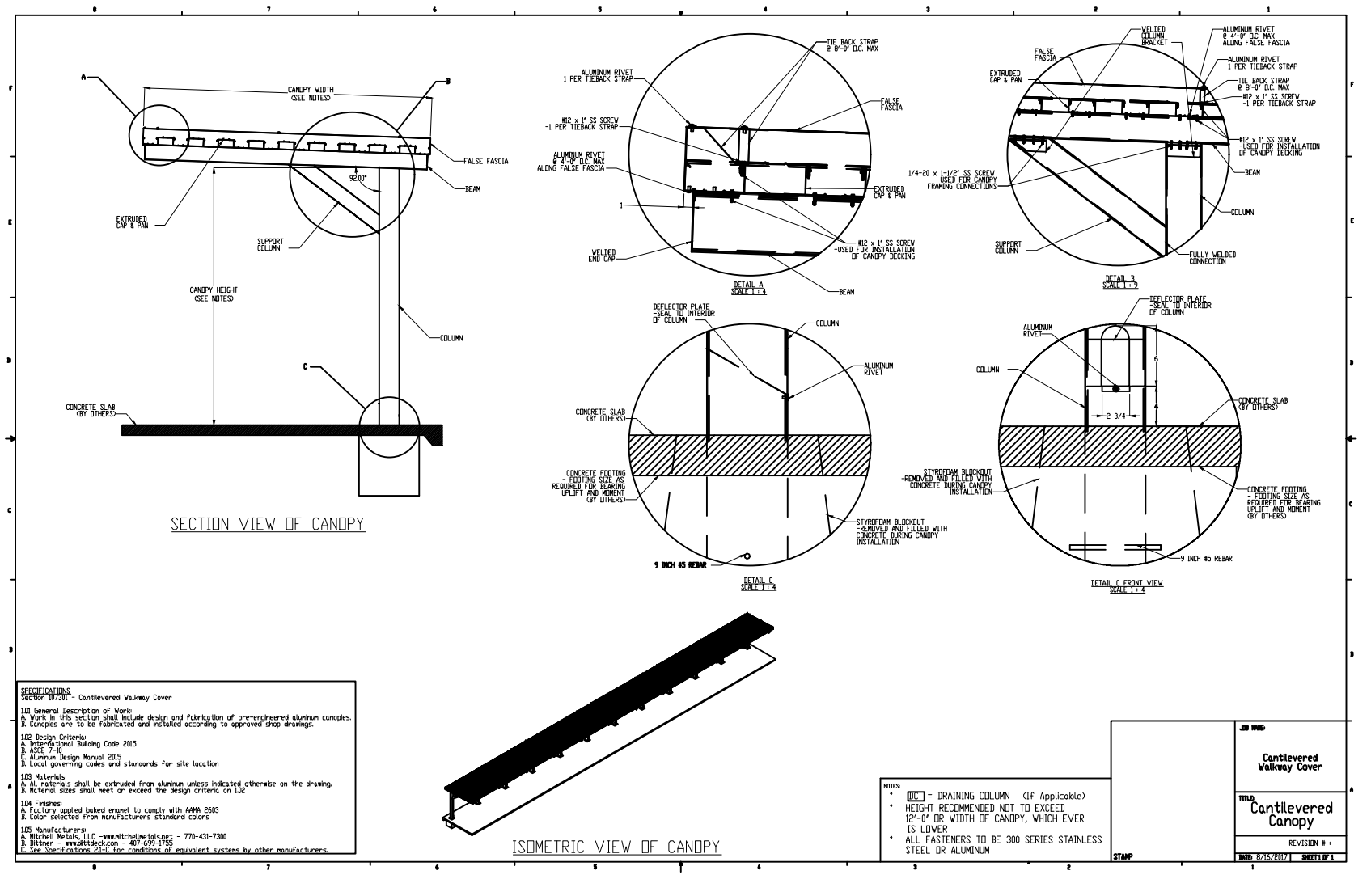
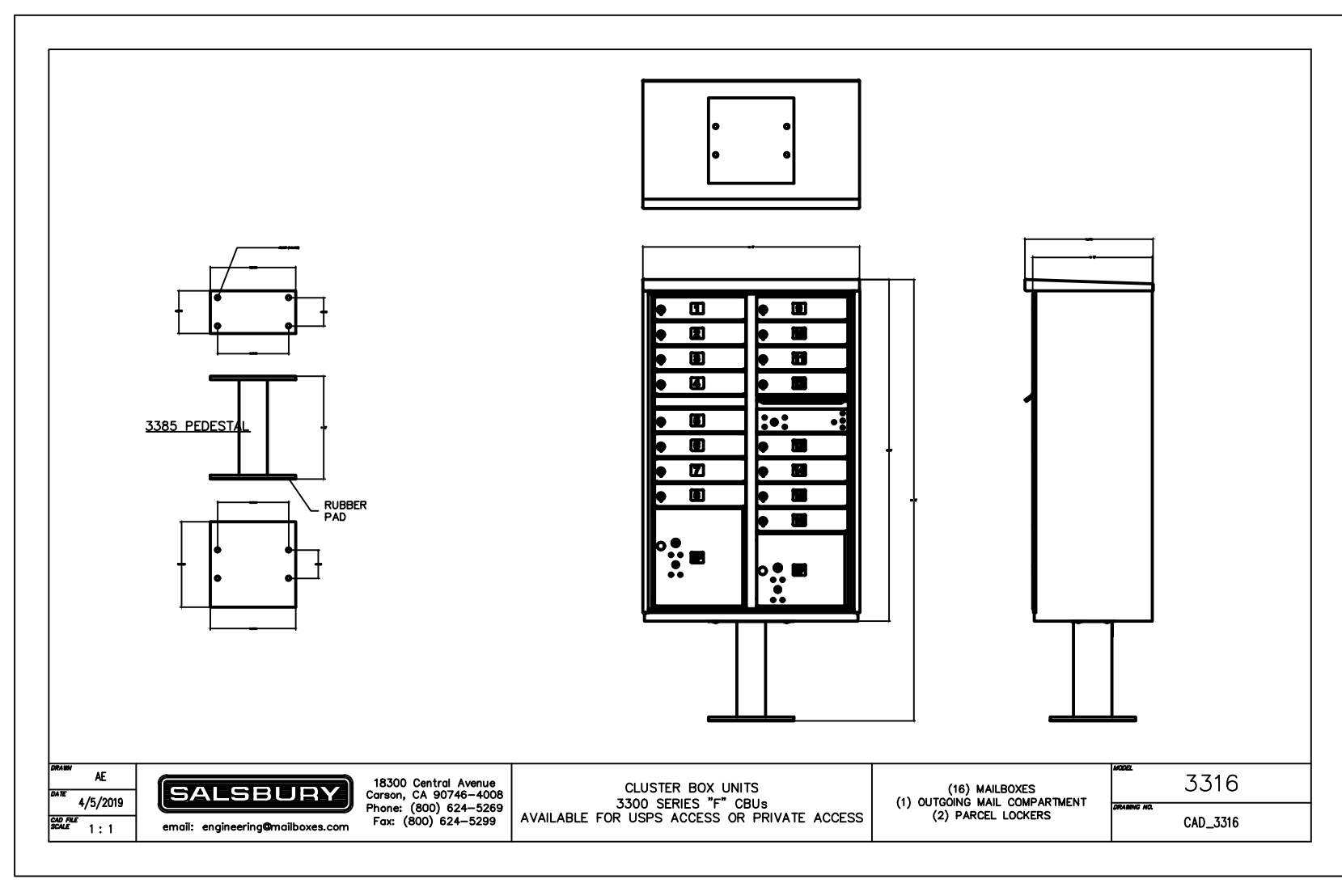
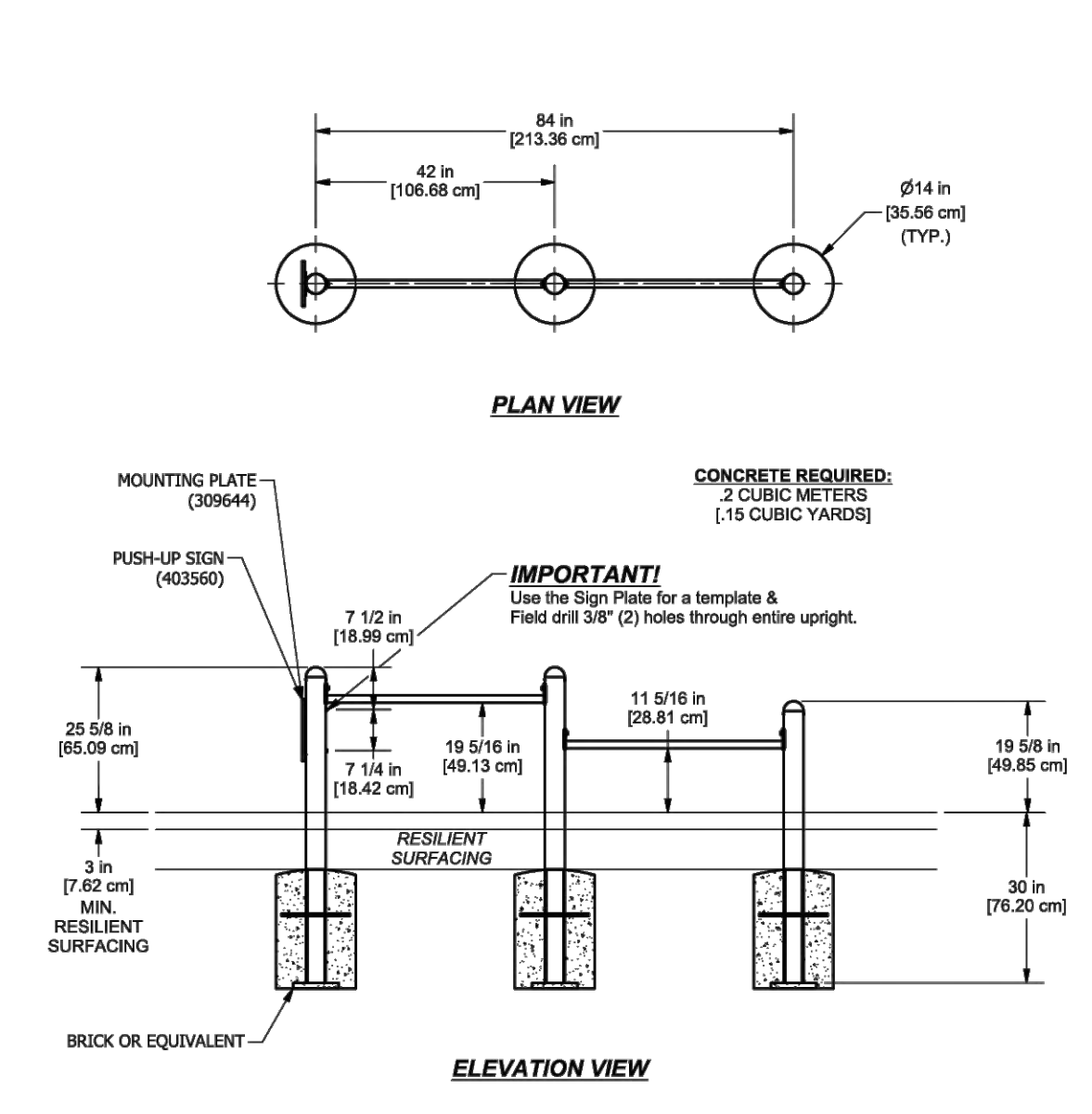
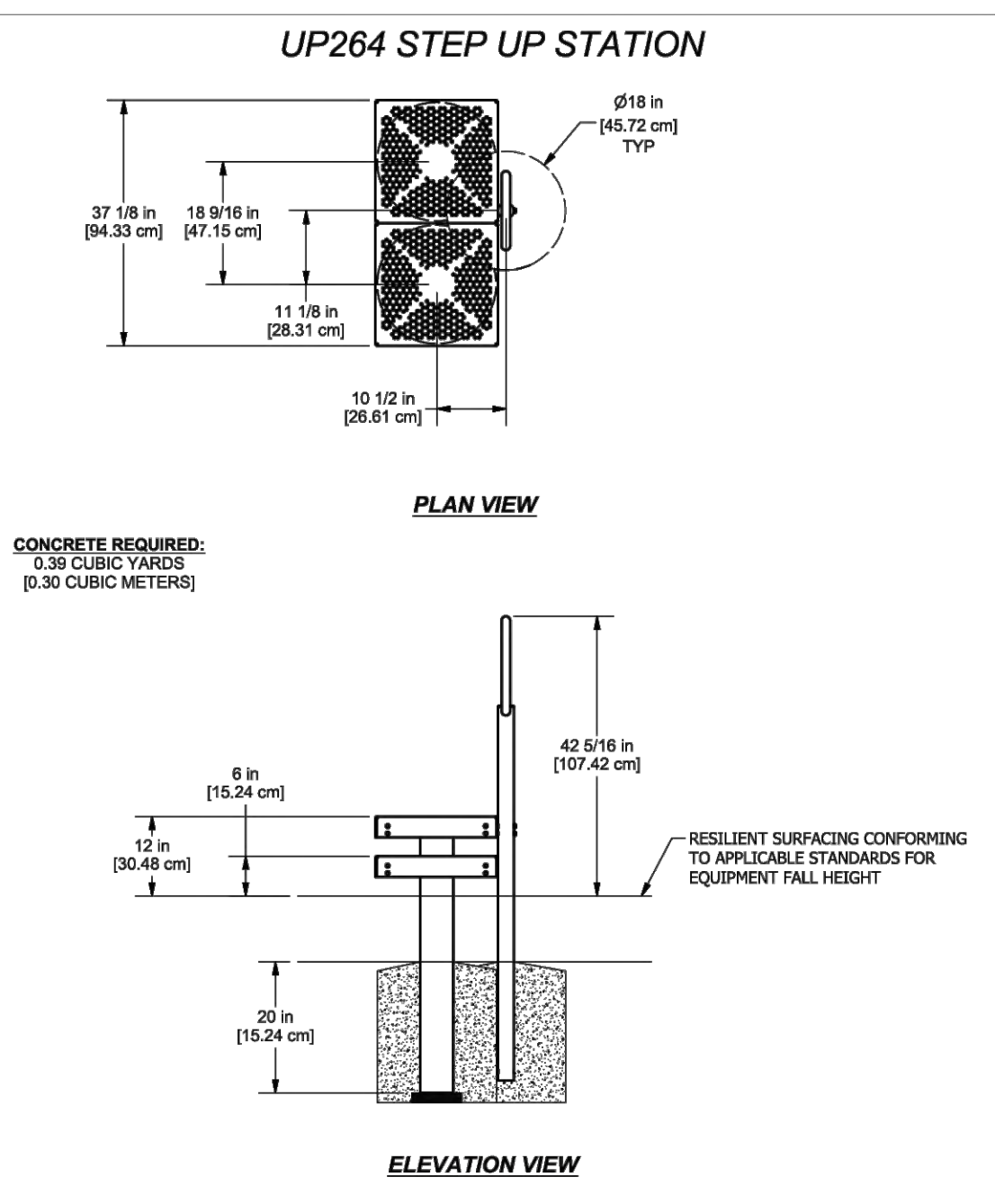
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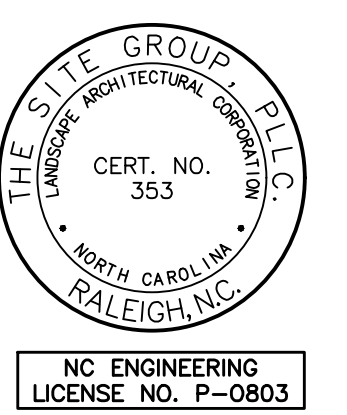
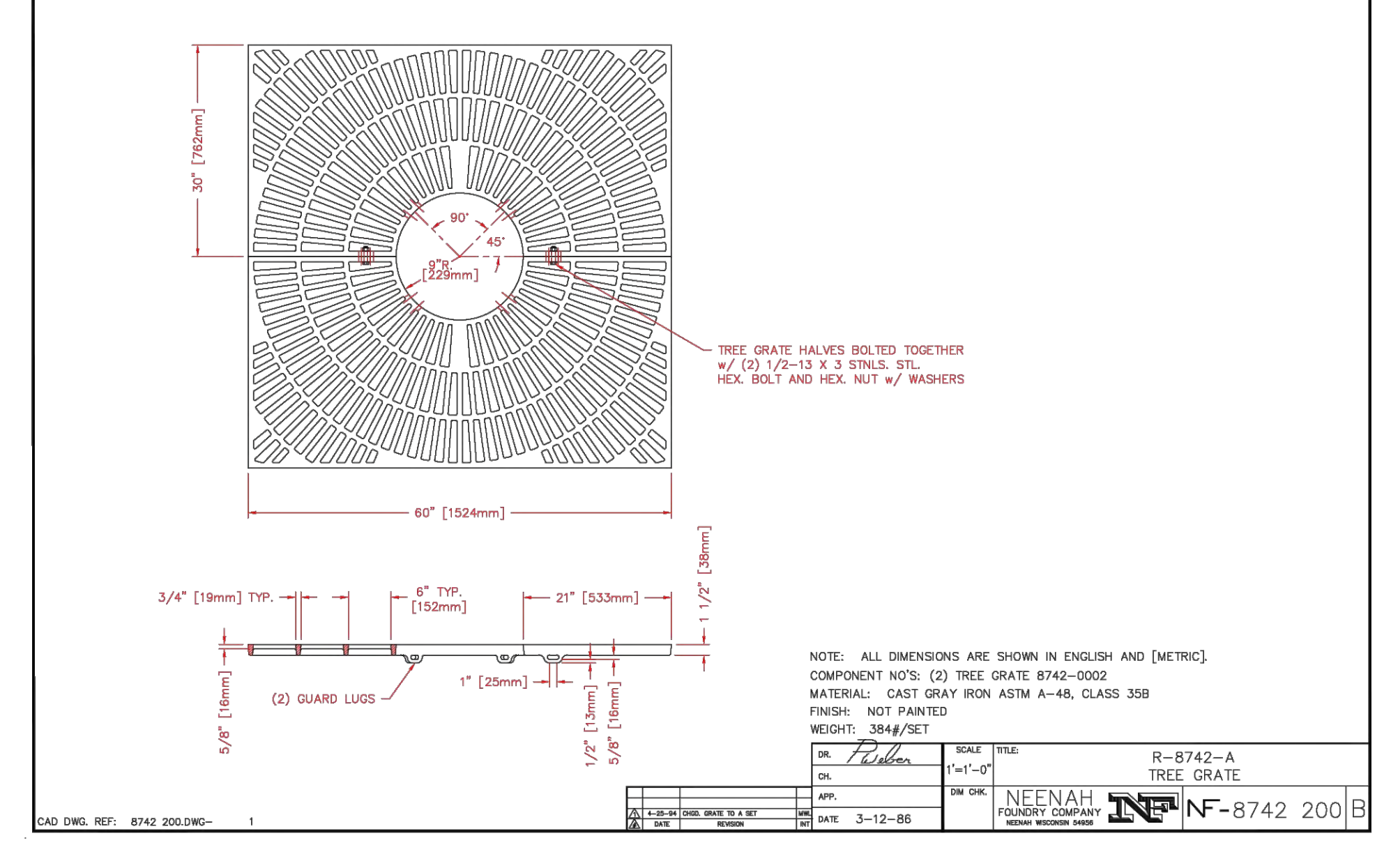
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THE SITE GROUP, P.L.L.C.
 1000 W. GARDNER ST., SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: WRR
 Checked By: SRN

DATE: 07 NOV 2022
 REVISED:
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 09 MAY 2023
 21 NOV 2023
 08 JAN 2024

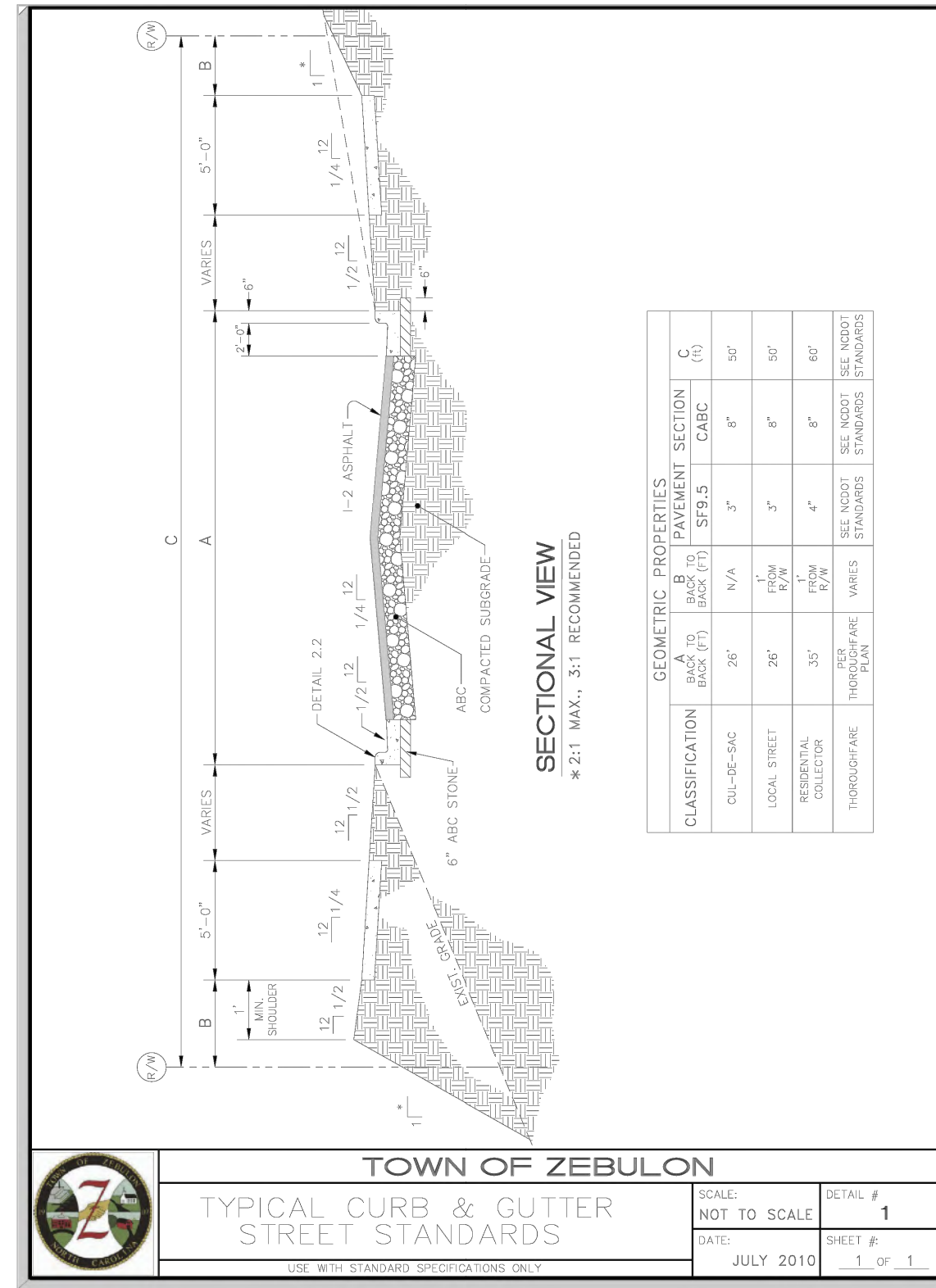
CONSTRUCTION DRAWING

SITE DETAILS

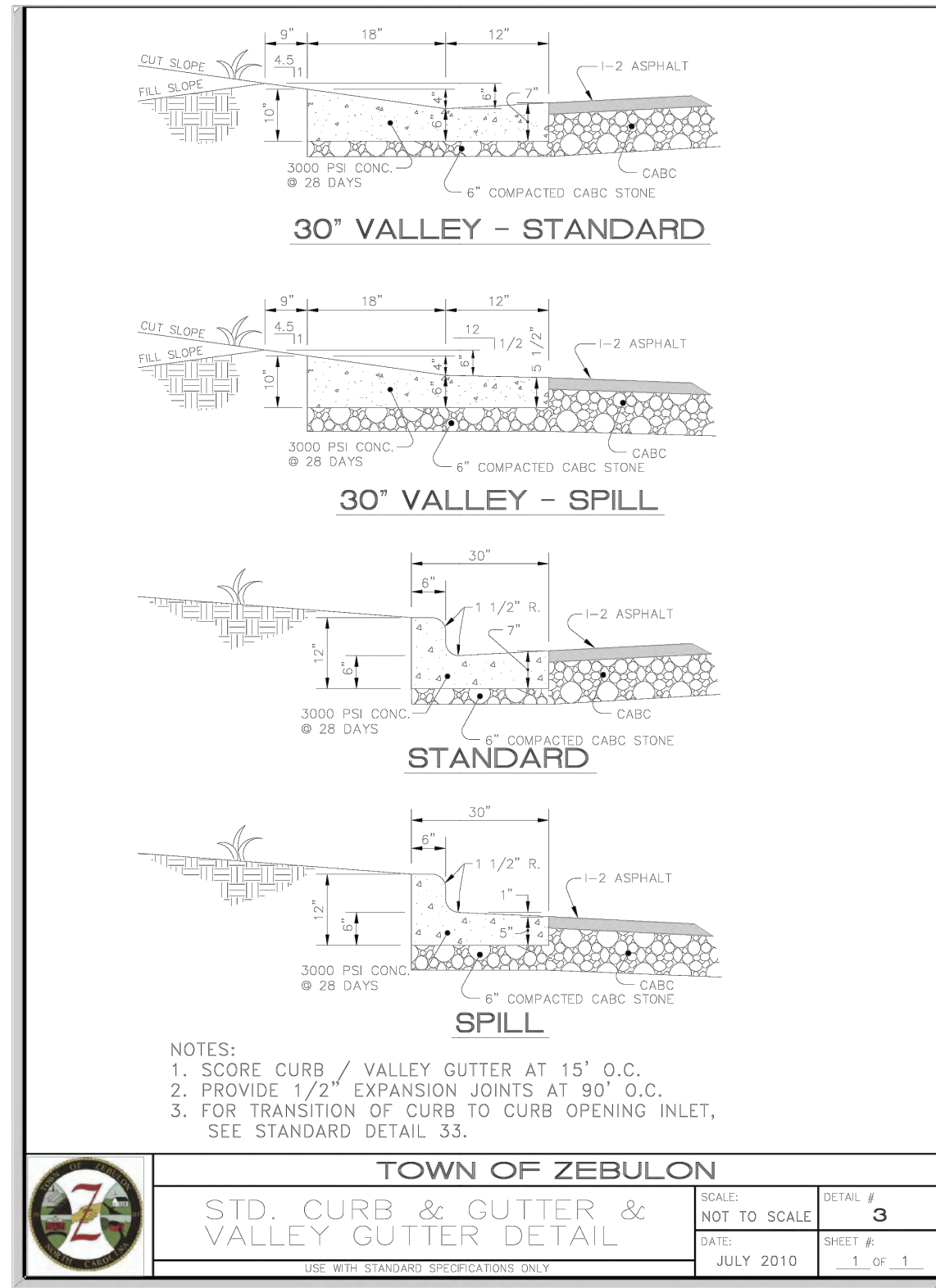
Job Code: SCBSZ

Dwg No. SITE 700

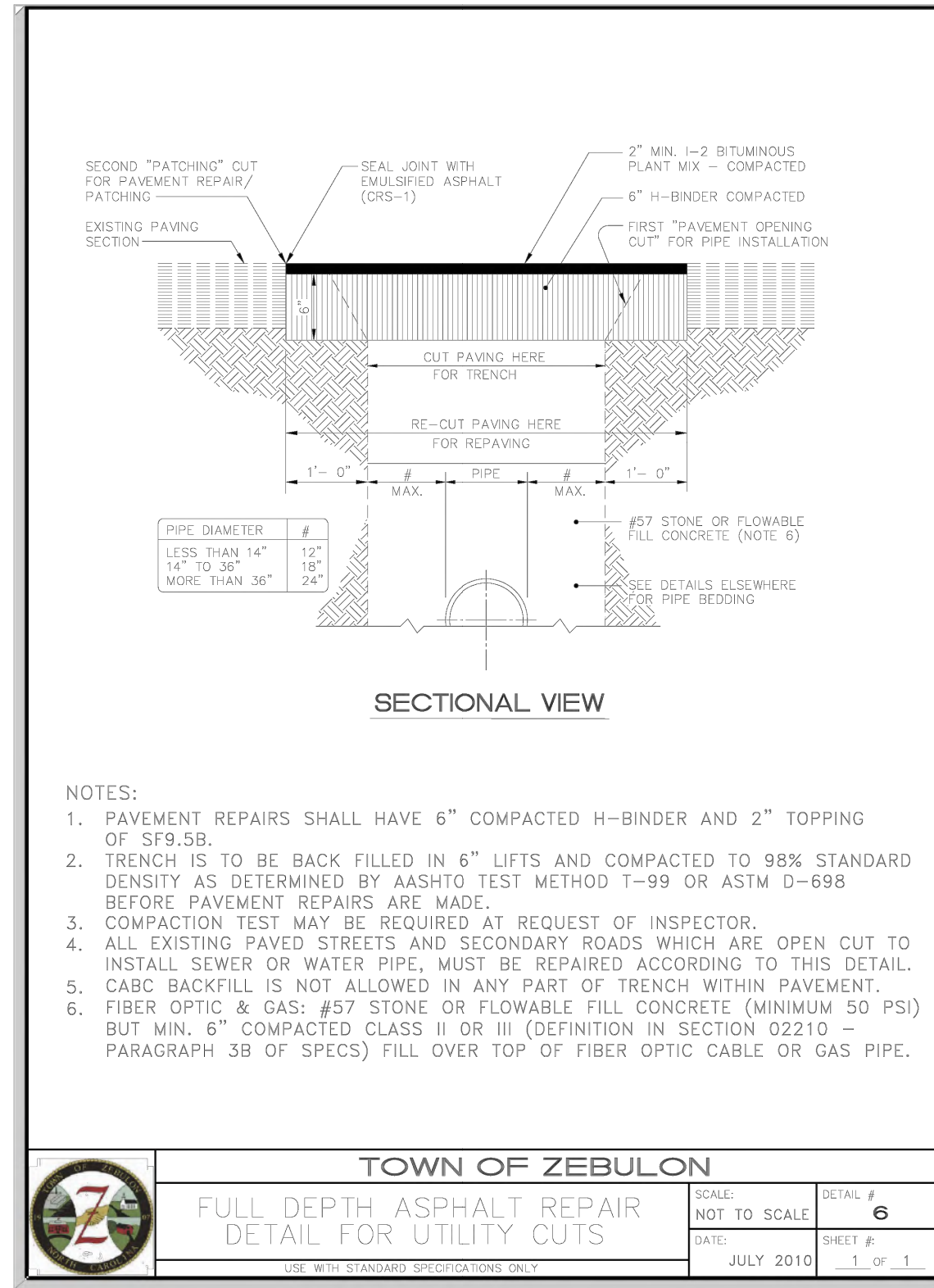
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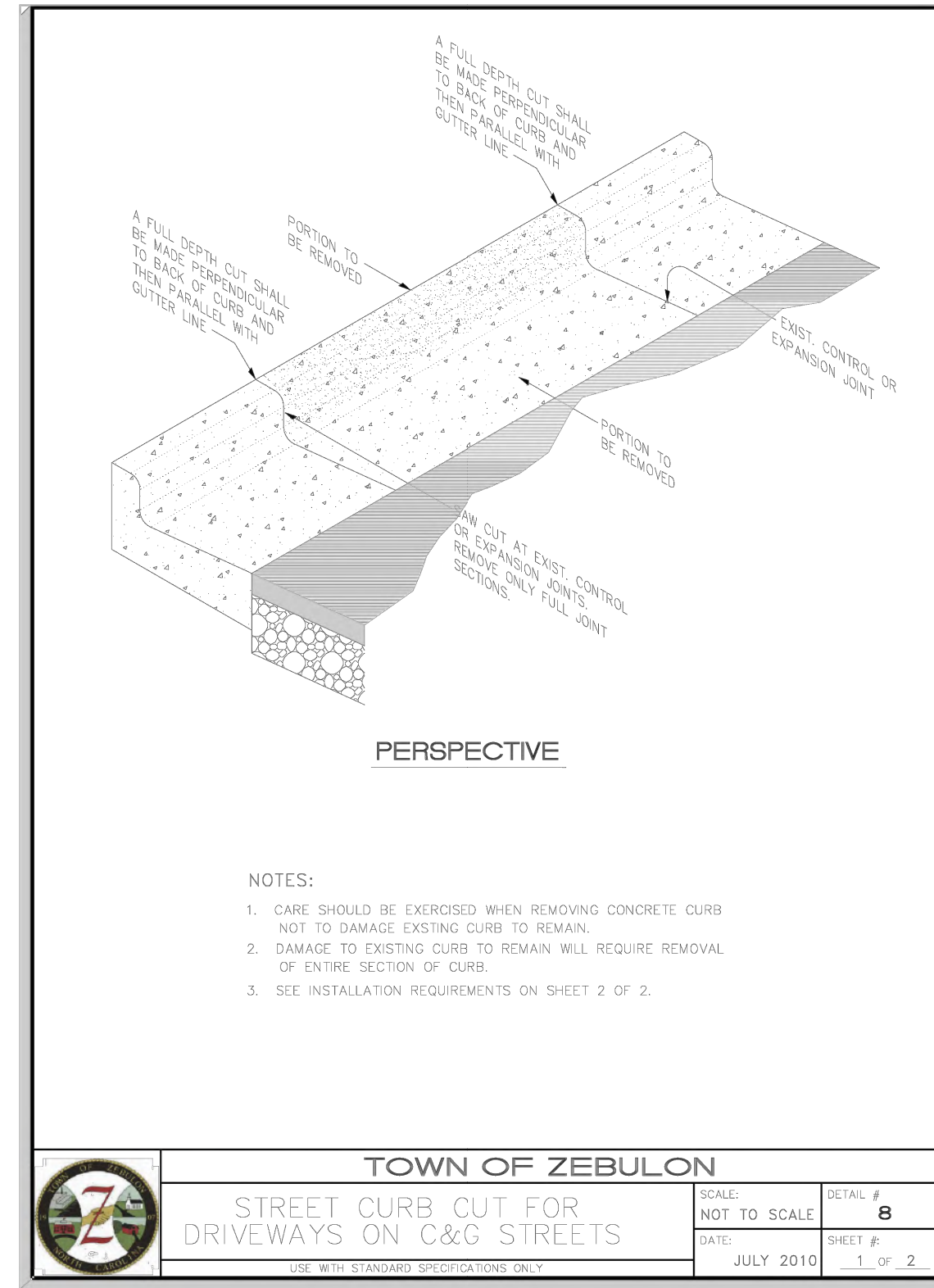
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DATE:	JULY 2010	SHEET #	1 OF 1



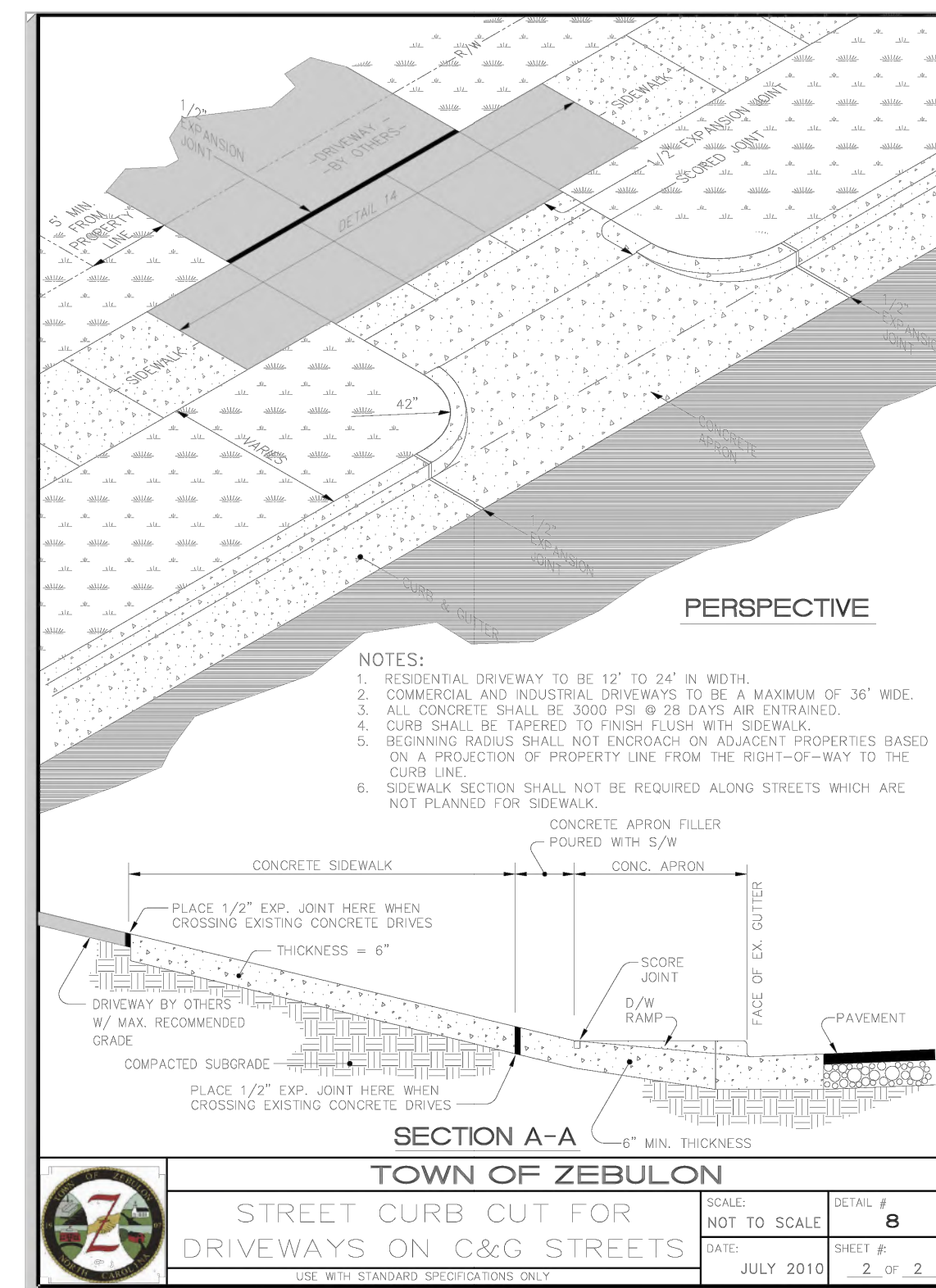
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STD. CURB & GUTTER & VALLEY GUTTER DETAIL		NOT TO SCALE	3
DATE:	JULY 2010	SHEET #	1 OF 1



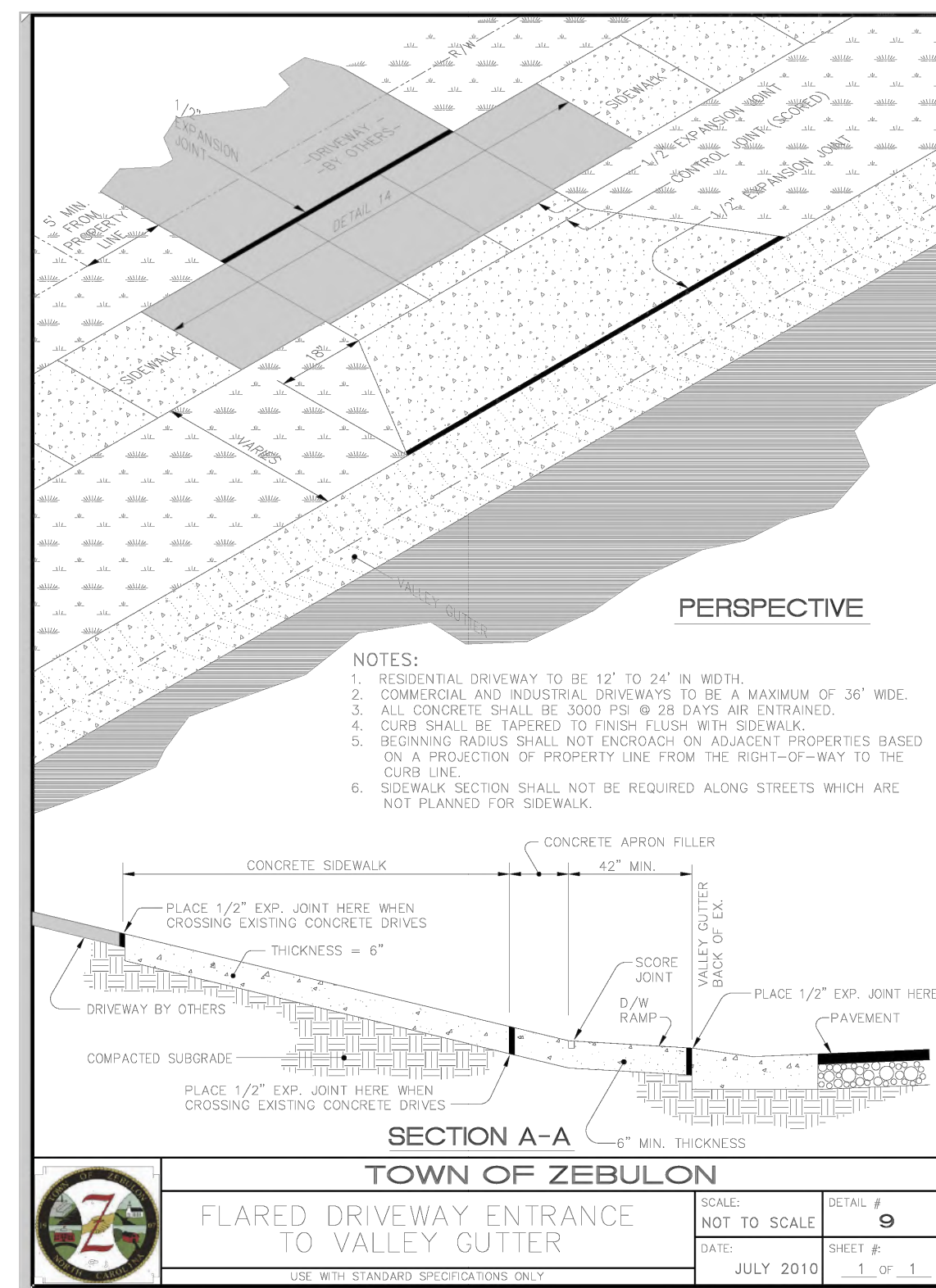
TOWN OF ZEBULON		SCALE:	DETAIL #
FULL DEPTH ASPHALT REPAIR DETAIL FOR UTILITY CUTS		NOT TO SCALE	6
DATE:	JULY 2010	SHEET #	1 OF 1



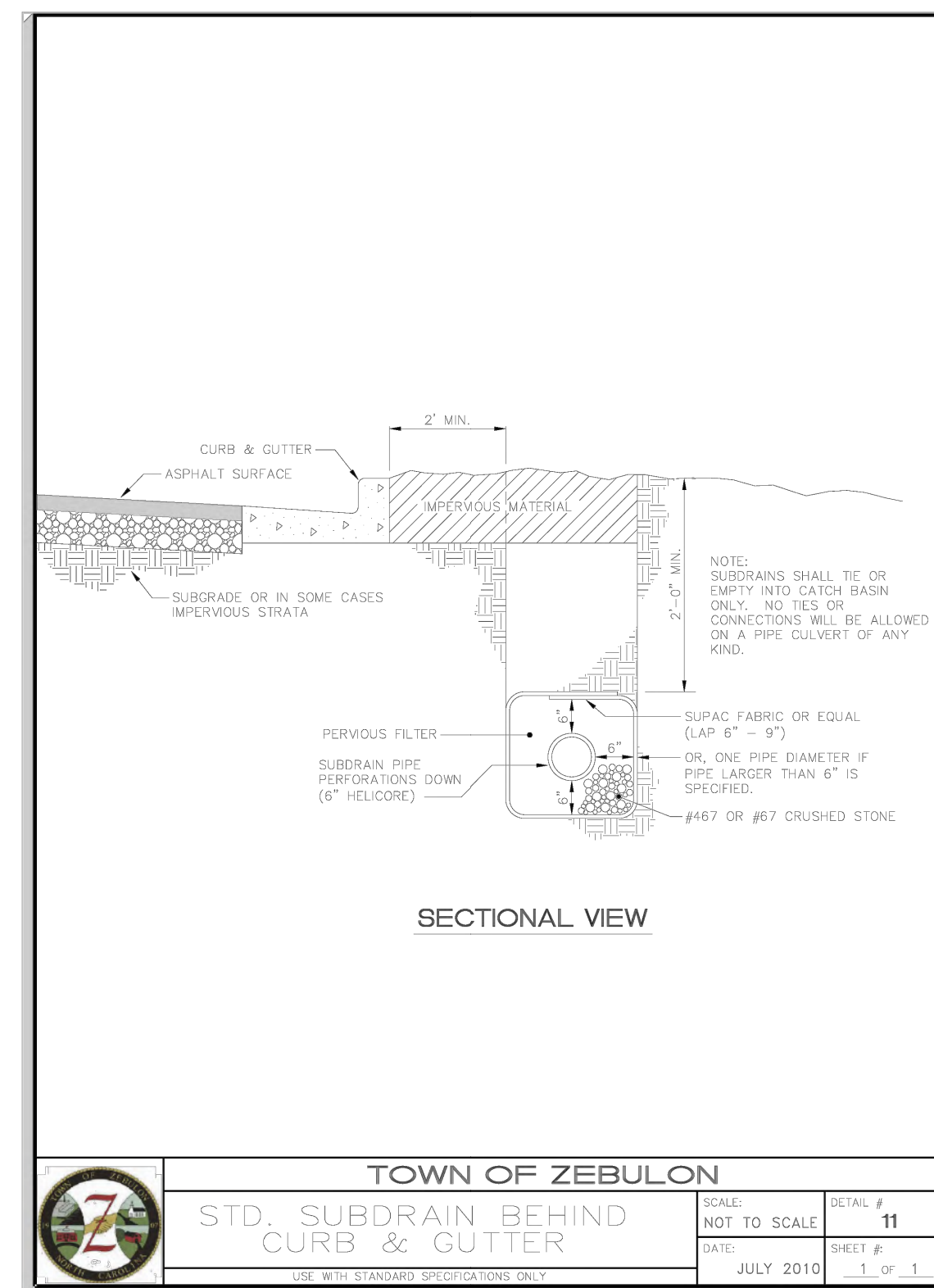
TOWN OF ZEBULON		SCALE:	DETAIL #
STREET CURB CUT FOR DRIVEWAYS ON C&G STREETS		NOT TO SCALE	8
DATE:	JULY 2010	SHEET #	1 OF 2



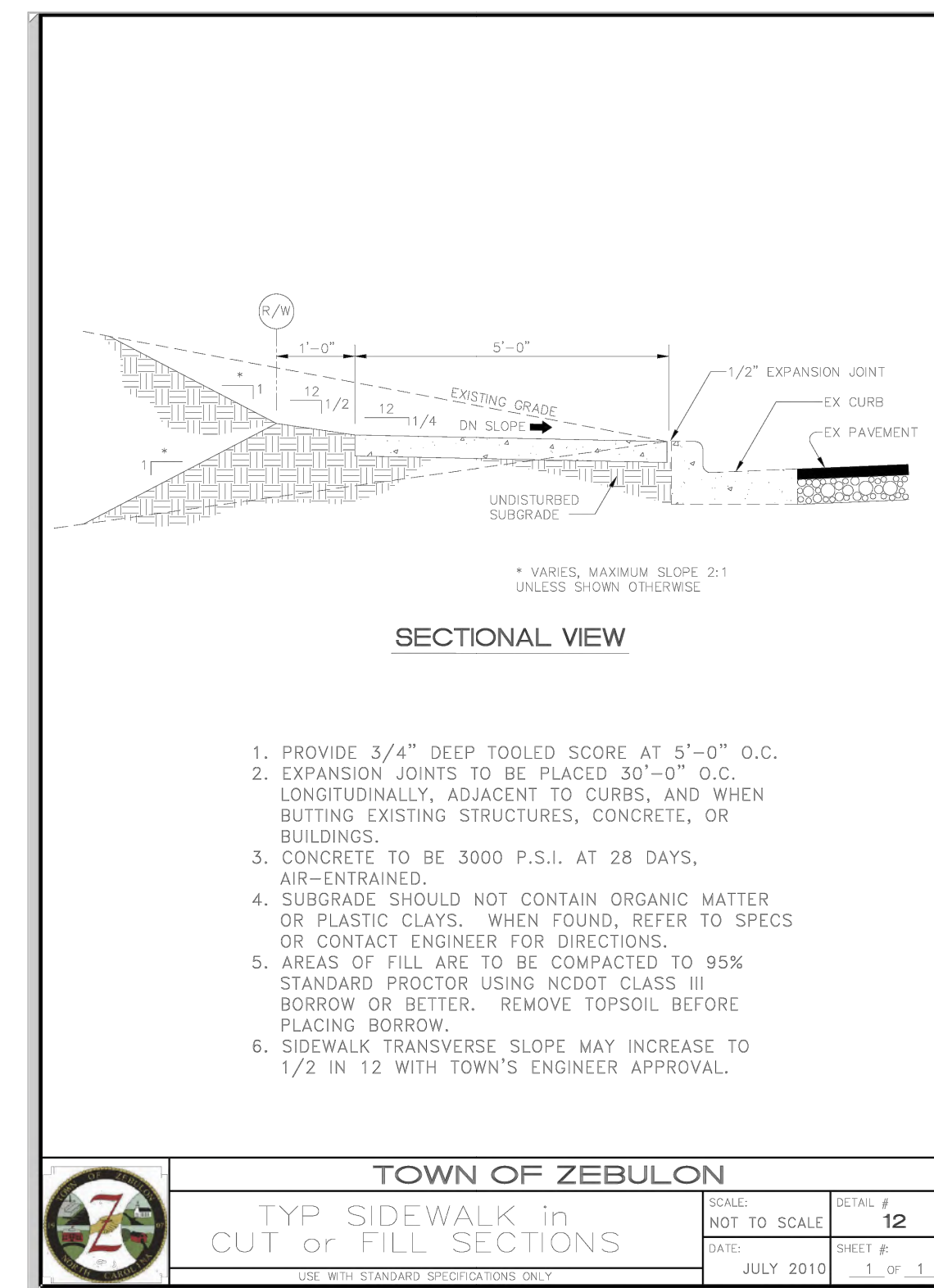
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STREET CURB CUT FOR DRIVEWAYS ON C&G STREETS		NOT TO SCALE	8
DATE:	JULY 2010	SHEET #	2 OF 2



TOWN OF ZEBULON		SCALE:	DETAIL #
FLARED DRIVEWAY ENTRANCE TO VALLEY GUTTER		NOT TO SCALE	9
DATE:	JULY 2010	SHEET #	1 OF 1



TOWN OF ZEBULON		SCALE:	DETAIL #
STD. SUBDRAIN BEHIND CURB & GUTTER		NOT TO SCALE	11
DATE:	JULY 2010	SHEET #	1 OF 1



TOWN OF ZEBULON		SCALE:	DETAIL #
TYP. SIDEWALK in CUT or FILL SECTIONS		NOT TO SCALE	12
DATE:	JULY 2010	SHEET #	1 OF 1



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 THE SITE GROUP, PLLC
 1000 N. W. 10th St., Suite 200
 Raleigh, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

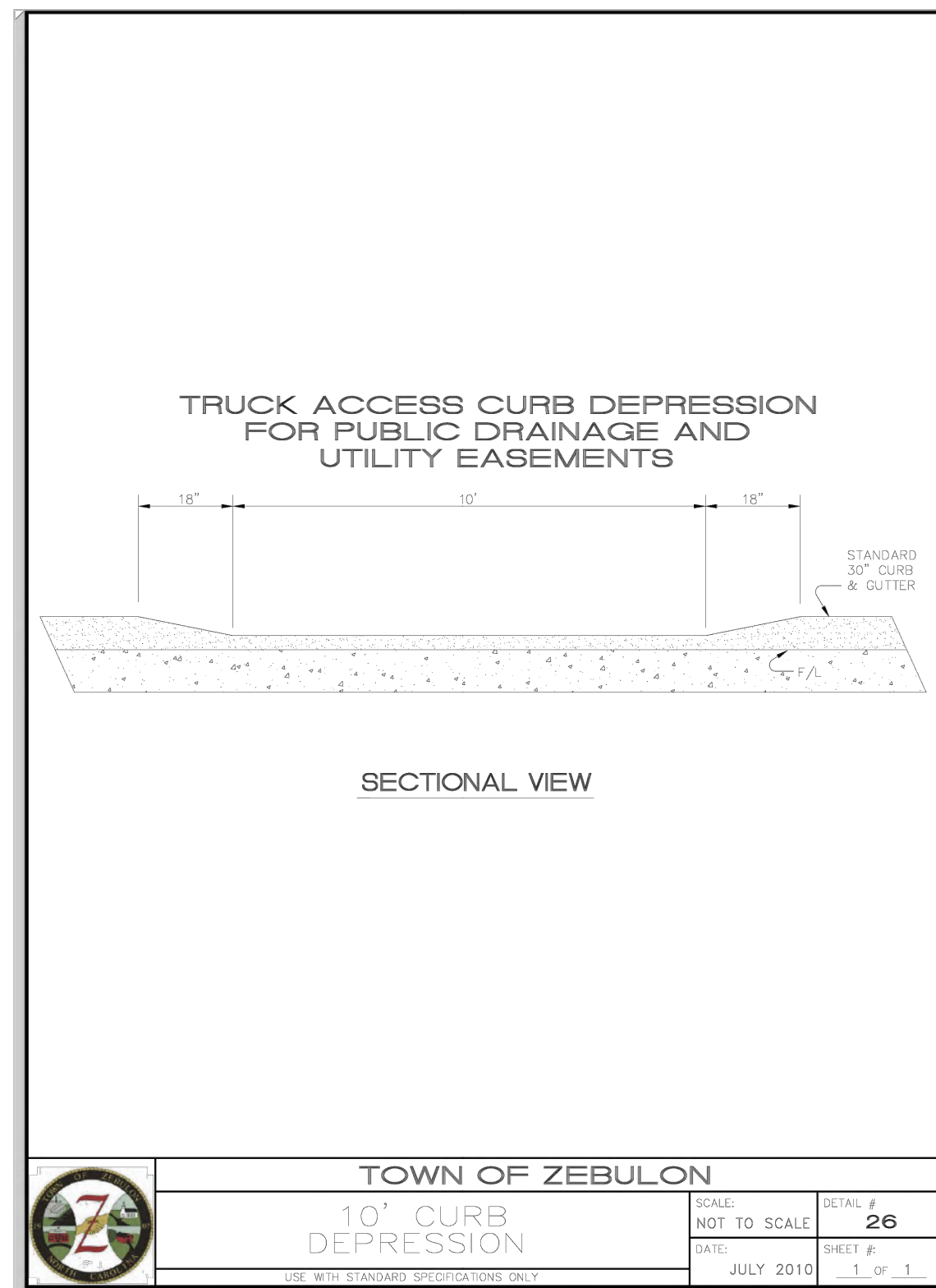
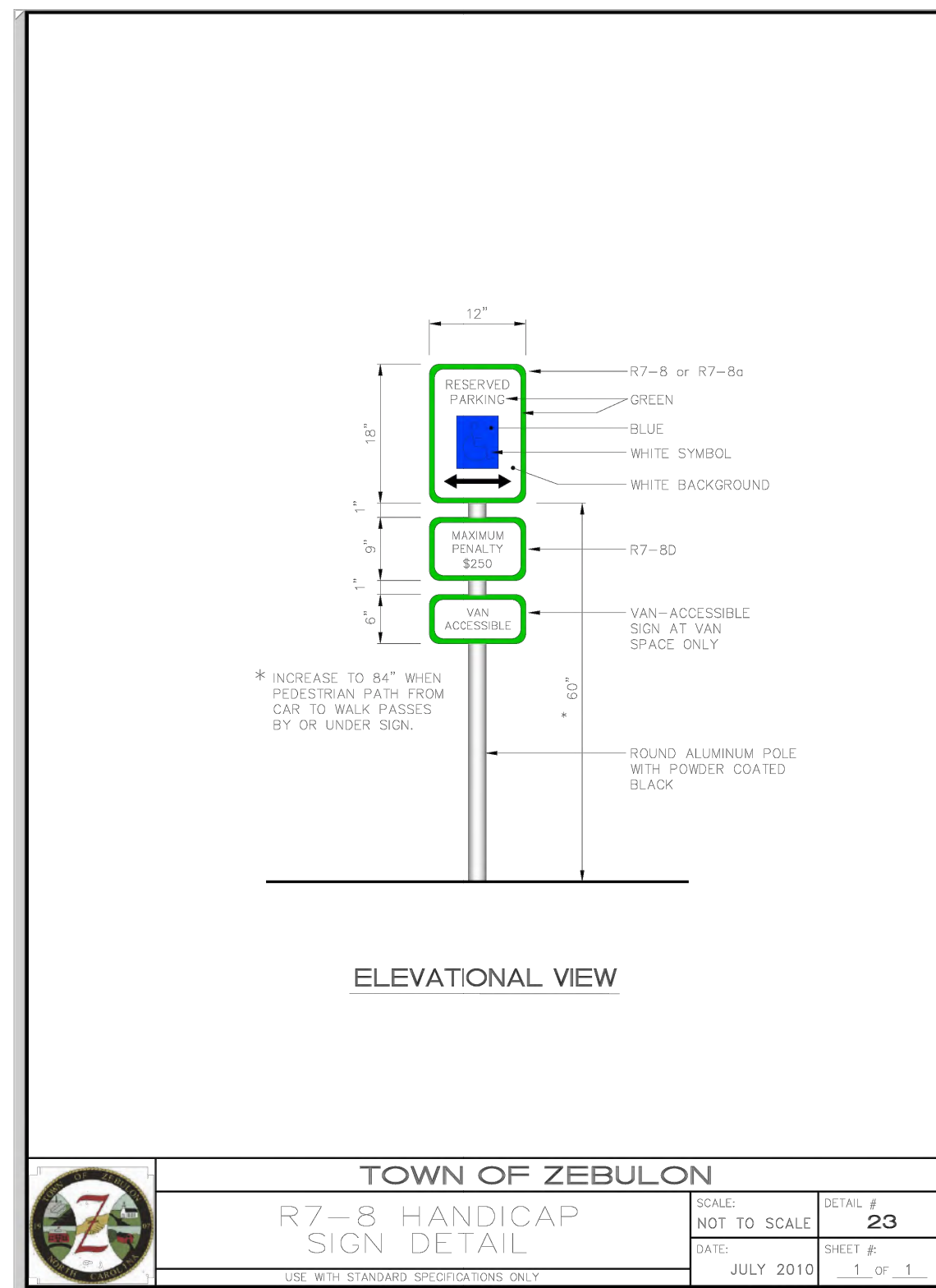
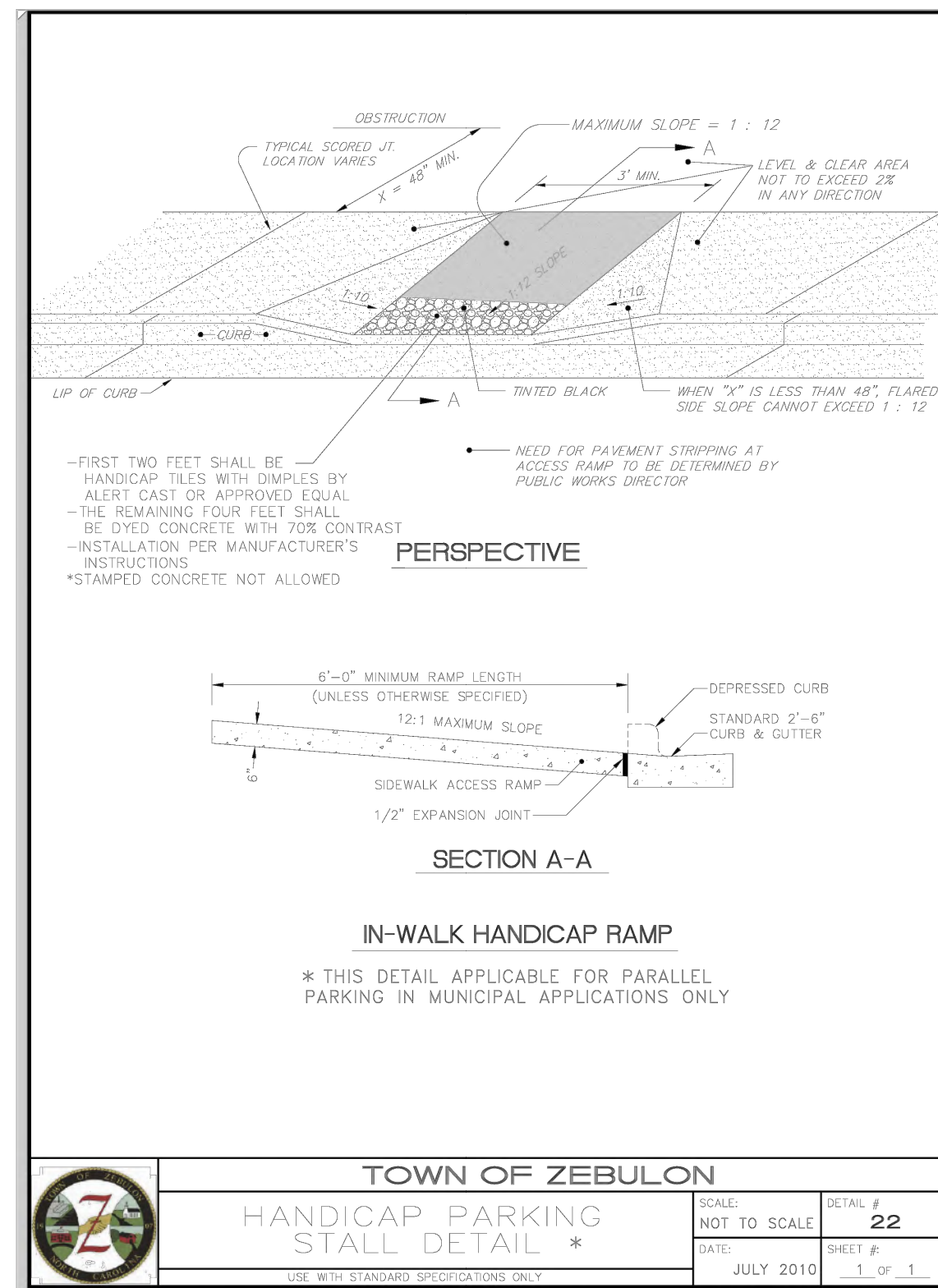
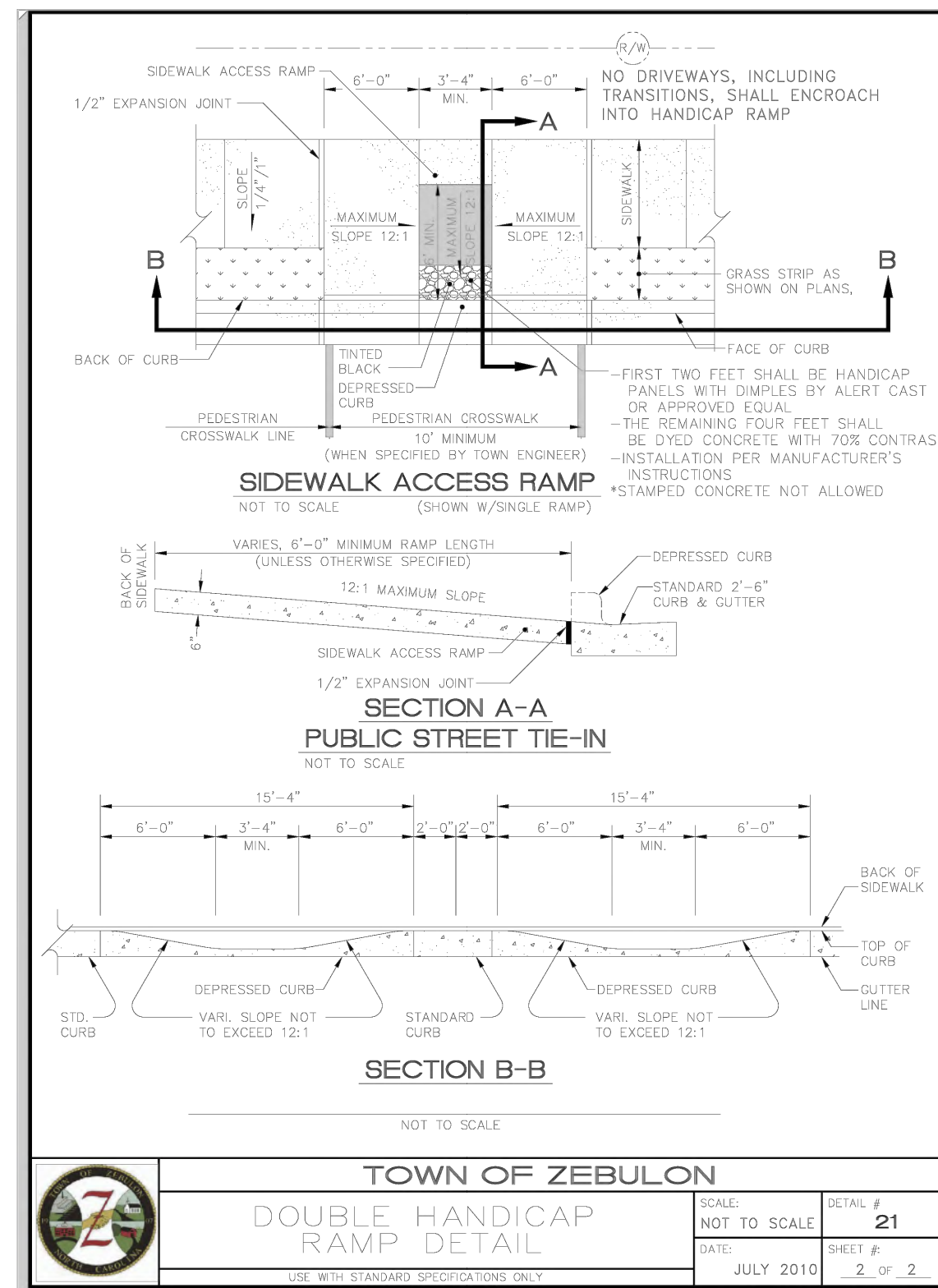
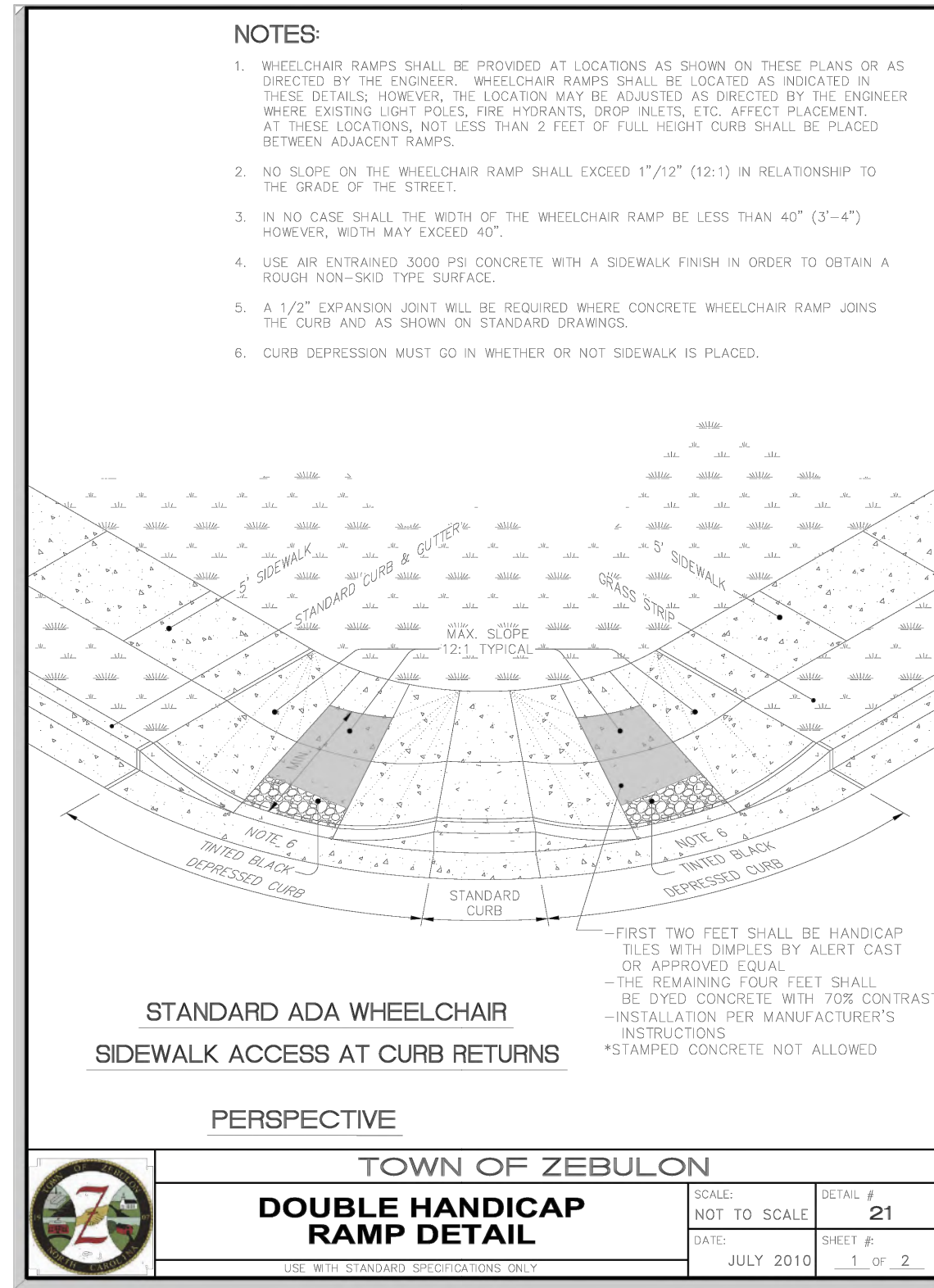
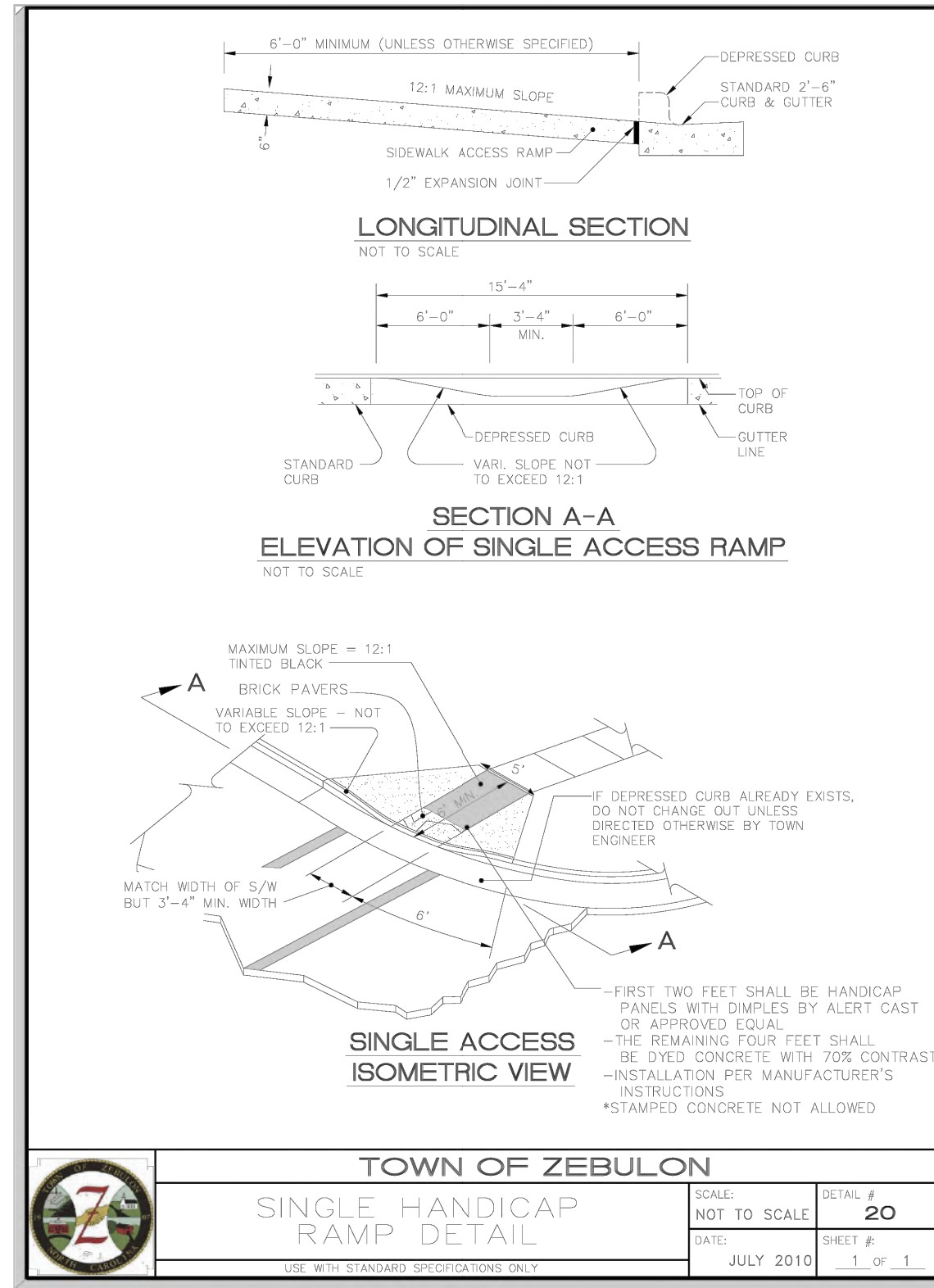
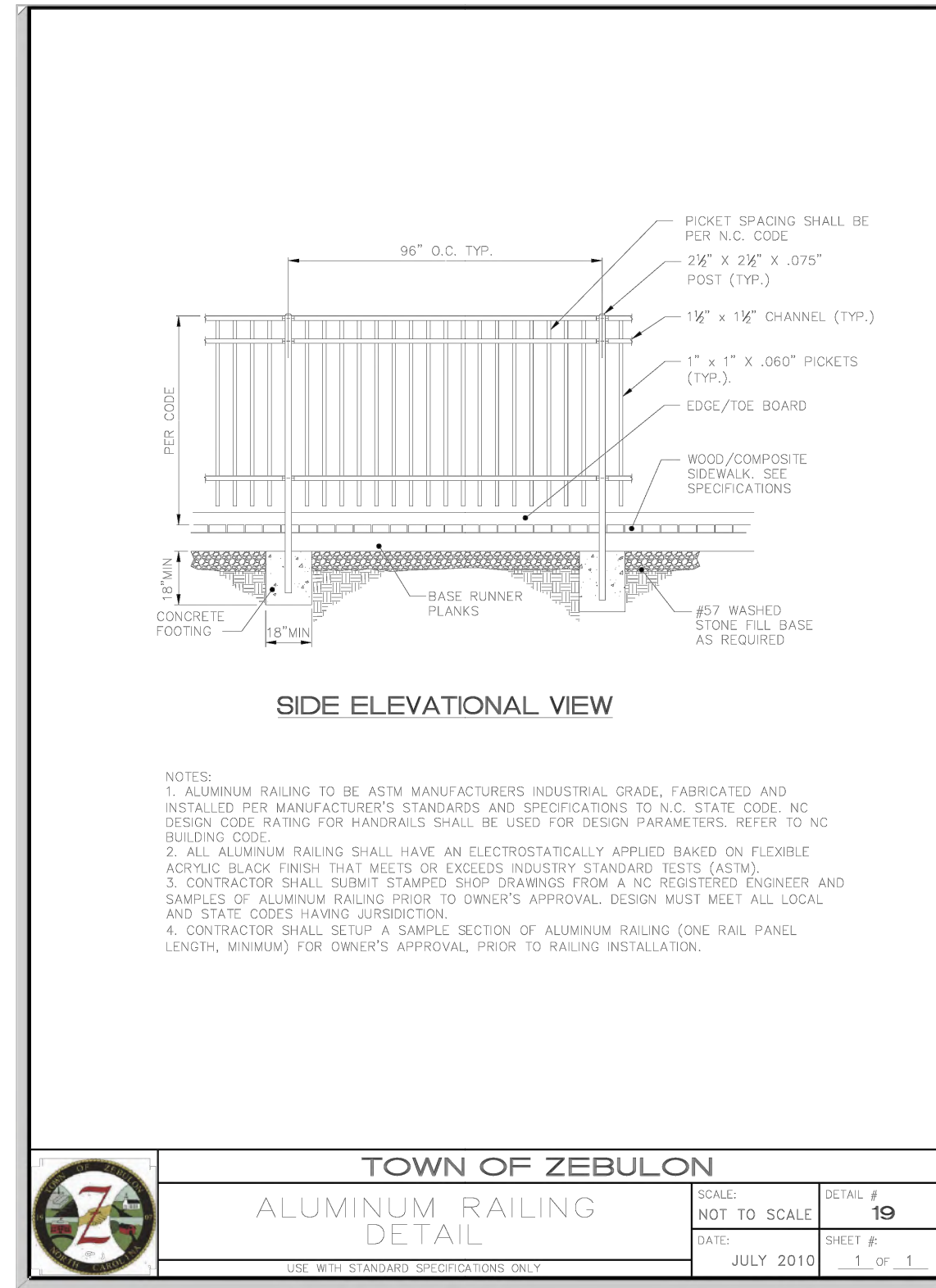
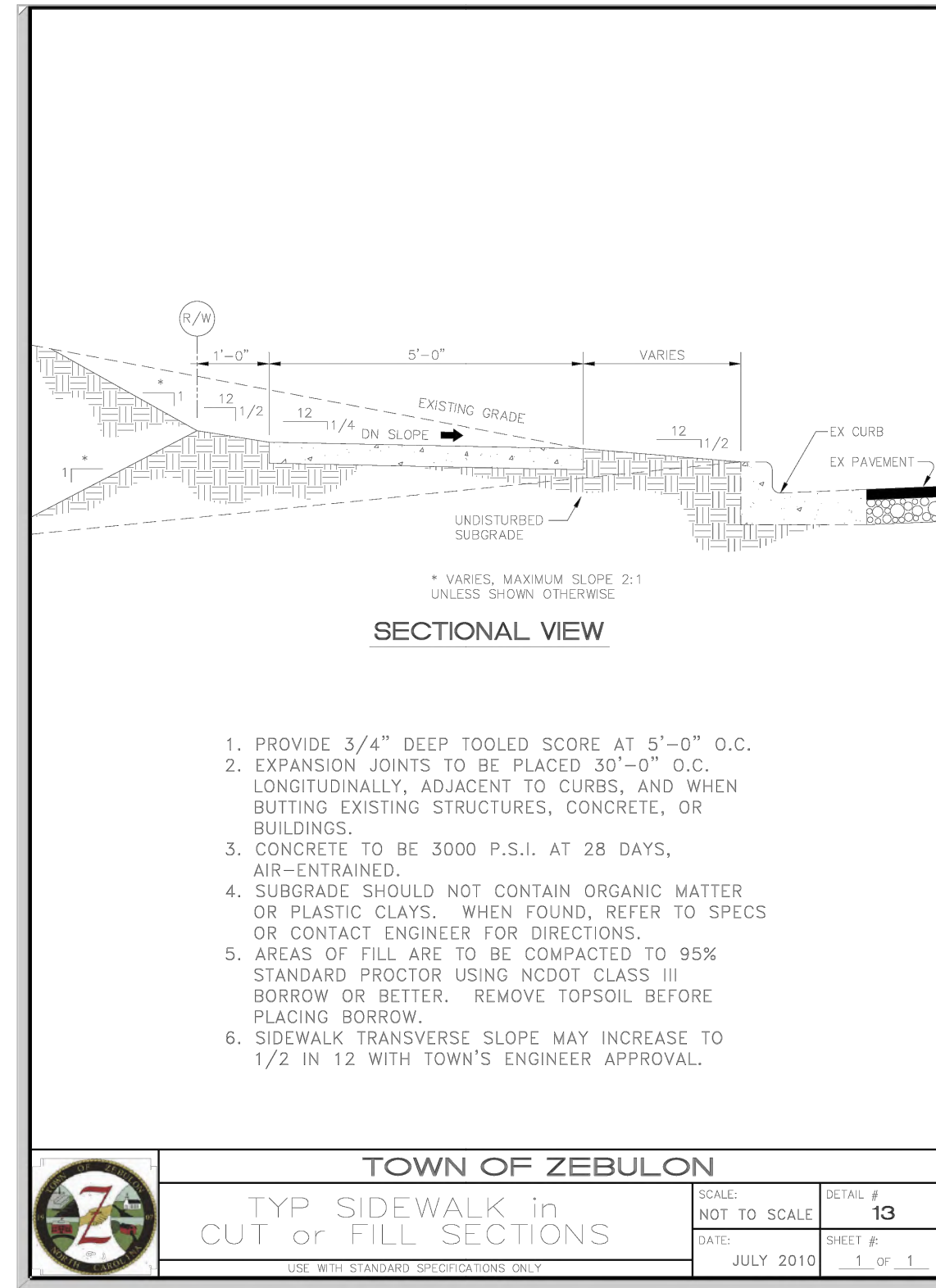
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CONSTRUCTION DRAWING

SITE DETAILS

Job Code: **SCBSZ**

Dwg No.
SITE 701



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Office: 919.835.4787
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
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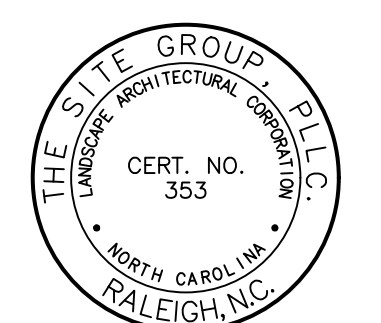
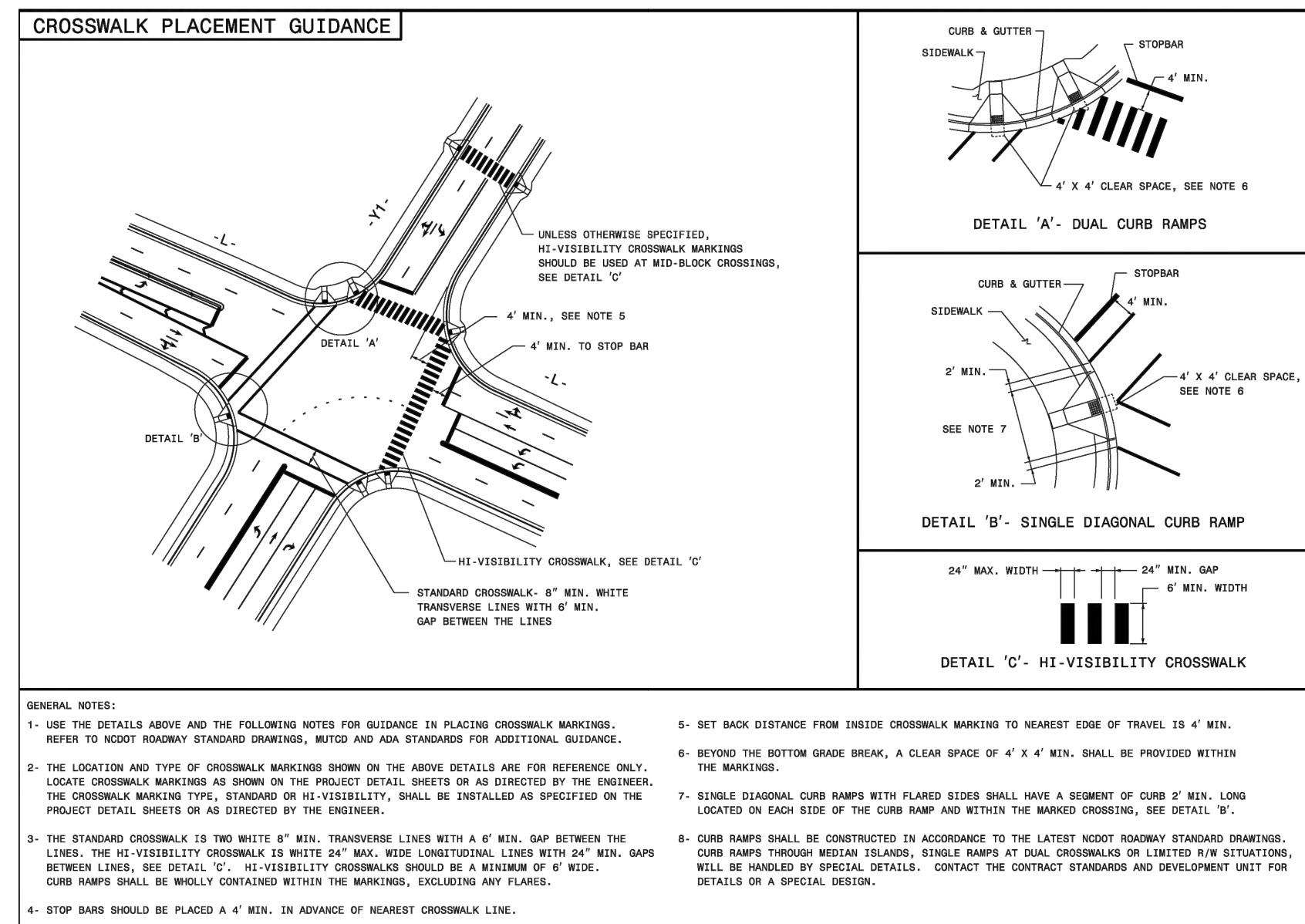
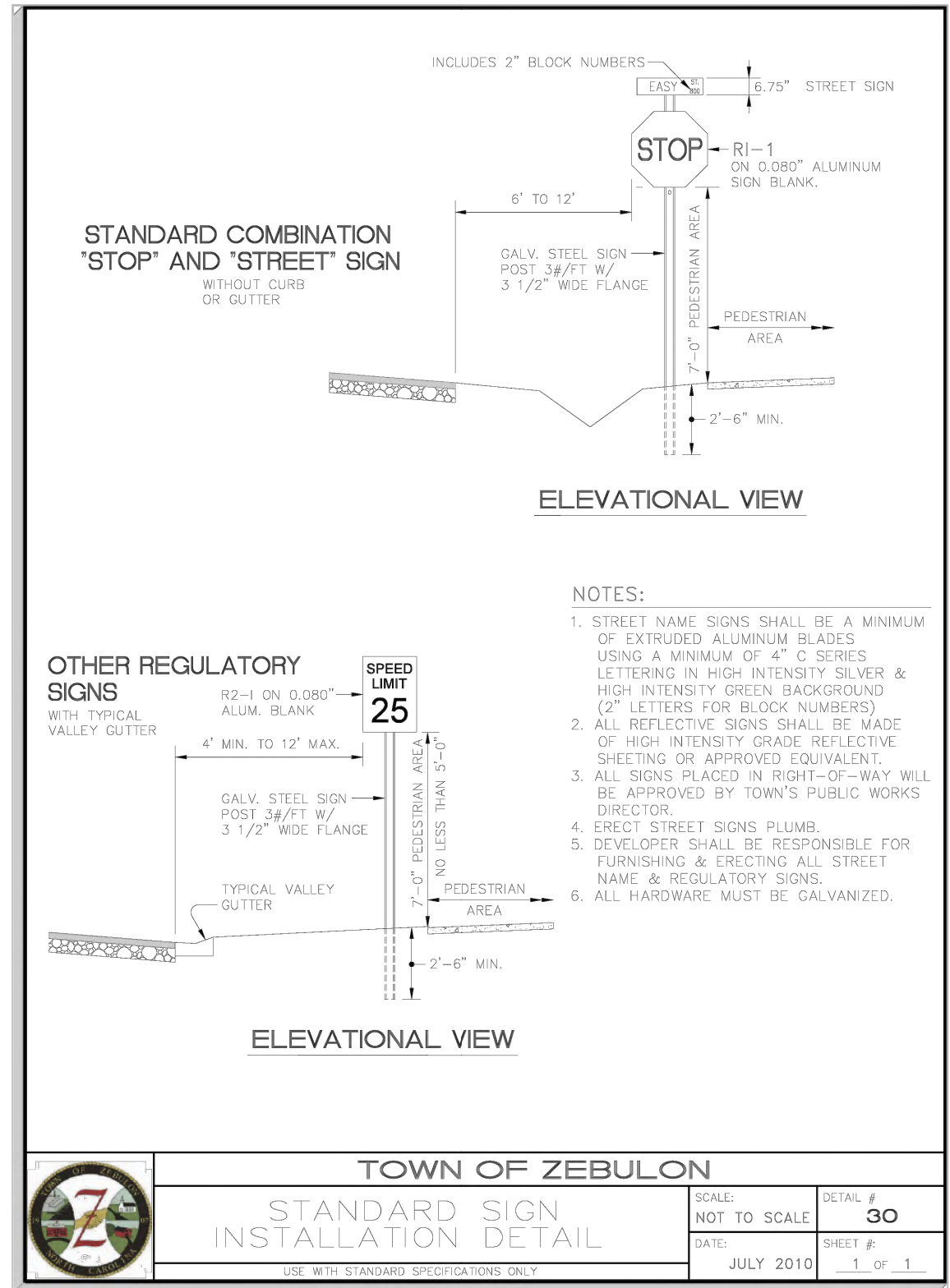
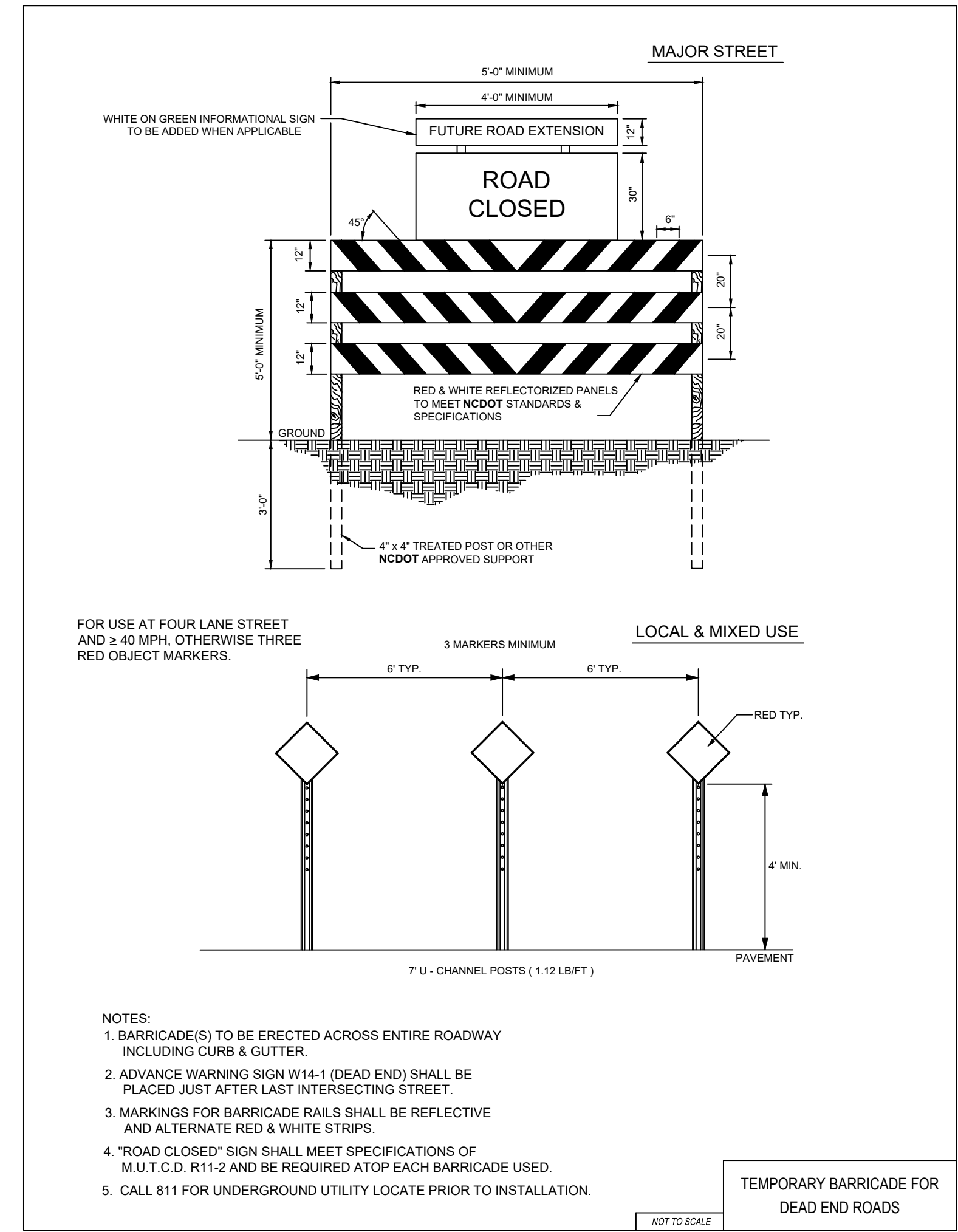
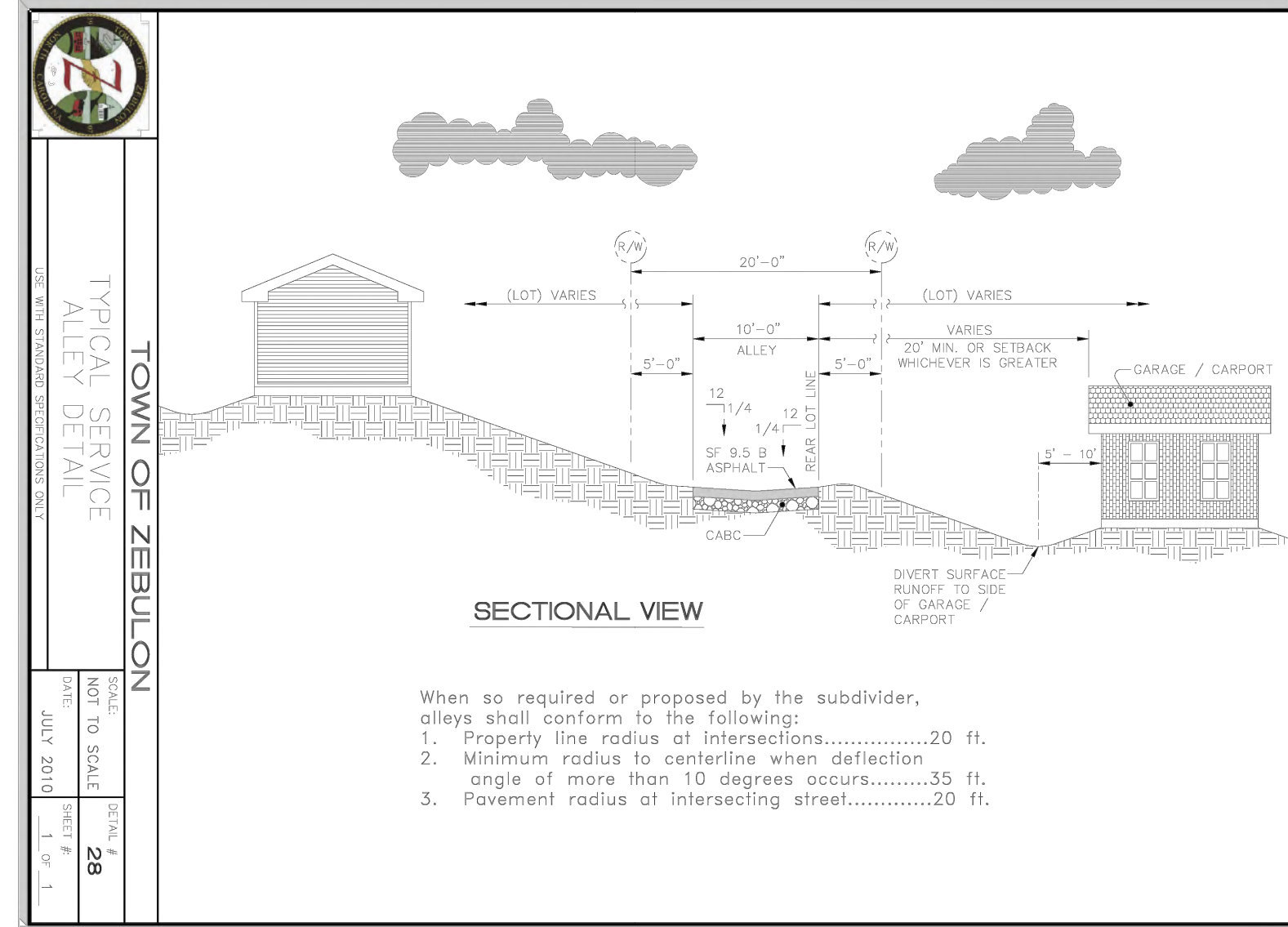
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SITE DETAILS

Job Code: **SCBSZ**

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 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

DATE: 07 NOV 2022
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CONSTRUCTION DRAWING

SITE DETAILS

Job Code: **SCBSZ**

Dwg No. **SITE 703**

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TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 3 OF 4

TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 4

TOWN OF ZEBULON
STD. TRANSITION FROM INLET TO STD. C&G / VALLEY GUTTER
DETAIL # 33
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 3 OF 4

TOWN OF ZEBULON
DETAIL FOR STORM DRAIN WITH DRIVEWAY CONFLICT
DETAIL # 33
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 4 OF 4

TOWN OF ZEBULON
2x3 DROP INLET
DETAIL # 34
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

DIA.	A	B	C	D	E
15"	7"	2'-3 1/4"	3'-11 1/2"	6'-2 3/4"	2'-6"
18"	9"	2'-3"	3'-11 3/4"	6'-2 3/4"	3'-0"
24"	9"	3'-7"	3'-11"	6'-9"	3'-11 3/4"
30"	1'-0"	4'-6 1/2"	1'-10 1/2"	6'-5"	5'-0"
36"	1'-4"	5'-0"	3'-1 1/2"	8'-1 1/2"	5'-11"
42"	1'-10 1/4"	5'-1 3/8"	3'-1"	8'-2 3/8"	6'-5 1/4"

TOWN OF ZEBULON
STD. FLARED END SECTIONS
DESIGN AID DETAIL
DETAIL # 35
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

PIPE D _i	MAX. BURY D _o	MAX. BURY H	MAX. BURY CLASS III (0.01 CRACK)	MAX. BURY CLASS IV (0.01 CRACK)
15"	4'	9.5'	14.5'	15.0'
18"	4'	9.5'	20.5'	15.0'
24"	4'	12.0'	18.0'	15.0'
30"	5.5'	10.0'	17.0'	15.0'
36"	6'	10.5'	18.0'	15.0'
42"	6.5'	13.0'	19.0'	15.0'
48"	7'	13.5'	20.0'	15.0'
54"	8'	13.0'	19.5'	15.0'
60"	9'	13.0'	18.5'	15.0'
72"	10'	13.0'	19.0'	15.0'

TOWN OF ZEBULON
STD. TRENCH INSTALLATION
FOR CONCRETE PIPE
DETAIL # 36
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 5

TOWN OF ZEBULON
STD. TRENCH INSTALLATION
FOR CONCRETE PIPE
DETAIL # 36
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 5



NC ENGINEERING LICENSE NO. P-0803



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 THE SITE GROUP, P.L.L.C.
 1000 S. OAKWOOD DR., SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

DATE: 07 NOV 2022
 REVISED: 09 MAY 2023

CONSTRUCTION DRAWING

SITE DETAILS

Job Code: **SCBSZ**

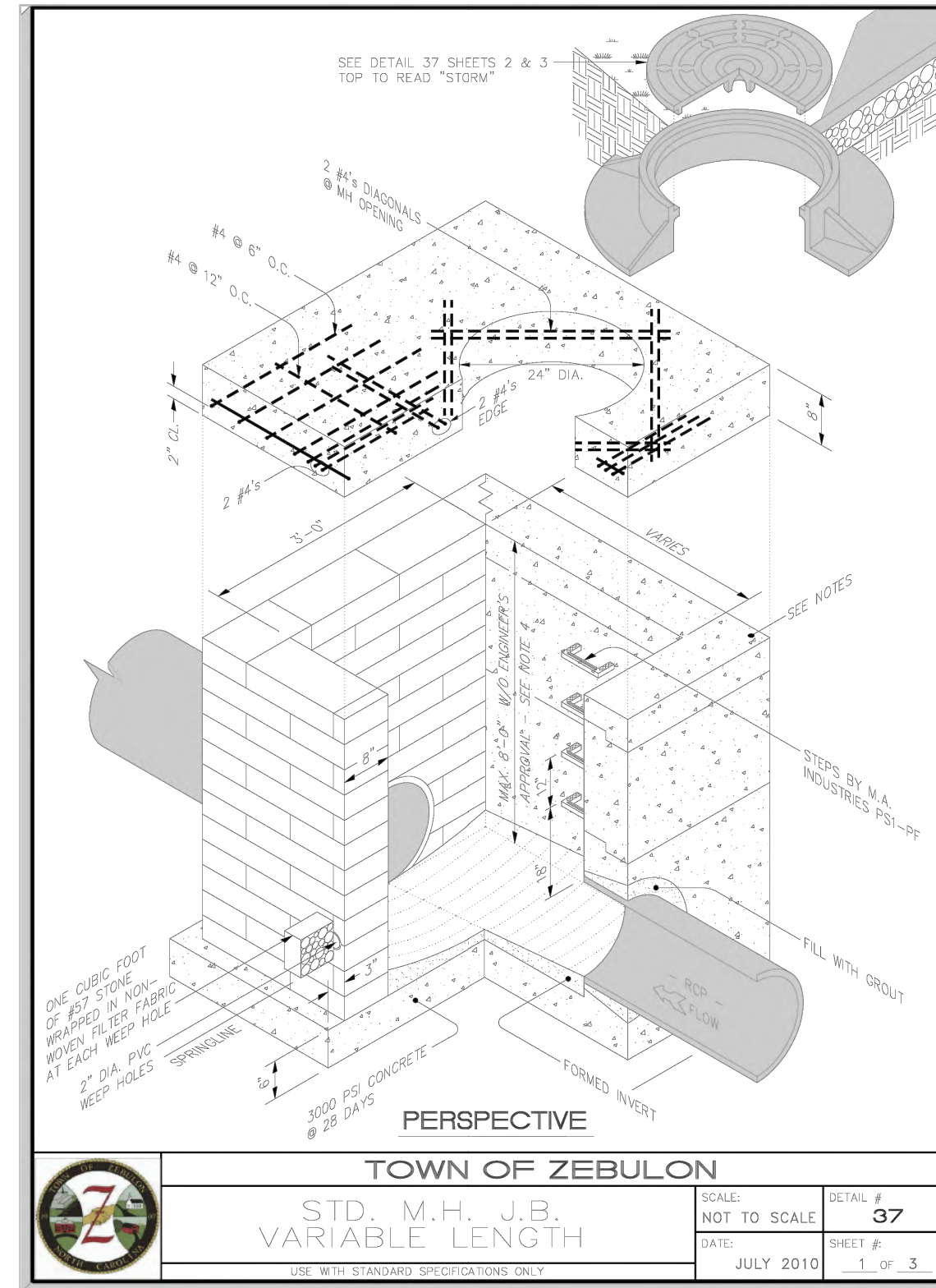
Dwg No. **704**

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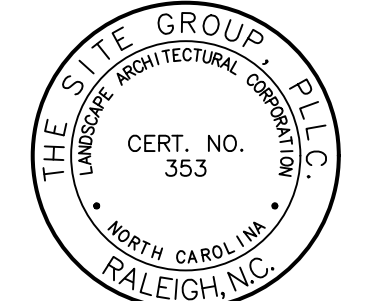
SIDD Soil	Representative Soil Types		Percent Compaction	
	USCS	AASHTO	Standard Proctor	Modified Proctor
Gravelly Sand (Category I)	SW, SP, GW, GP	A1-A3	100	95
			95	90
			90	85
			85	80
Sandy Silt (Category II)	GM, SM, ML, AL, CL, OL, SC, with less than 20% passing #200 sieve	A2-A4	100	95
			95	90
			90	85
			85	80
Silty Clay (Category III)	CL, MH, DC, SC	A5, A6	100	90
			95	85
			90	80
			85	75
OH			100	90
			95	85
			90	80
			85	75

Installation Type ¹	Bedding Thickness	Haunch and Outer Bedding	Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I	90% Category I, 95% Category II, or 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	90% Category I or 95% Category II	85% Category I, 90% Category II, or 95% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	90% Category I, 90% Category II, or 95% Category III	80% Category I, 90% Category II, or 95% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	No compaction required, except if Category III, use 85% Category III	No compaction required, except if Category III, use 85% Category III

Installation Type ¹	Bedding Thickness	Haunch Outer Bedding	Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I	90% Category I, 95% Category II, or 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	90% Category I or 95% Category II	85% Category I, 90% Category II, or 95% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	90% Category I, 90% Category II, or 95% Category III	80% Category I, 90% Category II, or 95% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3") If rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	No compaction required, except if Category II, use 85% Category II	No compaction required, except if Category III, use 85% Category III



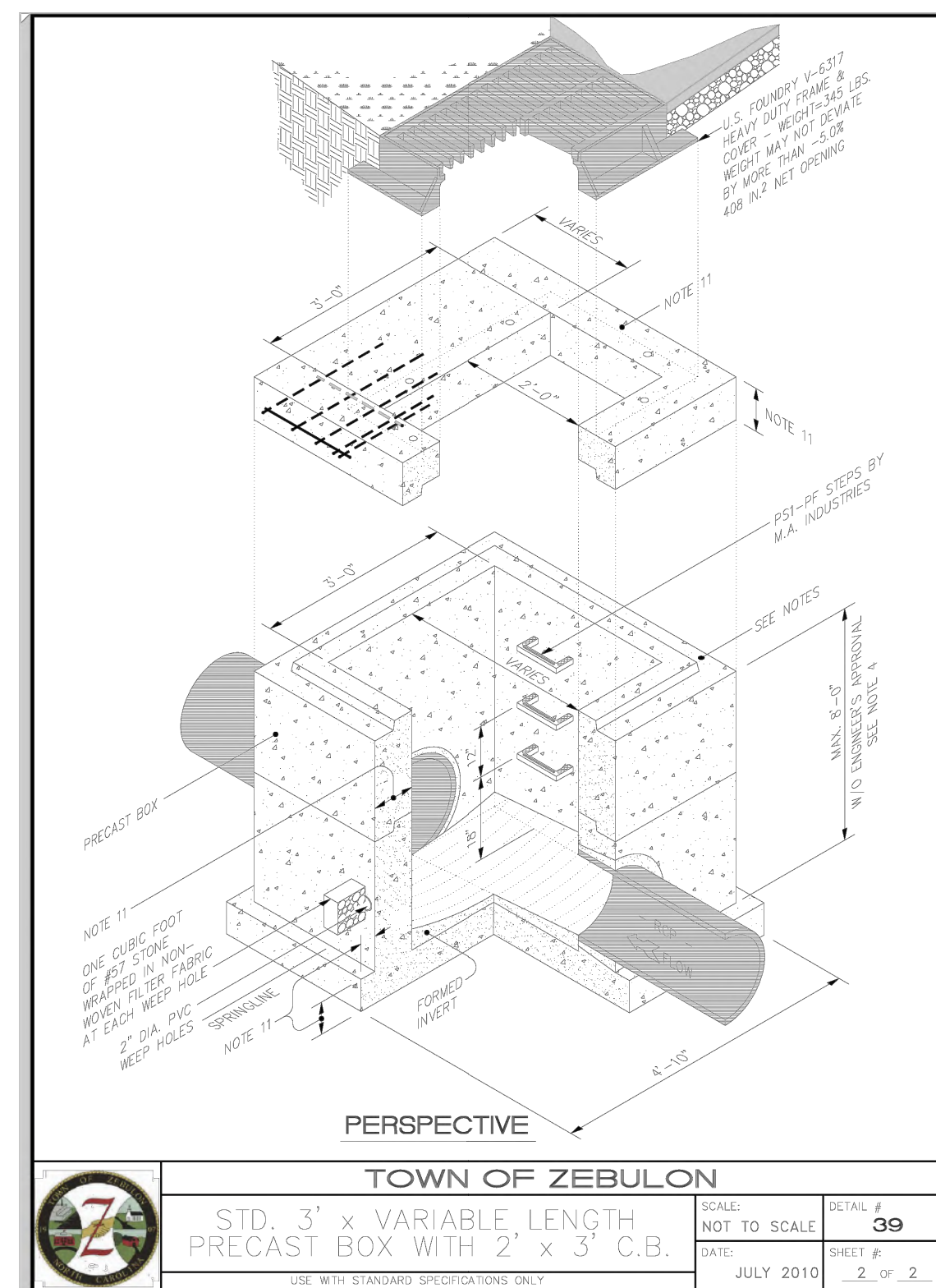
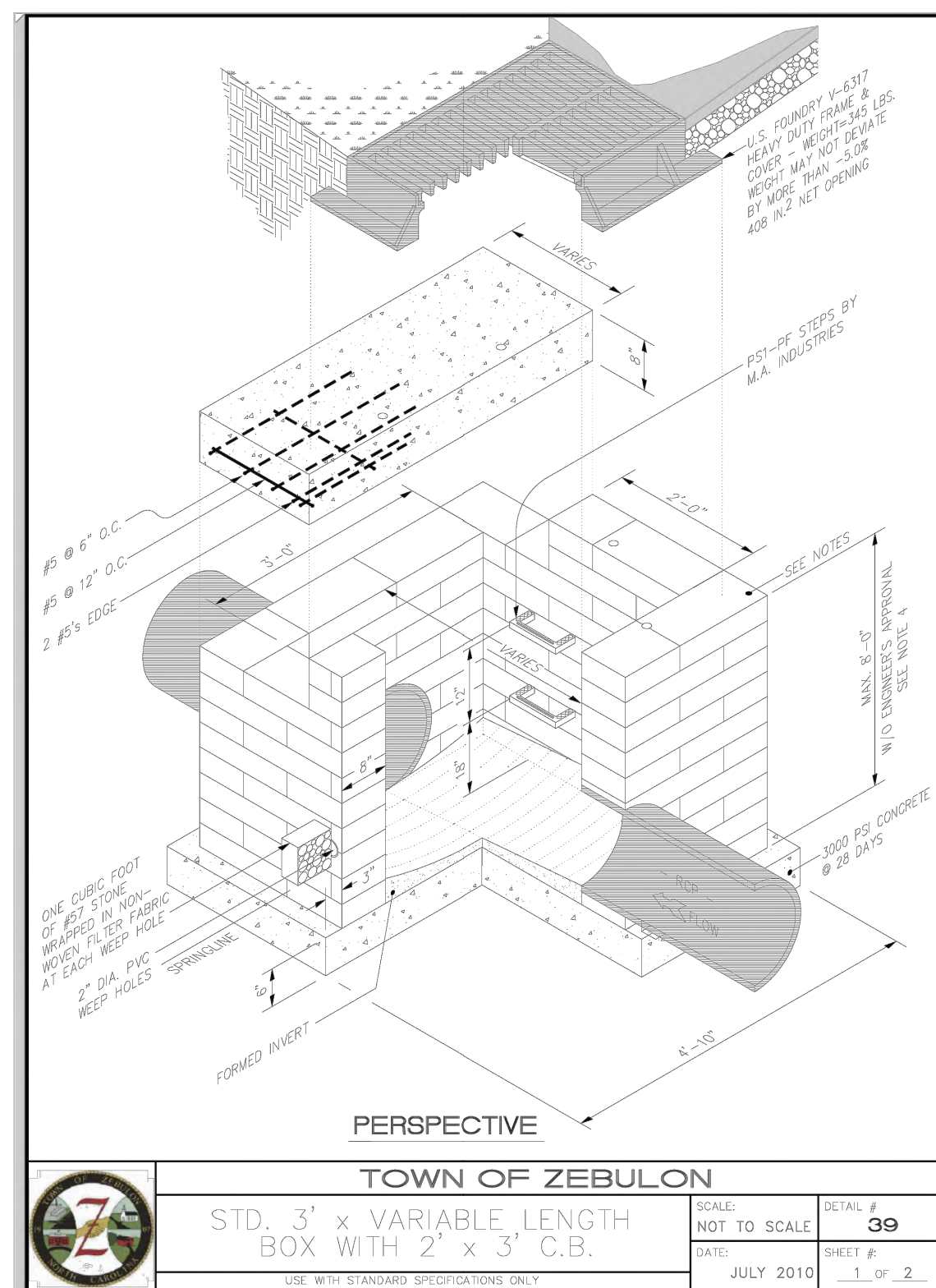
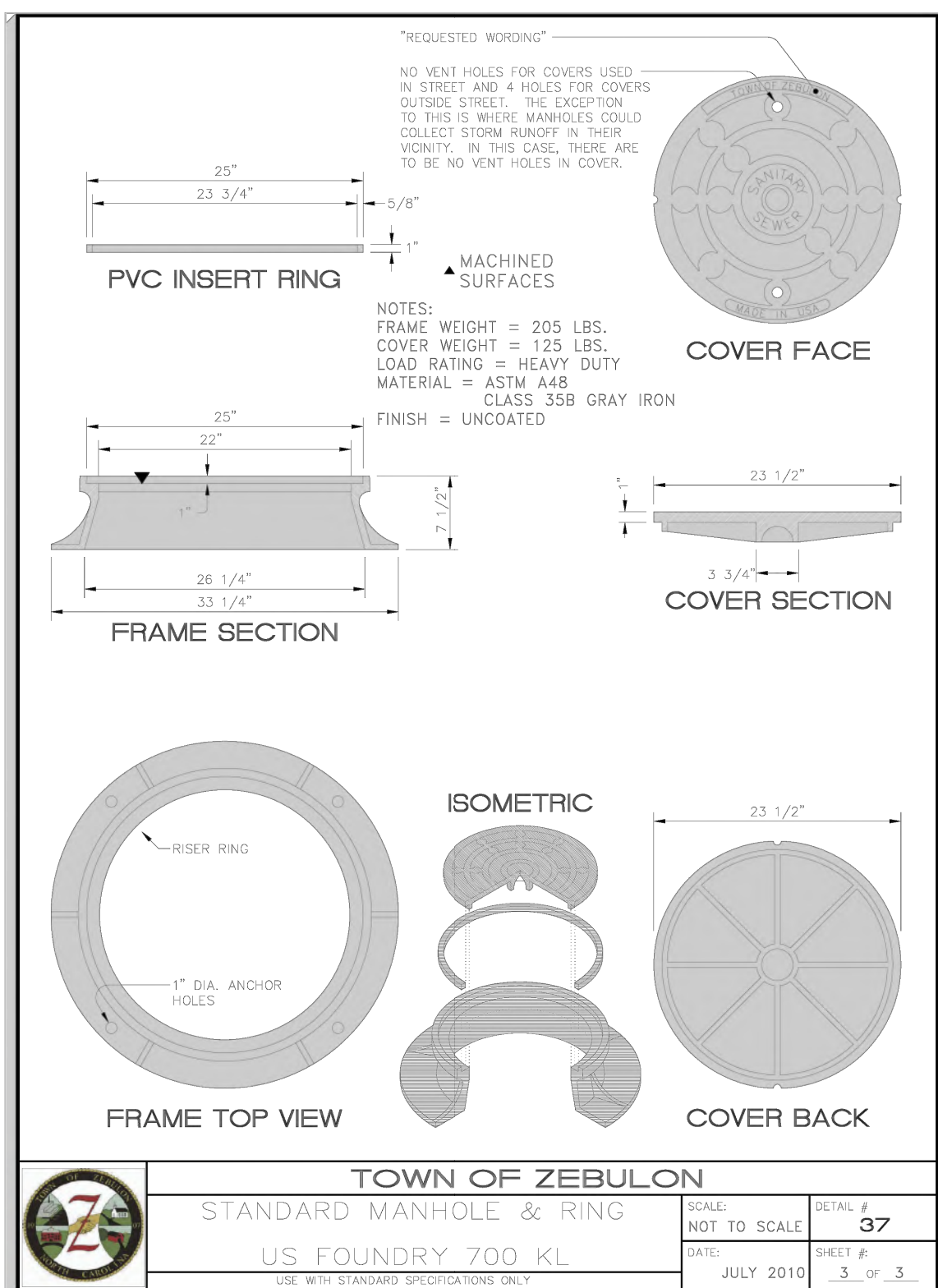
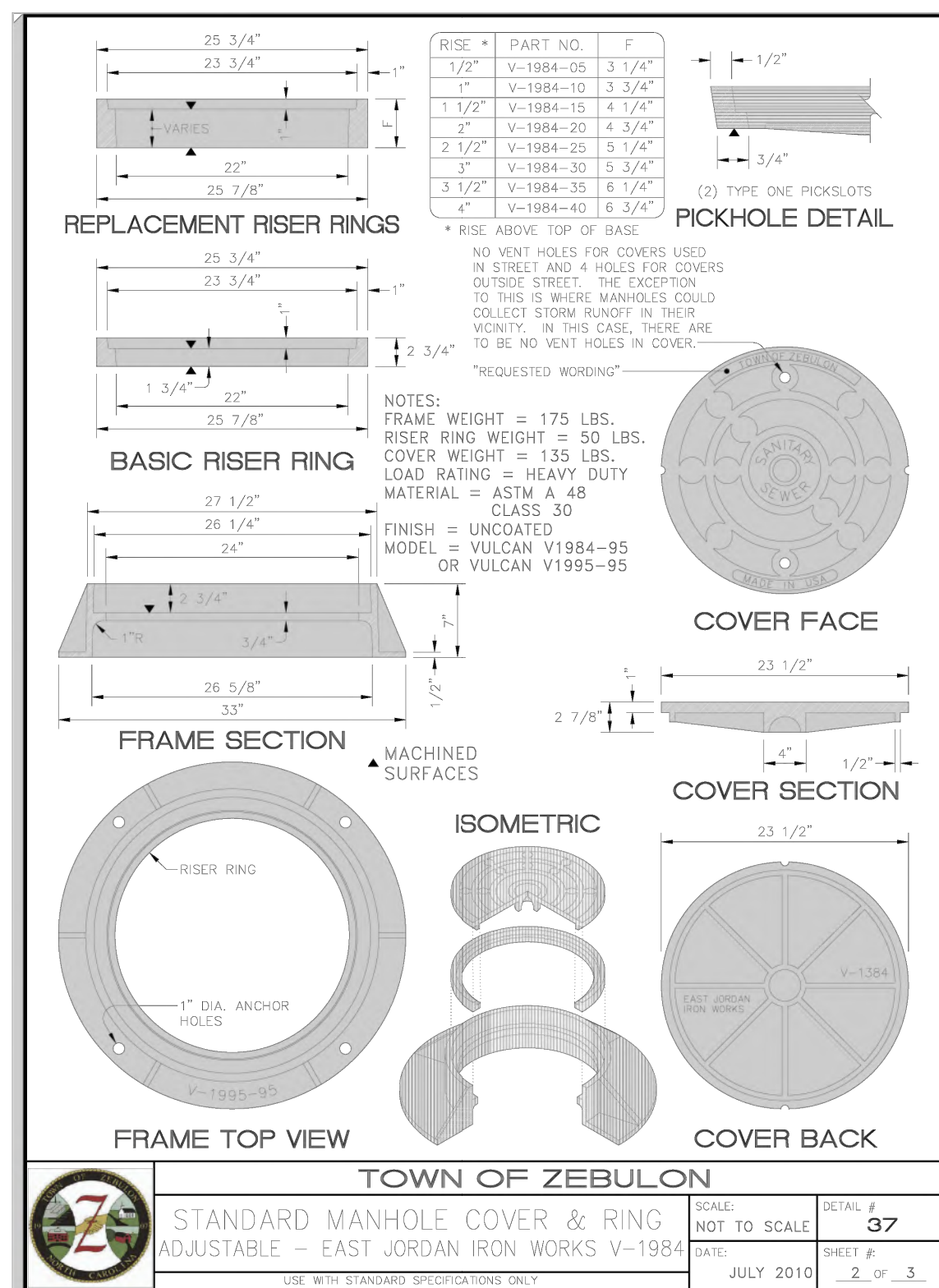
- Notes:**
1. Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
 2. The trench top elevation shall be no lower than 0.1 H below finished grade or, for roadways, its top shall be no lower than on elevation of 0.3 m (1') below the bottom of the pavement base material.
 3. Soil in bedding and haunch zones shall be compacted to at least the same compaction as specified for the majority of soil in the backfill zone.
 4. The trench width shall be wider than shown if required for adequate space to attain the specified compaction in the haunch and bedding zone.
 5. For trench walls that are within 10 degrees of vertical, the compaction or firmness of the soil in the trench walls and lower side zone need not be considered.
 6. For trench walls with greater than 10 degrees slopes that consist of embankment, the lower side shall be compacted to at least the same compaction as specified for the soil in the backfill zone.
 7. Type 1 installation = relatively high quality material & high compaction effort.
Type 4 installation = little or no control over material and compaction.



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CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, P.L.L.C.
1000 N. W. 27th St., Suite 1136
Raleigh, NC 27605-4787
Office: 919.835.4255
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net



CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **SRN**

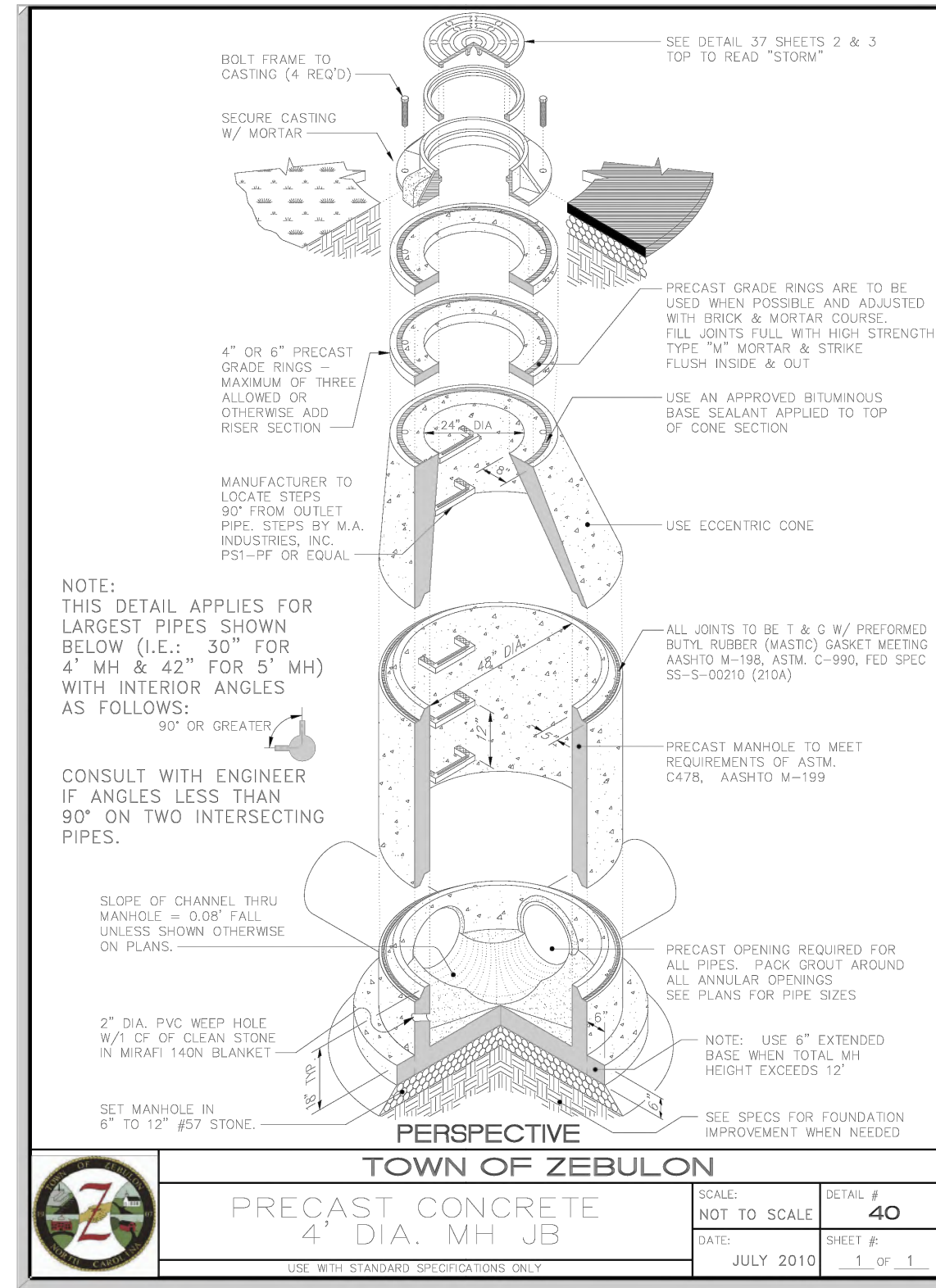
DATE: 07 NOV 2022
REVISED: 09 MAY 2023

CONSTRUCTION DRAWING

SITE DETAILS

Job Code: **SCBSZ**

Dwg No. **SITE 705**



NOTE:
THIS DETAIL APPLIES FOR LARGEST PIPES SHOWN BELOW (I.E.: 30" FOR 4' MH & 42" FOR 5' MH) WITH INTERIOR ANGLES AS FOLLOWS:
90° OR GREATER

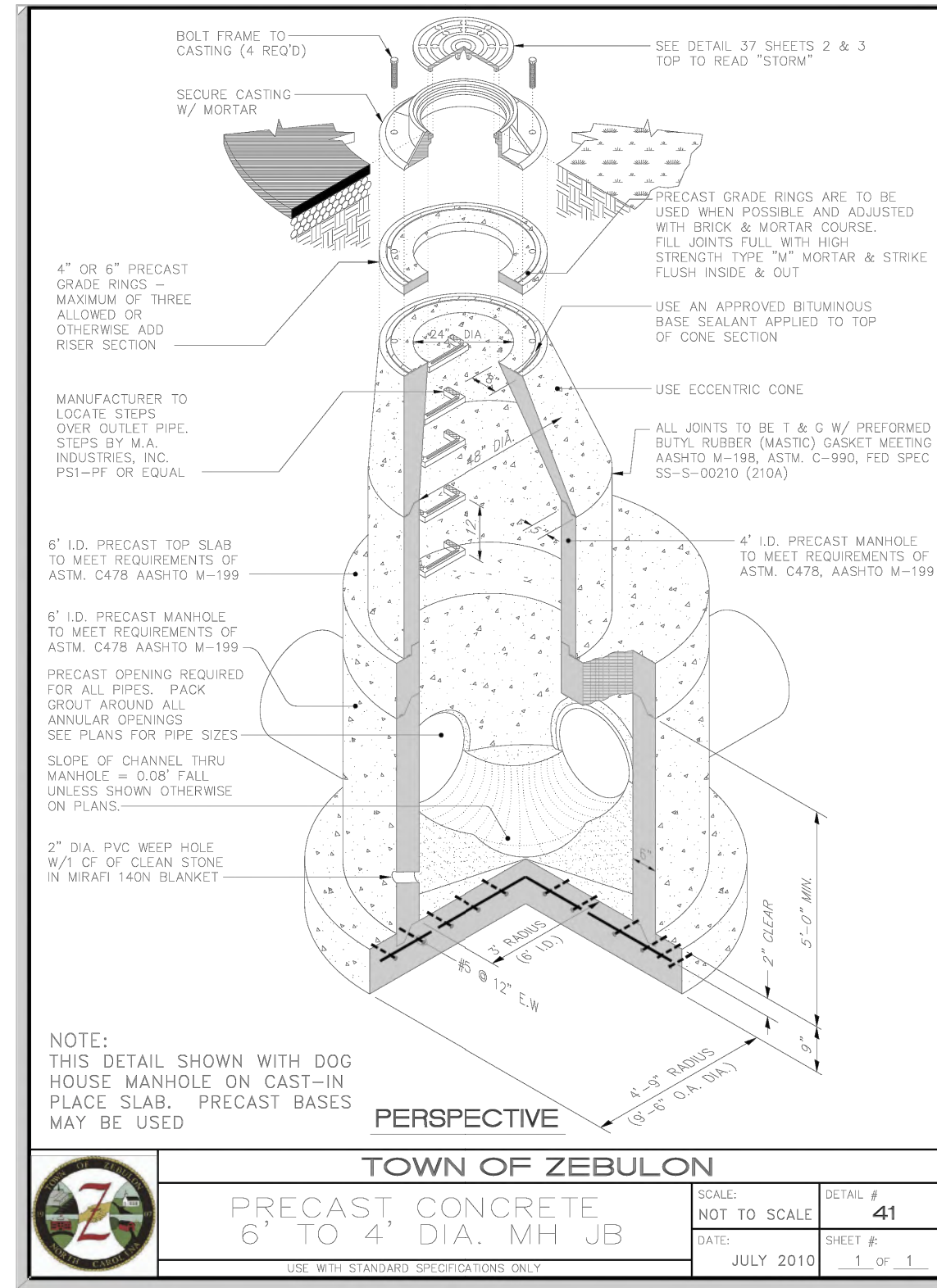
CONSULT WITH ENGINEER IF ANGLES LESS THAN 90° ON TWO INTERSECTING PIPES.

SLOPE OF CHANNEL THRU MANHOLE = 0.08' FAL UNLESS SHOWN OTHERWISE ON PLANS.

2" DIA. PVC WEEP HOLE W/ 1" CF OF CLEAN STONE IN 16" DIA. 16" BLANKET

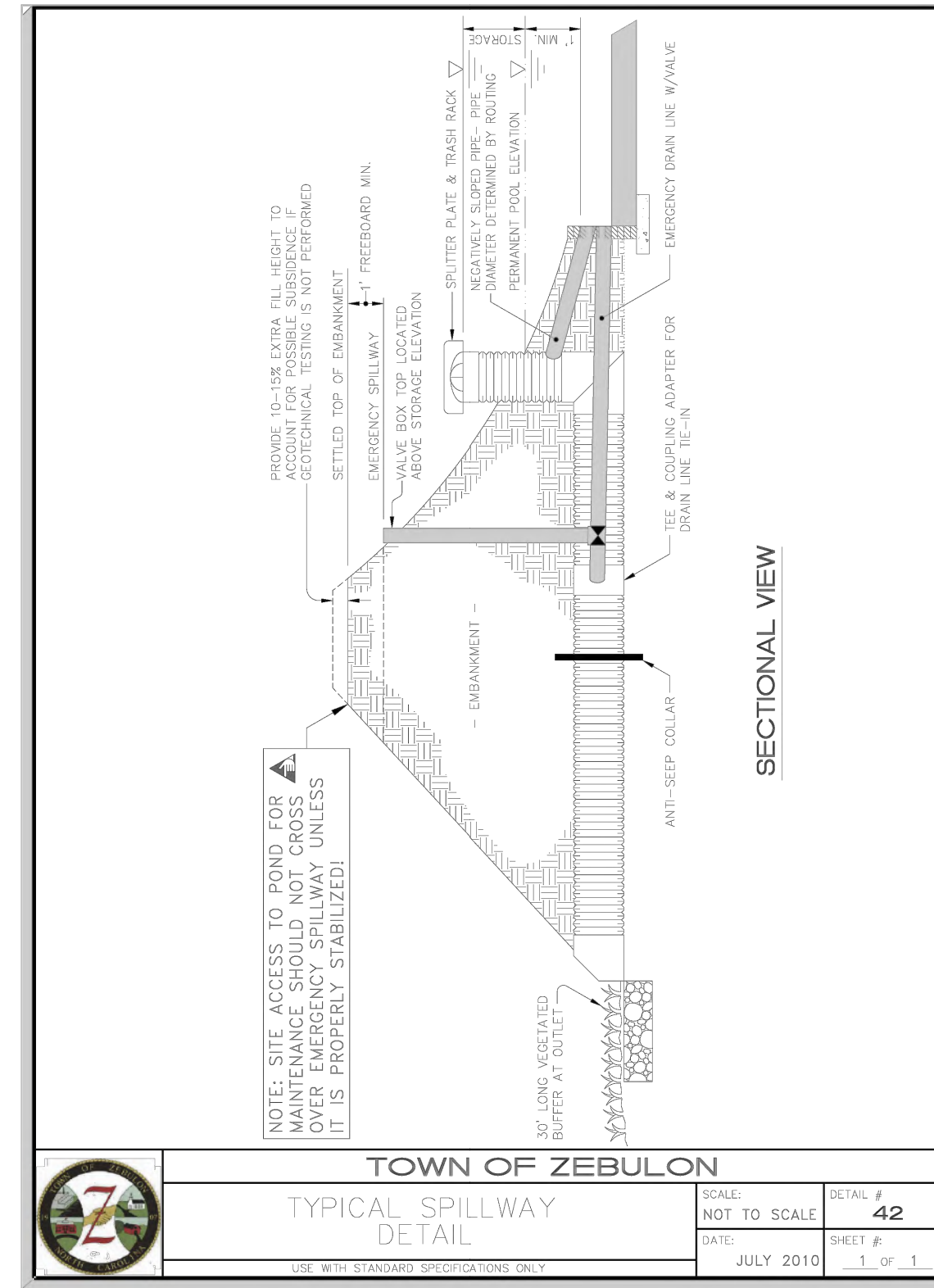
SET MANHOLE IN 6" TO 12" #57 STONE

	TOWN OF ZEBULON		SCALE: NOT TO SCALE	DETAIL # 40
	PRECAST CONCRETE	4" DIA. MH JB		



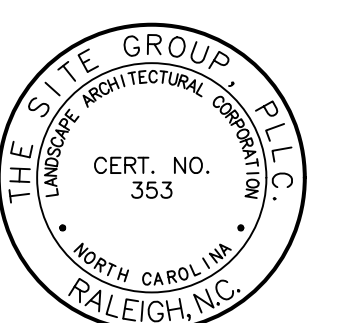
NOTE:
THIS DETAIL SHOWN WITH DOG HOUSE MANHOLE ON CAST-IN PLACE SLAB. PRECAST BASES MAY BE USED

	TOWN OF ZEBULON		SCALE: NOT TO SCALE	DETAIL # 41
	PRECAST CONCRETE	6" DIA. MH JB		



NOTE: SITE ACCESS TO POND FOR PROTECTIVE WORK SHALL BE MAINTAINED AT ALL TIMES. PROTECTIVE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

	TOWN OF ZEBULON		SCALE: NOT TO SCALE	DETAIL # 42
	TYPICAL SPILLWAY	DETAIL		



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THE SITE GROUP, PLLC
1000 N. W. 10th St., Suite 200
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
0 E. BARBEE STREET
ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **SRN**

DATE: 07 NOV 2022
REVISED:
09 MAY 2023

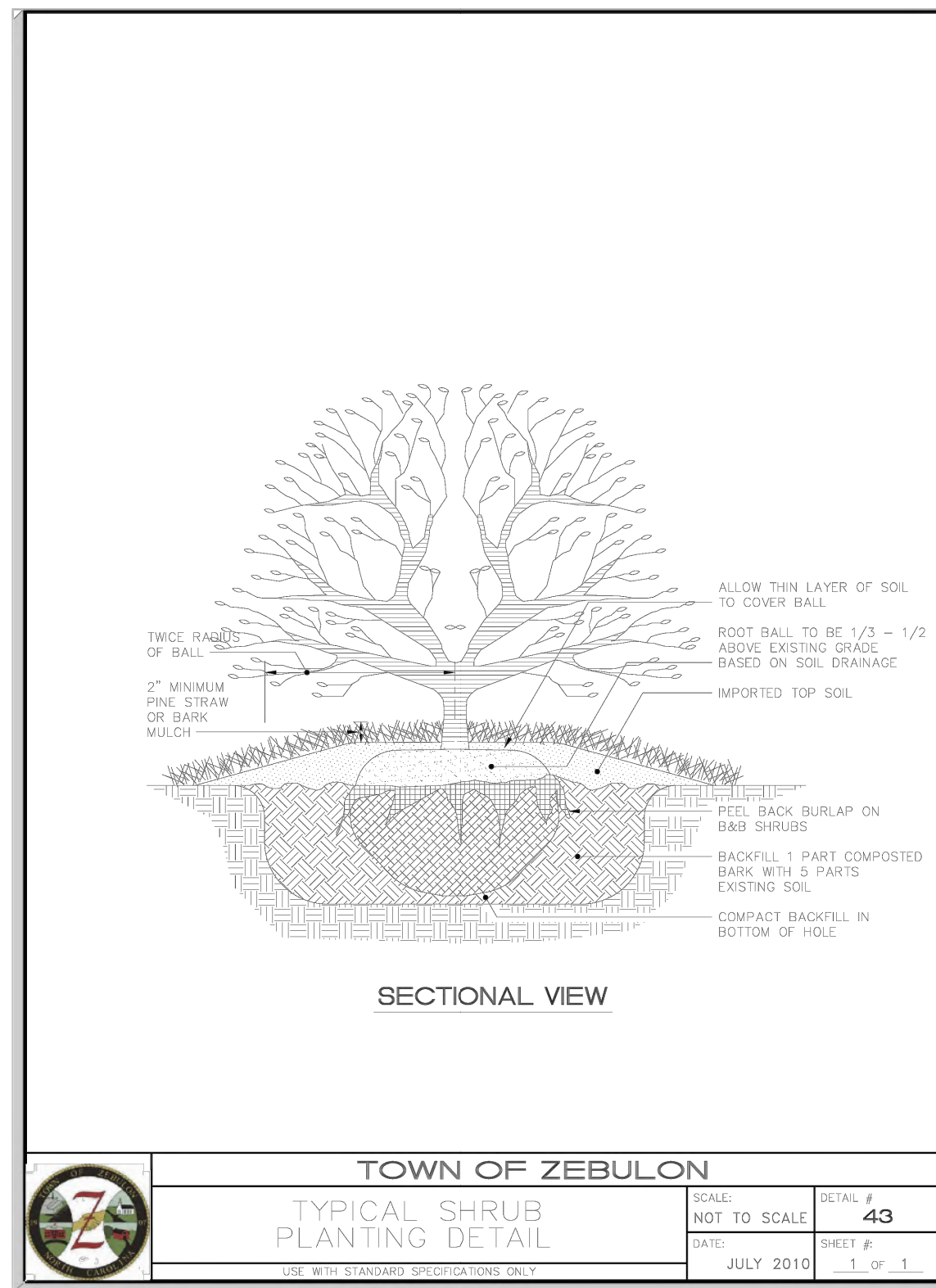
CONSTRUCTION DRAWING

SITE DETAILS

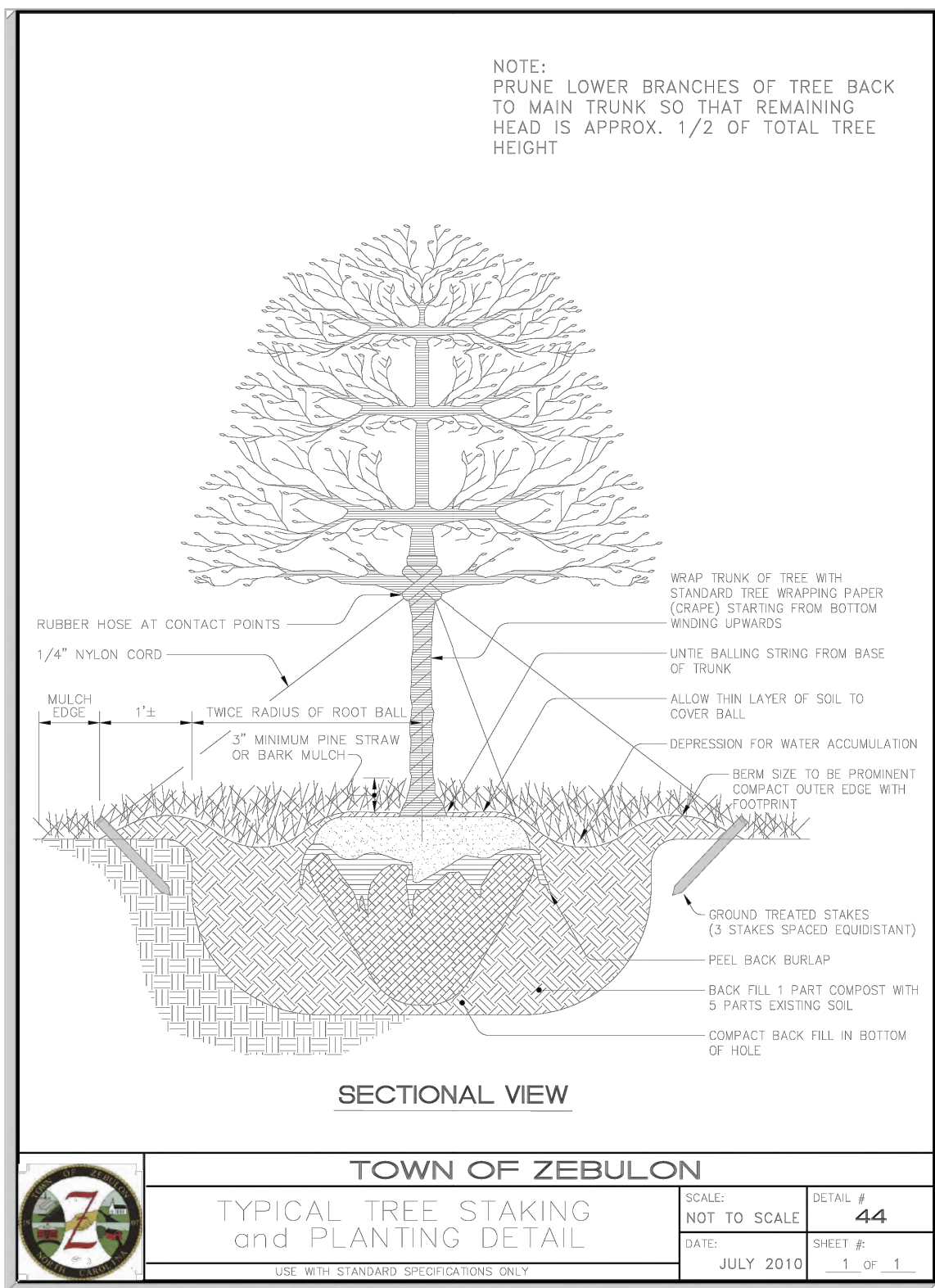
Job Code: **SCBSZ**

Dwg No.
SITE 706

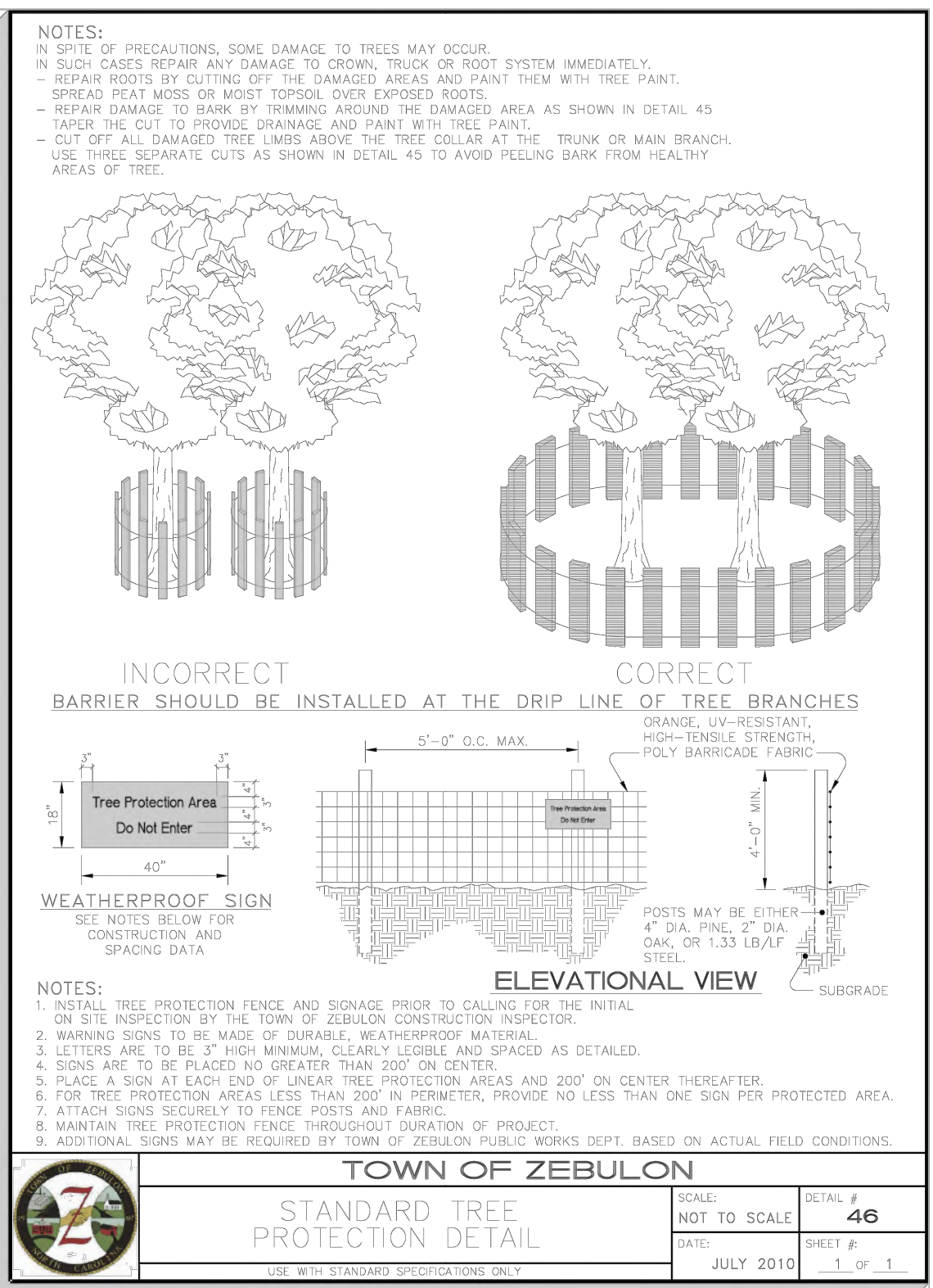
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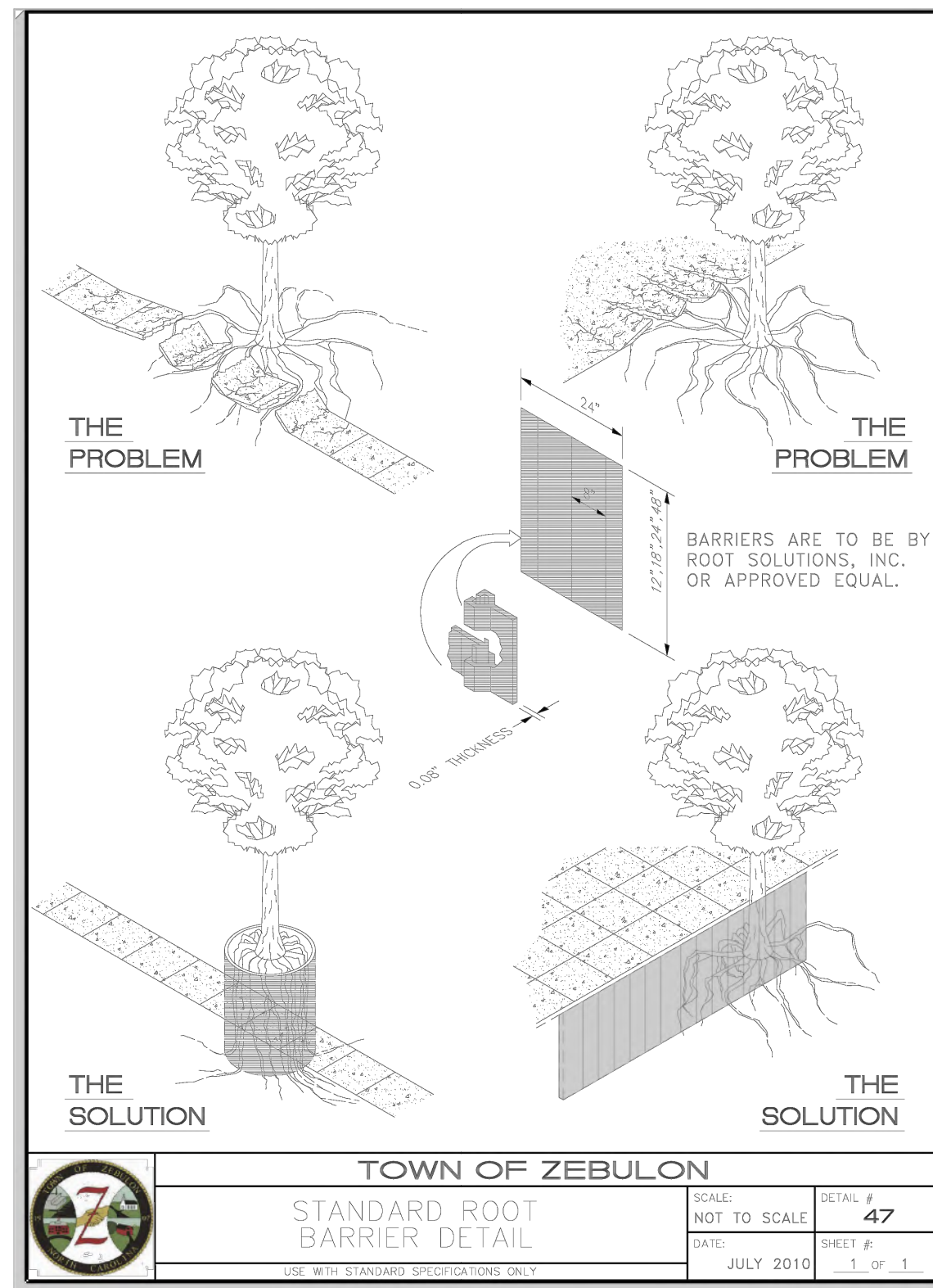
TOWN OF ZEBULON
TYPICAL SHRUB PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 43
 1 OF 1



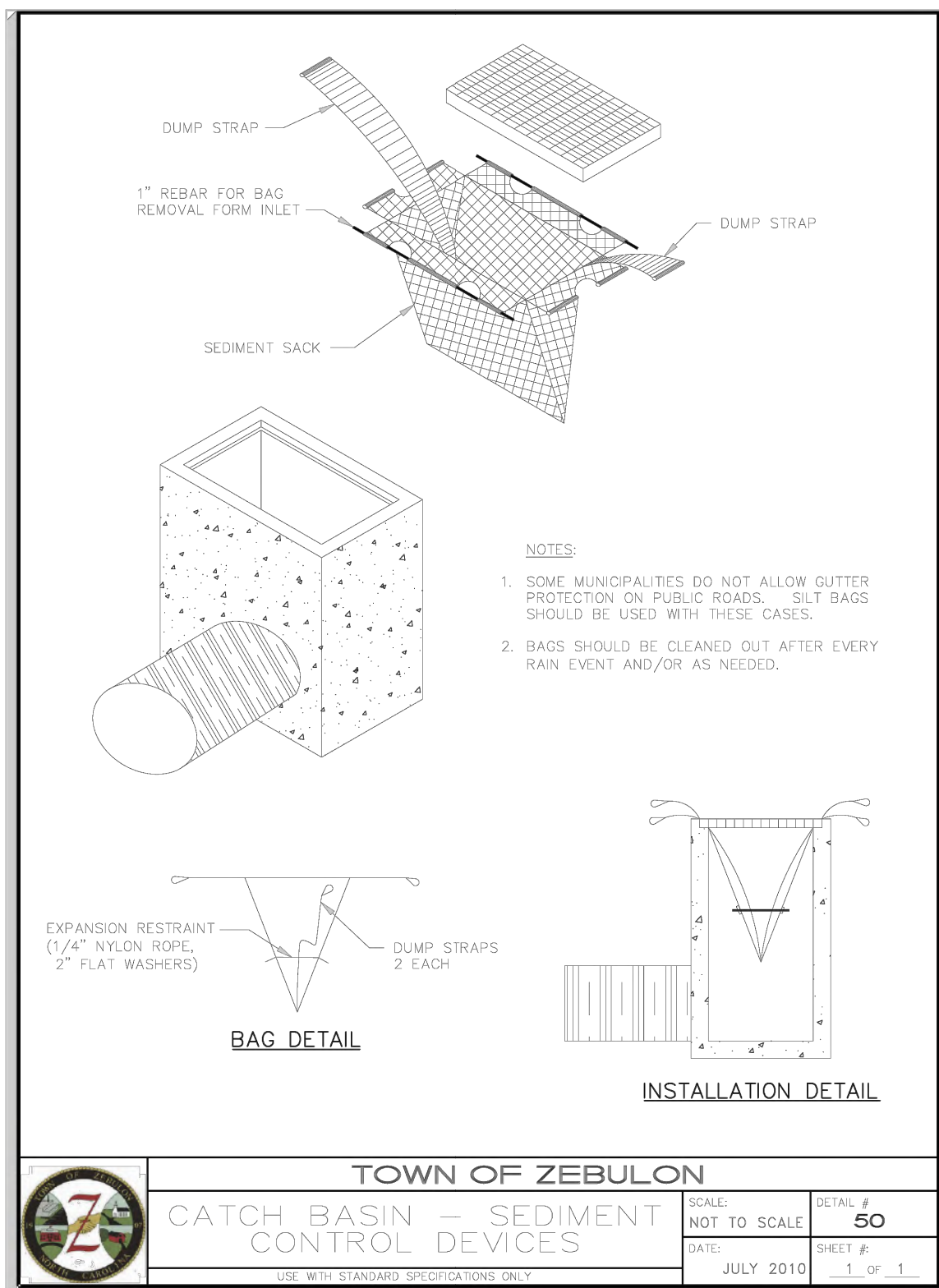
TOWN OF ZEBULON
TYPICAL TREE STAKING and PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 44
 1 OF 1



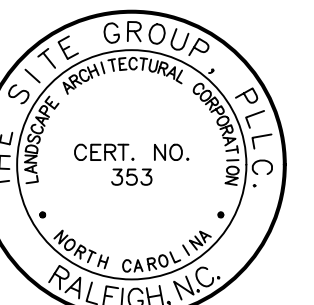
TOWN OF ZEBULON
STANDARD TREE PROTECTION DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 46
 1 OF 1



TOWN OF ZEBULON
STANDARD ROOT BARRIER DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 47
 1 OF 1



TOWN OF ZEBULON
CATCH BASIN - SEDIMENT CONTROL DEVICES
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 50
 1 OF 1



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 THE SITE GROUP, PLLC
 1000 W. GARDEN ST., SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
PARKVIEW TOWNES
 0 E. BARBEE STREET
 ZEBULON, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **SRN**

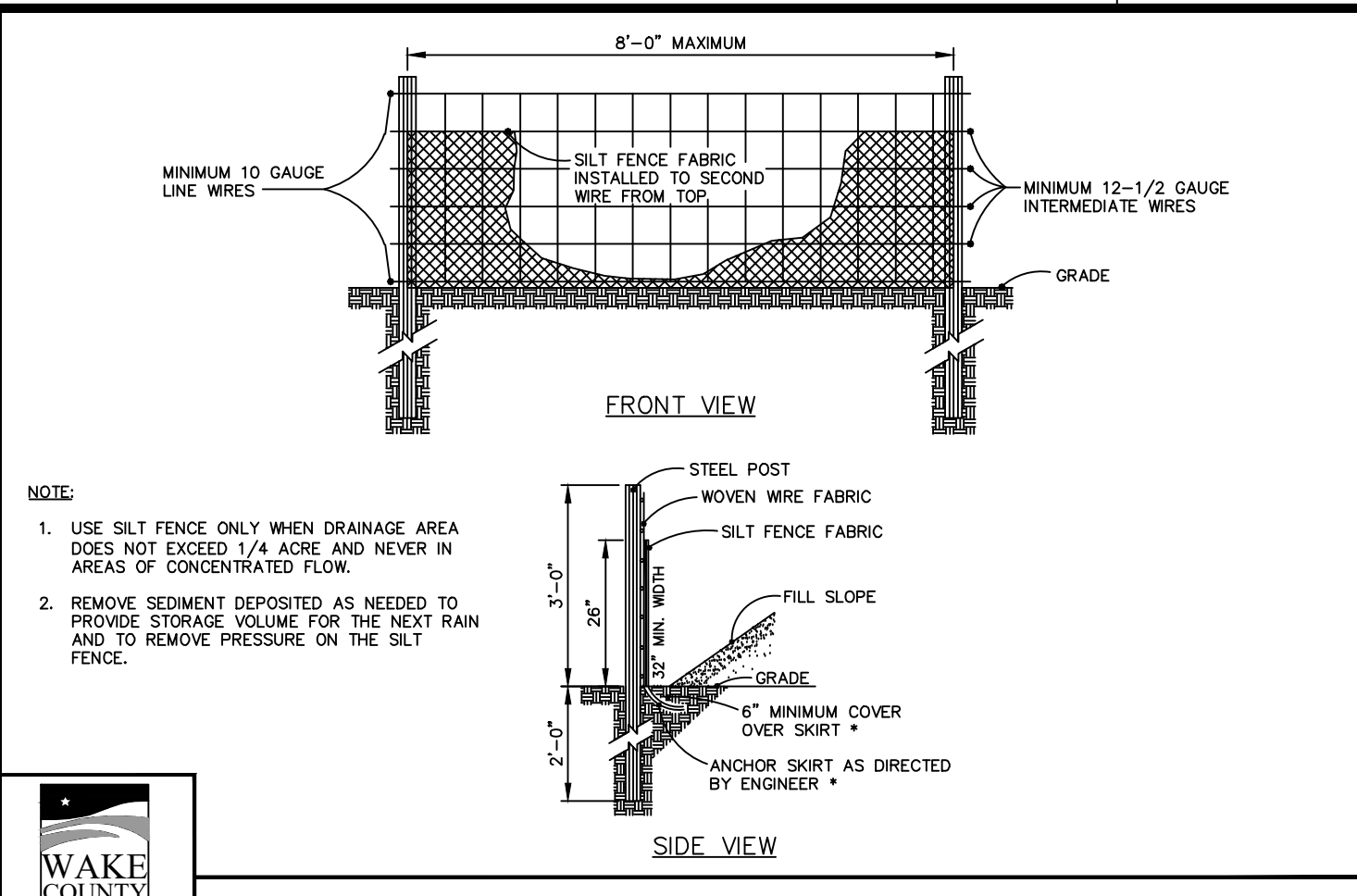
DATE: 07 NOV 2022
 REVISED: 09 MAY 2023

CONSTRUCTION DRAWING

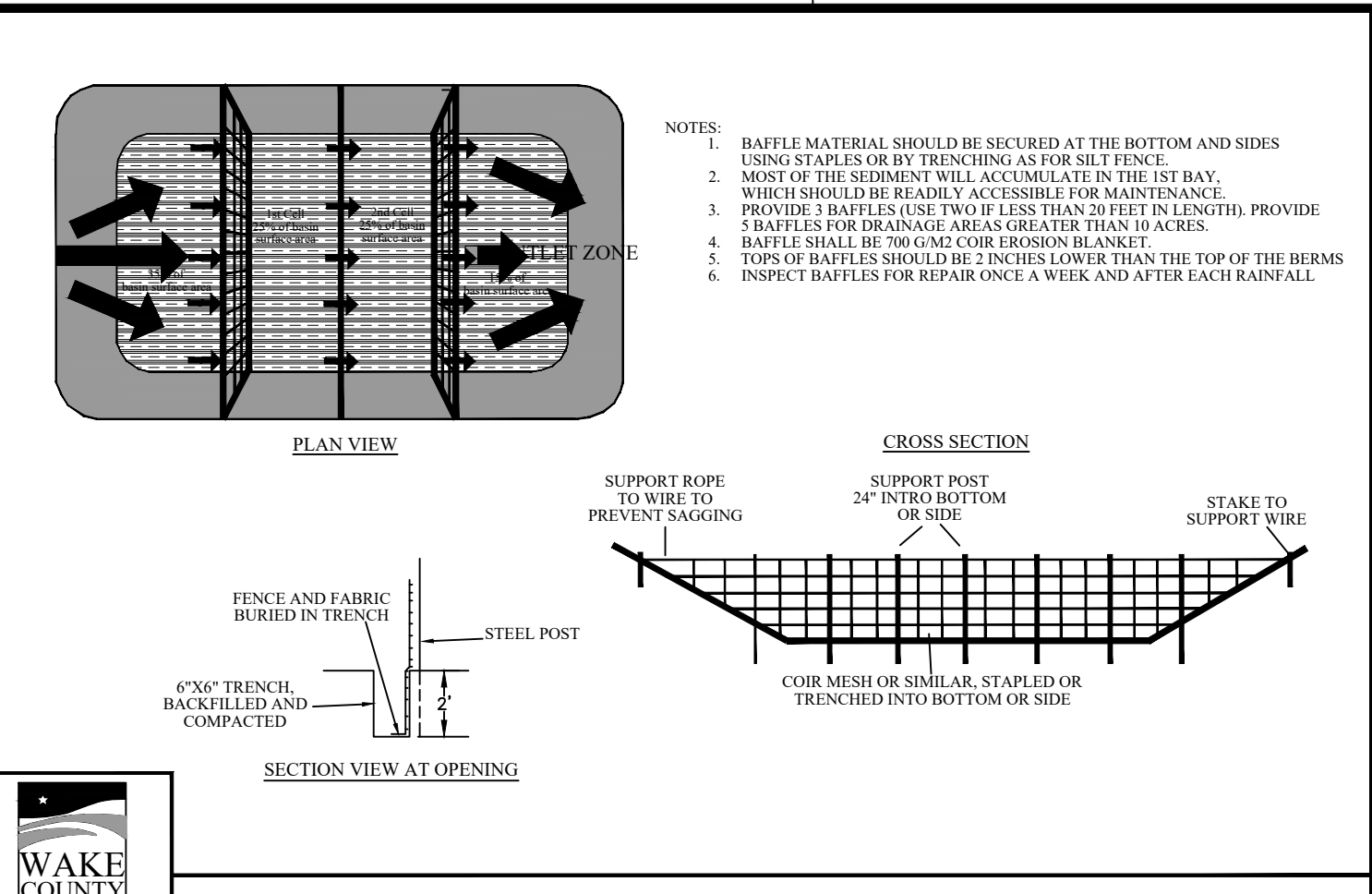
SITE DETAILS

Job Code: **SCBSZ**

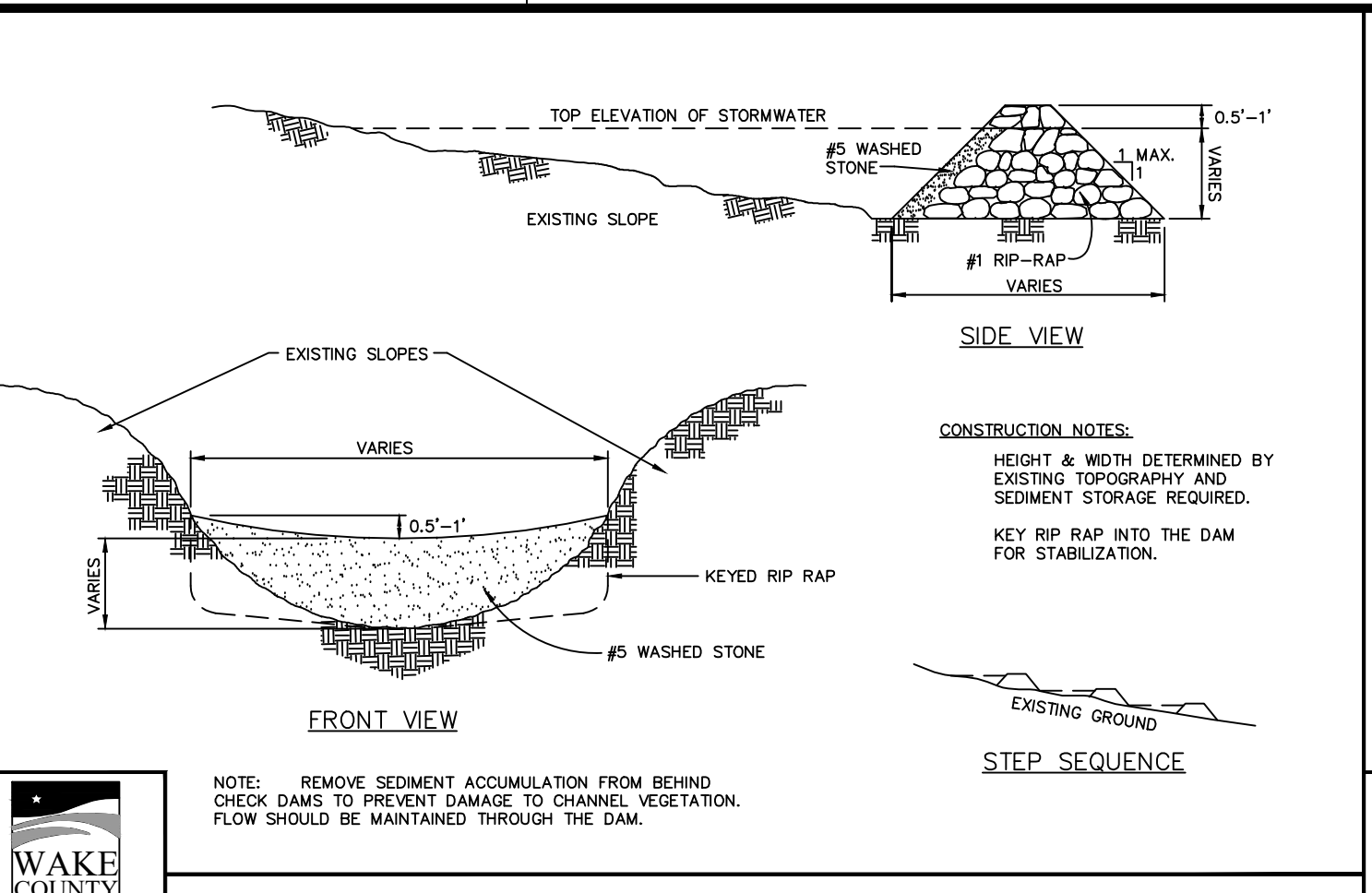
Dwg No. **SITE 707**



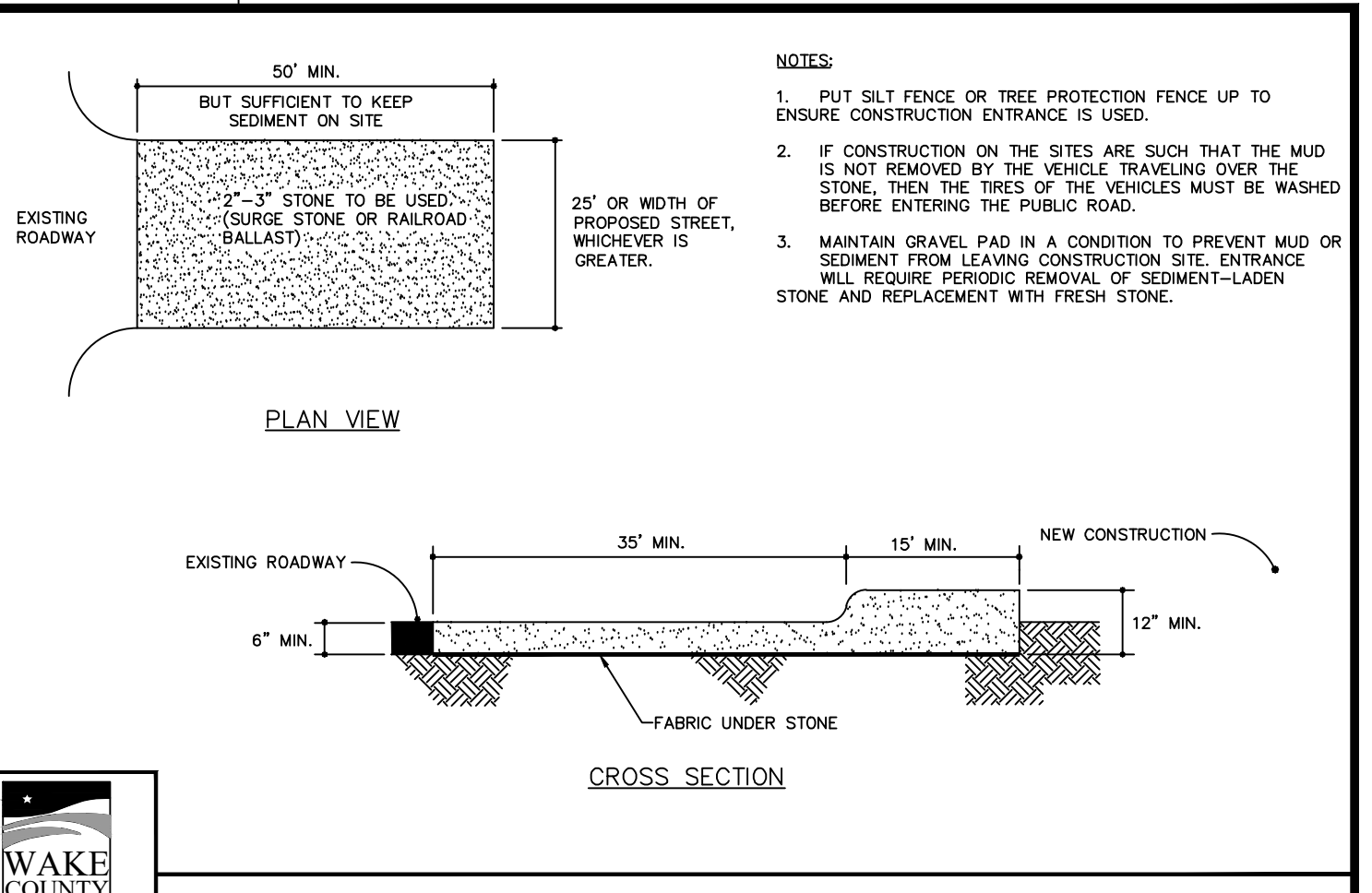
STANDARD TEMPORARY SILT FENCE
EFFECTIVE: 01/31/08



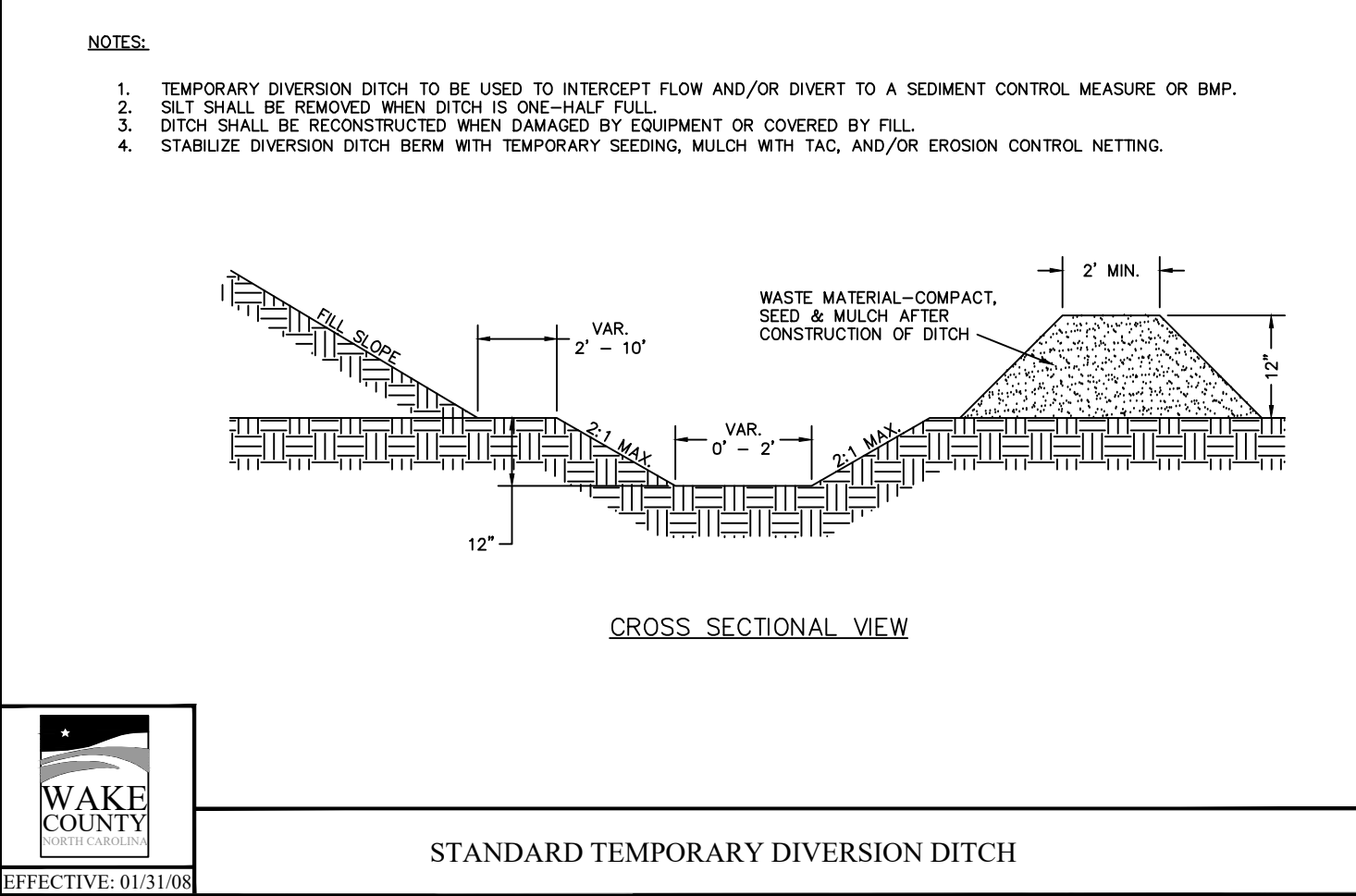
STANDARD BAFFLES DETAIL
EFFECTIVE: 01/31/08



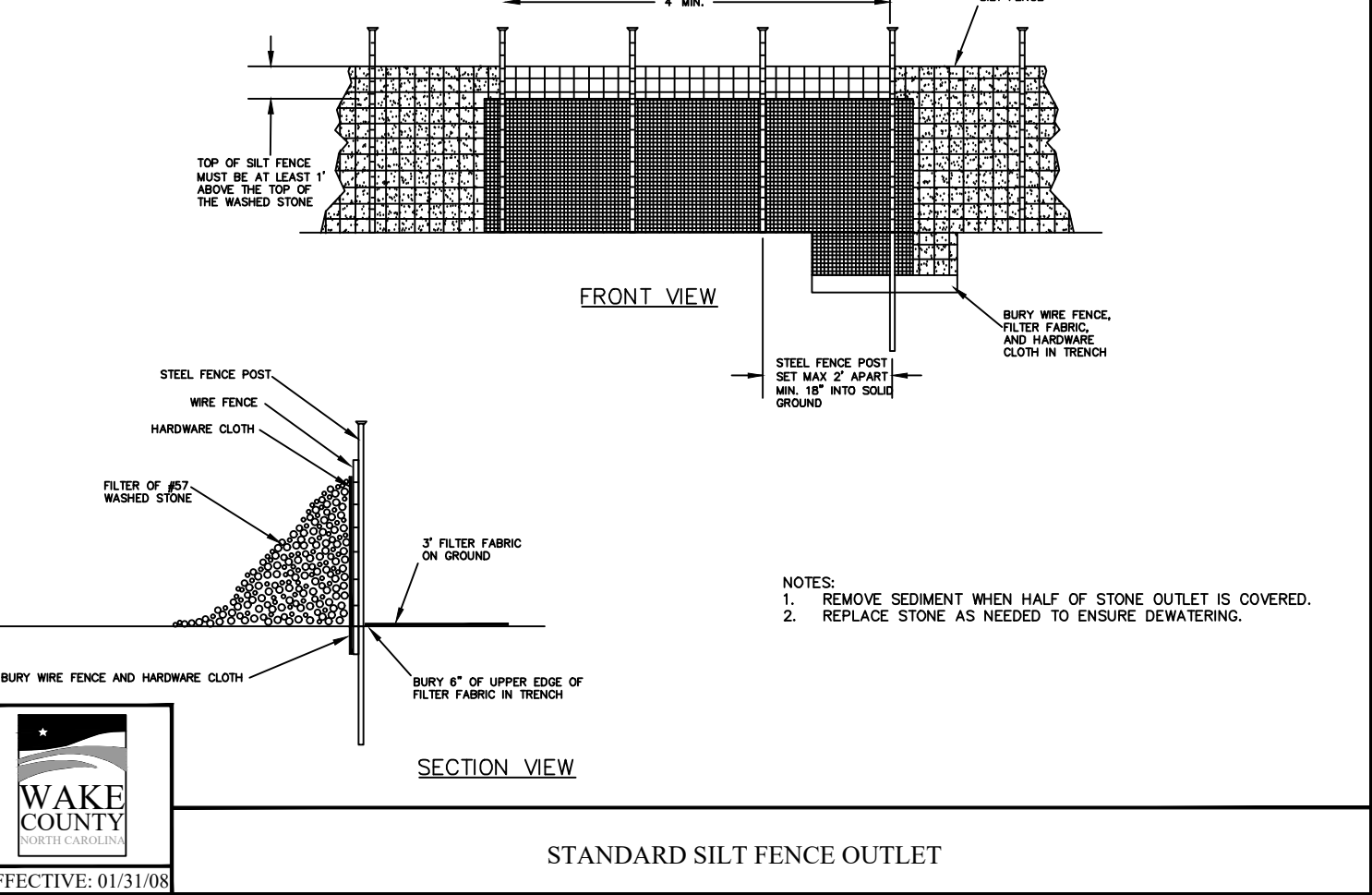
STANDARD CHECK DAM
EFFECTIVE: 01/31/08



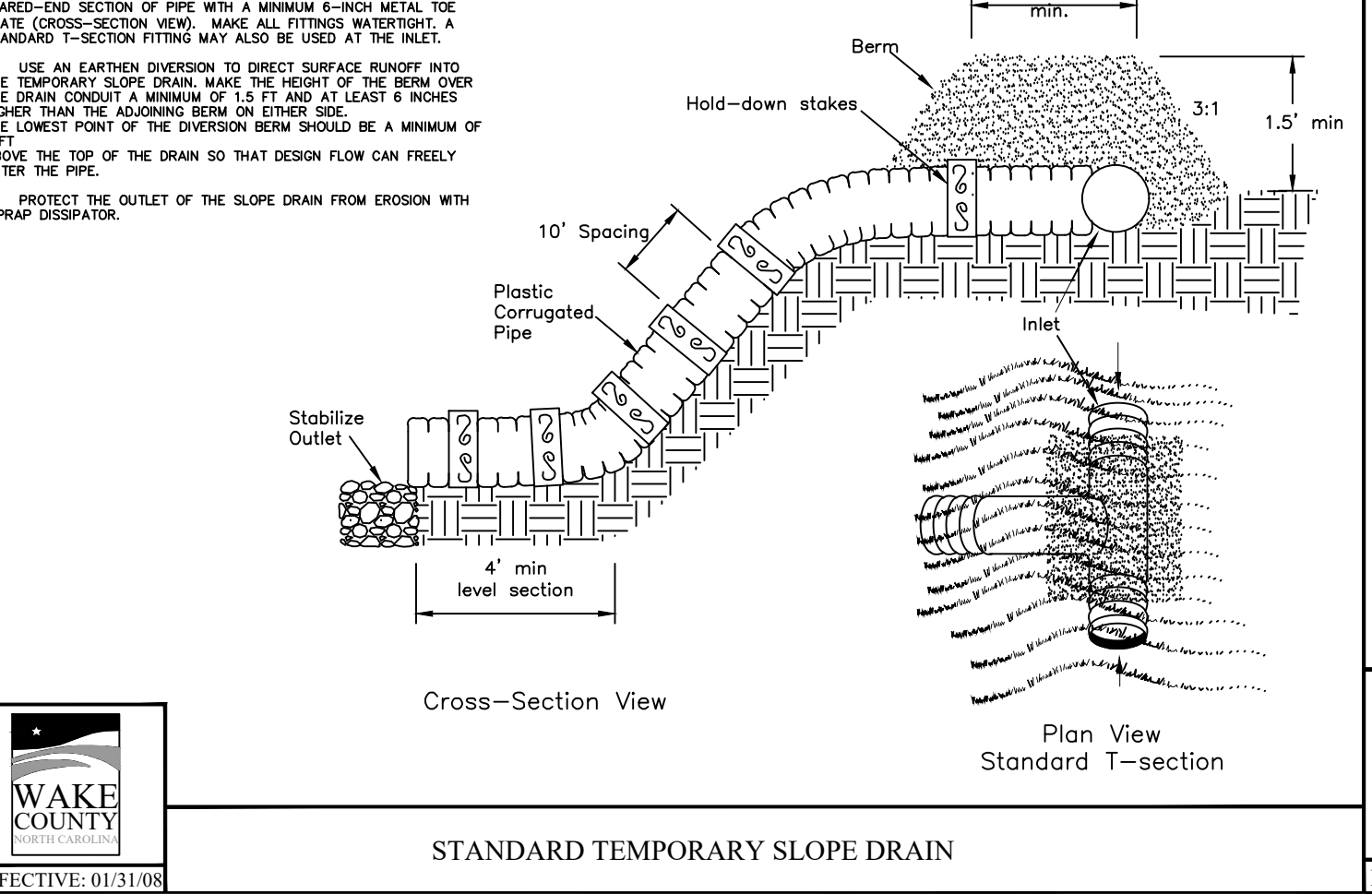
STANDARD CONSTRUCTION ENTRANCE
EFFECTIVE: 01/31/08



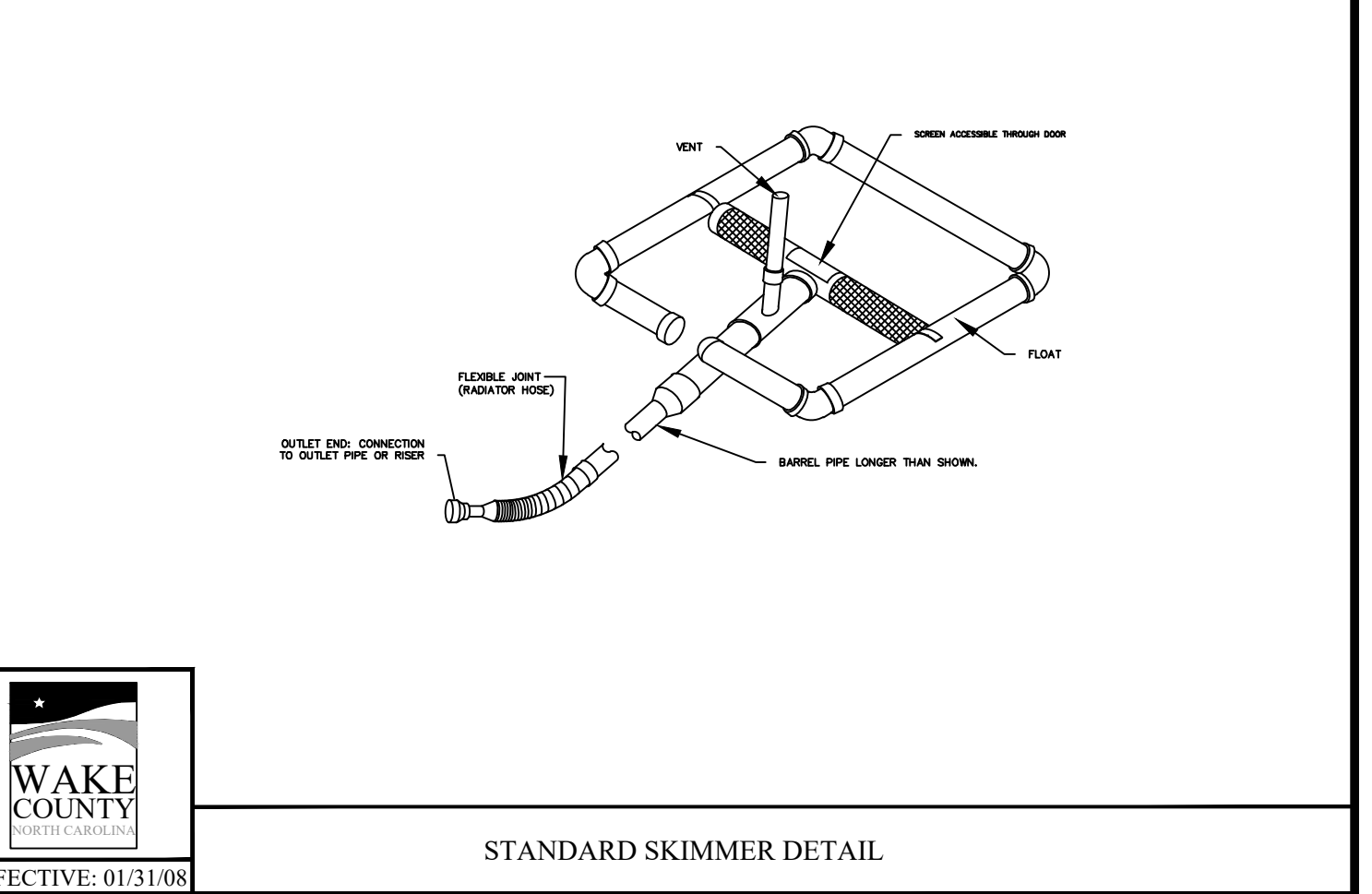
STANDARD TEMPORARY DIVERSION DITCH
EFFECTIVE: 01/31/08



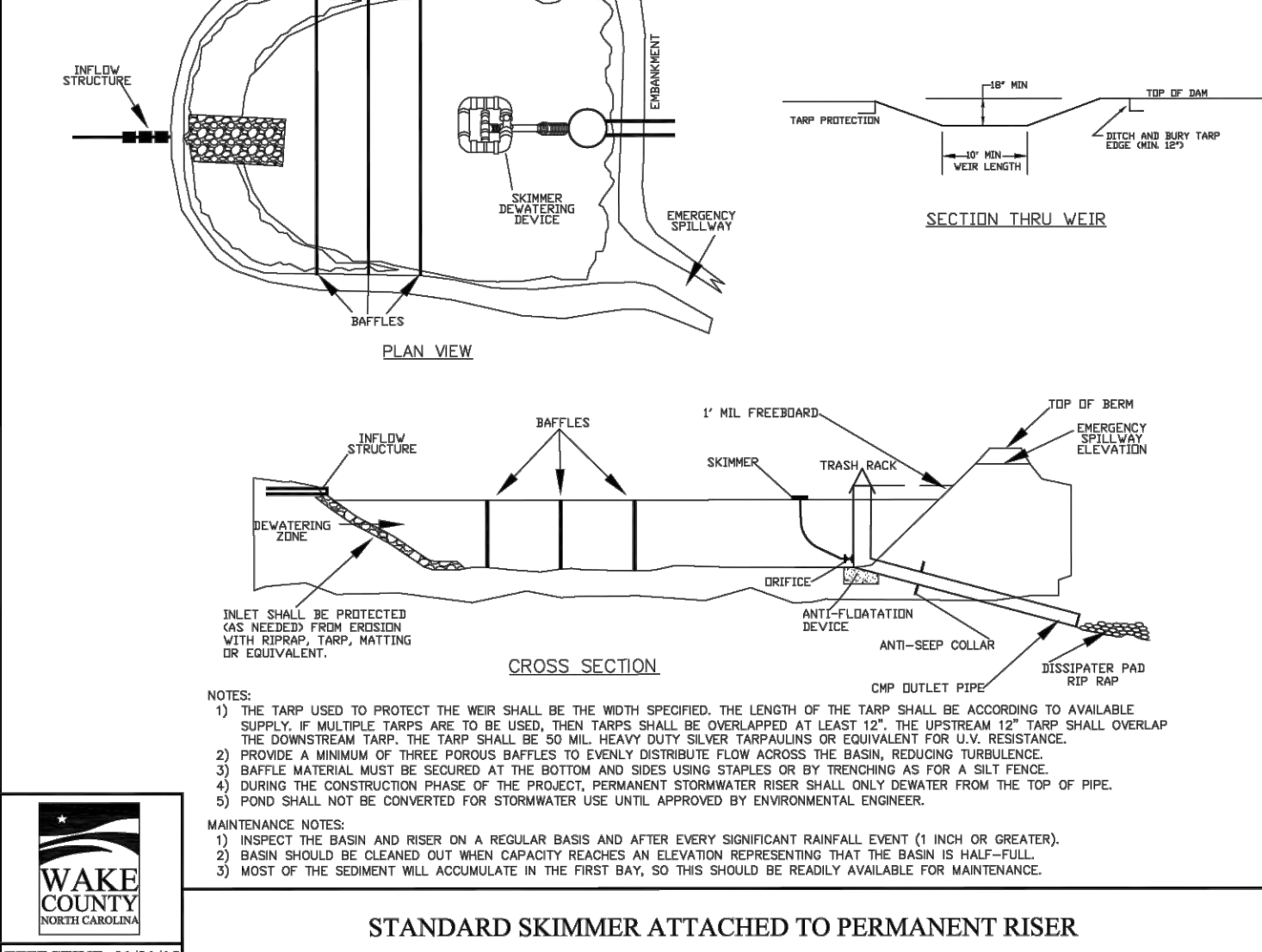
STANDARD SILT FENCE OUTLET
EFFECTIVE: 01/31/08



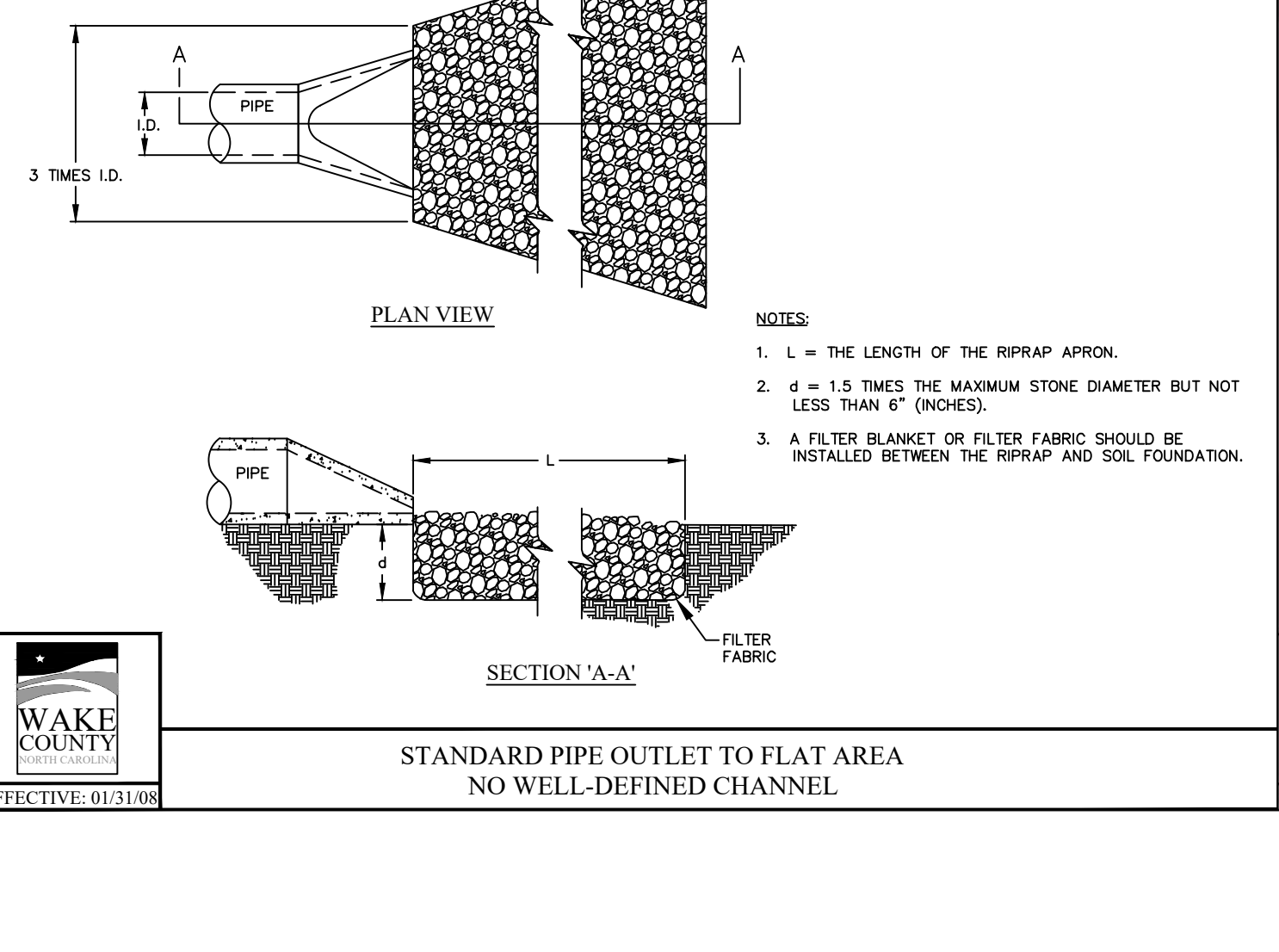
STANDARD TEMPORARY SLOPE DRAIN
EFFECTIVE: 01/31/08



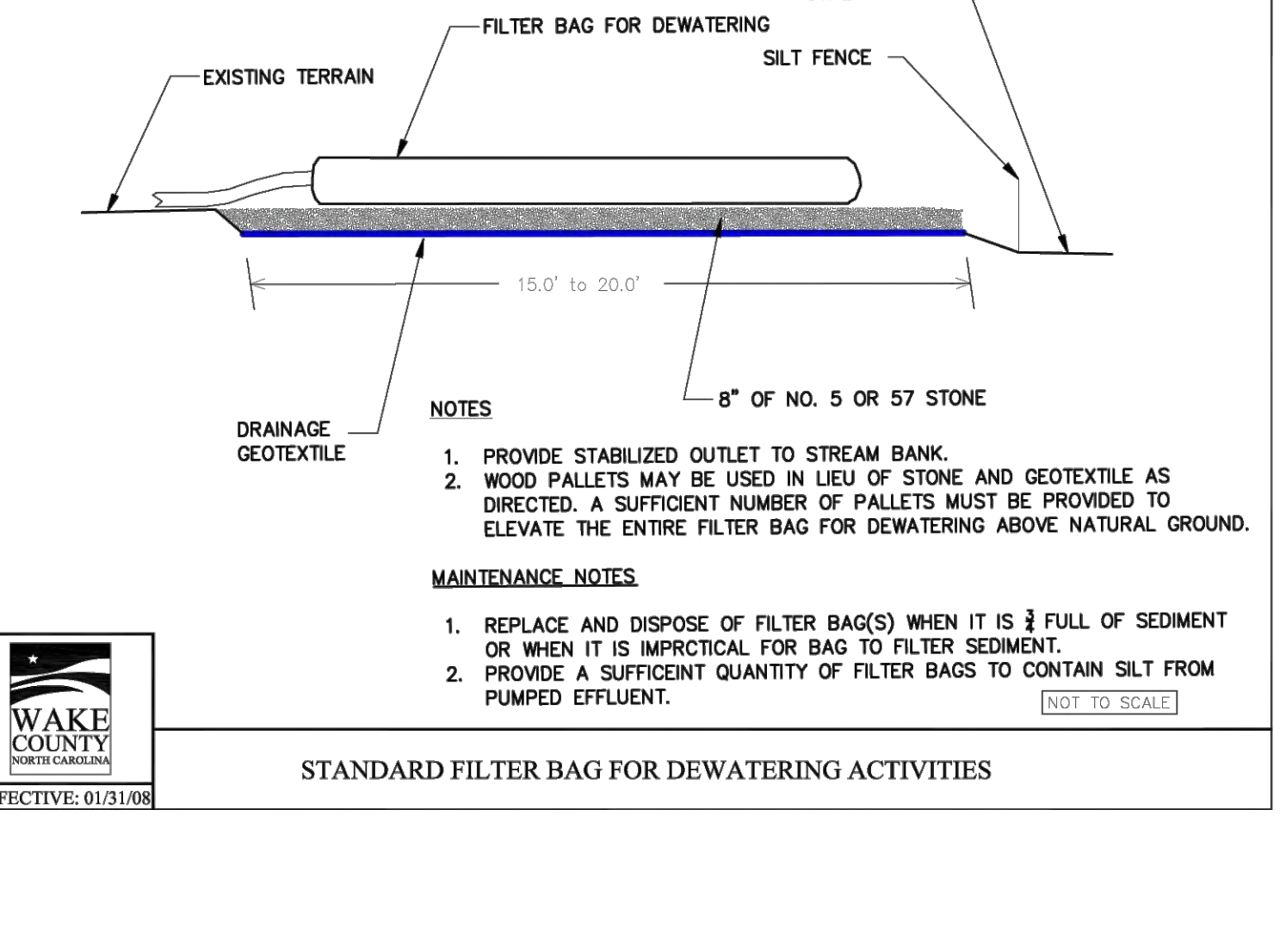
STANDARD SKIMMER DETAIL
EFFECTIVE: 01/31/08



STANDARD SKIMMER ATTACHED TO PERMANENT RISER
EFFECTIVE: 01/31/15



STANDARD PIPE OUTLET TO FLAT AREA NO WELL-DEFINED CHANNEL
EFFECTIVE: 01/31/08



STANDARD FILTER BAG FOR DEWATERING ACTIVITIES
EFFECTIVE: 01/31/08

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LANDSCAPE ARCHITECTURE CORPORATION
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THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
10104 Locust Road
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E-Mail: SRN@thesitegroup.net

CONSTRUCTION DRAWINGS FOR:
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ZEBULON, NORTH CAROLINA

Drawn By **WRR**
Checked By **SRN**

DATE: 07 NOV 2022
REVISED: 09 MAY 2023
21 NOV 2023

CONSTRUCTION DRAWING

SITE DETAILS

Job Code **SCBSZ**
Dwg No. **SITE 708**

ROOFING COLORS AND/OR MATERIALS SHALL VARY FROM ONE TOWNHOME BUILDING TO THE NEXT. THE ROOFING COLOR FOR BUILDINGS NEXT TO AND ACROSS FROM EACH OTHER SHALL VARY IN COLOR.



5-Plex - Front Elevation

20' 3-Story Rear Load Townhomes

10.17.2023



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ROOFING COLORS SHALL VARY FROM ONE TOWNHOME BUILDING TO THE NEXT. THE ROOFING COLOR FOR BUILDINGS NEXT TO AND ACROSS FROM EACH OTHER SHALL VARY IN COLOR.



5-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes

10.17.2023



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5-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes

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ROOFING COLORS SHALL VARY FROM ONE TOWNHOME BUILDING TO THE NEXT. THE ROOFING COLOR FOR BUILDINGS NEXT TO AND ACROSS FROM EACH OTHER SHALL VARY IN COLOR.



6-Plex - Front Elevation

20' 3-Story Rear Load Townhomes

10.17.2023



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ROOFING COLORS SHALL VARY FROM ONE TOWNHOME BUILDING TO THE NEXT. THE ROOFING COLOR FOR BUILDINGS NEXT TO AND ACROSS FROM EACH OTHER SHALL VARY IN COLOR.



6-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes

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ROOFING COLORS SHALL VARY FROM ONE TOWNHOME BUILDING TO THE NEXT. THE ROOFING COLOR FOR BUILDINGS NEXT TO AND ACROSS FROM EACH OTHER SHALL VARY IN COLOR.



6-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes

10.17.2023



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