



McAdams

The John R. McAdams Company, Inc.
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CONTACT

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CLIENT

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7208 FALLS OF NEUSE ROAD, SUITE 201
RALEIGH, NC 27615
CONTACT: JON HOLTVEDT
PHONE: 919.809.4207
EMAIL: JHoltvedt@drhorton.com



PROJECT DIRECTORY

OWNER
CHAMBLEE, R M HEIRS
C/O JIM EDWARDS
2711 ROYSTER STREET
RALEIGH, NC 27608

CHAMBLEE LAKE

1509 CHAMBLEE ROAD
ZEBULON, NORTH CAROLINA
PD 2023-01 / PROJECT NUMBER 891828

CONCEPT PLAN

PROJECT NUMBER: DRH-22004

DATE: NOVEMBER 1, 2022

REVISED: SEPTEMBER 12, 2023

PROPOSED ZONING CONDITIONS

- 1. IN ORDER TO ACCOMMODATE A MORE COMPACT DESIGN THAT SUPPORTS PRESERVATION OF ENVIRONMENTAL SENSITIVE FEATURES...
2. TO FACILITATE A MORE COMPACT DESIGN AND SUPPORT PRESERVATION OF OPEN SPACE AND ENVIRONMENTAL SENSITIVE FEATURES...
3. CHAMBLEE LAKE SHALL BE SUBJECT TO THE ARCHITECTURAL ZONING CONDITIONS INCLUDED WITHIN THE ASSOCIATED PLANNED DEVELOPMENT DOCUMENT.

REQUIRED SETBACKS

- SFD DETACHED (FRONT LOADED)
FRONT SETBACK (MIN): 20 FT
SIDE SETBACK (MIN): 5 FT
CORNER SETBACK (MIN): 15 FT
REAR SETBACK (MIN): 20 FT

WATER ALLOCATION POINTS

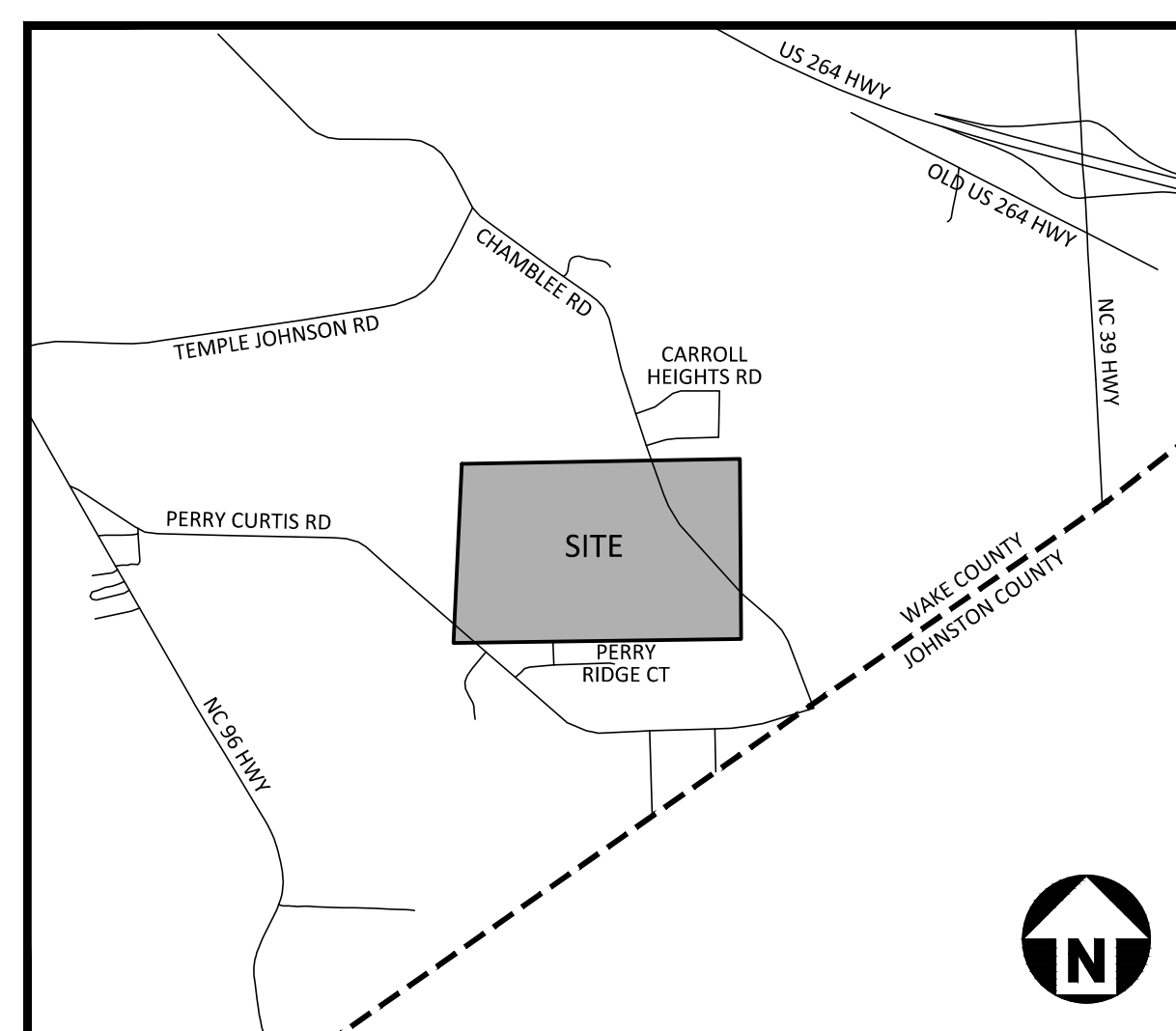
Table with 2 columns: POINTS, ITEM. Lists items like BASE POINTS, CONSERVATION OF NATURAL HABITAT, ON-STREET PARKING, etc.

UDO SUPPLEMENTAL USE STANDARDS

- SINGLE FAMILY DWELLINGS (ATTACHED)
• A MINIMUM TEN FEET OF SEPARATION SHALL BE MAINTAINED BETWEEN ALL BUILDINGS IN THE DEVELOPMENT.

SITE DATA

Table with 2 columns: PIN, ITEM. Lists site data including REAL ESTATE ID, SITE AREA, RIVER BASIN, EXISTING ZONING, etc.



VICINITY MAP
N.T.S.



REVISIONS

Table with 2 columns: NO., DATE. Lists revision dates and descriptions.

CONCEPT PLAN FOR:

CHAMBLEE LAKE
ZEBULON, NORTH CAROLINA
PROJECT NUMBER: DRH-22004





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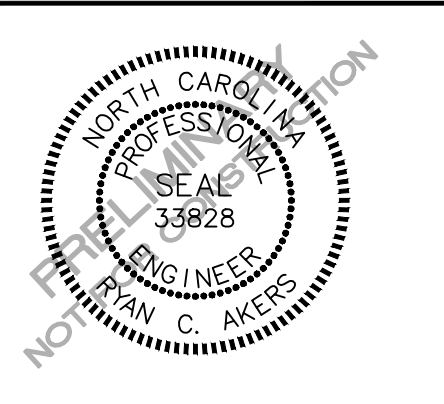
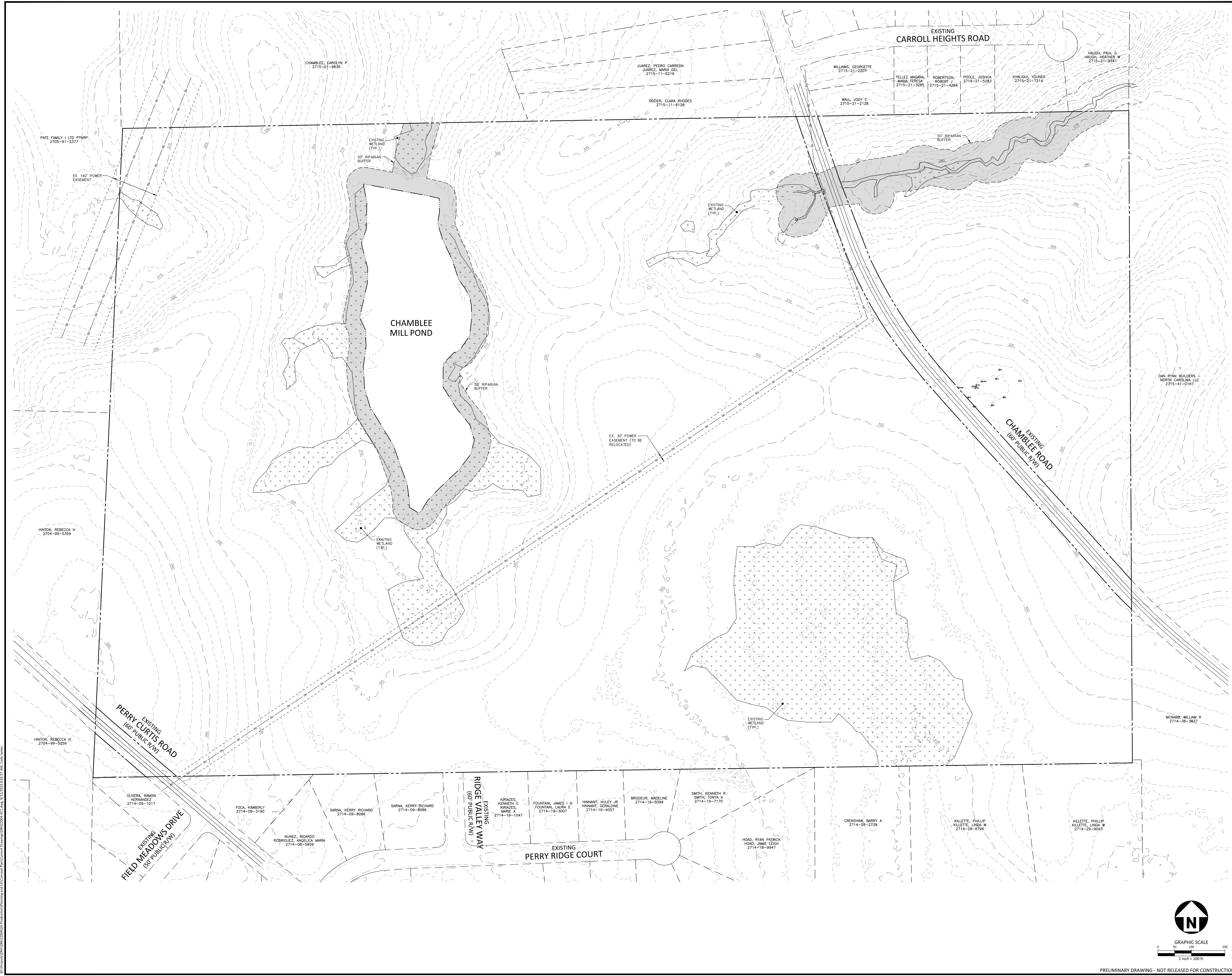
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**CHAMBLEE LAKE  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA**



**REVISIONS**

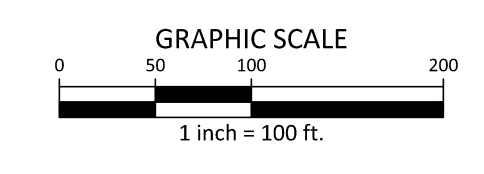
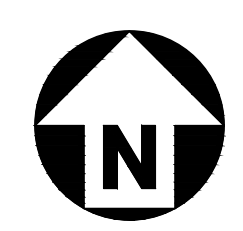
NO.	DATE	PER TOWN COMMENTS
1	07.28.2023	PER TOWN COMMENTS
2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO. DRH-22004  
FILENAME DRH22004-XC1  
CHECKED BY RCA  
DRAWN BY RLU  
SCALE 1"=100'  
DATE 11.01.2022

**SHEET**

**EXISTING  
CONDITIONS  
C1.00**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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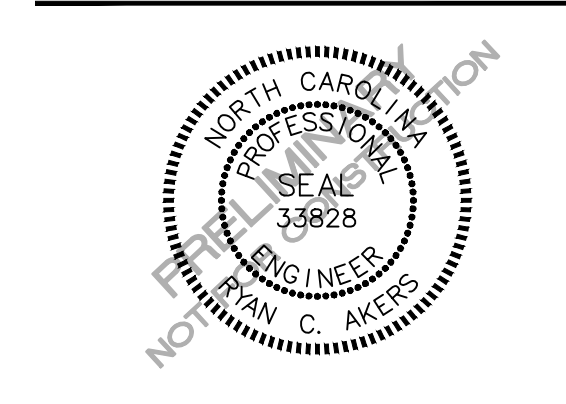
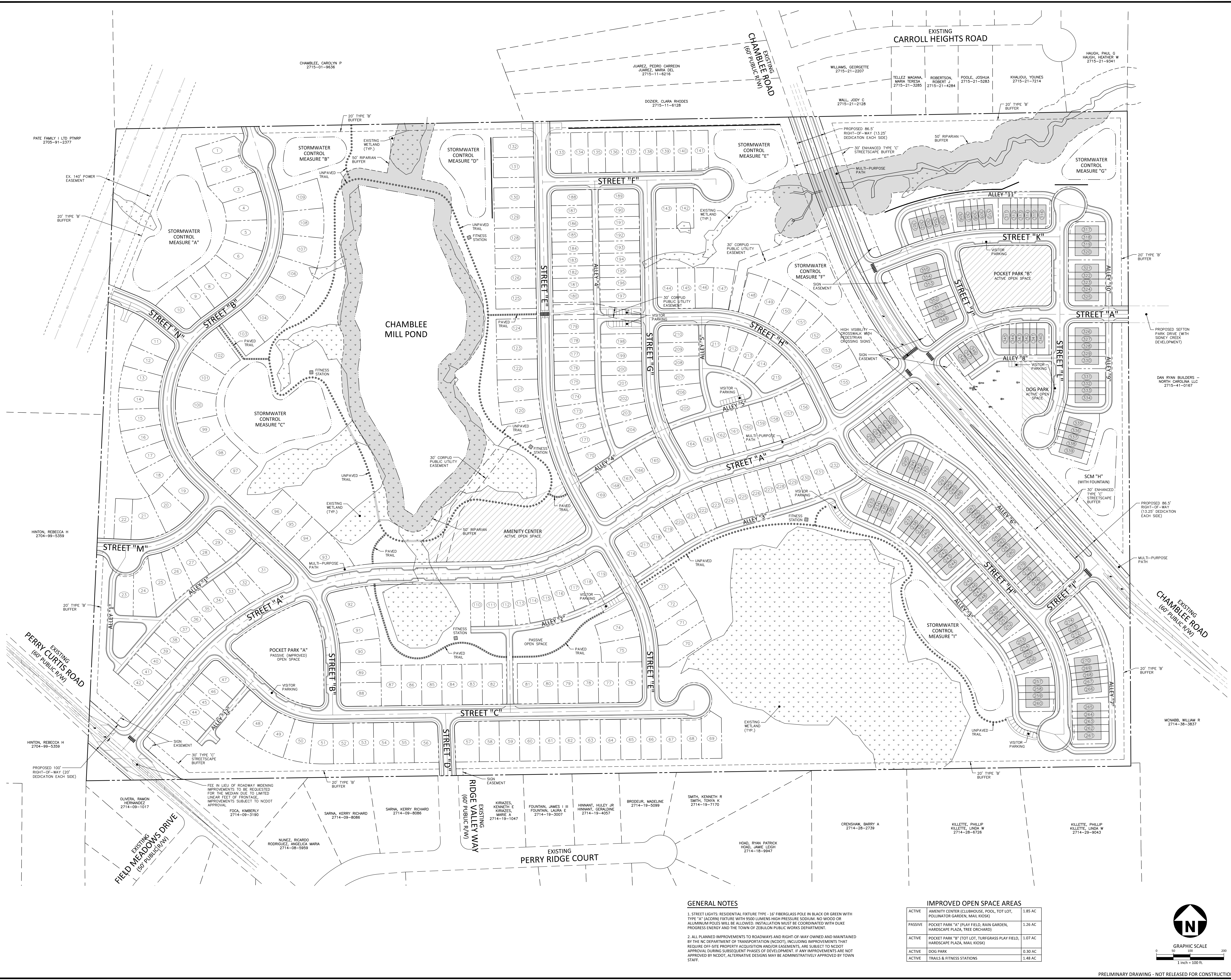
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CHAMBLEE LAKE  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA



REVISIONS

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PLAN INFORMATION

PROJECT NO.	DRH-22004
FILENAME	DRH22004-S1
CHECKED BY	RCA
DRAWN BY	RLU
SCALE	1"=100'
DATE	11.01.2022

SHEET

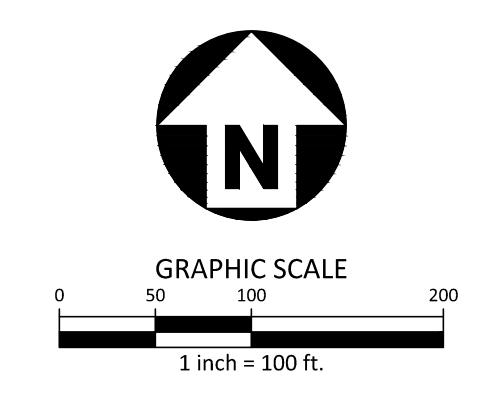
SITE PLAN  
**C2.00**

**GENERAL NOTES**

- STREET LIGHTS: RESIDENTIAL FIXTURE TYPE - 36" FIBERGLASS POLE IN BLACK OR GREEN WITH TYPE "A" (SACORN) FIXTURE WITH 9500 LUMENS HIGH PRESSURE SODIUM. NO WOOD OR ALUMINUM POLES WILL BE ALLOWED. INSTALLATION MUST BE COORDINATED WITH DUKE ENERGY AND THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT.
- ALL PLANNED IMPROVEMENTS TO ROADWAYS AND RIGHT-OF-WAY OWNED AND MAINTAINED BY THE NC DEPARTMENT OF TRANSPORTATION (NCDOT), INCLUDING IMPROVEMENTS THAT REQUIRE OFF-SITE PROPERTY ACQUISITION AND/OR EASEMENTS, ARE SUBJECT TO NCDOT APPROVAL DURING SUBSEQUENT PHASES OF DEVELOPMENT. IF ANY IMPROVEMENTS ARE NOT APPROVED BY NCDOT, ALTERNATIVE DESIGNS MAY BE ADMINISTRATIVELY APPROVED BY TOWN STAFF.

**IMPROVED OPEN SPACE AREAS**

ACTIVE	AMENITY CENTER (LOUNGE, POOL, TOT LOT, POLLINATOR GARDEN, MAIL KIOSK)	1.85 AC
PASSIVE	POCKET PARK "A" (PLAY FIELD, RAIN GARDEN, HARDSCAPE PLAZA, TREE ORCHARD)	1.26 AC
ACTIVE	POCKET PARK "B" (TOT LOT, TURFGRASS PLAY FIELD, HARDSCAPE PLAZA, MAIL KIOSK)	1.07 AC
ACTIVE	DOG PARK	0.30 AC
ACTIVE	TRAILS & FITNESS STATIONS	1.48 AC



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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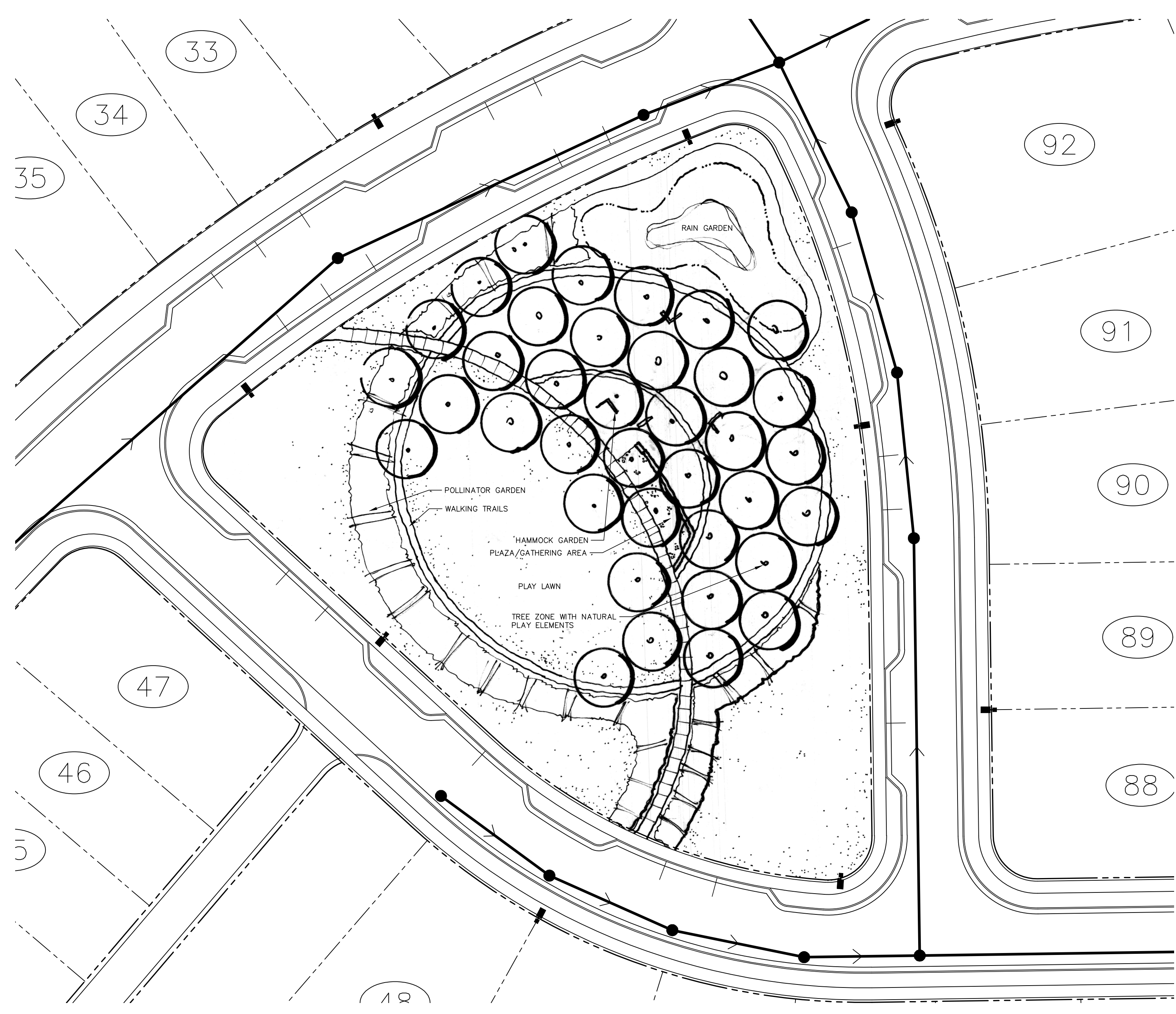


**CHAMBLEE LAKE  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA**

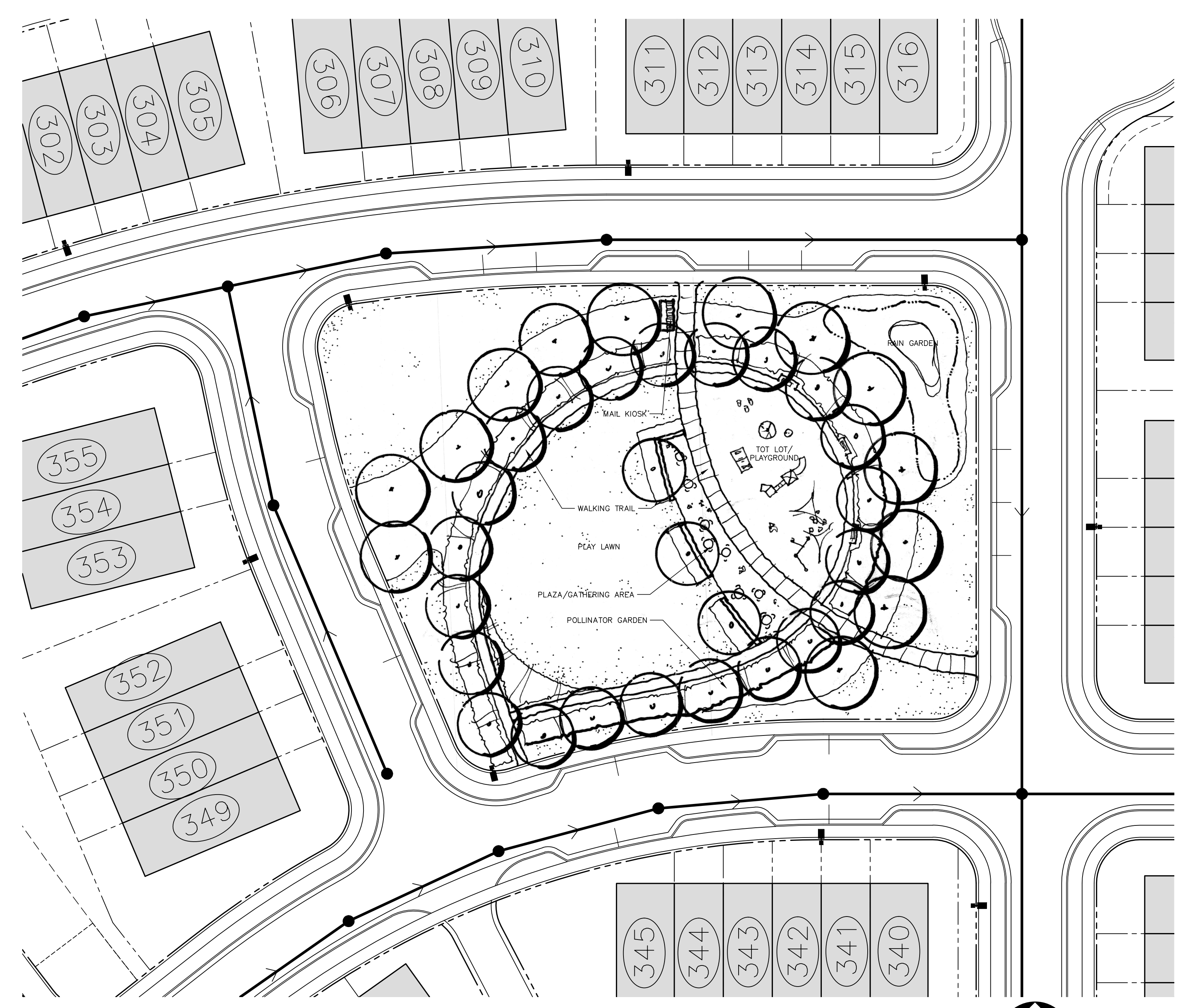
NOTE  
AMENITY CENTER AND POCKET PARK DESIGNS ARE  
CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE  
BASED UP FINAL DESIGN AND REVIEW. ELEMENTS  
SHOWN ARE INTENDED TO DEFINE POSSIBLE OPEN  
SPACE CONFIGURATIONS AND ARRANGEMENT OF  
SITE ELEMENTS.



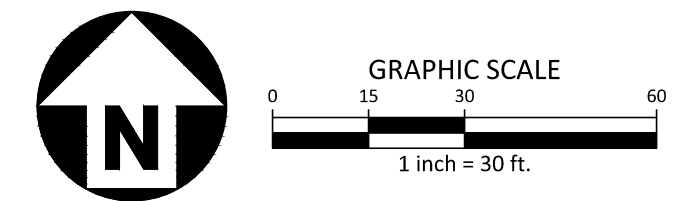
AMENITY CENTER  
ACTIVE OPEN SPACE



POCKET PARK "A"  
PASSIVE (IMPROVED) OPEN SPACE



POCKET PARK "B"  
ACTIVE OPEN SPACE



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	PER TOWN COMMENTS
1	07.28.2023	PER TOWN COMMENTS
2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO.	DRH-22004
FILENAME	DRH22004-S2
CHECKED BY	RCA
DRAWN BY	RLU
SCALE	1"=30'
DATE	11.01.2022

**SHEET**

IMPROVED OPEN SPACE  
CONCEPTUAL DESIGNS

**C2.01**

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**CHAMBLEE LAKE**  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA



**REVISIONS**

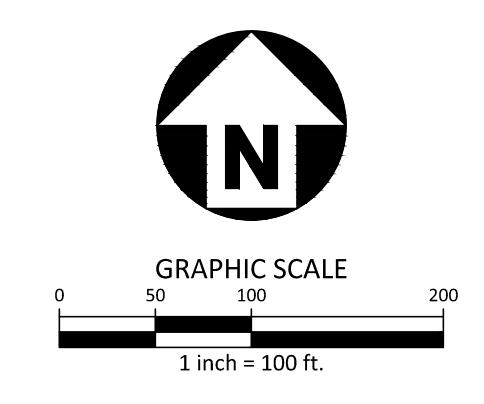
NO.	DATE	PER TOWN COMMENTS
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2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO. DRH-22004  
 FILENAME DRH22004-G1  
 CHECKED BY RCA  
 DRAWN BY RLU  
 SCALE 1"=100'  
 DATE 11.01.2022

**SHEET**

**GRADING PLAN**  
**C3.00**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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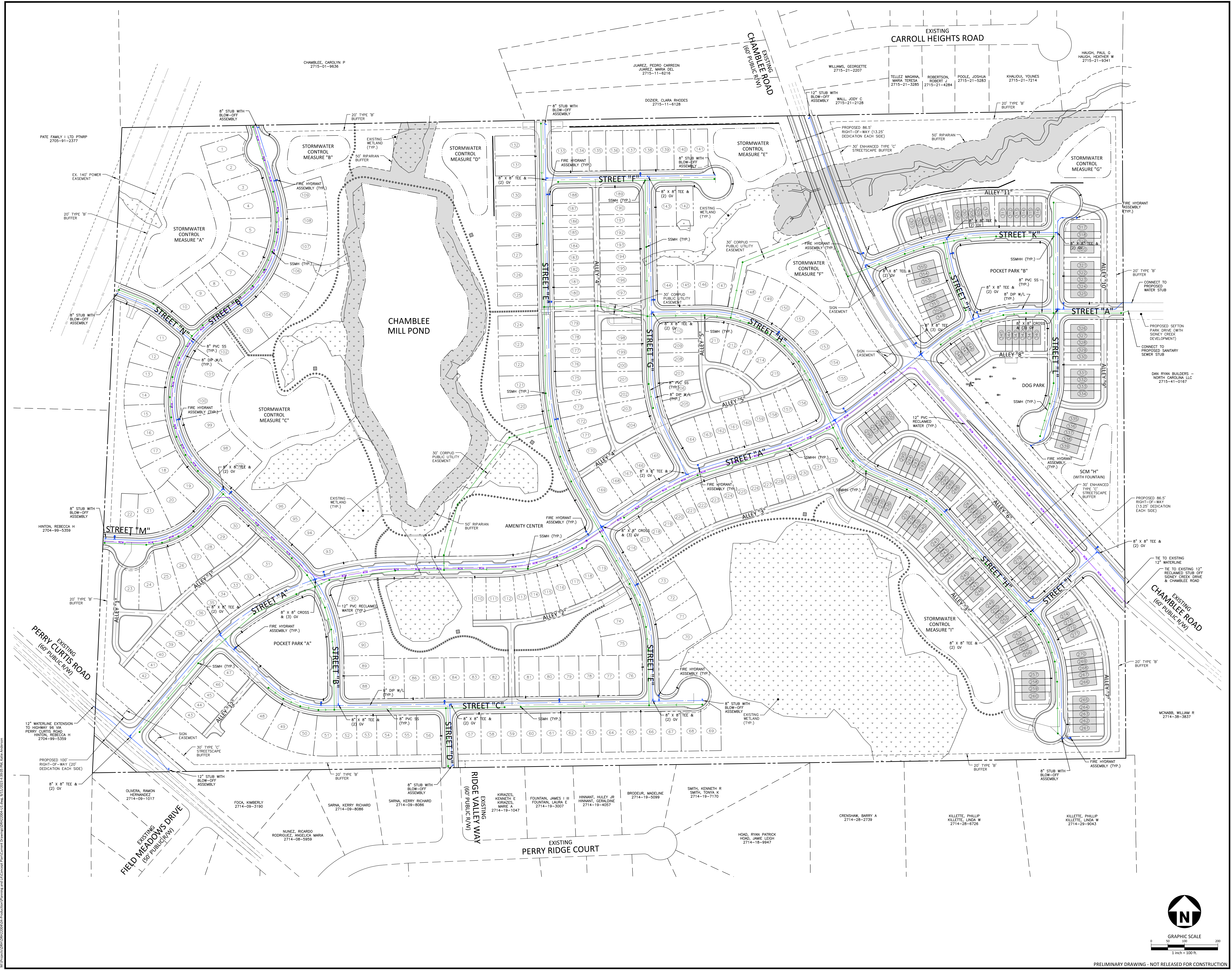
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**CHAMBLEE LAKE  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA**



**REVISIONS**

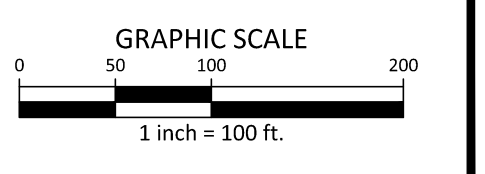
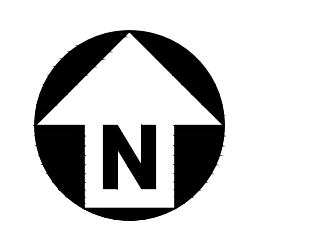
NO.	DATE	PER TOWN COMMENTS
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2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO. DRH-22004  
FILENAME DRH22004-U1  
CHECKED BY RCA  
DRAWN BY RLU  
SCALE 1"=100'  
DATE 11.01.2022

**SHEET**

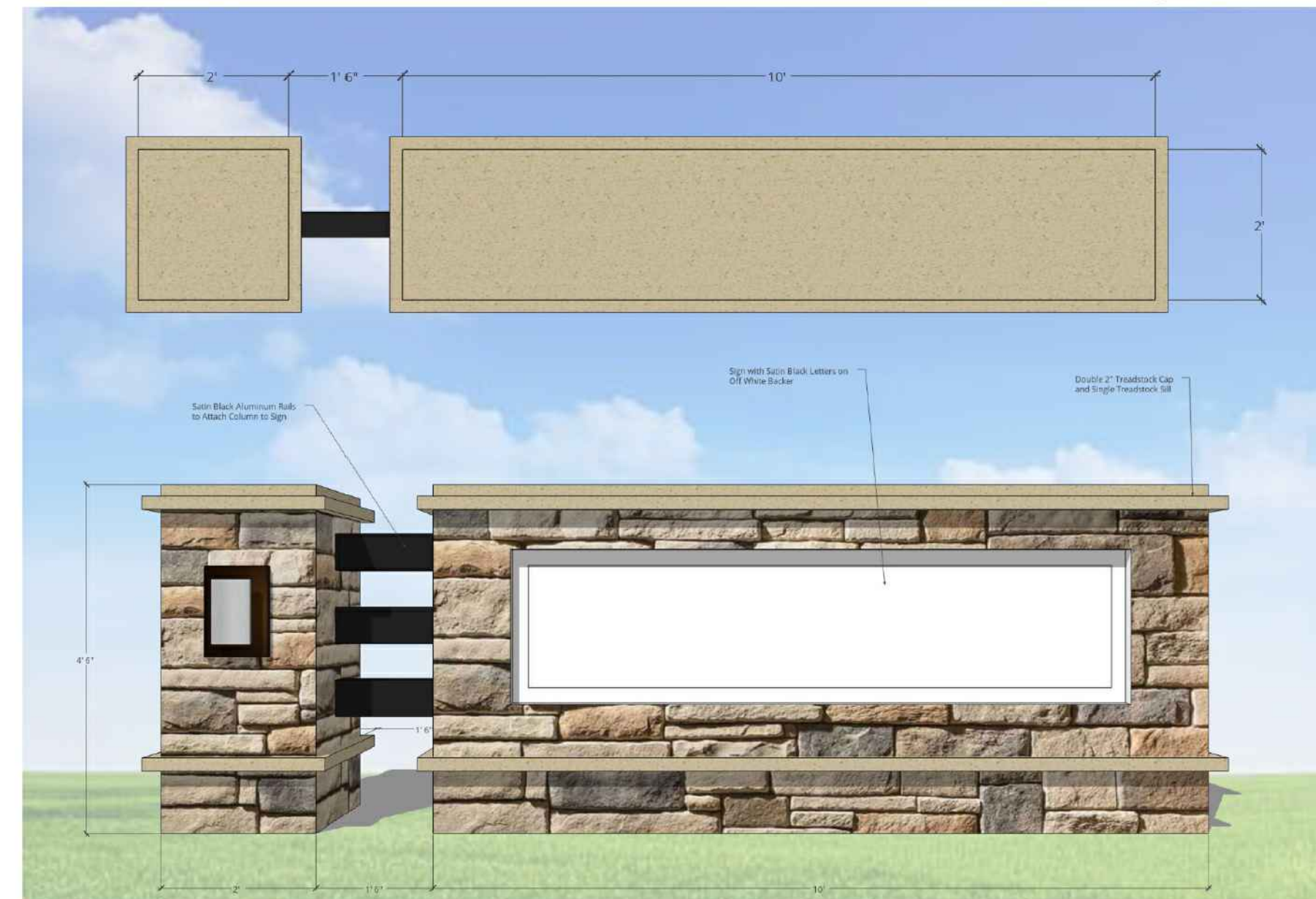
**UTILITY PLAN  
C4.00**



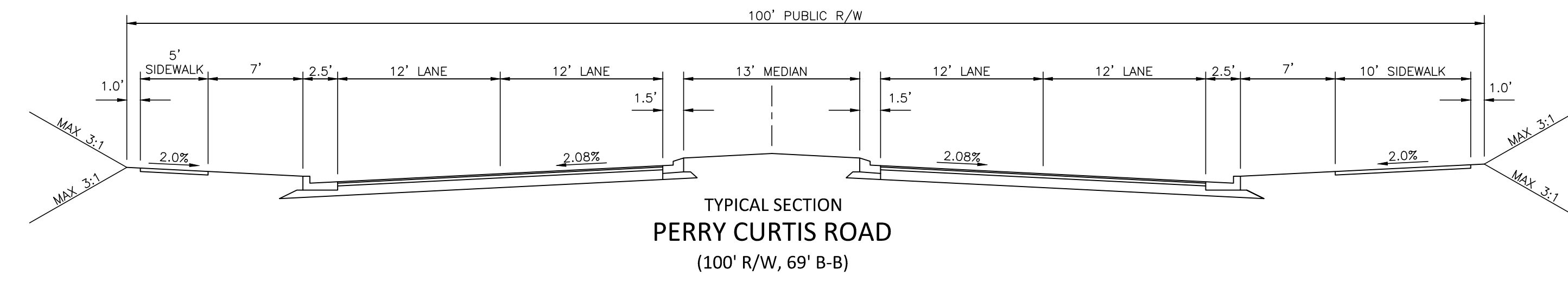
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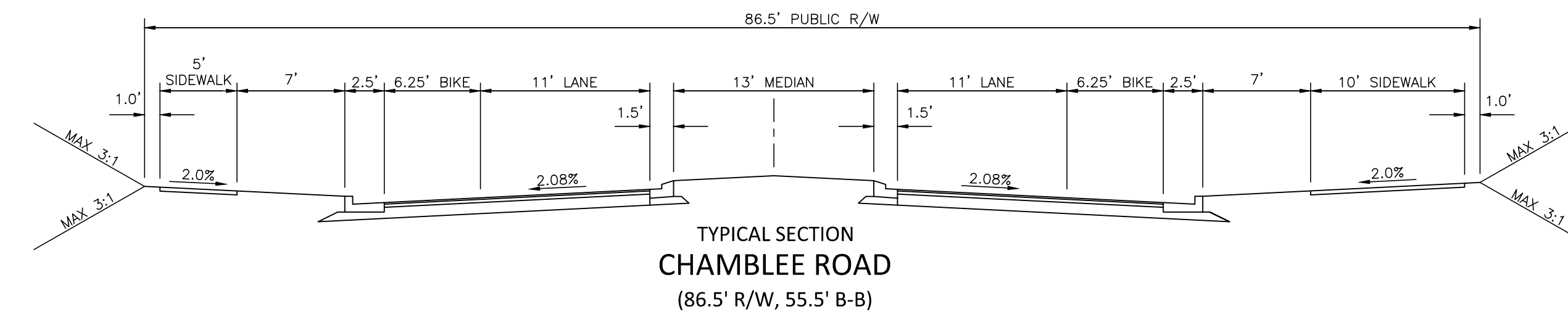




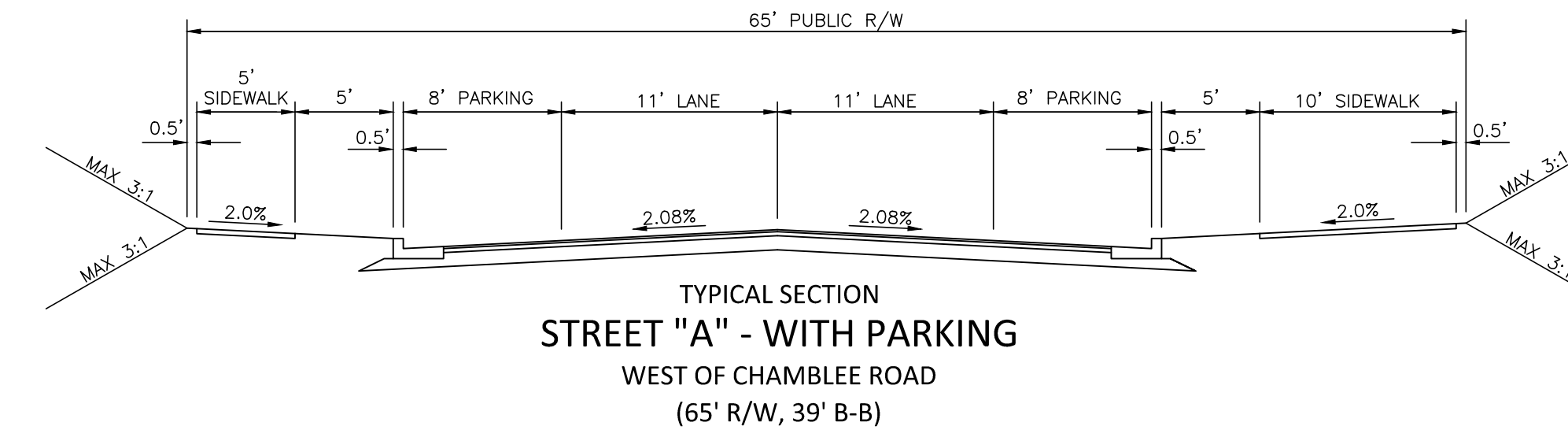
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NOT TO SCALE



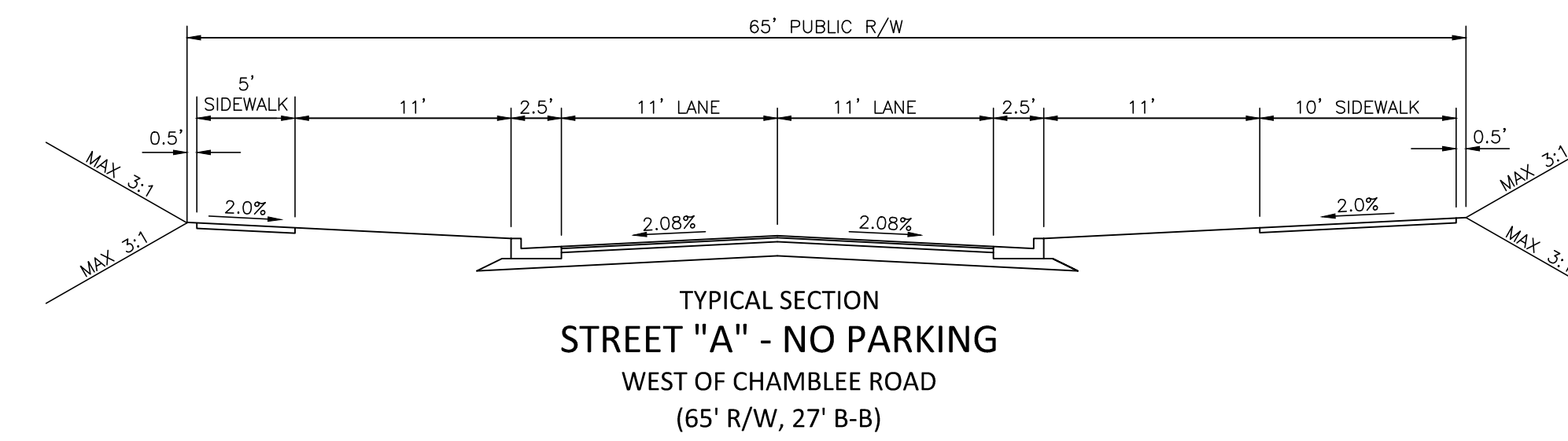
TYPICAL SECTION  
PERRY CURTIS ROAD  
(100' R/W, 69' B-B)



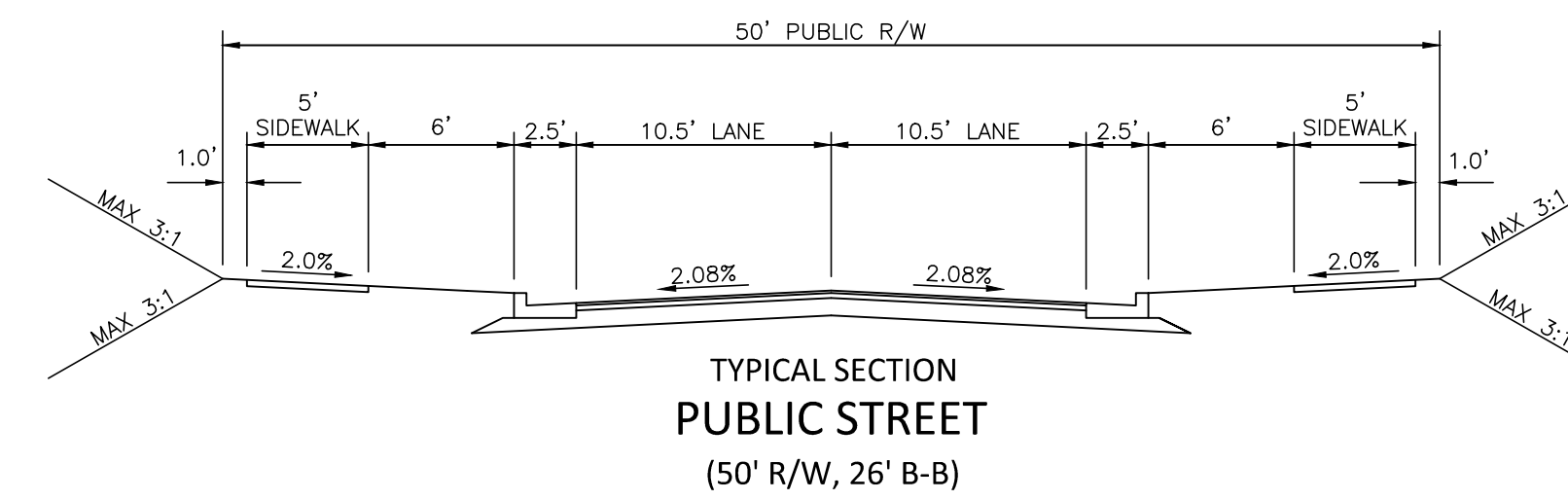
TYPICAL SECTION  
CHAMBLEE ROAD  
(86.5' R/W, 55.5' B-B)



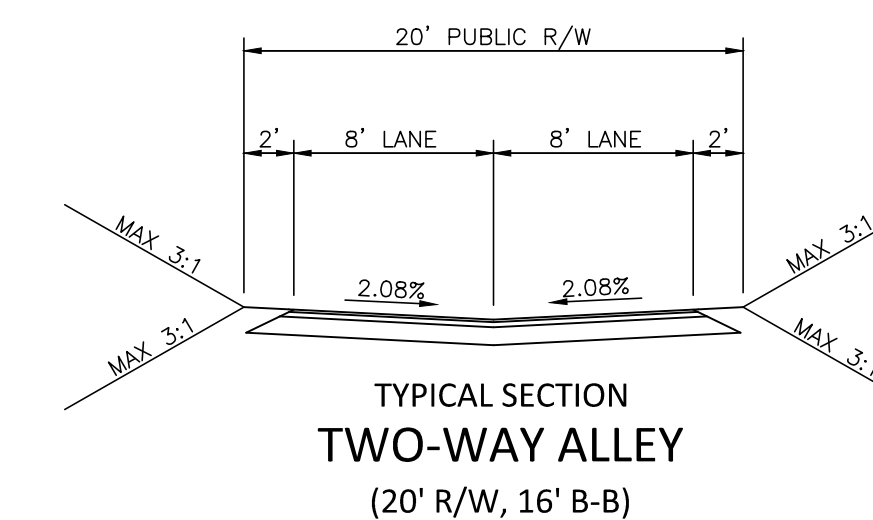
TYPICAL SECTION  
STREET "A" - WITH PARKING  
WEST OF CHAMBLEE ROAD  
(65' R/W, 39' B-B)



TYPICAL SECTION  
STREET "A" - NO PARKING  
WEST OF CHAMBLEE ROAD  
(65' R/W, 27' B-B)



TYPICAL SECTION  
PUBLIC STREET  
(50' R/W, 26' B-B)



TYPICAL SECTION  
TWO-WAY ALLEY  
(20' R/W, 16' B-B)



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**CHAMBLEE LAKE**  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA



**REVISIONS**

NO.	DATE	PER TOWN COMMENTS
1	07.28.2023	PER TOWN COMMENTS
2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO.	DRH-22004
FILENAME	DRH22004-D1
CHECKED BY	RCA
DRAWN BY	RLU
SCALE	N/A
DATE	11.01.2022

**SHEET**

**SITE DETAILS**  
**C8.00**





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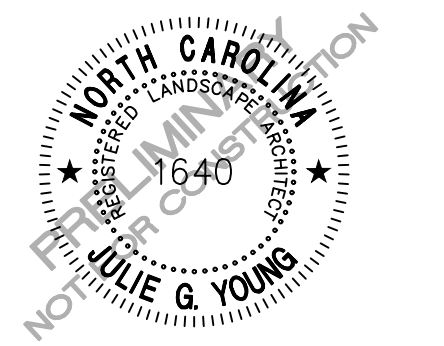
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REVISIONS

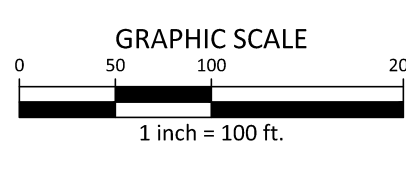
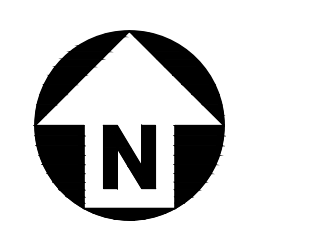
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PLAN INFORMATION

PROJECT NO. DRH-22004  
FILENAME DRH22004-L51  
CHECKED BY SRD  
DRAWN BY CMXY  
SCALE 1"=100'  
DATE 11.01.2022

SHEET

LANDSCAPE PLAN  
L5.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



PLANT SCHEDULE OVERALL LANDSCAPE PLAN

EVERGREEN SHRUBS	COMMON NAME
⊙	Glossy Abelia
⊙	Carissa Holly
⊙	Dwarf Japanese Holly
⊙	Wax Myrtle
⊙	Sweet Olive

PLANT SCHEDULE OVERALL LANDSCAPE PLAN

CANOPY TREES	COMMON NAME
⊕	October Glory Maple
⊕	White Oak
⊕	Scarlet Oak
⊕	Overcup Oak
⊕	Willow Oak
⊕	American Elm
⊕	Chinese Elm
⊕	Sawleaf Zelkova
⊕	Nellie Stevens Holly

PLANT SCHEDULE OVERALL LANDSCAPE PLAN

EVERGREEN UNDERSTORY TREES	COMMON NAME
⊕	Shantung Maple
⊕	American Hornbeam
⊕	Forest Pansy Redbud
⊕	Kath Dawey Chinese Filadelfia

SITE LEGEND

⊕	SIGNAGE	⊕	ACCESSIBLE RAMP
⊕	YARD LIGHTS	⊕	ACCESSIBLE ROUTE
⊕	LIGHT POLE	⊕	PHASE LINE
⊕	POWER POLE	⊕	PROPERTY LINE
⊕	TRAFFIC DIRECTIONAL ARROW	⊕	RIGHT-OF-WAY LINE
⊕	ACCESSIBLE PARKING STALL	⊕	LOT LINE
⊕	VAN ACCESSIBLE PARKING STALL	⊕	EASEMENT LINE
⊕	PARKING SPACE COUNT	⊕	CENTERLINE
⊕		⊕	BUFFER PLANTING SEE SHEET L5.01 FOR TYPICAL SECTIONS

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**GENERAL LANDSCAPE NOTES:**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ZEBULON AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS IN QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOIL IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEUS MATERIAL.
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRAINAGE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUNGLASS, DRIPPING, SWELTING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND/TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUNGLASS. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED, UNLESS IMMEDIATELY INSTALLED. SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADE. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
30. STRUCTURAL SOILS REQUIRED FOR LANDSCAPE ISLANDS AND STRIPS LOCATED IN PARKING AREAS PER SECTION 5.6.9.B.7 OF THE ZEBULON UDO.

**WARRANTY & MAINTENANCE:**

1. WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
  - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE.
  - NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
  - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
2. MAINTENANCE: INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
  - TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
  - GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
  - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

**LANDSCAPE CALCULATIONS**

STREET TREES		5423 LF
TREES REQUIRED:	109 (1/50 LF)	
TREES PROVIDED:	109	
STREET NAME B		3625 LF
TREES REQUIRED:	73 (1/50 LF)	
TREES PROVIDED:	74	
STREET NAME C		2716 LF
TREES REQUIRED:	55 (1/50 LF)	
TREES PROVIDED:	55	
STREET NAME D		284 LF
TREES REQUIRED:	6 (1/50 LF)	
TREES PROVIDED:	6	
STREET NAME E		326 LF
TREES REQUIRED:	66 (1/50 LF)	
TREES PROVIDED:	66	
STREET NAME F		989 LF
TREES REQUIRED:	20 (1/50 LF)	
TREES PROVIDED:	21	
STREET NAME G		1564 LF
TREES REQUIRED:	32 (1/50 LF)	
TREES PROVIDED:	32	
STREET NAME H		3278 LF
TREES REQUIRED:	66 (1/50 LF)	
TREES PROVIDED:	69	
STREET NAME I		292 LF
TREES REQUIRED:	6 (1/50 LF)	
TREES PROVIDED:	6	
STREET NAME J		353 LF
TREES REQUIRED:	8 (1/50 LF)	
TREES PROVIDED:	8	
STREET NAME K		866 LF
TREES REQUIRED:	18 (1/50 LF)	
TREES PROVIDED:	18	
STREET NAME L		1405 LF
TREES REQUIRED:	29 (1/50 LF)	
TREES PROVIDED:	29	
STREET NAME M		792 LF
TREES REQUIRED:	16 (1/50 LF)	
TREES PROVIDED:	16	
STREET NAME N		449 LF
TREES REQUIRED:	9 (1/50 LF)	
TREES PROVIDED:	9	
CHAMBLEE ROAD**		3125 LF
TREES REQUIRED:	125 (1/25 LF)	
TREES PROVIDED:	125	

\*\*NOTE: STREET TREES ON CHAMBLEE ROAD ARE LOCATED WITHIN NCDOT RIGHT-OF-WAY AND SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND CLEAR ZONE REQUIREMENTS. ALL PLANTINGS IN MEDIAN ARE SUBJECT TO REVIEW AND APPROVAL BY NCDOT.

**VEHICLE USE AREAS:**

VISITOR PARKING AREAS:		48 TOTAL SPACES
CANOPY TREES REQUIRED:	= 4 [1 CANOPY TREE PER 12 SPACES]	
SHRUBS PROVIDED:	= 10	

SHRUBS PROVIDED: = SINGLE CONTINUOUS ROW OF EVERGREEN SHRUBS

SOIL REQUIRED: = 1,000 CUBIC FEET OF SOIL PER TREE FOR EVERY LANDSCAPE ISLAND WITH PROPERLY PREPARED STRUCTURAL SOIL FOR ALL LANDSCAPE ISLANDS AND STRIPS

**MEDIAN PLANTING:**

MEDIANS WILL BE PLANTED WITH THE FOLLOWING STANDARD:  
1 UNDERSTORY TREE AND 15 SHRUBS PER 100 LINEAR FEET.

NOTE: ALL PLANTINGS IN MEDIAN ARE SUBJECT TO REVIEW AND APPROVAL BY NCDOT.

**BUILDING LANDSCAPE REQUIREMENTS:**

**TOWNHOMES**

- 1 TREE (UNDERSTORY OR CANOPY) OR 2 ORNAMENTAL TREES PER LOT
- TO AVOID UTILITY AND DRIVEWAY CONFLICTS WITHIN TOWNHOME AREAS, REQUIRED RESIDENTIAL SITE LANDSCAPING MAY BE LOCATED EITHER ON THE TOWNHOME LOT ITSELF OR WITHIN NEARBY HOA OWNED COMMON AREAS

**SINGLE FAMILY - FRONT LOADED**

- 1 CANOPY TREE AND 1 UNDERSTORY TREE

**SINGLE FAMILY - REAR LOADED**

- 2 UNDERSTORY TREES

**FOUNDATION PLANTINGS**

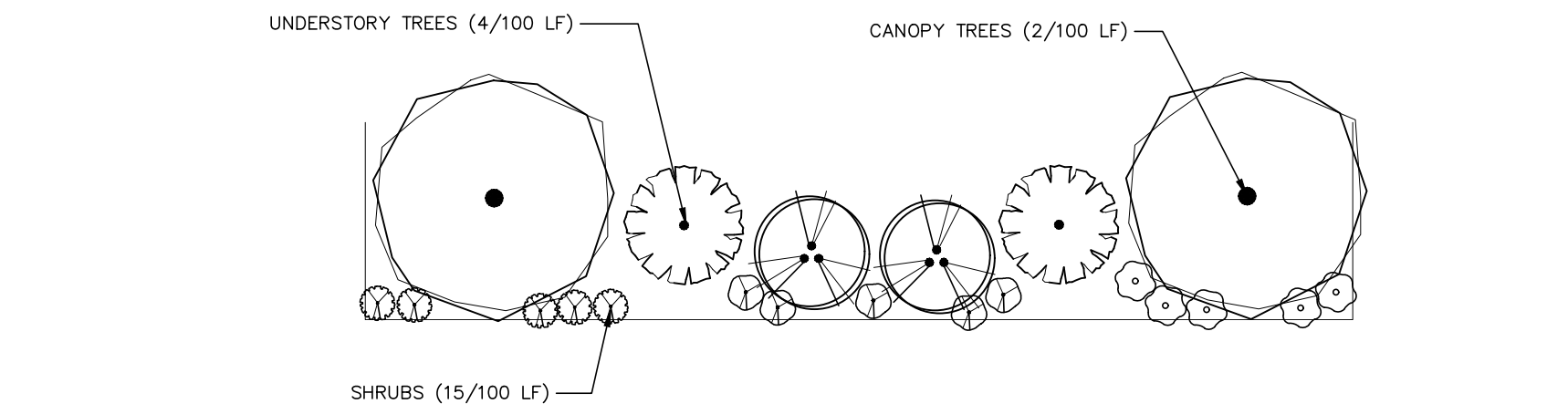
ALL RESIDENTIAL LOTS SHALL HAVE APPROPRIATE SHRUBS LOCATED WITHIN 10' OF THE BUILDING FOUNDATION WHICH IS VISIBLE FROM THE STREET, IN ACCORDANCE WITH SECTION 5.6.11.D.1 OF THE UDO

**PREFERRED PLANT SPECIES FOR RESIDENTIAL**

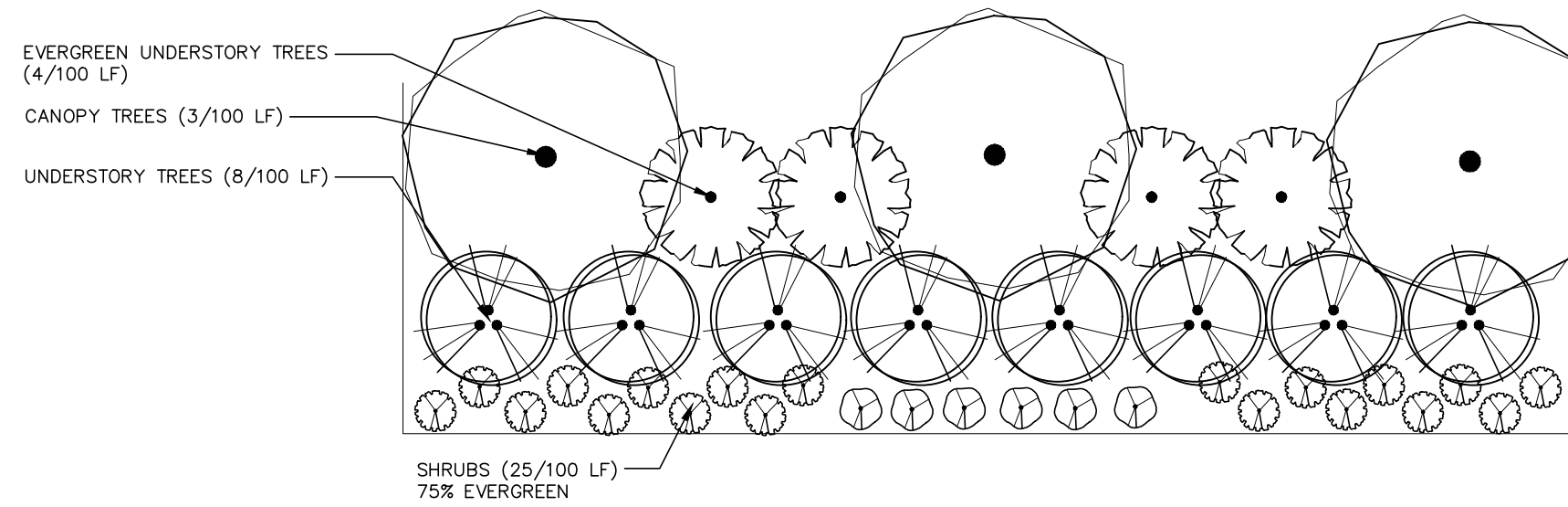
LARGE DECIDUOUS TREE SPECIES (INSTALLED AT 2.5'-3' CAL.)	SMALL SHRUB SPECIES (INSTALLED AT 18" HT. MIN.)
ACER BUERGERIANUM - TRIDENT MAPLE	ABELIA X GRANDIFLORA - ABEJIA CULTIVARS
NYSSA SYLVATICA 'GREEN GABLE' - BLACK GUM	BUXUS SP. - BOXWOOD SPECIES
QUERCUS ALBA - WHITE OAK	ILEX SP. - HOLLY SPECIES (CARISSA, GLABRA, YAUPON, ETC.)
QUERCUS LYRATA - OVERCUP OAK	PRINUS LAURO-CERASUS SPP. - ENGLISH LAUREL CULTIVARS
QUERCUS NIGRA - WATER OAK	RHAMNOLIACEAE SPP. - INDIAN HAWTHORN CULTIVARS
QUERCUS PHellos - WILLOW OAK	
ULMUS PARVIFOLIA - LACEBARK ELM	

SMALL EVERGREEN TREE SPECIES (INSTALLED AT 3'-6" HT.)

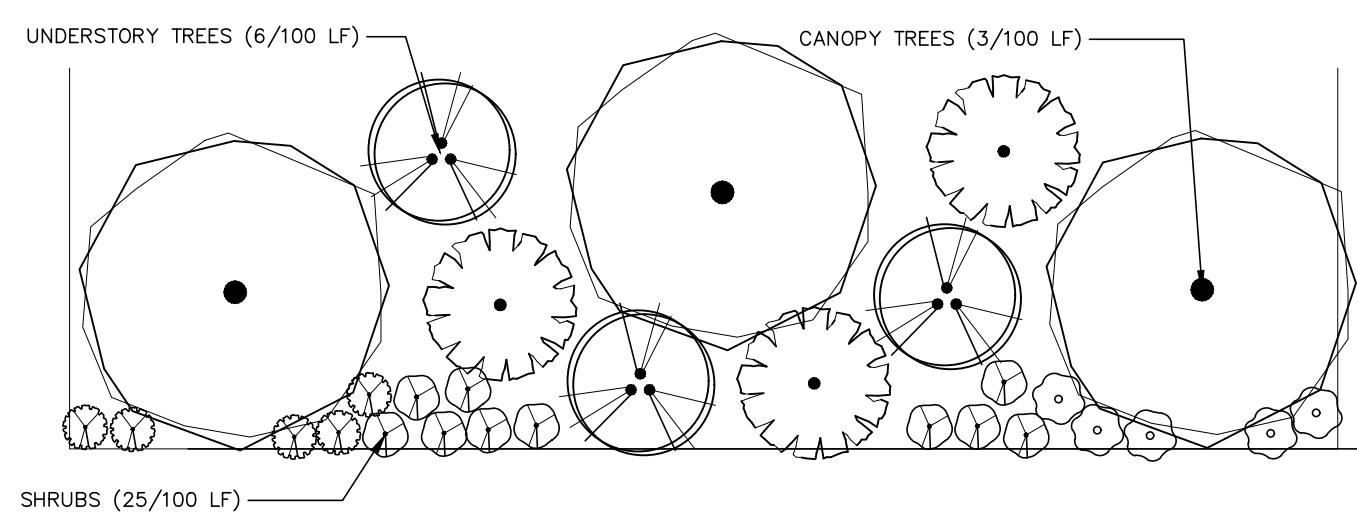
- ILEX X 'EMLY BRUNNER' - EMILY BRUNNER HOLLY
- ILEX X 'NELLIE R. STEVENS' - NELLIE STEVENS HOLLY
- ILEX X 'ATTENDIANA 'FOSTER' - FOSTER HOLLY
- ILEX 'VOMITORIA' - YAUPON HOLLY
- JUNIPERUS CHINENSIS 'SPARTAN' - SPARTAN JUNIPER
- VIBURNUM ANABALU - CHINDO - CHINDO VIBURNUM



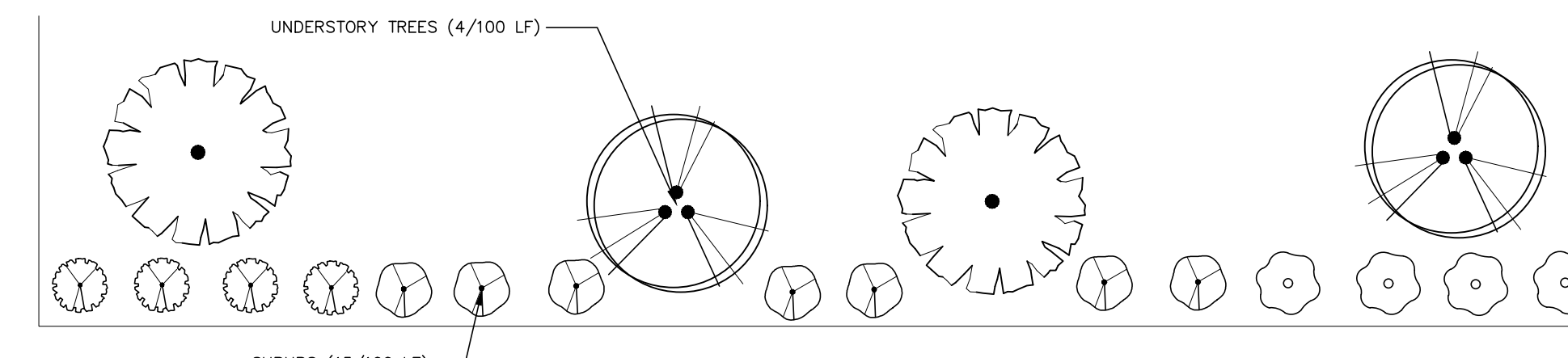
20' TYPE 'B' BUFFER  
NOT TO SCALE



30' ENHANCED STREETSCAPE BUFFER  
(ALONG CHAMBLEE RD.)  
NOT TO SCALE



30' TYPE 'C' BUFFER  
NOT TO SCALE



10' SCM BUFFER  
NOT TO SCALE

NOTE: ALL LANDSCAPINGS SURROUNDING THE SCM SHALL MEET THE TYPE A BUFFER STANDARD PER SECTION 5.6.19 OF THE UDO. ALL PLANTINGS WITHIN THE POND AREA SHALL MEET THE RECOMMENDATIONS OF THE NC STATE EXTENSION OFFICE FOR STORMWATER WETLAND CONSTRUCTION.

**BUFFER PLANT SPECIES**

**LARGE DECIDUOUS TREES**

- QUERCUS PALustris - PIN OAK
- QUERCUS RUBRA - RED OAK
- QUERCUS BICOLOR - SWAMP WHITE OAK
- BETULA NIGRA - RIVER BIRCH
- LIRIODENDRON TULIPIFERA - TULIP POPLAR
- NYSSA SYLVATICA - BLACK TUPELO
- ACER RUBRUM - RED MAPLE
- TAXODIUM DISTICHUM

**EVERGREENS**

- ILEX X 'NELLIE STEVENS' - NELLIE STEVENS HOLLY
- MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA
- JUNIPERUS VIRGINIANA - EASTERN REDCEDAR
- ILEX OPACA - AMERICAN HOLLY
- PNUS TAEDA - LOBLOLLY PINE
- CUPRESSUS ARIZONICA - ARIZONA CYPRESS

**SMALL DECIDUOUS TREES**

- CERIS CANADENSIS - RED BUD
- CORNUS KOUSA - DOGWOOD
- CARPINUS CAROLINA - EASTERN HORNBEAM
- AMELANCHIER ALBERGONA - SERVICEBERRY
- CORNUS FLORIDA - EASTERN FLOWERING DOGWOOD
- CHIONANTHUS VIRGINICUS - FRINGETREE

**SHRUBS**

- OSMANTHUS FRAGRANS - TEA OLIVE
- CAMELIA JAPONICA - CAMELIA
- MYRTICA CERIFERA - SOUTHERN WAX MYRTLE
- CHAMAECYPARIS PISIFERA - THREALEAF FALSECYPRESS
- LINDERA BENZON - SPICEBUSH
- HYDRANGEA QUERCIFOLIA - OAKLEAF HYDRANGEA
- VIBURNUM AWABUBI - CHINDO VIBURNUM
- CORNUS SERICEA - RED TWIG DOGWOOD
- CLETHRA ALNIFOLIA - SUMMER SWEET
- PRINUS CAROLINIANA - CAROLINA CHERRY LAUREL

NOTE: ADDITIONAL SPECIES MAY BE ALLOWED AT THE APPROVAL OF THE LANDSCAPE ARCHITECT

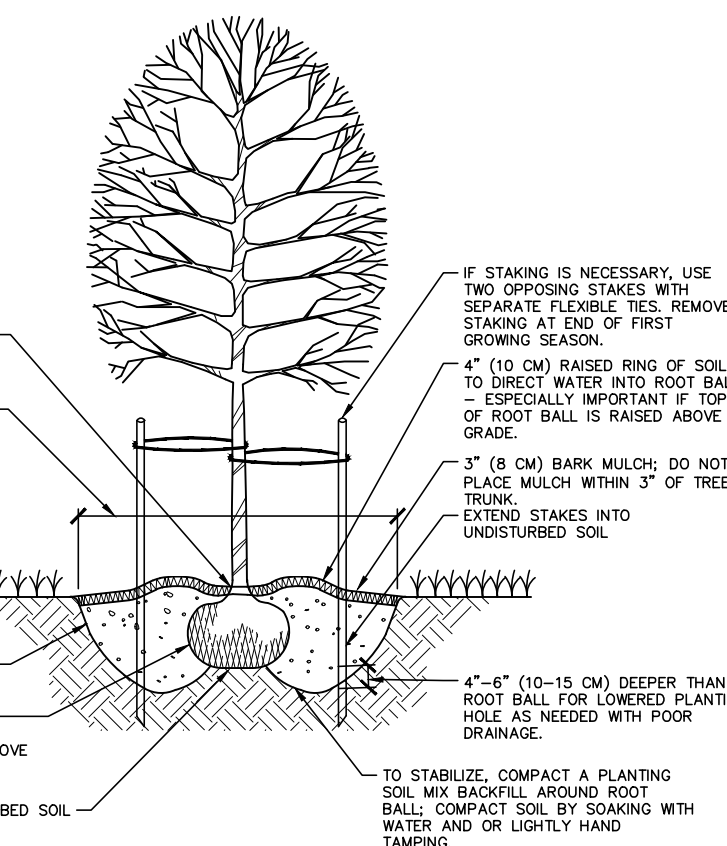
**PLANT SCHEDULE OVERALL LANDSCAPE PLAN**

CANOPY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
+	ARO	74	October Glory Maple	Acer rubrum 'October Glory'™	2.5"	
○	QAW	46	White Oak	Quercus alba	2.5"	
○	OCS	65	Scarlet Oak	Quercus coccinea	2.5"	
○	QLD	28	Overcup Oak	Quercus lyrata	2.5"	
○	QNN	123	Nuttall Oak	Quercus nuttallii	2.5"	
○	QPW	14	Willow Oak	Quercus phellos	2.5"	
○	UAP	61	American Elm	Ulmus americana 'Princeton'	2.5"	
○	UPC	107	Chinese Elm	Ulmus parvifolia	2.5"	
○	ZSG	16	Sawleaf Zelkova	Zelkova serrata 'Green Vase'	2.5"	

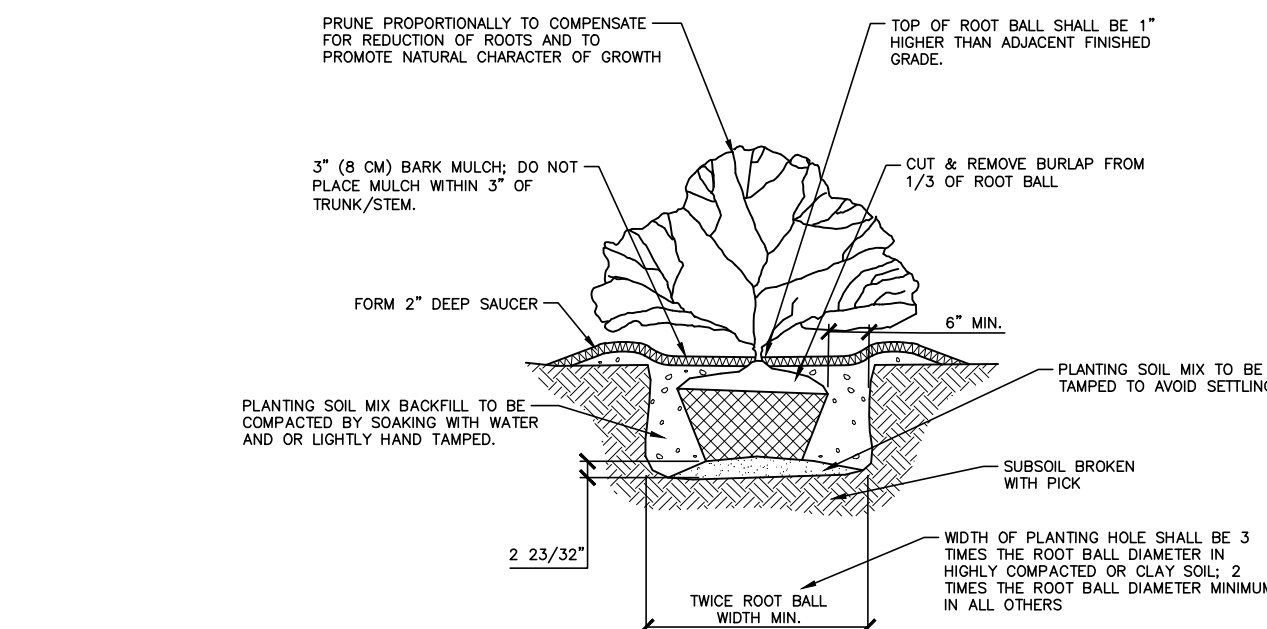
EVERGREEN UNDERSTORY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
○	INS	6	Nellie Stevens Holly	Ilex x 'Nellie R Stevens'	-	6'

UNDERSTORY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
○	ATR	41	Shantung Maple	Acer truncatum	1"	8'
○	CCA	18	American Hornbeam	Carpinus caroliniana	1"	8'
○	CCP	35	Forest Pansy Redbud	Cercis canadensis 'Forest Pansy'™	1"	8'
○	PCD	30	Keith Davey Chinese Pistache	Pistacia chinensis 'Keith Davey'	1"	min 8' min

EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	SPACING
○	AGEG	90	Glossy Abelia	Abelia x grandiflora 'Edward Goucher'	18"	
○	ICCC	63	Carissa Holly	Ilex cornuta 'Carissa'	18"	
○	ICCD	122	Dwarf Japanese Holly	Ilex crenata 'Compacta'	18"	
○	MCWM	12	Wax Myrtle	Myrica cerifera	18"	
○	OFSO	19	Sweet Olive	Osmanthus fragrans	18"	



- NOTES:
1. SELECT TREES THAT HAVE STRONG CENTRAL LEADER CROWN WITH FULL BRANCHING GROWN IN HEAVY CLAY SOIL WITH DEEP BROWN LEAF.
  2. BRANCHES SHOULD BE SPACED TO ALLOW FOR PROPER GROWTH.
  3. BRANCHES SHOULD BE SPACED TO ALLOW FOR PROPER GROWTH.
  4. BRANCHES SHOULD BE SPACED TO ALLOW FOR PROPER GROWTH.
  5. BRANCHES SHOULD BE SPACED TO ALLOW FOR PROPER GROWTH.



**02 SHRUB INSTALLATION**

SCALE: 3/8"=1'-0"

**01 TREE INSTALLATION**

SCALE: 3/8"=1'-0"



**McADAMS**

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187

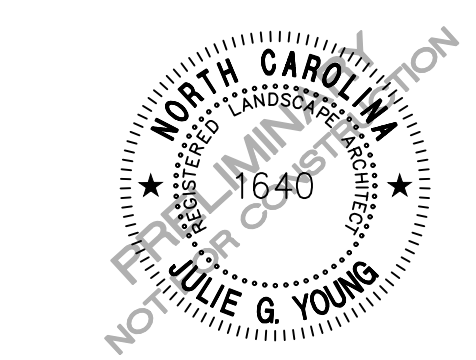
www.mcadamsco.com

**CLIENT**

D.R. HORTON, INC.  
7208 FALLS OF NEUSE ROAD, SUITE 201  
RALEIGH, NC 27615  
CONTACT: JON HOLTVEIT  
PHONE: 919.809.4207  
EMAIL: JHoltveit@drhorton.com



**CHAMBLEE LAKE**  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA



**REVISIONS**

NO.	DATE	PER TOWN COMMENTS
1	07.28.2023	PER TOWN COMMENTS
2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO.	DRH-22004
FILENAME	DRH22004-L51
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	11.01.2022

**SHEET**

**LANDSCAPE NOTES & DETAILS**

**L5.01**





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**CHAMBLEE LAKE  
CONCEPT PLAN  
1509 CHAMBLEE ROAD  
ZEBULON, NORTH CAROLINA**



**REVISIONS**

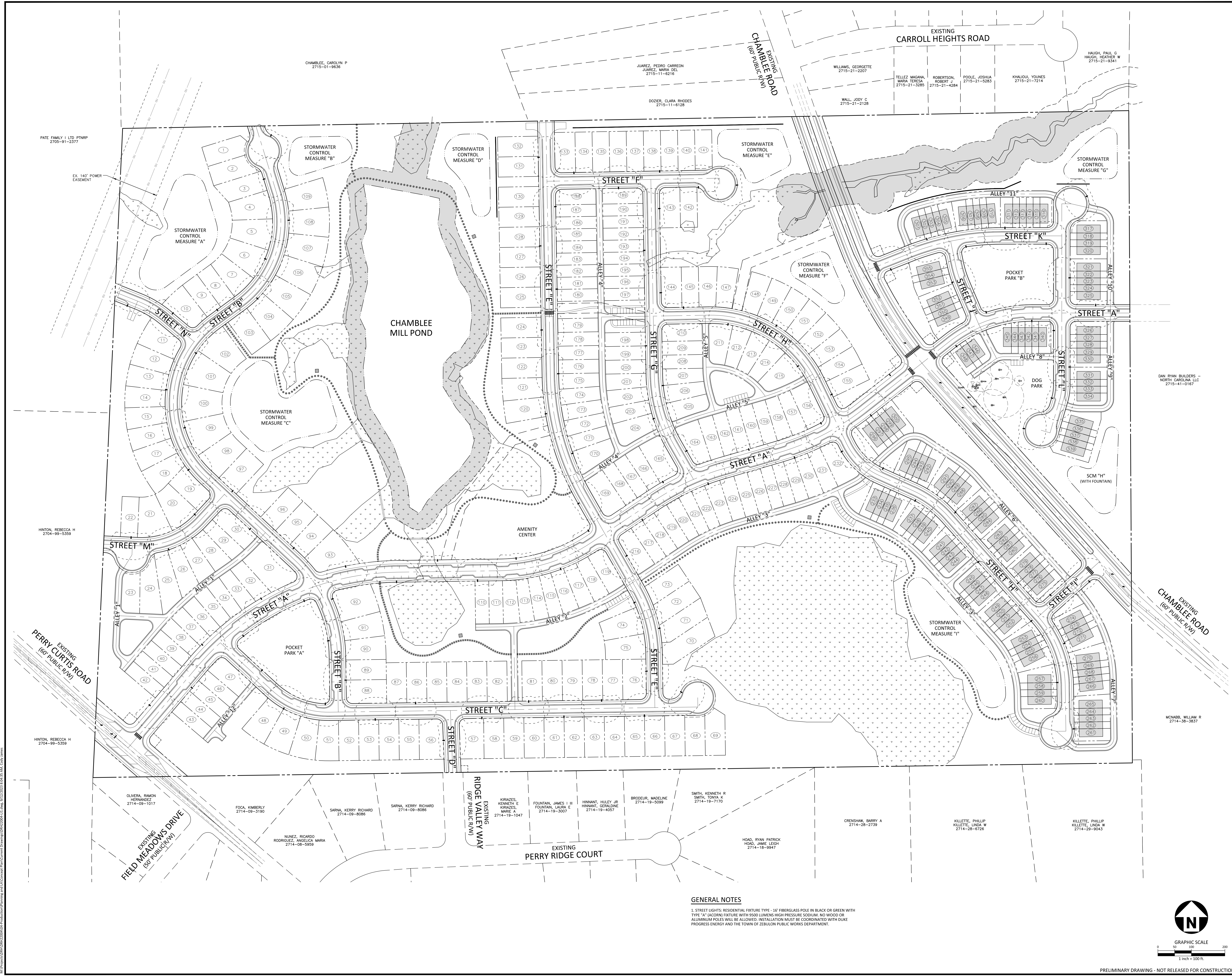
NO.	DATE	PER TOWN COMMENTS
1	07.28.2023	PER TOWN COMMENTS
2	09.12.2023	PER TOWN COMMENTS

**PLAN INFORMATION**

PROJECT NO. DRH-22004  
FILENAME DRH22004-L11  
CHECKED BY RCA  
DRAWN BY RLU  
SCALE 1"=100'  
DATE 11.01.2022

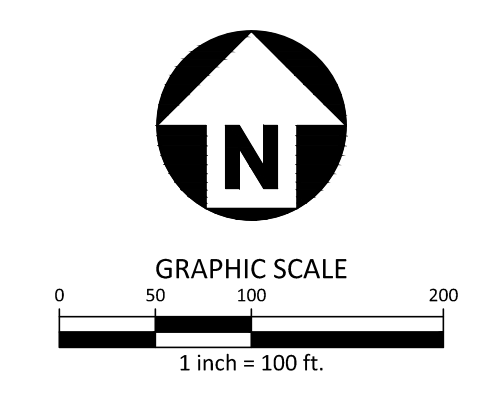
**SHEET**

**LIGHTING PLAN  
L6.00**



**GENERAL NOTES**

1. STREET LIGHTS: RESIDENTIAL FIXTURE TYPE - 30" FIBERGLASS POLE IN BLACK OR GREEN WITH TYPE "A" (CROWN) FIXTURE WITH 9500 LUMENS HIGH PRESSURE SODIUM. NO WOOD OR ALUMINUM POLES WILL BE ALLOWED. INSTALLATION MUST BE COORDINATED WITH DUKE PROGRESS ENERGY AND THE TOWN OF ZEBULON PUBLIC WORKS DEPARTMENT.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\DRH\DRH22004\04\_Productions\Planning and L&C\Concept Plan\Current Drawings\DRH22004-L11.dwg, 9/12/2023 8:04:35 AM, Cady James





# CHAMBLEE LAKE

## PLANNED DEVELOPMENT NARRATIVE DOCUMENT

Town of Zebulon  
November 1, 2022





# TABLE OF CONTENTS

## 1. VISION + INTENT

Purpose of Planned Developments  
Legislative Considerations / Justification Statements

## 2. EXISTING CONDITIONS

Summary  
Vicinity Map  
Current Zoning Map

## 3. PLAN CONSISTENCY/LAND USE COMPATIBILITY

## 4. PLANNED DEVELOPMENT MASTER PLAN

Development Details  
Permitted Uses  
Single-Family Dwellings (Dimensional Standards Design)  
Townhouses (Dimensional Standards Design)  
Landscaping Standards

## 5. RECREATIONAL OPEN SPACE + AMENITIES

## 6. PUBLIC INFRASTRUCTURE

Streets + Sidewalk  
Stormwater  
Water + Sewer

## 7. TRANSPORTATION ANALYSIS

## 8. ZONING CONDITIONS



# Chamblee Lake Planned Development

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Planned Development - Narrative  
Document Prepared for The Town of  
Zebulon

## Submittal Dates

First Submittal:	11 /1/22
Second Submittal:	7/31/23
Third Submittal:	9/12/23

Developer  
D.R. Horton, INC.  
7208 Falls of Neuse Rd, Ste 201  
Raleigh, NC 27615

**McAdams Company, Design Lead**  
621 Hillsborough Street, Ste 500  
Raleigh, NC 27603







# 1

## VISION + INTENT



## VISION + INTENT

As referenced in Section 3.5.5 of the Town of Zebulon Unified Development Ordinance, Planned Developments are intended to encourage innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other Town goals and objectives. As shown in the following pages, the Chamblee Lake Planned Development is structured to embody and support excellence in site design, circulation, environmental protection, and compatibility with neighboring properties. The Planned Development process encourages creativity in the design of development, but in return for this flexibility the expectation is for communities to:

- Promote a vibrant public realm by placing increased emphasis on active ground floor uses, pedestrian-oriented building façade design, intensive use of sidewalks, and establishment of public gathering areas.
- Provide for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs.
- Promote quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, estuaries, shorelines, special flood hazard area, and historic features.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

### How the Planned Development advances the public health, safety, or welfare.

The proposed Planned Development will provide a much-needed supply of housing in a regional market that is chronically undersupplied – resulting in significant housing affordability issues due to skyrocketing home prices. Furthermore, the proposed location of this development will result in a safe and convenient neighborhood within a 5-minute drive to the Zebulon Community Park, and shopping in downtown Zebulon. The development will be within a 10-minute walkable and bikeable drive of Five County stadium, the local police station, and all levels of grade schools. Finally, with over 1/3rd of the gross acreage retained as open space, over 6 miles walking trails, sidewalks, and multi-use paths, outdoor exercise equipment, pollinator plants located throughout the community, and native and non-invasive plant species in the landscaping, the proposed Planned Development will help protect environmental health and promote a more active lifestyle.

### How the proposed Planned Development is appropriate for its proposed location, and is consistent with the purposes, goals, objectives, and policies of the Town’s adopted policy guidance.

This development abuts a previously approved satellite annexation known as Sidney Creek. Thus, municipal services are already being extended to this area. While Chamblee lake will connect to Sidney Creek and both new residential developments will mesh seamlessly, Chamblee Lake will offer a wider variety of housing options and amenities for residents, enhanced architectural commitments, and more environmental preservation, consistent with the Town's current planning policies. Furthermore, as indicated in Response #1, this site is less than a 10 minute drive to the areas schools and downtown shopping.

The adopted Future Land Use Map designates this area as Suburban Residential (SR) and identifies one of the Primary Land Use Types for Suburban Residential as, “Planned developments that integrate other housing types (e.g., attached residential such as patio homes or townhomes) [in addition to Detached residential dwellings], with increased open space to preserve an overall suburban character.” Thus, the proposed Planned Development with a mix of SFD detached dwellings, attached dwellings, and over 1/3rd of gross acreage as open space precisely fits the intended use and place type within the SR FLU designation.

Furthermore, this Planned Development advances the following goals and policies of the Town’s adopted Comprehensive Plan:

**[Land Use and Development – Goal 1]** – “A land use allocation and pattern that advances Zebulon’s objectives of achieve greater housing variety.....with convenient resident access to schools, recreation, shopping and Services.”

- **Supporting Statement(s):**

- The site is located within a 5-minute drive to Zebulon Community Park, Downtown Zebulon Shopping, and less than 10 minutes from Fire/EMS and Zebulon elementary, middle, and high school.
- The proposed development includes a mix of rear-loaded homes SFD homes, front-loaded SFD homes, and Townhomes, providing a variety of housing options to suit different needs.
- The proximity of this site and it’s proposed pedestrian improvements will help support Five County stadium.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

The Planned Development advances the following goals and policies of the Town's adopted Comprehensive Plan:

**[Land Use and Development – Goal 3]** – “Ongoing and effective collaboration between land use and transportation planning to ensure a well-connected community with adequate means and capacity to accommodate multiple forms of circulation between local destinations.”

### Supporting Statement(s):

- The proposed Planned Development incorporates a new E-W collector road free of driveways, which will form a direct connection between Chamblee Road and Perry Curtis road to the west. This new route will form a travel alternative for residents traveling between Perry Curtis road and Chamblee Road – one with significantly improved access management and which aligns through the Planned Development directly to the Sidney Creek subdivision to the east.

**[Land Use and Development – Policy C]** – “Emphasize compatible intensities and character when evaluating applications involving more intensive and/or non-residential development near existing homes and neighborhoods.”

### o Supporting Statement(s):

- The proposed Planned Development locates its denser Townhome units closer to Chamblee Road, where existing infrastructure is most capable of serving it. Furthermore, the location of townhomes on the east side of Chamblee Road connects to proposed Townhomes to be established as a future phase of the Sidney Creek development. Detached single family home lots are proposed along most of the project perimeter, where the proposed PD abuts existing subdivisions such as the Perry Creek and Fieldcrest Meadow subdivisions to the south. A riparian buffer and additional undisturbed open space is left along the site's northern boundary where it abuts the Carroll Heights subdivision.

**[Land Use and Development – Policy D]** – “Promote land use outcomes that further community objectives for preventing traffic congestion, ensuring more pedestrian- and cyclist-friendly design, and support expanded and viable public transit options.”

### o Supporting Statement(s):

- As explained under the response for Goal 3 for Land Use and Development, the proposed E-W collector road will be unloaded with driveways and will incorporate on-street parking and a multi-purpose trail/sidepath, enhancing vehicular, bicycle, and pedestrian connectivity. Additional trail networks within the site's open space will further support recreational bicycle and pedestrian use and allow residents to walk or bike to the Five County Stadium through Sidney Creek.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

The Planned Development advances the following goals and policies of the Town's adopted Comprehensive Plan:

**[Land Use and Development – Policy E]** – “Ensure development design respects the area’s environmental assets and resource base, including waterways and their riparian buffers, unique landscapes, and mature tree stands, especially where there is potential for greenway and/or blueway acquisition.”

- **Supporting Statement(s):**

- As proposed the Chamblee Lake Planned Development retains approximately 1/3rd of the site as open space (both passive and active). The site design integrates and provides convenient access to several environmental features, including riparian buffers, over 10 acres of wooded wetlands, and a 5+ acre lake. The main amenity for the development is located along this existing lake, letting the natural environment serve as an extension of and backdrop to this active open space. The site’s larger residential lots back up to this lake, with a pedestrian trail network providing access along its perimeter.

**[Land Use and Development – Policy G]** – “Ensure that all residential developments have multiple access points for public safety reasons and circulation options.”

- **Supporting Statement(s):**

- The proposed Planned Development has multiple access points along Chamblee Road, connects to a future phase of the Sidney Creek approved development to the east, and connects to Perry Curtis Road via a direct connection, as well as an existing stub of Ridge Valley Way to the south. Roadway stubs will also be provided in 3 locations along the northern and western property boundaries - to be extended by future development.

**[General Policy – G1]** – “Land uses should not detract from the enjoyment or value of neighboring properties.”

- **Supporting Statement(s):**

- All proposed uses are residential in nature, abutting existing residential uses or vacant land. At a minimum, a Type B buffer (20’ width) is provided along the project perimeter (either as preserved vegetation or new plantings). Where the site abuts Perry Ridge Ct to the south, enhanced buffers are provided with fencing where existing vegetation is not present. In addition, the project will provide an enhanced Type C Streetscape Buffer (30’ wide) on Chamblee Rd to soften views of the neighborhood from the road and maintain a small town feel for passerby.

**[General Policy – G3]** – “Adequate transportation access and circulation should be provided for uses that generate large numbers of trips. Pedestrian and bicycle access should be addressed where appropriate.”

- **Supporting Material:**

- The proposed Planned Development incorporates a new E-W collector road free of driveways, which will form a direct connection between Chamblee Road and Perry Curtis road to the west. The proposed E-W collector road will incorporate on-street parking and a multi-purpose trail/sidepath, enhancing vehicular, bicycle, and pedestrian connectivity.
- Sidewalks shall be provided along all proposed streets and off-street pedestrian trails shall be provided to improve access to the site’s natural features and active open spaces.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

The Planned Development advances the following goals and policies of the Town's adopted Comprehensive Plan:

**[General Policy – G6]** – “Environmentally sensitive areas should be protected, including wildlife habitat areas.”

- **Supporting Statement(s):**

- The proposed site design avoids any new vehicular crossings of riparian buffers, as well as works around a significant (>10 acre) wetland area in the southeastern portion of the site. Pedestrian access is provided to these areas to allow for community enjoyment and exposure to nature, but otherwise they are left undisturbed.

**[Residential Policy – R1]** – “Residential areas should not be located next to heavy industrial areas.”

- **Supporting Statement(s):**

- All adjacent zoning and existing uses are residential or agricultural in nature. No industrial areas are located adjacent to the proposed planned development.

**[Residential Policy – R3]** – “Schools, parks and community facilities should be located close to or within residential neighborhoods.”

- **Supporting Statement(s):**

- The site has over 4 acres of private/active open space proposed within the residential neighborhood.
- The site is within a 5-minute drive to Zebulon Community Park, Downtown Zebulon Shopping.
- The site is less than a 10-minute drive to Fire/EMS & elementary, middle, and high schools.

**[Residential Policy – R4]** – “Houses should have direct access to local residential streets but not to collector streets or thoroughfares.”

- **Supporting Statement(s):**

- No driveways are located along the site's proposed E-W collector road. All dwelling units have direct access to a local residential street or an alley.

**[Residential Policy – R7]** – “New residential developments should include adequate area for parks and recreation facilities, schools and places of worship.”

- **Supporting Statement(s):**

- The site has over 40 acres open spaces, including over 3 acres of private, active open space.

**[Parks and Open space Policy – P5]** – “Natural features should be used as buffers or preserved open space between or around developed areas.”

- **Supporting Statement(s):**

- The proposed Planned Development utilizes both riparian buffers and wooded woodlands to provide natural buffers between developed areas.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

### How the proposed Planned Development is reasonable and in the public interest.

As indicated in the previous response statements, the proposed uses and density is aligned with the adopted Future Land Use Map and place types intended for the suburban residential designation. The site is adjacent to an large existing satellite annexation, meaning urban services have already been extended to this area and the extension of those services to this development will not incur any disproportionate ongoing costs to service agencies (police, fire, public works, etc.). Finally, the site protects a significant amount of natural areas, while providing an east-west collector road free of driveways to facilitate connectivity and ease the amount of traffic utilizing a portion of Perry Curtis road which does not have nearly as good access management as the proposed development.

### How the proposed Planned Unit Development provides for innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other Town goals and objectives.

The proposed Planned Development utilizes the natural features of the site as an asset to be built around, rather than as an obstacle to overcome. The site design integrates and provides convenient access to several environmental features, including riparian buffers, over 10 acres of wooded wetlands, and a 5+ acre lake. The main amenity for the development is located along this existing lake, letting the natural environment serve as an extension of and backdrop to this active open space. The site's larger residential lots back up to this lake, with a pedestrian trail network providing access along its perimeter. Existing wetlands and riparian buffers are preserved and used along the northern and southern property boundaries as natural perimeter buffers.

The proposed E-W collector street provides improved access and connectivity at a scale that does not split the community in terms of pedestrian cross-access. Furthermore, the absence of driveways along this collector street allows for a much more aesthetically pleasing and pedestrian friendly streetscape for the development's primary connecting street.

### How the how the proposed planned unit development provides improved means of access, open space, and design amenities.

The proposed layout provides 4 points of access along Chamblee Road, 3 local street stubs to be extended when future development is proposed, a connection which aligns with the proposed Sidney Creek street layout to the east and will provide direct access to Chamblee Road for this adjacent development, and a new collector street forming a direct connection between Chamblee Road and Perry Curtis Road.

Active open spaces are distributed throughout the development for convenient access and are located along the site's major internal roadway. The main amenity utilizes the large existing lake as a significant site feature. Architectural design standards are proffered for the development, as outlined in the Planned Development document.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

### How the proposed Planned Unit Development provides a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities.

Due to the future land use plan's 'Suburban Residential' designation for this area, non-residential land uses are not included in the overall layout. However, the site does include a mix of housing types, lot sizes, lot orientations, and densities in the form of single family detached dwellings and townhomes. Details on dimensional standards for the sites different residential products are contained in a later section of this document.

### How the proposed Planned Unit Development creates a system of incentives for redevelopment and infill in order to revitalize established areas.

The proposed development is primarily surrounded by vacant land, creating an incentive for 'development' rather than "redevelopment", as roadway and utility extensions included as part of this project make adjacent development more viable, including desired commercial development surrounding the Five County Stadium. Proposed water line extensions to be carried out by the developer from Chamblee Road to NC 96 to the west would support redevelopment opportunities in the future.

### How the proposed Planned Unit Development promotes a vibrant public realm by placing increased emphasis on active ground floor uses, pedestrian-oriented building façade design, intensive use of sidewalks, and establishment of public gathering areas.

The layout for the proposed development is intentional in terms of its creation of public gathering areas in the form of active and passive open spaces. The primary amenity is centrally located within the development along the site's primary internal road and backing up to a large lake. This amenity will serve as the heart of this neighborhood, where both formal and informal events are held.

In addition to the site's active open spaces, the proposed Planned Development will have an extensive pedestrian trail system that facilitates the use of its public gathering areas. All local new roads shall have sidewalks on both sides.

### How the proposed Planned Unit Development provides for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs.

The proposed layout preserves approximately 1/3rd of its acreage as passive or active open space. The result of this type of layout is a more condensed development pattern with smaller lots served by less linear feet of infrastructure, surrounded by a significant amount of common open space in lieu of larger individual yards. The interconnected road network is only limited by the numerous environmental features which this site must accommodate.



## THE CHAMBLEE LAKE PLANNED DEVELOPMENT ADHERES TO THE FOLLOWING LEGISLATIVE CONSIDERATIONS:

**How the the proposed Planned Unit Development provides quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, estuaries, shorelines, special flood hazard area, and historic features.**

As mentioned in previous responses, the site design preserves and provides convenient access to several environmental features, including riparian buffers, over 10 acres of wooded wetlands, and a 5+ acre lake. The main amenity for the development is located along this existing lake, letting the natural environment serve as an extension of and backdrop to this active open space. The site's larger residential lots back up to this lake, with a pedestrian trail network providing access along its perimeter.

Existing wetlands and riparian buffers are preserved and used along the northern and southern property boundaries in locations as natural perimeter buffers. Where these existing features are not present along the project perimeter, a minimum Type B Buffer is proposed.

To better align with nearby development, the site's Townhomes are clustered on the eastern side of the development, adjacent to approved Townhomes to be built as part of the Sidney Creek development.

**Other factors as the Board of Commissioners may determine to be relevant.**

The inclusion of some front-loaded townhomes (all deed restricted to meet affordable housing standards per the associated zoning condition) within the development helps create a more diverse and economically resilient residential offering and supports housing affordability. While the majority of proposed Townhomes are rear loaded, including a smaller percentage of front-loaded homes allows select lots to protect and enjoy riparian buffers to the rear and provides the opportunities for back yard for home buyers prioritizing this feature.

Please refer to Section 4 of this document for more information on proposed architectural conditions.





# 2

## EXISTING CONDITIONS



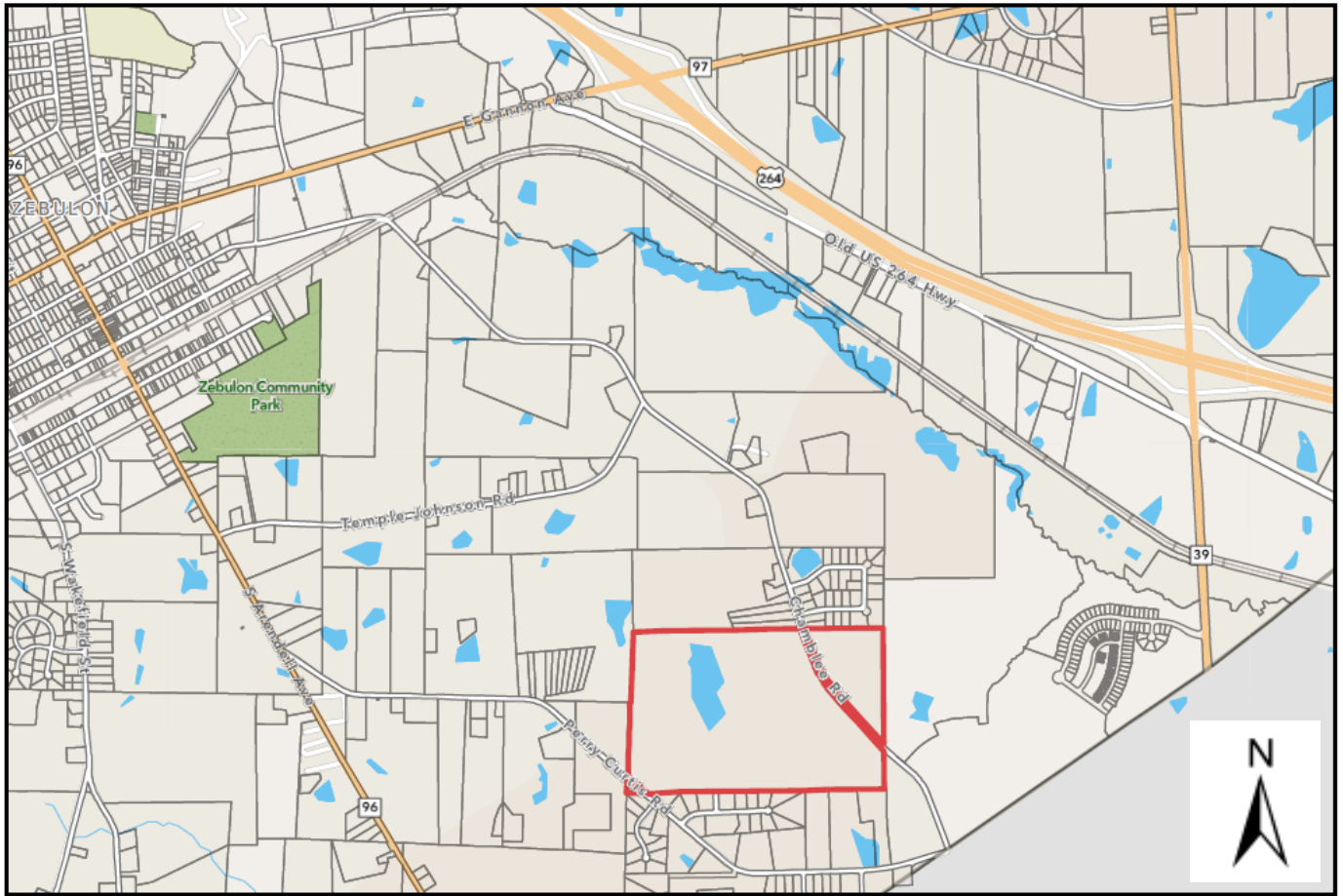
# EXISTING CONDITIONS SUMMARY

The Chamblee Lake Planned Development is located on a single parcel (+/- 136-acres) near the intersection of Chamblee Rd and Perry Curtis Road ,along the southeastern boundary of Zebulon's zoning jurisdiction. The site is currently in Wake County's zoning jurisdiction, but a petition for annexation accompanies this rezoning request. The parcel is divided by Chamblee Road, with the majority of the site located to the west of Chamblee Road. The site is located generally between Snipes Creek to the west and Little Creek (west side) to the east, with both riparian buffers and jurisdictional wetlands on site. The most prominent environmental features include a +/- 6 acre pond located on the western side of Chamblee Road and a 10+ acre wetland area located along the southern property line. This project is free of any floodplain. The site generally slopes eastwards towards Little Creek, with some internal variation within the boundary. Two jurisdictional streams will be preserved during development with no vehicular stream crossings proposed. Current land cover includes large stands of trees and cleared fields used for agricultural purposes.



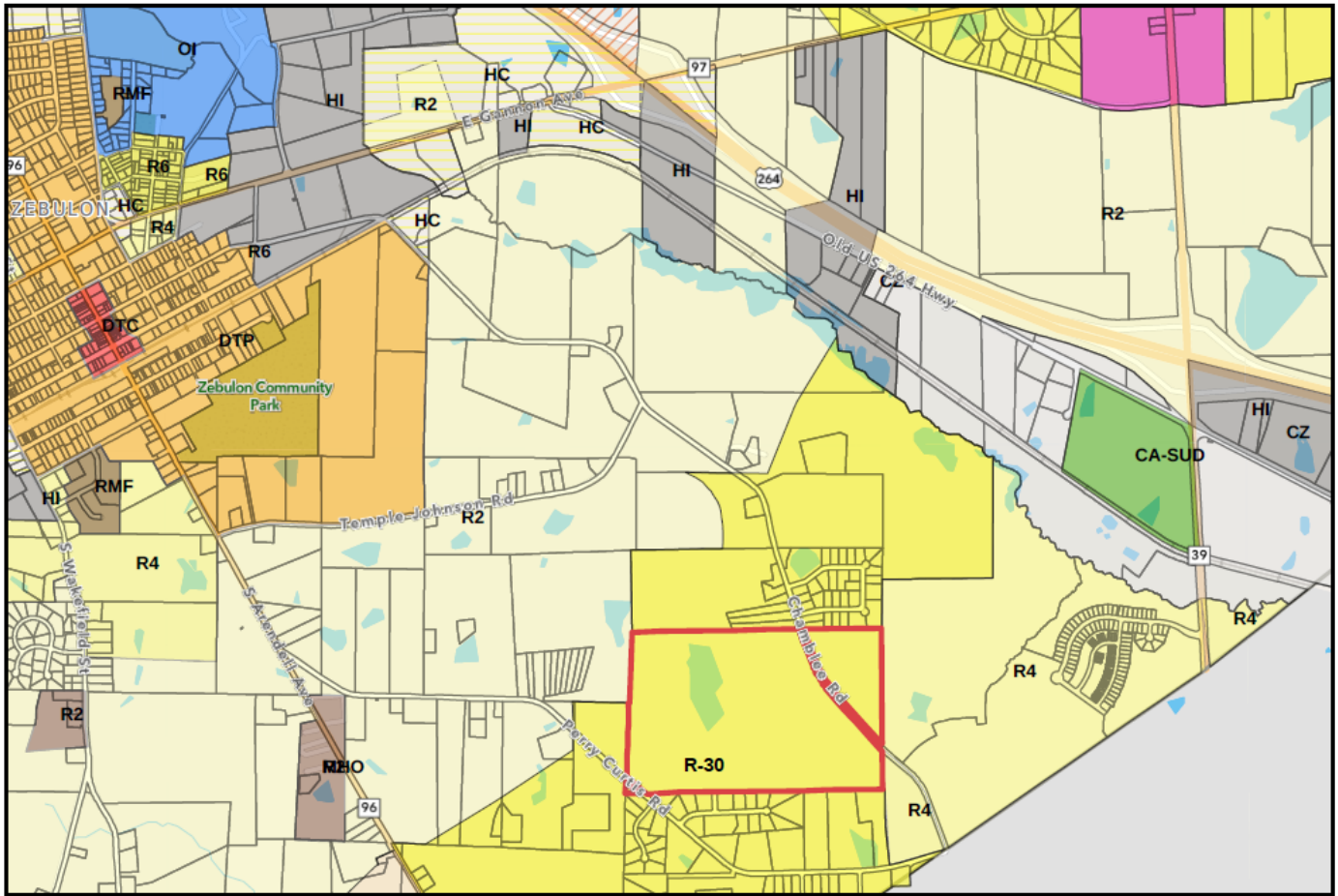
# VICINITY MAP

EXISTING  
CONDITIONS



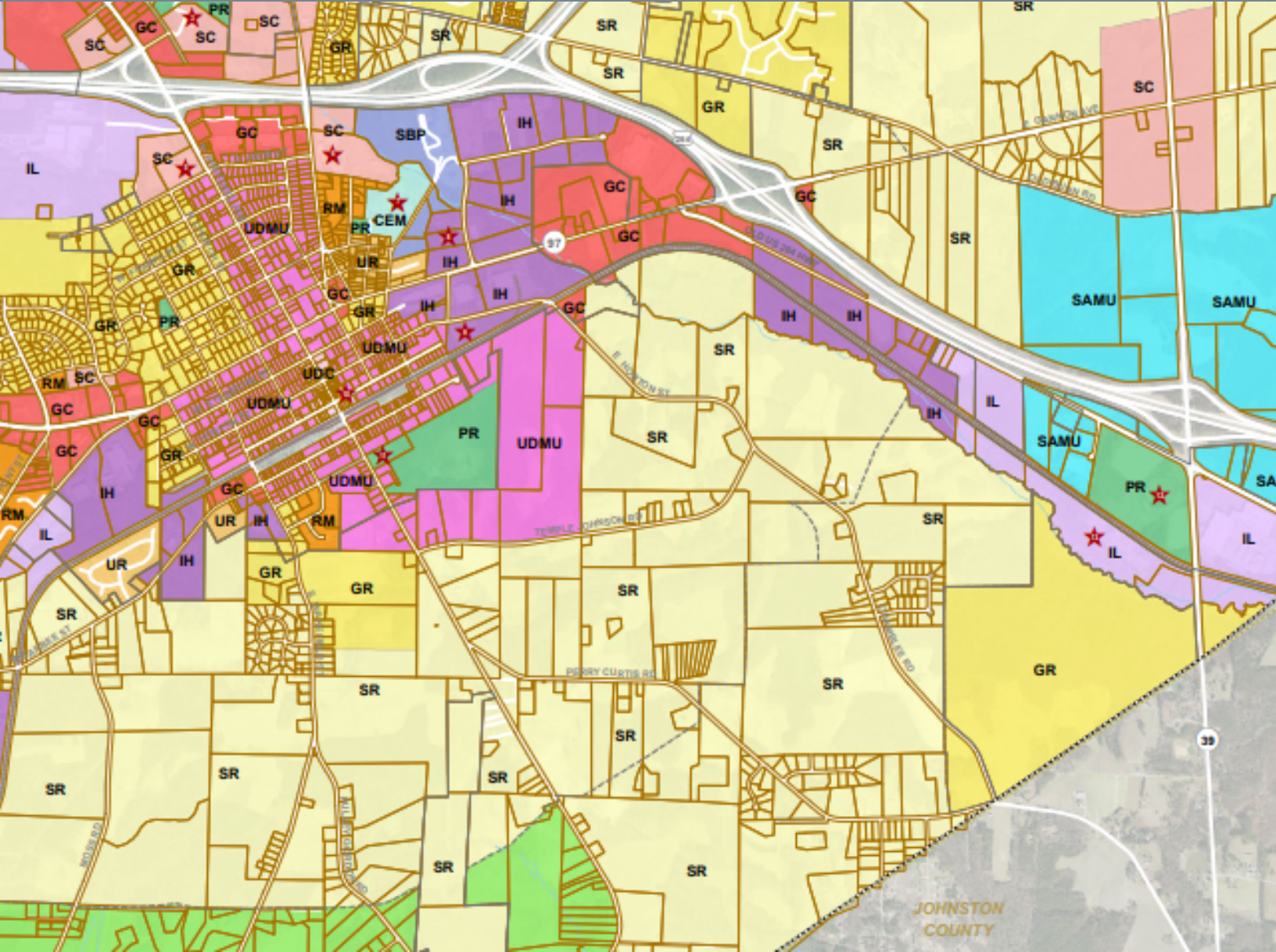


# CURRENT ZONING MAP



EXISTING  
CONDITIONS





# 3

## PLAN CONSISTENCY / LAND USE COMPATIBILITY

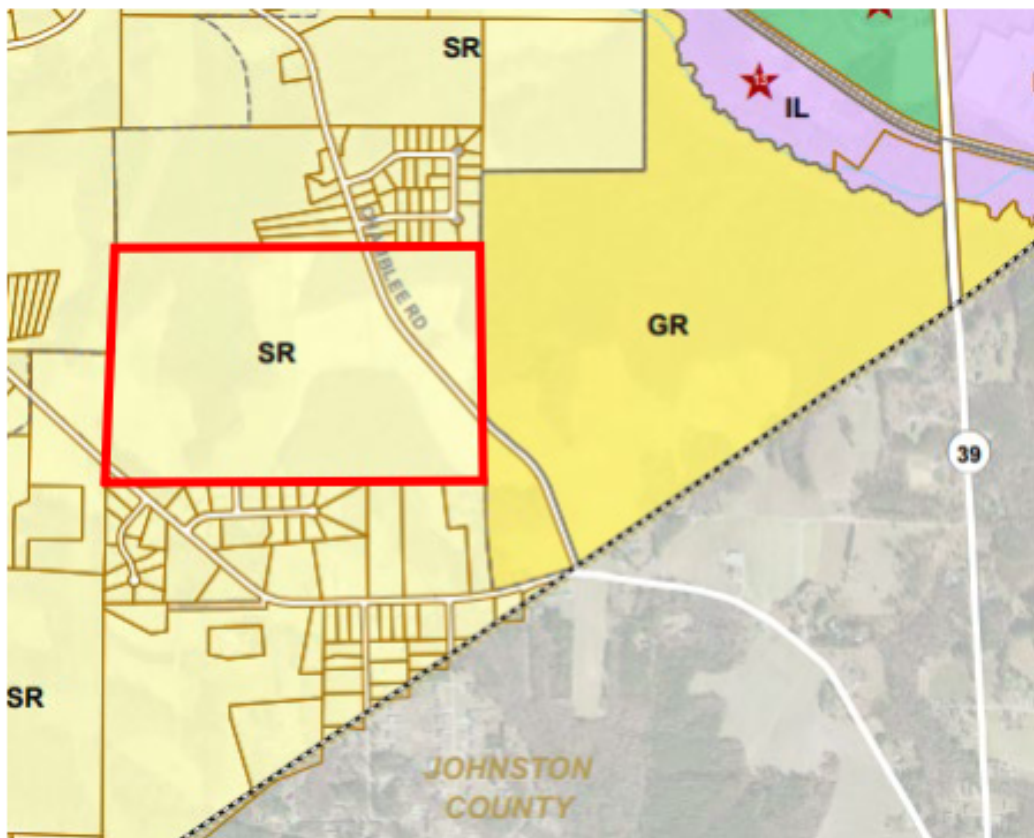




## COMPREHENSIVE PLAN CONSISTENCY

As previously stated in the 'legislative considerations' section of this narrative document, this rezoning is consistent with the Future Land Use Map (the "FLUM") and many goals and recommendations of the Town's Comprehensive Plan.

The adopted Future Land Use Map designates this area as Suburban Residential (SR) and identifies one of the Primary Land Use Types for Suburban Residential as, "Planned developments that integrate other housing types (e.g., attached residential such as patio homes or townhomes) [in addition to Detached residential dwellings], with increased open space to preserve overall suburban character."

Thus, the proposed Planned Development with a mix of SFD detached dwellings, attached dwellings, and over one third of gross acreage as open space precisely fits the intended use and place type within the Suburban Residential (SR) Future Land Use designation. It is also worth noting that the proposed site abuts a 'General Residential' (GR) Future Land Use area to the east, which is meant to support even more intense residential uses than Suburban Residential.



-  Suburban Residential (SR)
-  General Residential (GR)



## LAND USE COMPATIBILITY

The proposed development is limited to detached single family detached lots and attached single family lots (aka townhouses). These proposed uses, and the development standards restricting those uses, are compatible with the adjacent communities, which are zoned and/or currently used for low to medium density residential uses.

The proposed development standards defined within this document and the associated concept plan will ensure quality of design across the entire development. The overall site layout is designed to create a cohesive environment by positioning the more dense residential uses along Chamblee Rd, adjacent to proposed Townhomes in the approved Sidney Creek subdivision. The site transitions to lower density single family homes along the edges of the community, and utilizes environmental features as natural buffers to adjoining property. The concept plan features a creative integration of residential uses, active open space, and preserved open space to create a cohesive environment. The design guidelines will ensure quality architectural features that are consistent across the community.

## COMPLIANCE WITH ADOPTED TRANSPORTATION PLAN

To better serve the future Chamblee Lake residents and the Town's overall transportation planning goals, the applicant proposes the following amendments to the 2045 Comprehensive Transportation Plan (CTP):

- Modify the proposed cross-section of Chamblee Road from its existing terminus at SR 1727 (Wake County Line Road) to south of SR 2346 (Temple-Johnson Road) from a 4-lane divided to a 2-lane divided roadway.
- Realign the proposed new E-W street section through the proposed development and modify the proposed cross-section to that of a 2-lane undivided roadway with on-street parking (on both sides) and a multi-purpose path (on one side with a sidewalk on the opposite side).

The amendments described above are contained within a separate CTP amendment request and are reflected within the associated Concept Plan.





# 4

# PLANNED DEVELOPMENT MASTER PLAN



# PLANNED DEVELOPMENT CONCEPT PLAN

## DEVELOPMENT DETAILS

Chamblee Lake is planned as a mixed-residential development consisting of a 355 units, designed to the Planned Development standards of the Town of Zebulon Unified Development Ordinance. Due to the site's proposed density of less than 3 DUA, the development shall use the R4 district as the base zoning of it's planned development, except as modified by this document. Chamblee Lake will provide a variety of housing choices for future residents as well as well-designed and multi-functional recreational amenities. The development will establish bicycle and pedestrian connections between proposed site amenities, while preserving a significant amount of natural areas comprised of wetlands, riparian buffers, and a sizable existing pond. Permitted uses shall be limited to single family detached dwellings, attached single family dwellings (townhomes), and customary residential accessory uses.

PLANNED DEVELOPMENT

## DEVELOPMENT MIX

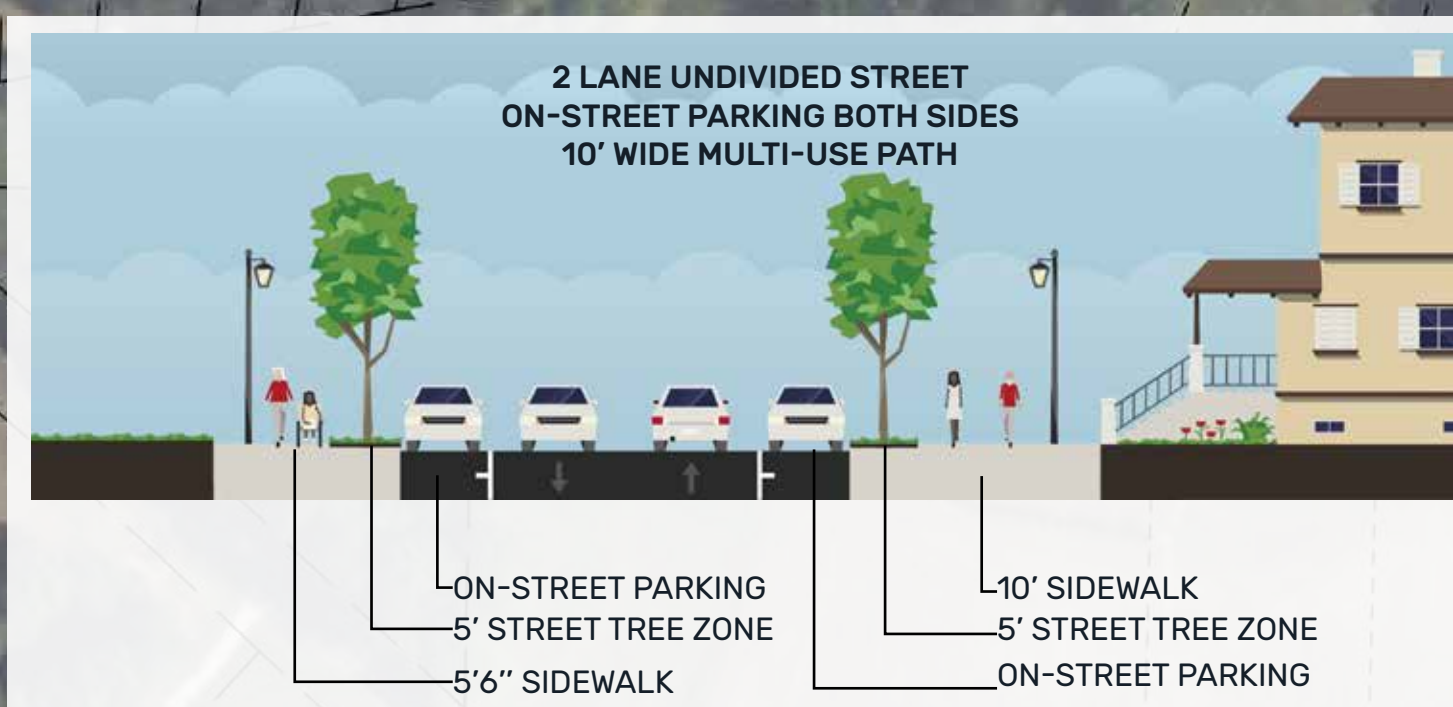
	Total # of Units	Estimated Percentage of Dev.
• Single Family Dwellings	232	65.3%
• Townhomes	123	34.7%



# CHAMBLEE LAKE CONCEPTUAL MASTER PLAN

## SITE DATA TABLE

Existing Site Area	±135.88 acres
PIN	2715101559
Total Proposed Lots	±355 lots
Proposed Density	±2.65 units/acre
<b>Single Family Detached</b>	
70'x120'	±13 lots
60'x120'	±68 lots
50'x120'	±39 lots
40'x120' (Rear loaded)	±85 lots
35'x120' (Rear loaded)	±27 lots
<b>Townhomes</b>	
Rear-loaded	±111 lots
Front-loaded	±12 lots





## FRONT LOADED SINGLE-FAMILY DWELLINGS

### MODIFICATIONS TO UDO STANDARDS

The Town of Zebulon UDO requires that any lot less than 70' in width be accessed via rear lane access (or side on a corner lot). In order to accommodate a more compact design that supports preservation of environmental sensitive features, this project would permit front-loading of lots 50' and larger with a minimum lot size of 6000 sq. ft. The planned development proposes a mix of 50', 60', and 70' wide front-loaded lots, as shown in the associated Concept Plan. The applicant has offered tailored architectural standards for these units as a condition of the zoning approval.

To encourage interaction between the public and private realm, front-loaded single-family dwellings in Chamblee Lake will permit a minimum front setback of 20' feet, rather than the UDO requirement of 30 feet. Side and rear setbacks are also less than typical R4 requirements, as indicated below.

## FRONT LOADED SFD DIMENSIONAL STANDARDS

› Min. Lot Area	6000 sf
› Min. Lot Width	50'
› Front Setback (min)	20'
› Side Setback (min)	5'
› Corner Setback (min)	15'
› Rear Setback (min)	20'
› Maximum Height	35' / 3 stories
› Permitted Front Porch Encroachment	5' into front setback



# REAR LOADED SINGLE-FAMILY DWELLINGS

## MODIFICATIONS TO UDO STANDARDS

The Town of Zebulon UDO requires that any lot within the R4 district be a minimum of 6000 sq. feet or more in size. In order to accommodate a more compact design that supports preservation of environmental sensitive features, this project would permit rear-loading of lots 35' wide and larger with a minimum lot size of 4000 sq. ft. The applicant has offered tailored architectural standards for these units as a condition of the zoning approval.

To encourage interaction between the public and private realm, rear-loaded single-family dwellings in Chamblee Lake will permit a minimum front setback of 10' feet, rather than the UDO requirement of 30 feet. Side and rear setbacks are also reduced compared to typical R4 requirements, as indicated below.

## REAR LOADED SFD DIMENSIONAL STANDARDS

- > Min. Lot Area 4000 sf
- > Min. Lot Width 35'
- > Front Setback (min) 10'
- > Side Setback (min) 3'
- > Corner Setback (min) 10'
- > Rear Setback (min) 20'
- > Max Height 35' / 3 stories



## TOWNHOUSES

### MODIFICATIONS TO UDO STANDARDS

The Town of Zebulon UDO provides dimensional standards for attached single family development (i.e. Townhomes) based on the entire building unit. Rather than apply dimensional standards based on the entire Townhome building, Dory Meadows shall adhere to the following dimensional standards for each individual townhome lot (and be exempt from the dimensional standards contained in Section 3.3.4 of the UDO). Townhomes within Dory Meadows will be a mix of front-loaded and rear-loaded options. The applicant has offered tailored architectural standards for these units as a condition of the zoning approval, and hereby limits townhome buildings to no more than 6 consecutive townhome lots.

### TOWNHOUSE DWELLING DIMENSIONAL STANDARDS

- |   |   |
|---|---|
| • Min. Lot Area                         | 2000 SF for FL units / 1500 SF for Rear-loaded    |
| • Min. Street Setback (front or corner) | 5' (20' for face of garage on front-loaded units) |
| • Min. Side Setback                     | N/A   |
| • Min. Rear Setback                     | 20'   |
| • Min. Building Separation              | 10'   |
| • Max Building Height                   | 42' / 3 stories                                   |
| • Min. Lot Width                        | 20'   |



## ARCHITECTURAL DESIGN STANDARDS (Voluntary Commitments)

Chamblee Lake offers the following architectural design standards as they relate to detached and attached single family homes:

### Architectural Conditions for All Homes

1. All single - family homes and townhomes will have a two or more of the following design features on the front facade (not including foundation):
  - a. stone
  - b. brick
  - c. lap siding
  - d. shakes
  - e. board and batten
  - f. window pediments
  - g. recessed windows
  - h. side and/or front window box bays
  - i. roof gables
  - j. roof dormers
  - k. roofline cornices
  - l. metal roofing as accent
  - m. columns
  - n. shutters
  - o. other decorative features approved by the Planning Director
2. The exterior siding material on the side and rear facades will be fiber cement.
3. When two materials are used, the materials shall be different but complementary colors.
4. Vinyl siding shall not be permitted.
5. Vinyl may be used only for soffits, fascia, corner boards, decorative elements, trim and vinyl windows.
6. The use of corrugated metal siding, unpainted plywood, or smooth-face concrete block is prohibited.
7. All single-family attached and detached homes with crawlspaces, stem wall or poured concrete foundations shall have the front of the foundation wrapped in brick or stone; as well as on any foundation adjacent to a public right of way.
8. All street-facing garage doors shall contain window inserts and carriage-style adornments
9. Front and rear eaves shall project a minimum of 12". Side eaves shall be a min of 4". Eaves will be allowed to encroach into required setbacks.
10. No attached or detached home located adjacent, across the street, or diagonal shall have the same elevation and color combination.
11. Front doors shall be illuminated.
12. Each garage door shall be illuminated.
13. All exterior windows shall have a minimum 3" trim.



## ARCHITECTURAL DESIGN STANDARDS (Voluntary Commitments)

### Architectural Conditions for All Homes (continued)

14. No venting will be provided on any front facades except that when a bathroom is located on the front of the home, a vent of a similar color to either the siding or the trim may be provided on the front of the home.
15. Trim color shall be distinct from the façade color.
16. Porch railings, if included on homes, shall be a complimentary color of the house and shall be made of either aluminum, or composite material.
17. Windows on front and side elevations shall feature shutters or trim. Shutters, when provided, shall accommodate the width of the corresponding window.
18. Each house will have a min. of 1 story and a maximum of 3 stories.
19. Street-facing garage doors shall not exceed a maximum width of 18 feet per garage door.
20. Vegetative screening for HVAC units shall be provided
21. For all detached and attached lots, the entire yard will be sodded.
22. Accessory buildings, if constructed, shall be of similar materials and colors of the single-family dwelling.
23. The mail kiosk structure(s) shall be covered.
24. All lots shall be served by public water and sanitary sewer.
25. We commit to exceed the architectural requirements in Section 5.2.4 of the UDO. We will work with Town Planning and Building staff to provide additional architectural features with the exception of Section 5.2.4.E.3.e. Garage doors will not be required to be located at least two or more feet behind a front porch or the primary entrance to the dwelling.
26. Each front entrance shall contain a covered stoop or porch.
27. Every home will have either a back deck, porch or patio.
28. Front porches shall extend beyond the front plane of the garage by a minimum of 12" on 25% of the homes constructed. Front Porches shall be allowed to extend beyond the minimum front setback a maximum of 10".

### Single-Family Attached Architectural Conditions

29. Single-family attached dwellings shall comply with all standards in UDO Section 4.3.3.O, except for 4.3.3.0.7.
30. Townhome main roof pitches (excluding porches) will be at least 6:12.
31. The roofline of each attached building cannot be a single mass; it must be broken up either horizontally and/or vertically between, at a minimum every two homes.
32. The building façade cannot be a single mass; it must be broken up by home articulations of at least 12 inches, at minimum, between every two homes.



## ARCHITECTURAL DESIGN STANDARDS (Voluntary Commitments)

### Single-Family Detached Architectural Conditions

33. Single-family detached dwellings shall comply with all standards in UDO Section 4.3.3.P, except for Section 4.3.3.P.3.
34. UDO 4.3.3.P.1 – Finished Floor Height, Except for single-family detached dwellings subject to a deed restricting limiting the age of residents to 55 years of age or older, the finished floor elevation shall be at least 18 inches above the finished grade adjacent to the home's primary entrance.
35. UDO 4.3.3.P.2 - Single-family detached dwellings shall be configured so that each side of the dwelling includes some form of ingress or egress capable of allowing emergency exit from or entrance into the dwelling. Windows, doors, or other wall penetrations shall be credited towards these standards. Skylights shall also be credited towards these standards in cases where there is sufficient access to the ground from the room.
36. Single Family main roof pitches (excluding porches) will be at least 6:12.
37. A mail kiosk for the single family detached homes shall be located adjacent to the pool and clubhouse, subject to USPS Approval.



## Example Building Elevations

The following example renderings and building elevations are representative of the type of design features intended for SFD detached and attached homes in Chamblee Lake, in keeping with the architectural standards committed to as part of the zoning approval. However, these example elevations are subject to change within the parameters allowed by the architectural commitments. To the extent which any differences exist between the voluntary architectural commitments and the example elevations contained herein (as well as for review of submitted building permits to follow), the list of Architectural Design Standards (Voluntary Commitments) provided on the previous pages shall control.

### Front-Loaded SFD Example Elevations





# Front-Loaded SFD Example Elevations



PLANNED  
DEVELOPMENT





**ELEVATION 'A'**

3/16" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEVATION 'B'**

3/16" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEV 'A' - REAR**

1/8" = 1'-0"



**ELEV 'A' - LEFT**

1/8" = 1'-0"



**ELEV 'A' - RIGHT**

1/8" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEV 'B' - REAR**

1/8" = 1'-0"



**ELEV 'B' - LEFT**

1/8" = 1'-0"



**ELEV 'B' - RIGHT**

1/8" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



# Rear-Loaded SFD Example Elevations



PLANNED  
DEVELOPMENT







**ELEVATION 'A'**

3/16" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEVATION 'B'**

3/16" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEV 'A' - REAR**

1/8" = 1'-0"



**ELEV 'A' - LEFT**

1/8" = 1'-0"



**ELEV 'A' - RIGHT**

1/8" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEV 'B' - REAR**

1/8" = 1'-0"



**ELEV 'B' - LEFT**

1/8" = 1'-0"



**ELEV 'B' - RIGHT**

1/8" = 1'-0"

**HAYDEN**  
**40' FRONT LOAD**

09.11.2023



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**ELEVATION 'A'**

3/16" = 1'-0"



**ELEVATION 'B'**

3/16" = 1'-0"

**CALHOUN**  
**30' REAR LOAD**

08.28.2023



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**ELEV 'A' - REAR**

1/8" = 1'-0"



**ELEV 'A' - LEFT**

1/8" = 1'-0"



**ELEV 'A' - RIGHT**

1/8" = 1'-0"

**CALHOUN**  
**30' REAR LOAD**

08.28.2023



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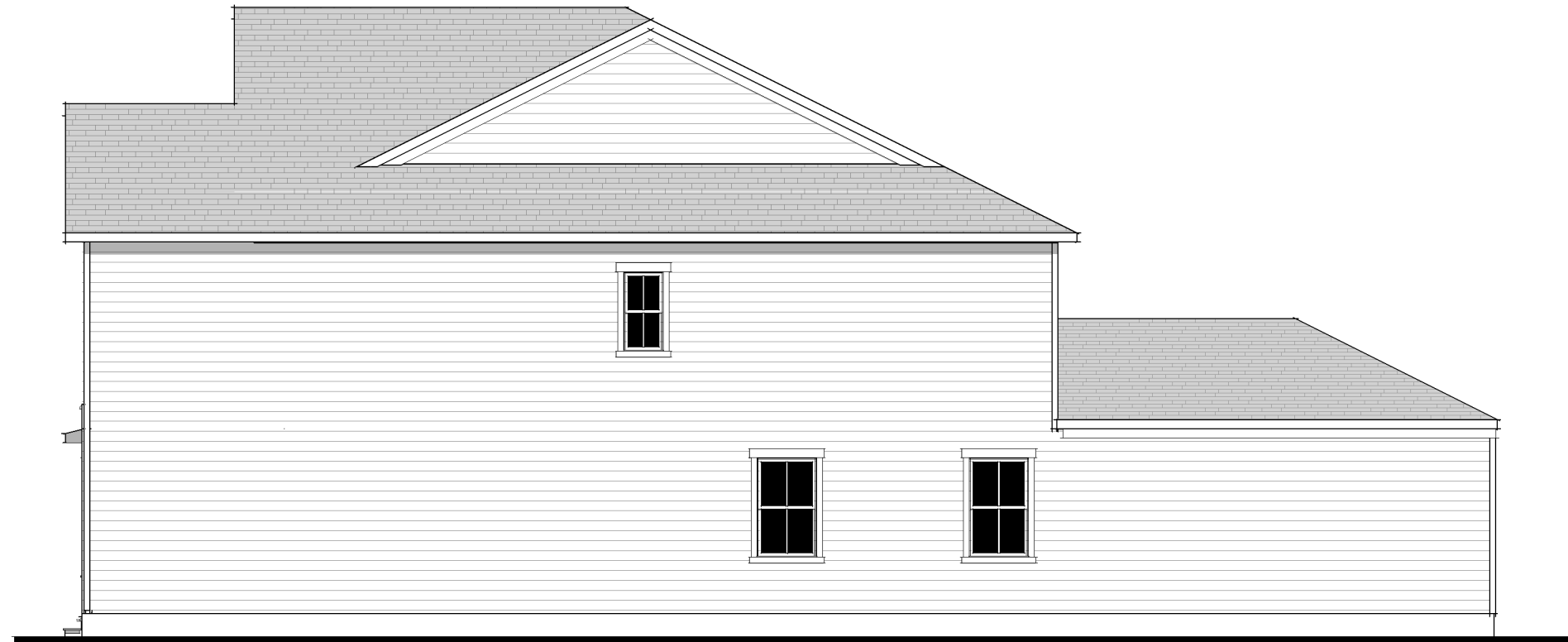
**ELEV 'B' - REAR**

1/8" = 1'-0"



**ELEV 'B' - LEFT**

1/8" = 1'-0"



**ELEV 'B' - RIGHT**

1/8" = 1'-0"

**CALHOUN**  
**30' REAR LOAD**

08.28.2023



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# Townhome Example Elevations (Front Load)



PLANNED  
DEVELOPMENT



**MADISON**  
**20' FRONT LOAD TOWNHOMES**

08.25.2023



**ELEVATION 'A'**

3/16" = 1'-0"



**ELEVATION 'B'**

3/16" = 1'-0"



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**MADISON**  
**20' FRONT LOAD TOWNHOMES**

08.25.2023



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**ELEV 'A' - LEFT END UNIT**

1/8" = 1'-0"



**ELEV 'A' - RIGHT END UNIT**

1/8" = 1'-0"



**ELEV 'A' - REAR**

1/8" = 1'-0"



**MADISON**  
**20' FRONT LOAD TOWNHOMES**

08.25.2023



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**ELEV 'B' - REAR**

1/8" = 1'-0"



**ELEV 'B' - LEFT END UNIT**

1/8" = 1'-0"



**ELEV 'B' - RIGHT END UNIT**

1/8" = 1'-0"



# Townhome Example Elevations (Rear Load)

PLANNED  
DEVELOPMENT





**BLAKE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



**ELEVATION 'A'**

3/16" = 1'-0"



**ELEVATION 'B'**

3/16" = 1'-0"



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**BLAKE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



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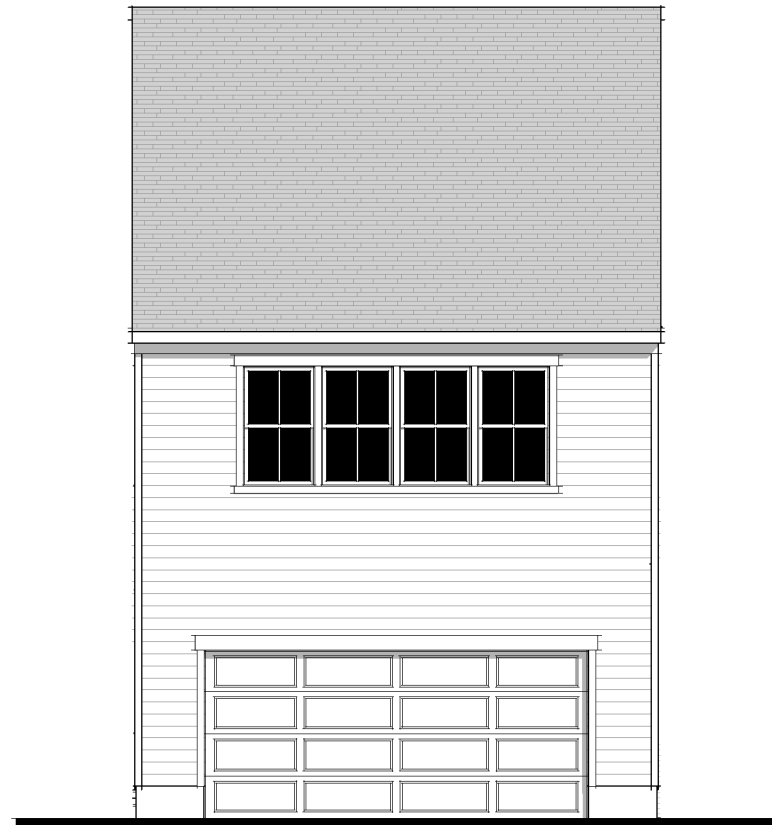
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1/8" = 1'-0"



**ELEV 'A' - RIGHT END UNIT**

1/8" = 1'-0"



**ELEV 'A' - REAR**

1/8" = 1'-0"



**BLAKE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



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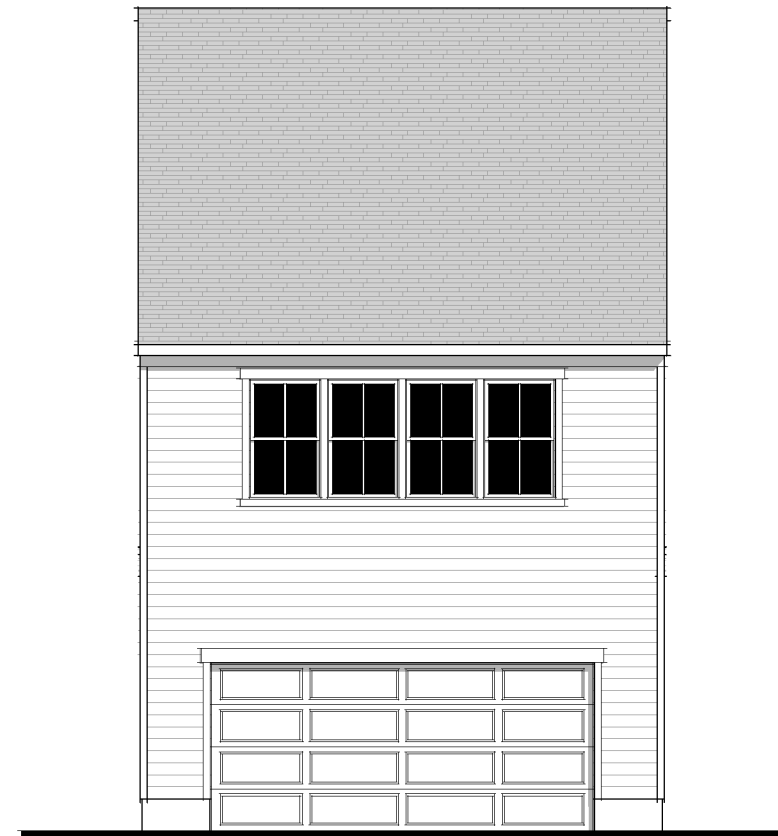
**ELEV 'B' - LEFT END UNIT**

1/8" = 1'-0"



**ELEV 'B' - RIGHT END UNIT**

1/8" = 1'-0"



**ELEV 'B' - REAR**

1/8" = 1'-0"





**ELEVATION 'A'**

3/16" = 1'-0"



**ELEVATION 'B'**

3/16" = 1'-0"

**JACE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



www.gmddesigngroup.com

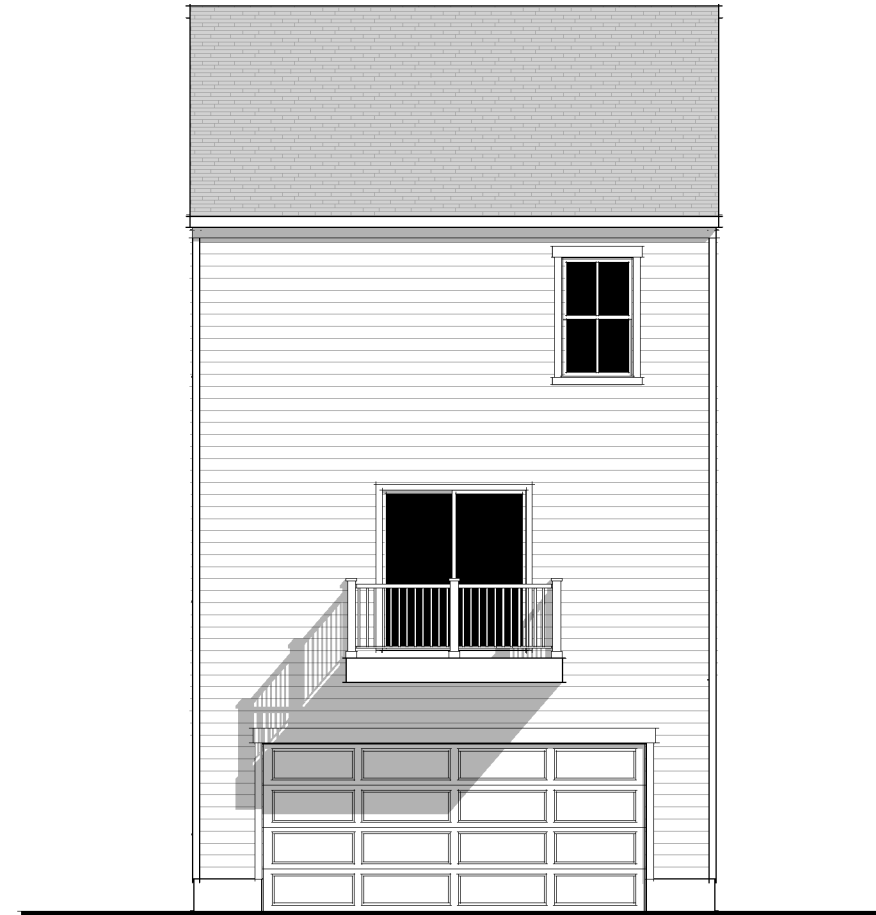
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**JACE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



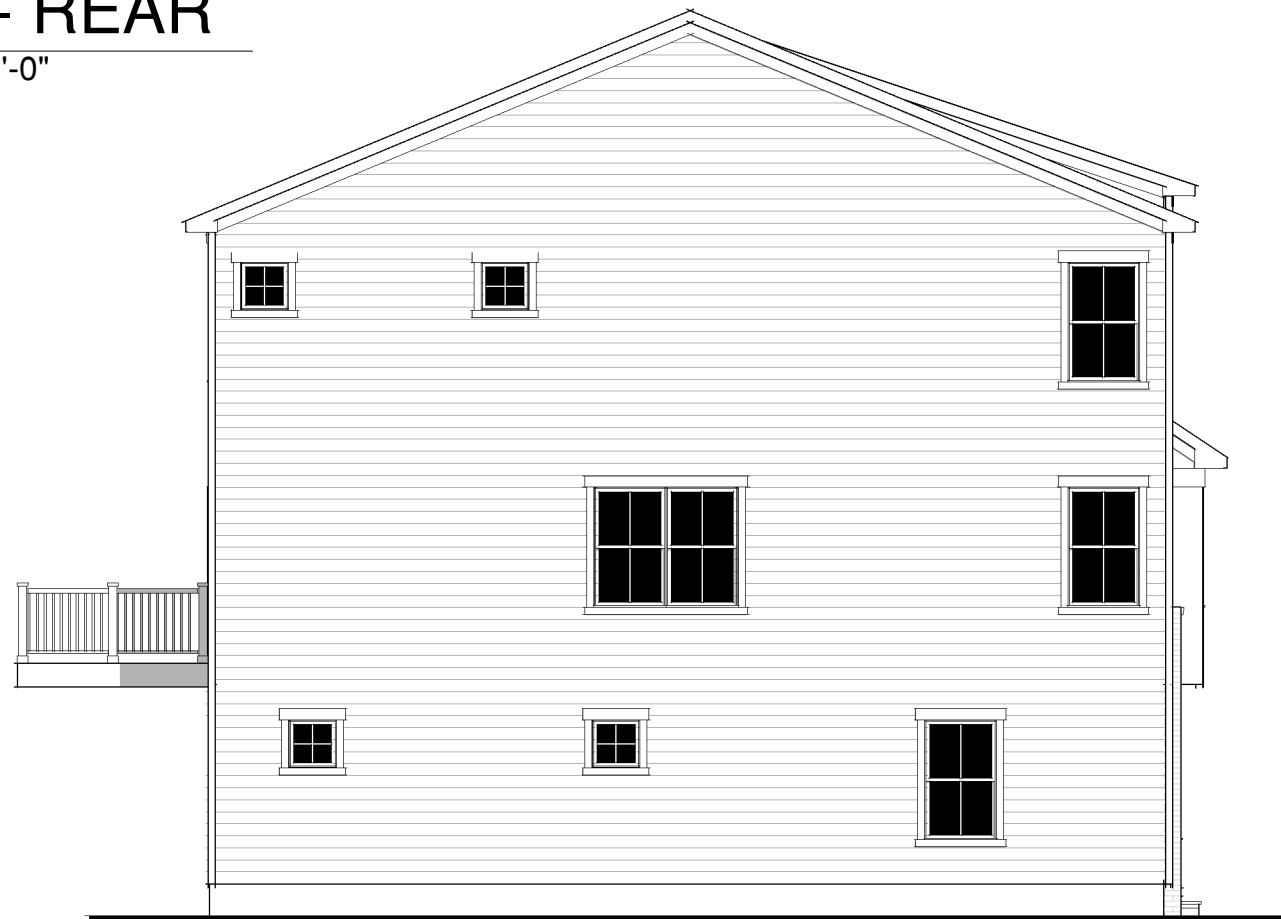
**ELEV 'A' - REAR**

1/8" = 1'-0"



**ELEV 'A' - RIGHT END UNIT**

1/8" = 1'-0"



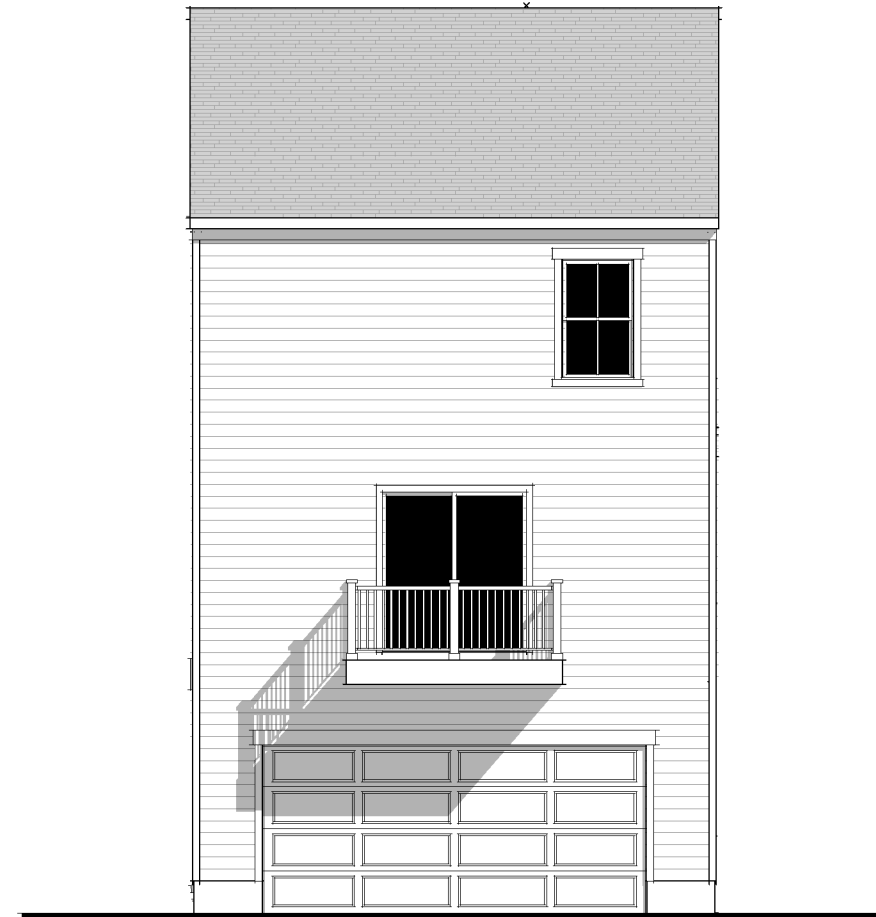
**ELEV 'A' - LEFT END UNIT**

1/8" = 1'-0"



**JACE**  
**22' REAR LOAD TOWNHOMES**

08.25.2023



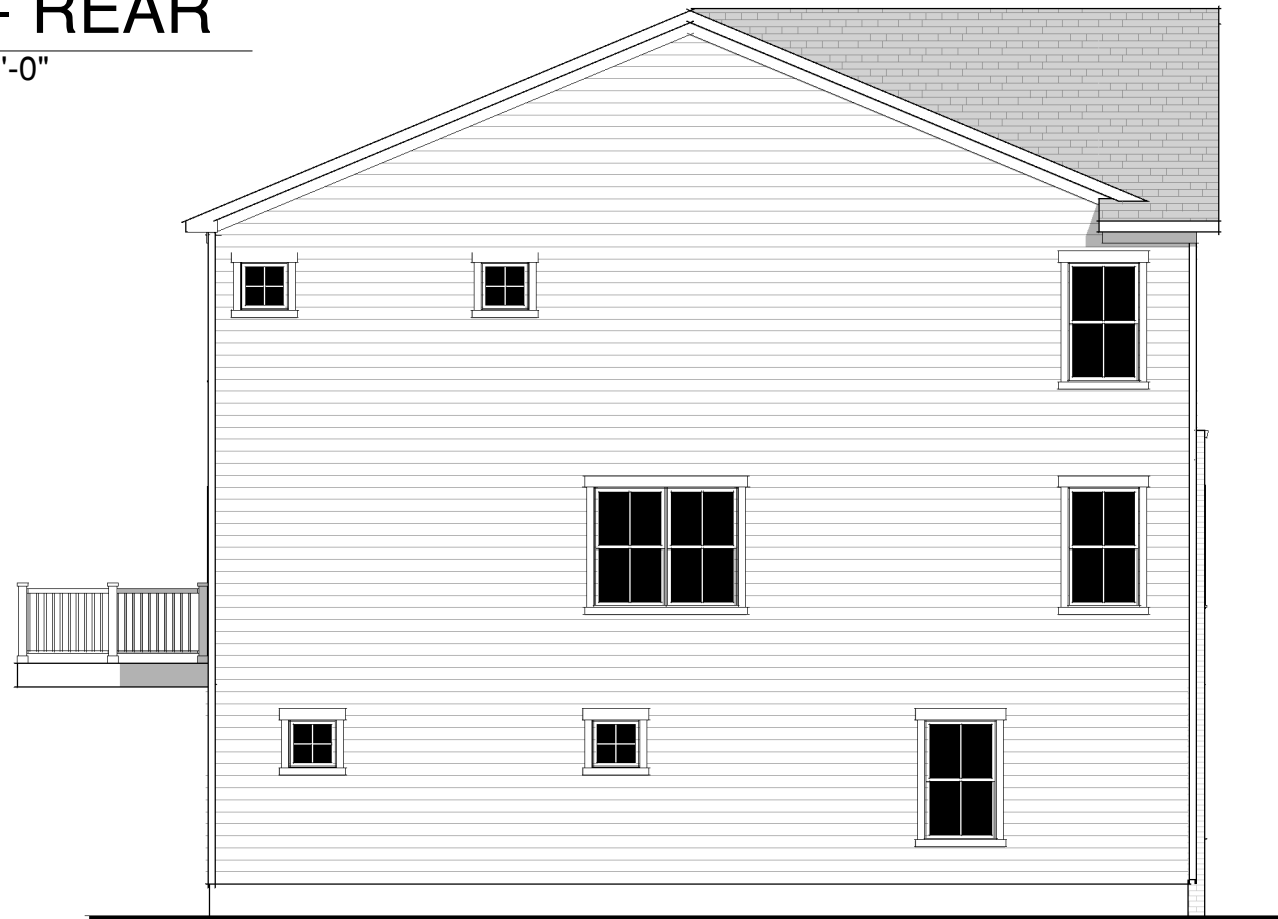
**ELEV 'B' - REAR**

1/8" = 1'-0"



**ELEV 'B' - RIGHT END UNIT**

1/8" = 1'-0"



**ELEV 'B' - LEFT END UNIT**

1/8" = 1'-0"



## HOMEOWNERS ASSOCIATION

Prior to the issuance of the first certificate of occupancy for the Development, a Homeowners Association ('HOA') shall be formed to govern the affairs of Chamblee Lake. The HOA shall be responsible for maintaining the common areas of the Development including any shared stormwater facilities, landscaping, hardscape structures (such as signage, irrigation, lighting, and fountains), and recreation amenities.

## LANDSCAPING DESIGN STANDARDS

To ensure the proposed development both respects and enhances the natural environment and provides context sensitive landscaping and screening, the applicant hereby commits to adhere to the landscaping design standards contained below. To the extent which these standards differ from those contained with the Town's adopted Unified Development ordinance, the standards contained in this document shall prevail.

### Perimeter Buffers

Per Section 5.6.10 of the UDO, the proposed development will incorporate perimeter buffers along shared property boundaries with other parcels in order to create physical and visual separation between land uses in separate zoning districts. Said buffers will be split between 2 categories as defined below and will be identified on the associated Master Plan.

- **Type B Perimeter Buffer**

- Where identified on the Master Plan, the Type B Perimeter Buffer shall adhere to the design and specifications outlined in Table 5.6.10.C of the UDO. This buffer shall have a minimum width of 20 ft, and shall be planted to 2 canopy trees, 4 understory trees, and 15 shrubs per linear feet. Final tree species shall be selected and approved by Town staff at a subsequent phase of development, but shall include fast-growing species.

- **Type B Perimeter Buffer (with Privacy Fence requirement)**

- To create greater visual separation between the proposed development and the adjacent neighborhood to the south, a 6' privacy fence must be added to any planted Type B Buffer along the applicant's shared boundary with any lot fronting Perry Ridge Ct or Ridge Valley Way. Where existing vegetation is retained which satisfies the requirements of a Type B Buffer, no privacy fence shall be required.

### Street Trees

- All Town-maintained streets shall include street trees along both sides of the street in accordance with Section 5.6.13 of the UDO, with the following exception:
  - Along street frontages with front-loaded townhomes, maximum street tree spacing may increase to 60' OC (instead of 50' OC) due to utility and driveway conflicts. The total number of street trees required along a given street segment shall be calculated based on 1 street tree per 50 LF.



## LANDSCAPING DESIGN STANDARDS

### **Streetscape Buffers**

The proposed planned development includes Streetscape Buffers along Chamblee Road and Perry Curtis Road to soften the view of development from the Town's or NCDOT's street rights-of-way and maintain a more 'rural' feel along these scenic viewsheds. Streetscape buffers shall not apply to the proposed Collector Road linking Perry Curtis and Chamblee road (internal to the development), as the majority of this road is fronted by rear-loaded units.

- The proposed development shall provide Streetscape Buffers which exceed the width requirements of Section 5.6.12 of the UDO. Streetscape Buffers shall maintain a minimum width of 30 feet and shall adhere to the following planting rates and spacing requirements (or use existing vegetation which meets or exceeds these standards):
- Along Chamblee Rd (Enhanced Type C Streetscape Buffer)
  - 3 canopy trees per every 100 linear feet (maximum of 33 ft on-center spacing)
  - 12 understory trees per every 100 linear feet (4 evergreen)
  - 35 shrubs per every 100 linear feet (maximum of 5 feet on center spacing)
- Along Perry Curtis Rd:
  - 3 canopy trees per every 100 linear feet (maximum of 33 ft on-center spacing)
  - 6 understory trees per every 100 linear feet (maximum of 16 ft on center spacing)
  - 20 shrubs per every 100 linear feet (maximum of 5 feet on center spacing)

### **Minimum Landscaping for Residential Lots**

- **Foundation Plantings:**
  - All residential lots shall contain foundation plantings in accordance with Section 5.6.11.D.1 of the UDO.
- **Site Landscaping:**
  - All residential lots shall require minimum tree plantings based on the following rates. These trees may be located anywhere on the lot, or within adjacent open spaces where specified below.
    - Front loaded SFD lots: 1 canopy tree and 1 understory tree
    - Rear loaded SFD lots: 2 understory trees
    - Townhome lot: 1 tree (understory or canopy) or 2 ornamental trees per lot
      - To avoid utility and driveway conflicts within Townhome areas, required residential site landscaping may be located either on the Townhome lot itself or within nearby HOA owned common areas.

### **Median Planting Requirements**

- Medians proposed on divided roadways will be subject to the following planting standard, subject to NCDOT review and approval.
  - **Median Planting Rate:** 4 understory trees and 15 shrubs per 100 LF





# 5

## RECREATIONAL OPEN SPACE + AMENITIES



## RECREATIONAL OPEN SPACE AND AMENITIES

Dory Meadows will provide a diverse offering of active and passive recreation areas within the development. In total, over 33% of the gross acreage will be set aside as some form of open space.

### Open Space Standards

- Total open space required: 13.6 acres (10% gross site area)
- Total open space provided: +/- 50 acres
- Active open space required: 3.4 acres
- Active open space provided: +/- 4.7 acres
- Passive open space provided: +/- 45 acres

Chamblee Lake's recreational open space will be anchored by a primary amenity site centrally located along a new E-W collector road, utilizing a large existing pond as the backdrop to this active open space. A pedestrian trail network will circle the existing pond, and supporting park spaces will be provided to the east and west for convenient access for all neighborhood residents (including the portion on the east side of Chamblee Road). The primary amenity site will incorporate a pool and clubhouse, while the site's other active open spaces shall incorporate such elements as trails, playgrounds, a dog park, and outdoor living space as further detailed on the following page and within the Master Plan set. While the exact design and layout shown on the Character Board on the following page and Master Plan set is conceptual in nature, the applicant commits to providing the list of open space amenities included.





# CHAMBLEE LAKE CHARACTER BOARD



## THE RETREAT

- ± 2.5 ACRE NEIGHBORHOOD PARK
- ± 21.0 ACRE PARK INCLUDING THE LAKE
- PRIMARY CLUBHOUSE
- SWIMMING POOL + LOUNGE AREA
- TOT LOT AND 5-12 YEAR OLD PLAY ELEMENTS
- FISHING DOCK
- POLLINATOR GARDENS + BIRD WATCHING
- CENTRALIZED MAIL KIOSK
- ± 0.5 MILE WALKING LOOP + WETLAND BOARDWALKS
- SEATING + SHADE TREES FOR BUS STOP AREA

## THE NEIGHBORHOOD PARK

- ± 1.25 ACRE POCKET PARK
- NATURAL PLAY OPPORTUNITIES
- TURFGRASS PLAY FIELD
- RAIN GARDEN
- TREE ZONE WITH WALKING PATHS AND SEATING OPTIONS
- HAMMOCK GARDEN
- CUTTING/COMMUNITY GARDEN
- HARDSCAPE PLAZA + GATHERING AREA



## THE NATURAL PARK

- ± 2.5 ACRE POCKET PARK
- WILDFLOWER PIEDMONT PRARIE
- NATURAL TURFGRASS PLAY FIELD
- NATIVE TREE PLANTINGS
- BIRD BOXES
- INFORMAL + FORMAL WALKING TRAILS
- EXERCISE STATIONS



## THE PLAY PARK

- ± 1.0 ACRE POCKET PARK
- TOT LOT AND 5-12 YEAR OLD PLAY ELEMENTS
- NATURAL TURFGRASS PLAY FIELD
- WALKING PATHS AND SEATING OPTIONS
- HARDSCAPE PLAZA
- ON-STREET PARKING
- CENTRALIZED MAIL KIOSK



## THE BARK PARK

- ± 0.4 ACRE POCKET PARK
- DOG PARK WITH INTEGRATED SHADE TREES
- DOG + PEOPLE PLAY ELEMENTS
- WET POND WITH FOUNTAIN







# 6

## INFRASTRUCTURE



## STREETS + SIDEWALKS

All streets within Chamblee Lake shall be designed to meet the standards of the Town of Zebulon, except as otherwise modified by this document or its associated concept plan set (subject to NCDOT review and approval along NCDOT maintained roadways).

- Frontage along Chamblee Road shall be improved to a modified 2-lane divided cross-section along the project's half of the centerline (widened from the Town's typical 2-lane divided roadway to accommodate fire access and NCDOT clearance zones for the median).
- Perry Curtis Road will be widened to the ultimate cross-section, with a fee in lieu applied for the median due to the site's limited frontage.
- All proposed roads shall be public right-of-way.
- All proposed roads shall have pedestrian facilities on both sides of the road.

## STORMWATER

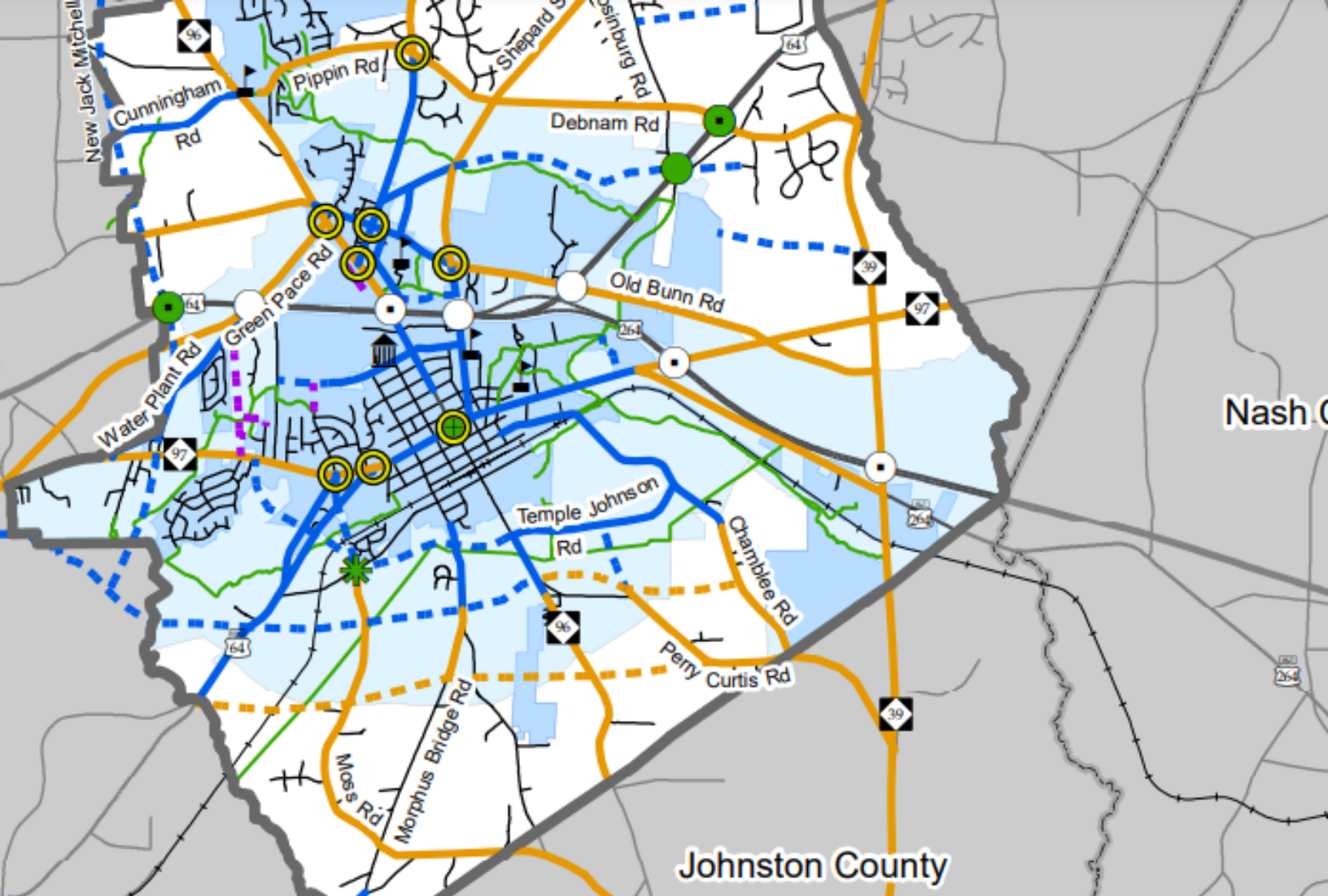
The proposed development will require stormwater management measures for quality and quantity treatment in accordance with the Town of Zebulon's adopted stormwater ordinance (enforced by Wake County). A network of storm drainage conveyances will transport storm drainage from impervious areas to the proposed Stormwater Control Measures (SCM). Preliminary locations of these SCMS are provided in the Concept Plan which accompanies this planned development request, based on existing drainage basins. The majority of the site drains internally towards the existing lake. Location and adequate sizing for the proposed stormwater devices will be verified during final design. All stormwater management will be required to meet North Carolina Department of Environmental Quality and Town of Zebulon design requirements at the time of site construction drawing submittal.

## WATER & SEWER

There are two existing waterline stubs to the south side of the Town of Zebulon. Each stub is a 6" main, one being on the south side of the Zebulon Community Park of South Arendell Avenue (HWY 96) and the other is stubbed 500' south of the intersection of East Horton Street and the Norfolk Southern Rail right of way. In either case, a 12" water main would tie to the 6" stub and extend to the property from the south side of the Town of Zebulon. The preferred alignment would be to utilize the HWY 96 NCDOT right of way and extend the watermain on the north side of Perry Curtis Road to the subject property. That water main would pass through the subject site and connect to an existing 12" water main stub that was placed within the Sidney Creek Subdivision east of the subject development. The Sidney Creek site pulls water from the CORPUD water network existing off Old US HWY 264. Through its waterline extensions, the proposed development will create an interconnected grid network with two feeds, providing a much greater resiliency in this southern side of Zebulon on the very outer reach of CORPUD's distribution system.

There is an existing waste water treatment facility that the Town of Zebulon built along the Little Creek system (Little Creek WWTP) that CORPUD assumed control/ownership over when the merger happened in the early 2000's. From the existing WWTP, there is a sewer main that runs west of the little creek WWTP to serve the Sidney Creek subdivision. This 8" sewer main ties to the upstream receiving SSMH for the WWTP, and then runs over the creek to serve the wester side of this creek. The Chamblee Road site can gravity sewer to an existing 8" stub that is proposed with the Sidney Creek Phase 2 development approved by CORPUD. A sewer analysis is being performed to validate the capacity of this existing 8" sewer system. It is envisioned that the entirety of the proposed development will be served by the 8" sewer stub and any ensuing upsizing of that receiving gravity line that ties directly to the Little Creek WWTP.





# 7 TRANSPORTATION ANALYSIS



## TRANSPORTATION IMPACT ANALYSIS SUMMARY

A Traffic Impact Analysis (TIA) was conducted by McAdams for the proposed development in accordance with the Zebulon (Town) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. A full copy of the TIA was submitted for review and approval with the PD submittal. A summary of the preliminary recommended traffic improvements is provided below for reference. The listed recommended improvements are subject to additional DOT review and revision.

## STUDY AREA

The study area for the TIA was determined through coordination with the Town and NCDOT and consists of the following existing intersections:

- > Chamblee Road/ E. Horton Street and Temple-Johnson Road
- > NC 96 and Temple-Johnson Road
- > NC 96 and Perry Curtis Road
- > Perry Curtis Road and Perry Ridge Court
- > Perry Ridge Court and Ridge Valley Way
- > Perry Curtis Road / Wake County Line Road and Chamblee Road
- > NC 39 and Wake County Line Road
- > NC 39 and Old US 264
- > Chamblee Road and Site Drive #1
- > Chamblee Road and Site Drive #2
- > Chamblee Road and Site Drive #3

## RECOMMENDED IMPROVEMENTS

Based on the analysis of the TIA (including improvements to be installed by the adjacent Sidney Creek development), the following improvements have been recommended to be constructed by the developer to mitigate traffic impacts by the proposed development.

### Chamblee Road and Site Drive #1

- Construct Site Drive #1 as the westbound approach with one (1) ingress lane and one (1) egress lane.
  - Note: This intersection will be restricted to right-in/right-out operations.
- Provide stop control on the westbound approach of the site drive.

### Chamblee Road and Site Drive #2

- Construct Site Drive #2 with a full movement eastbound and westbound approach with one (1) ingress lane and one (1) egress lane each, respectively.
- Provide stop control on the eastbound and westbound approaches of the site drives.
- Construct a northbound left-turn lane on Chamblee Road with a minimum of 100 feet of full width storage and appropriate deceleration and taper.
- Construct a southbound left-turn lane on Chamblee Road with a minimum of 100 feet of full width storage and appropriate deceleration and taper.



## RECOMMENDED IMPROVEMENTS (continued)

### Chamblee Road and Site Drive #3

- Construct Site Drive #3 as a full movement eastbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control on the eastbound approach of the site drive.
- Construct a northbound left-turn lane on Chamblee Road with a minimum of 100 feet of full width storage and appropriate deceleration and taper.

### Perry Curtis Road and Site Drive #4

- Construct Site Drive #4 as a full movement southbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control on the southbound approach of the site drive.
- Construct an eastbound left turn lane on Perry Curtis Road with a minimum of 100 feet of full width storage and appropriate deceleration and taper.

### Perry Curtis Road and NC 96 (Arendell Avenue)

- Construct a southbound left-turn lane on NC 96 (Arendell Avenue) with a minimum of 100 feet of full width storage and appropriate deceleration and taper.
- Restripe the westbound approach of Perry Curtis Road to provide an improved alignment.

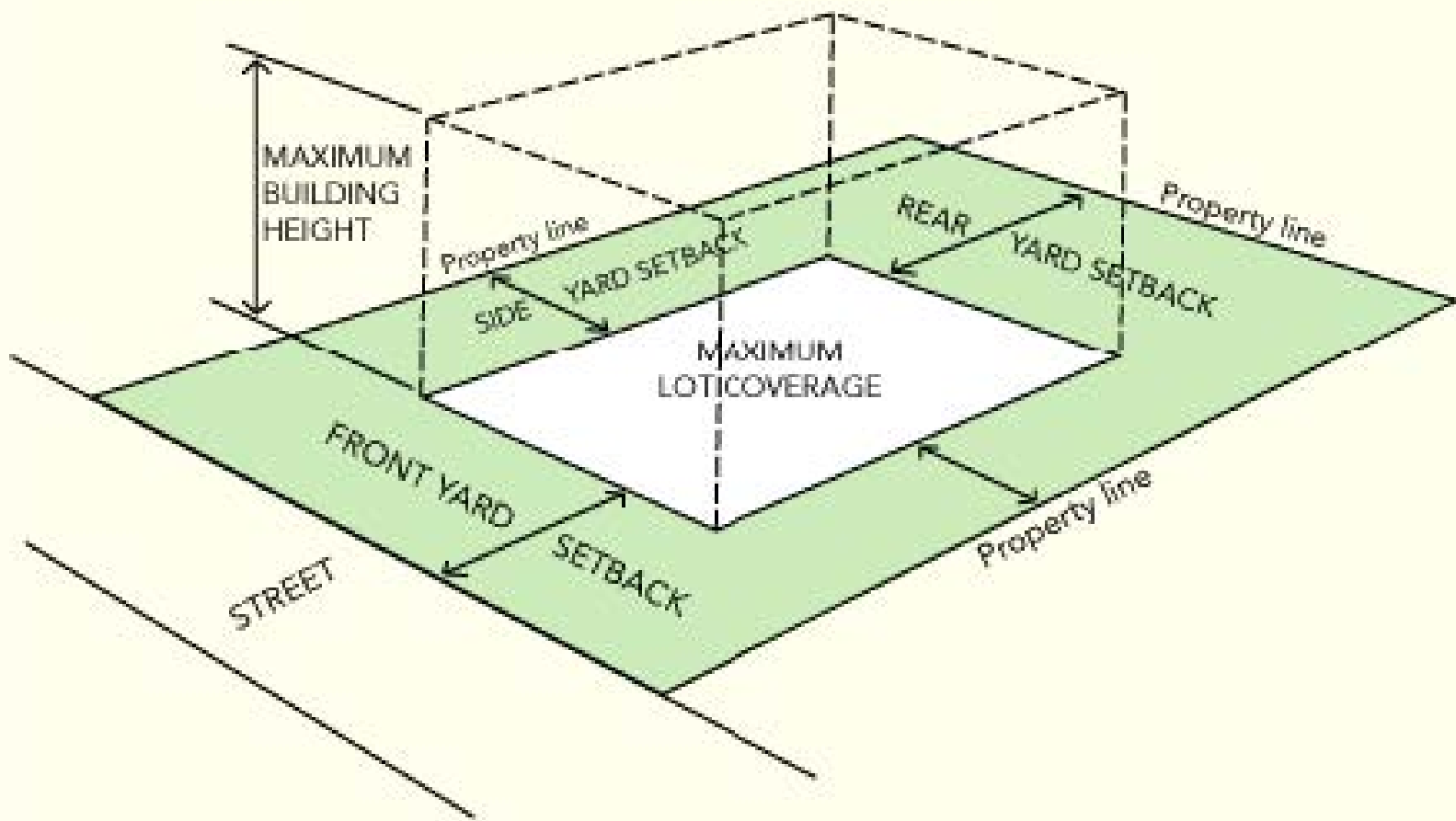
### Wake County Line Road and NC 39

- Construct a southbound right-turn lane on NC 39 with a minimum of 100 feet of full width storage and appropriate deceleration and taper.
- Restripe the eastbound approach of Wake County Line Road to provide an improved alignment.

### Perry Curtis Road / Wake County Line Road and Chamblee Road

- Monitor for all-way stop-control warrants and convert to an all-way stop-control intersection when warranted and approved by NCDOT.





# 8

## ZONING CONDITIONS



## UNIFIED DEVELOPMENT ORDINANCE (UDO) CONSISTENCY

Chamblee Lake has been designed to meet the requirements of the Unified Development Ordinance where practical and achievable. There are some instances where due to site constraints or desires to maximize open space preservation through more compact design, it is reasonable to deviate from the typical requirements of the Ordinance through customized dimensional standards. Furthermore, to enhance the design and quality of the development, there are instances where the applicant proposes to surpass code requirements through committed site elements and standards. The section below summarizes the project's customized dimensional standards and zoning conditions.

### 1. DRIVEWAY ORIENTATION / ACCESS

In order to accommodate a more compact design that supports preservation of environmental sensitive features, this project would permit front-loading of SFD detached lots 50' and larger (rather than 70'). The applicant has offered tailored architectural standards for these units as a condition of the zoning approval.

### 2. SFD DETACHED LOT DIMENSIONAL STANDARDS

To facilitate a more compact design and support preservation of open space and environmental sensitive features, Chamblee Lake proposes the following permitted dimensional standards. The applicant has offered tailored architectural standards for all SFD as a condition of the zoning approval.

	Proposed Standard	Notes
Min Lot Area	4000 SF Rear Load / 6000 SF Front-Load	
Min Lot Width	35' Rear Load / 50' Front Load	
Front Setback (min)	20' (10' for Rear-Load SFD)	20' normally allowed by UDO for porch
Rear Setback (min)	20'	
Side Setback (min)	3' or 5' (based on lot width)	
Front Porch Encroachment	5' into front setback	ONLY permitted for front-loaded lots

### 3. TOWNHOME DIMENSIONAL STANDARDS

To facilitate a more compact design and support preservation of open space and environmental sensitive features, Chamblee Lake proposes custom Townhome dimensional standards, based on individual townhome lots, rather than townhome buildings. These custom Townhome dimensional standards are contained within Section 3 of this document, and copied below for reference.

- Min. Lot Area 2000 SF for FL / 1500 SF for Rear-Loaded
- Min. Street Setback (front or corner) 5' (20' for face of garage on front-loaded units)
- Min. Side Setback N/A
- Min. Rear Setback 20'
- Min. Building Separation 10'
- Max Building Height 42' / 3 stories
- Min. Lot Width 20'



## UNIFIED DEVELOPMENT ORDINANCE (UDO) CONSISTENCY

### 4. COMPREHENSIVE TRANSPORTATION PLAN (CTP) MODIFICATION

The adopted Comprehensive Transportation Plan (CTP) calls for a 4-lane divided roadway to traverse the northern portion of this property, west of Chamblee Road. As explained in the applicant's CTP amendment request, there is strong justification for a different road section to be applied. As such, this planned development shows a proposed 2-lane collector road with on-street parking connecting directly to Perry Curtis Road (in lieu of the CTP's proposed 4-lane divided E-W roadway). This plan also incorporates a 2-lane divided section with a multi-purpose path on one side for Chamblee Road.

### 5. MAX LOT COVERAGE

Chamblee Lake will apply a 35% maximum impervious requirement for the development as a whole (based on total acreage).

### 6. PRELIMINARY SITE PLAN APPROVAL

Pursuant to UDO Section 3.5.5.B.4, the applicant requests an exemption from subsequent site plan review. This PD includes a master plan that is detailed and meets the requirements for a site plan, as demonstrated by the included Zebulon Site Plan Checklist. Therefore, upon approval of this PD, the applicant shall be exempt from subsequent site plan review.

### 7. ENHANCED STREETScape, PERIMETER BUFFER, AND MEDIAN STANDARDS

- The applicant commits to providing 30' wide streetscape buffers (exceeding the UDO required 15'). Along Chamblee Road, enhanced planting rates shall be used to screen the rear of homes.
- The applicant commits to providing a 20' wide TypeB buffer along its shared southern boundary with Perry Ridge Ct (exceeding the UDO required 10' Type A buffer). Where existing vegetation is not used to satisfy the Type B buffer requirement, a 6' privacy fence will also be provided.
- The applicant commits (subject to NCDOT review and approval) to providing 13' wide planted areas within medians (exceeding the UDO required 11')
- Perimeter and streetscape buffers shall be comprised of native or adaptive species.

### 8. ENHANCED OPEN SPACE DEDICATION AND TREE SAVE

Based on the site's acreage, the UDO would require a minimum of 13.6 acres of dedicated open space (10% of the site) and 6.8 acres of Tree Save (5% of the site). The applicant hereby commits to providing a minimum of 41 acres of open space (30% of the site) and 13.6 acres of Tree Save (10% of the site).

### 9. ACTIVE BY DESIGN / FOOD TRUCK ACCOMMODATION

To support community gatherings and active neighborhoods, the development's main amenity site and 2 pocket parks will incorporate off-street parking or marked on-street parking to accommodate visitors without impeding travel lanes. Said parking provides a safe and convenient location for food trucks to locate in support of community functions. Furthermore, the applicant commits to providing a minimum of 2 larger parking spaces within the main amenity site designed for food trucks or delivery vehicles, with an electrical outlet available.



## UNIFIED DEVELOPMENT ORDINANCE (UDO) CONSISTENCY

### 10. ENHANCED BIKE / PEDESTRIAN ACCESS

In addition to providing (at a minimum) sidewalks on both sides of all roads ( subject to NCDOT approval along DOT maintained roadways ), the proposed development will further support pedestrian and bicycle access through the incorporation of a multi-use path along Chamblee Road and the site's proposed East-West collector road. Furthermore, Chamblee Lake will provide an off-street pedestrian trail network (both paved and unpaved) of a least 1 mile in length, with a minimum of 4 exercise stations along the trail. This pedestrian network, in connection with Sidney Creek's committed improvements, will provide a direct connection to Five County Stadium.

### 11. SITE IMPROVEMENTS AND NCDOT APPROVAL

All planned improvements to roadways and right-of-way owned and maintained by the NC Department of Transportation (NCDOT), including improvements that require off-site property acquisition and/or easements, are subject to NCDOT approval during subsequent phases of development. If any improvements are not approved by NCDOT, alternative designs may be administratively approved by Town staff.

### 12. POOL/CLUBHOUSE

Construction of a pool and clubhouse structure shall be completed at the earlier of either 24 months from recordation of the Phase 1 plat, or prior to issuance of the 150th Certificate of Occupancy.

### 13. CONSTRUCTION TRAFFIC ACCESS

In order to protect adjacent neighborhoods, no construction traffic will utilize Perry Ridge Court or Ridge Valley Way as a means of access.

### 14. ENTRY FEATURES

Chamblee Lake shall include a prominent entry feature at the primary entrances on Chamblee Road.

### 15. STORMWATER CONTROL PONDS

At least one stormwater control pond shall contain a fountain. At least seventy-five percent (75%) of any required plants in the Stormwater Control Measure ponds, excluding grasses, shall be pollinator plants such as native milkweeds and other nectar-rich flowers.

### 16. BUS STOP

If a bus pickup location is approved by Wake County Public Schools in the neighborhood, one bus stop area, including a shelter, a bench, a trash can, and at least 5 bicycle spaces shall be provided with the second phase of development.

### 17. PET WASTE STATIONS

A minimum of four (4) pet waste stations shall be provided along the site's sidewalks, paths, or trails.

### 18. MAX BLOCK LENGTH

Due to existing environmental features which prevent additional road connectivity, a maximum block length of 950 LF shall apply to Street A, Street B, and Street H.



## UNIFIED DEVELOPMENT ORDINANCE (UDO) CONSISTENCY

### 19. FISHING DOCK

In order to further activate the existing pond, a fishing dock will be provided, accessible from the pedestrian trail surrounding Chamblee Mill Pond. The exact location of this fishing dock will be provided in the construction drawings, pending further coordination with environmental agencies.

### 20. AFFORDABLE HOUSING

All front-loaded single-family attached units in the Development (12 units, 10% of all single-family attached units) shall be deed-restricted affordable housing single-family median-income ownership units (the "Affordable Units"). The Affordable Units shall be sold to and occupied by low or median-income households earning no more than 80% of the Area Median Income, for a period of at least seven (7) years. A restrictive covenant memorializing this zoning condition shall be recorded in the Wake County Registry against each of the Affordable Units upon the sale of the Affordable Units, and a covenant between the Town and applicant shall be recorded in the Wake County Registry against each of the lots for the Affordable Units prior to the issuance of a building permit for such lots. Town staff will assist with the administrative duties of the Affordable Units during the affordability period.

### 21. RIDGE VALLEY WAY BARRIERS

Prior to issuance of the final plat for the phase of development that completes the Ridge Valley Way extension, any temporary barriers installed by the builder impeding vehicular circulation on Ridge Valley Way shall be removed.

### 22. STORMWATER PROTECTION

Along the southern property boundary where adjoining PINS (2714191047, 2714193007, 2714194057, 2714195099, 2714197170) developer will install a stormwater drainage swale to collect the existing rear lot runoff and direct it through the swale to the proposed SCM Management system, where the stormwater runoff will be treated onsite prior to discharge to the Neuse Riparian system. The swale shall be designed to handle a 25-year intensity storm.

### 23. EROSION CONTROL MEASURE

Erosion control containment devices (such as riser basins or sediment traps) shall be sized to accommodate the 25-year peak flow of runoff coming from disturbed acreage. Denuded areas, if left exposed and not being worked on shall receive ground cover within 7 days. All denuded areas shall have double silt fence installed where adjacent to riparian buffers and/or wetlands located on the subject property.



## Dory Meadows Utility Allocation Worksheet

**Base Points Provided: 10**

**Bonus Points Required: 50**

### BASE POINTS: List of Preferred Land Uses and Required Characteristics:

The uses listed below have been determined to be the most desirable and important uses for the Town of Zebulon to promote and maintain economic and housing diversity. Only projects that completely meet the stated performance characteristics will be considered for utility allocation. Please select one of the following Base Point classifications.

60 Base Points	<b>Single Family Homes (Expedited Subdivision or Recombination)</b> Newly constructed Single Family Homes built upon new lots created via the minor subdivision, exempt subdivision, expedited subdivision (3 or fewer lots) or recombination process.
60 Base Points	<b>Change of Use</b> This category captures renovation, rehabilitation, up-fit or retrofit of existing buildings or portions of buildings that pre-date this policy and require a code summary sheet, change in building occupancy, certificate of occupancy, building permit and/or building inspections and do not increase the utility demand from the previous use of the building.
45 Base Points	<b>Business Office/Finance/ Insurance / Professional Services Center - Large</b> Qualifying projects must exceed 100,000 square feet of heated floor space and create at least 150 employment positions that exceed the average annual Wake County salary according to Wake County Economic Development or the Employment Security Commission. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.
45 Base Points	<b>Manufacturing/Industrial Employment Center</b> Manufacturing or Industrial establishments in this category exceed 200,000 square feet of floor space located in plants, factories, or mills and employ power-



	<p>driven machines and materials-handling equipment. They may also employ workers who assemble or create new products by hand, without the characteristic machinery-intensive enterprise. Many manufacturing establishments process products of agriculture, forestry, fishing, mining, or quarrying as well as products of other manufacturing establishments. Most manufacturing establishments have some form of captive services (e.g., research and development, and administrative operations, such as accounting, payroll, or management) in conjunction on-site.</p>
45 Base Points	<p><b>Governmental Uses/Public Administration</b>  This category encompasses centers for all government functions; it includes federal, state, and local government agencies that administer, oversee, and manage public programs and budgets and have executive, legislative, or judicial authority. Establishments develop policy, create laws, adjudicate civil and criminal legal cases, and provide for public safety and national defense.</p>
40 Base Points	<p><b>Single Use Retail</b>  Newly constructed single use, stand-alone building used primarily for retail, restaurant, or similar commercial use.</p>
40 Base Points	<p><b>Hotels, Motels, or other Accommodation Service Establishments</b>  This category serves lodging and short-term accommodations for travelers. They may offer a wide range of services, from overnight sleeping space to full-service hotel suites. They may offer these services in conjunction with other activities, such as entertainment or recreation. Stays in these establishments are generally less than one month. This classification does not include boarding or rooming houses.</p>
40 Base Points	<p><b>Arts/Entertainment/Museums</b>  These establishments operate facilities or provide services for a variety of cultural, entertainment, and performing art functions. Establishments include those that produce, promote, or participate in live performances, events, or exhibits intended for public viewing; those that preserve and exhibit objects and sites of historical, cultural, or educational interest; and those that operate facilities or provide services to serve activities associated with the aforementioned.</p>
40 Base Points	<p><b>Amusement, Sports or Recreational Establishment</b>  Establishments in this category operate either indoor or outdoor facilities offering family activities (i.e. sports, recreation, or amusement) and provide services, such as facilitating amusement in places operated by others, operating recreational sports groups and leagues. Examples include golf courses, indoor sports venues, bowling alleys, miniature golf courses, athletic clubs, skating rinks and arcades. This category may be used in conjunction with a commercial or residential development as a mixed use development.</p>
40 Base Points	<p><b>Mixed Use Development (Transit Oriented)</b>  Newly constructed or substantially rehabilitated collection of vertically mixed retail, office and residential uses in multi-story buildings centered within a one-half mile radius of an existing rail or bus transit station or the intersection of</p>



	Horton Street and North Arendell Avenue in Downtown Zebulon. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
40 Base Points	<b>Mixed Use Development (Urban Infill)</b> Newly constructed or substantially rehabilitated collection of mixed retail, office and residential uses in a multi-story building on a previously developed parcel within the corporate limits. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
40 Base Points	<b>Mixed Use Development (Greenfield)</b> Newly constructed collection of mixed retail, office and residential uses in a multi-story building or buildings on a previously undeveloped parcel. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
35 Base Points	<b>Housing Services for the Elderly Establishments</b> This category offers housing services for the aged, not requiring a license from the North Carolina Department of Health and Human Services, such as independent retirement housing, multi-unit assisted housing with services (MAHS), and continuing care retirement centers. All facilities must provide, but not necessarily be limited to, the following services/facilities: On-site laundry facilities, on site management, guaranteed transportation services at least four days per week, on-site exercise facilities, on-site computer access, and a clubhouse/common lounge area for all residents.
35 Base Points	<b>Mixture of Use Development (Retail/Office-Institutional/Commercial)</b> Newly constructed collection of horizontally arranged uses including retail, office-institutional and commercial within a master planned project on a previously undeveloped parcel or parcels totaling at least 10 acres. Mixture of use projects must include at least two (2) use types with at least 25% of the space devoted to each use type included in the development.
30 Base Points	<b>Retail/Commercial Center</b> Newly constructed center of at least 50,000 square feet, typically containing an anchor such as a grocery store and other smaller spaces and/or outparcels for subordinate uses. Uses are entirely consumer-driven and include all manner of retail, service and office possibilities.
30 Base Points	<b>Business Office/Finance/ Insurance / Professional Services Center – Medium</b> Qualifying projects must exceed 50,000 square feet of heated floor space and create at least 75 employment positions that exceed the average annual Wake County salary according to Wake County Economic Development or the



	<p>Employment Security Commission. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.</p>
30 Base Points	<p><b>Business Office/Finance/ Insurance / Professional Services Center – Small</b>  Qualifying projects 50,000 square feet of heated floor space or less. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.</p>
30 Base Points	<p><b>Multi-Tenant Retail Center</b>  Newly constructed center 50,000 square feet or less, typically containing a more than one tenant space within a single structure. Uses are entirely consumer-driven and include all manner of retail, service and office possibilities.</p>
30 Base Points	<p><b>Single Use Office</b>  Newly constructed single use, stand-alone building used primarily for office and professional.</p>
30 Base Points	<p><b>Bungalow Court or Pocket Neighborhood</b>  Newly constructed Bungalow Court or Pocket Neighborhood per the standards of the Unified Development Ordinance.</p>
30 Base Points	<p><b>Distribution/Trucking Center</b>  Newly constructed center of at least 500,000 square feet where products and resources are transported to and delivered from via truck or rail.</p>
25 Base Points	<p><b>Warehouse</b>  Newly constructed center of at least 500,000 square feet where products and resources are stored.</p>
25 Base Points	<p><b>Religious Institutions</b>  Any facility such as a church, temple, synagogue, mosque or monastery used for worship by a non-profit organization and their customarily related uses.</p>
20 Base Points	<p><b>Intensive Industrial Uses:</b>  Uses classified as Special Land Uses within the Industrial Classification.</p>



20 Base Points	<b>Multi-Family Residential &amp; Condo Units</b>
20 Base Points	<b>Major Subdivision 4- 25 Lots</b> Any subdivision of land of four (4) – 25 Lots.
10 Base Points	<b>Major Subdivision 26 lots or more</b> Any subdivision of land of 26 or more lots.
Board Determination	<b>All Other Uses Not Categorized</b> This category of use captures all other uses not categorized elsewhere. Allocations for such uses are left to the discretion of the Town’s Board of Commissioners upon recommendation of the Planning Board and acted on a case-by-case basis.



## BONUS POINTS

Proposed projects can gain BONUS POINTS by agreeing to provide any of the following items over and above the UDO or Standard Specification requirements for their development proposal.

NOTE: No bonus points are given for UDO requirements.

### CATEGORY 1 – Non-Conformity Abatement and Public Infrastructure Improvements

<b>Section 1A - Abatement of Nonconformities</b>		(Max - 3 points)
	Abatement of any existing non-conforming structures	3
	Abatement of any existing non-conforming use of land	2
	Abatement of any existing non-conforming lots	1

<b>Section 1B - Roadway Infrastructure Not Warranted by TIA/UDO/CTP</b>		(Max - 10 points)
	Construction of full cross section of existing off-site public street	5
	Nearby intersection improvements	5
	Traffic signal improvements	4
	Signage or striping improvements	1

<b>Section 1C - Off-Site Public Greenway Improvements</b>		(Max - 10 points)
	Construct more than 4000 linear feet of 10-foot-wide path	10
	Construct more than 3000 linear feet of 10-foot-wide path	8
	Construct more than 2000 linear feet of 10-foot-wide path	6
	Construct more than 1000 linear feet of 10-foot-wide path	4
	Construct 500 to 1000 linear feet of 10-foot-wide path	2

<b>Section 1D – Off-Site Bike-Ped Improvements</b>		(Max – 5 points)
	Construction of off-site sidewalk improvements (Subject to TRC Approval)	2
	Construction of off-site bike lane improvements (Subject to TRC Approval)	3

### CATEGORY 2. Green Development Standards/ Building & Site Design

<b>Section 2A - Conservation of Natural Habitat Meeting Active Open Space Requirements as Defined in the UDO</b>		(Max - 10 points)	Points Earned
	One point per acre up to 10 acres (fishing dock included per zoning)	1 - 10	<b>7</b>

<b>Section 2B - Parking</b>		(Max – 15 points)	Points Earned
	Structured Parking Facilities - must reduce footprint by 20%	10	
	EV Charging Stations (two-port)	5	
	Provision of on-street public parking (1 point per stall up to 10 Max)	1 - 10	<b>10</b>



<b>Section 2C - Stormwater SCM's</b>		(Max – 10 points)	Points Earned
	Stormwater - Restored Riparian Buffer	10	
	Construct a fountain or other stormwater amenity within the BMP/SCM (as approved by Staff)	4	4
	Stormwater - Landscaped Green Roof	5	
	Stormwater - Underground capture system for on-site irrigation	5	
	Stormwater - Bioretention	5	
	Stormwater - Wetland	5	
	Exclusive use of porous pavement in parking areas where suitable	2	

<b>Section 2D - Building/Site Design</b>		(Max - 20 points)	Points Earned
	Compliance with residential design guidelines per Section 5.2 of the UDO	10	10
	Non-Residential building design that incorporates an active upper story.	5	
	Pedestrian oriented and walkable site design which promotes alternatives to vehicular travel within the development. (Subject to TRC Approval)	5	

<b>Section 2E - Infill/Redevelopment</b>		(Max – 16 points)
	Development or Redevelopment within DTC	10
	Development or Redevelopment within DTP	6
	Redevelopment of previously vacant building space over 20,000 square feet	6
	Redevelopment of previously vacant building space under 20,000 square feet	5

<b>Section 2F - Historic Preservation</b>		
	Historic Structure Preservation via Deed Restriction (Determined by TRC)	10
	Restoration of Historic Structure (Must be approved by TRC)	5

<b>Section 2G – LEED Certification</b>		(Max – 10 points)
	LEED Certification for Neighborhood Development (LEED ND)	10
	Platinum LEED Certification	10
	Gold LEED Certification	8
	Silver LEED Certification	6
	Bronze LEED Certification	4
	LEED Certified Certification	2

CATEGORY 3 – Outdoor Enhancement and Transit Improvements

<b>Section 3A – Outdoor Enhancement</b>		(Max – 12 points)
	Construction of a Parkway Street Section on a Collector level street	5



	Construction or Preservation of Gateway Landscaping or Structure (Subject to Comprehensive Plan Consistency and TRC approval)	5	Points Earned
	Outdoor Display of Public Art (Subject to TRC Approval)	4	
	Public Facing Outdoor Mural (Subject to TRC Approval)	4	
	Maintenance of Roadside Gateway Plant Bed (requires maintenance agreement)	3	
	Planting Pollinator Garden (225 Square Foot Minimum)	3	3
	Exclusive use of xeriscaping techniques and drought tolerant species	3	
	Enhanced Roadside Landscaping (Subject to TRC Approval)	2	
	Enhanced Buffer Landscaping (Subject to TRC Approval)	2	
	Construction of a Parkway Street Section on a Local level street	2	
	Installation of Native Shade Tree Species (per Tree up to 10 Trees)	1	9

(Shade tree planting locations to be specified in Construction Drawings)

<b>Section 3B – Transit (Pursuant to location being adjacent to a planned or active transit route)</b>		(Max - 8 points)
	Provision of more than 50 designated Park & Ride Stalls	8
	Provision of 25 designated Park & Ride Stalls	5
	Provision of 10 designated Park & Ride Stalls	3
	Provision of mass transit easement w/ structure (bus stop with shelter & bench)	2

#### CATEGORY 4 - Amenities

<b>Section 4A - Private Greenway</b>		(Max - 3 points)
	Construction of more than 3000 linear feet private greenway meeting Town of Zebulon standards	3
	Construction of more than 2000 linear feet of private greenway meeting Town of Zebulon standards	2
	Construction of more than 1000 linear feet of private greenway meeting Town of Zebulon standards	1

<b>Section 4B – Pool (Combinations may be approved by TRC)</b>		(Max - 8 points)	Points Earned
	Olympic Pool and Aquatic Center	8	
	Junior Olympic Pool	5	
	Lap Pool (four lane minimum)	3	
	Resort Style Pool	2	2
	Any Other Pool	1	

<b>Section 4C - Outdoor Deck/Patio</b>		(Max - 3 points)	Points Earned
	Deck/Patio - More than 3000 square feet	3	
	Deck/Patio - More than 2000 square feet	2	
	Deck/Patio - More than 1000 square feet	1	1

<b>Section 4D - Pool Amenities</b>		(Max - 2 points)
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			Points Earned
	Jacuzzi/Hot Tub/Whirlpool	2	
	Water Playground with apparatus	2	2
	Sauna/Steam room	2	

<b>Section 4E - Clubhouse</b>		(Max - 10 points)	Points Earned
	Commercial Coffee Shop with at least 10 designated public seating spaces.	10	
	With full kitchen and over 4000 square feet of meeting space	10	
	With full kitchen and less than 4000 square feet of meeting space	9	
	Meeting space without kitchen more than 3500 square feet	8	
	Meeting space without kitchen 2500 - 3499 square feet	7	
	Meeting Space without kitchen 1500 - 2499 square feet	5	
	Meeting Space without kitchen less than 1500 square feet	4	
	No meeting space, bathrooms and changing rooms only	3	3
	Outdoor Kitchen or Grills	2	

<b>Section 4F - Additional Active Recreation</b>		(Max - 10 points)	Points Earned
	Gymnasium (regulation size indoor basketball court)	10	
	Baseball/Softball Field (regulation size)	5	
	Football/Soccer Field (regulation size)	5	
	Skate Park	5	
	Tennis Courts (two regulation courts, fenced)	5	
	Multi-Use Hardcourt (two regulation basketball courts, street hockey, fenced)	5	
	Pickleball Court (three regulation courts, fenced)	5	
	Pocket Park – 5,000 square feet	3	3
	IPEMA Certified Playground Equipment	4	4
	Lighted Field of Play for nighttime use	3	
	Electronic Scoreboard or Covered Dugouts or Bleachers	3	
	Community Garden – 15-foot by 15-foot, with water access and potting shed.	3	

<b>Section 4G – Additional Urban Open Space Enhancements (Within Non Residential Zoning Districts)</b>		(Max – 10 points)
	Fountain	2
	Canopy Including Fixed Permanent Seating	2
	Drinking Fountain with Pet Fountain	2
	Permanent Game Tables	1
	Permanent Tables with Shade Cover	1
	All Weather Bulletin Board	1
	Covered or Internal Bicycle Parking	1
	Artist-Design Bicycle Racks	1
	Little Free Library	1
	Drinking Fountain	1
	Public Work Bike Stand With Tools	1



CATEGORY 5 – Affordable Housing

Inclusion of a percentage of the provided housing stock of a proposed development cost no more than 30% of a household income not exceeding 80% of the Area Median Income (AMI)		(Max – 10 Points)	Points Earned
	15% Affordable Housing	10	
	10% Affordable Housing (10% of THs are deed restricted affordable)	5	5

CATEGORY 6 – Other

(Max 5 Points)

	Integrated public safety operation systems (EX. Flock Safety or others as approved by the Police Department)	3
	Smart Waste and Recycling Stations	2

Total Points Earned
<b>73</b> <b>(10 + 63 Bonus)</b>