

VICINITY MAP  
NTS

# COOK OUT

## FRESH HAMBURGERS

**COOK OUT**  
**15 LAURA LANE, SUITE 300**  
**THOMASVILLE, NORTH CAROLINA 27360**  
**TELEPHONE: (336) 215-7025**  
**FAX: (336) 474-1849**

**SITE ADDRESS:**  
**1200 NORTH ARENDELL AVENUE**  
**ZEBULON, NORTH CAROLINA**  
**CSD PROJECT NUMBER: OUT-1502**

CONTACT INFORMATION	
WATER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: CESAR SANCHEZ PHONE: 919-996-2673
STORM DRAINAGE:	WAKE COUNTY STORMWATER DIVISION OF WATER QUALITY 336 FAYETTEVILLE STREET RALEIGH, NC 27602 CONTACT: DEBORAH L. RYALS PHONE: 919-856-7400
SANITARY SEWER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: CESAR SANCHEZ PHONE: 919-996-2673
GAS:	PSNC ENERGY CONTACT: BUSINESS SERVICES PHONE: 919-452-2177
ELECTRIC:	DUKE ENERGY PROGRESS CONTACT: BUSINESS SERVICES PHONE: 800-452-2777
TELEPHONE:	AT&T CONTACT: BUSINESS SERVICES PHONE: 800-221-0000
PLANNING / ZONING:	TOWN OF ZEBULON PLANNING DEPT. 1003 N. ARENDELL AVENUE ZEBULON, NC 27597 CONTACT: MEADE BRADSHAW 919-823-1809

**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
**CONSTRUCTION MANAGER**  
**TELEPHONE: (336) 279-3242**

**Public**  
**Water Distribution / Extension System**  
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
 Public Utilities Department Permit # \_\_\_\_\_  
 Authorization to Construct \_\_\_\_\_  
 Date \_\_\_\_\_

**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

**APPROVED**

EROSION CONTROL  S- \_\_\_\_\_  
 STORMWATER MGMT.  S- \_\_\_\_\_  
 FLOOD STUDY  S- \_\_\_\_\_  
 DATE \_\_\_\_\_

ENVIRONMENTAL CONSULTANT SIGNATURE \_\_\_\_\_

**ATTENTION CONTRACTORS:**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE **PUBLIC UTILITIES DEPARTMENT** AT (919) 996-4540 AT LEAST **TWENTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

**FAILURE** TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF **MONETARY FINES**, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

**FAILURE** TO CALL FOR INSEPCION, INSTALL A **DOWNSTREAM PLUG**, HAVE PERMITTED PLANS ON THE **JOB SITE**, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A **FINE AND POSSIBLE EXCLUSION** FROM FUTURE WORK IN THE CITY OF RALEIGH.

REVISIONS:

NO.	DATE	DESCRIPTION	BY
△			

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SITE INFORMATION	
SITE ADDRESS:	1200 NORTH ARENDELL AVENUE
PARCEL IDENTIFICATION NUMBER:	2706008182
OWNER / DEVELOPER:	COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NORTH CAROLINA 27360 PHONE: (336) 215-7025 FAX: (336) 474-1849
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	HC (HEAVY COMMERCIAL)
EXISTING USE:	VACANT LOT
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU
BUILDING SETBACKS: RIGHT OF WAY ..... SIDE ..... REAR .....	30 FEET 0 FEET 25 FEET
PARKING REQUIREMENTS:	1 SPACE PER 4 SEATS 60 / 4 = 15 SPACES
PARKING PROVIDED:	56 REGULAR SPACES 3 HANDICAP SPACES 59 TOTAL SPACES
SITE AREA: DISTURBED AREA: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	83,368 SF OR 1.91 ACRES 97,355 SF OR 2.23 ACRES 0 SF 49,125 SF OR 1.13 ACRES
BUILDING AREA:	4,625 SF
NUMBER OF RESTAURANT SEATS:	60
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
OPEN SPACE:	REQUIRED: 3% OF LOT AREA = 2,501 SF PROVIDED: 34,243 SF

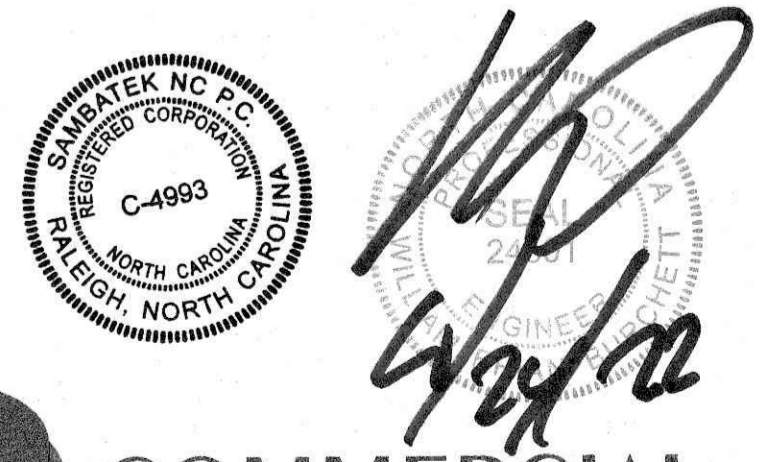


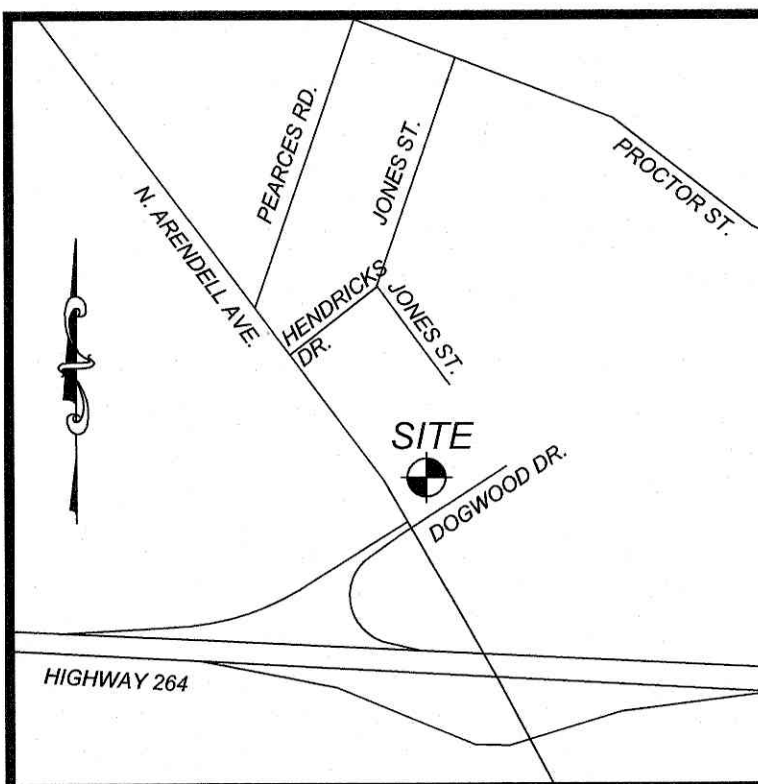
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 nc811.org or 1-800-632-4949



8312 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27613

(919) 848-6121, FAX: (919) 848-3741  
 WWW.CSITDESIGN.COM





VICINITY MAP  
NTS

**LEGEND**

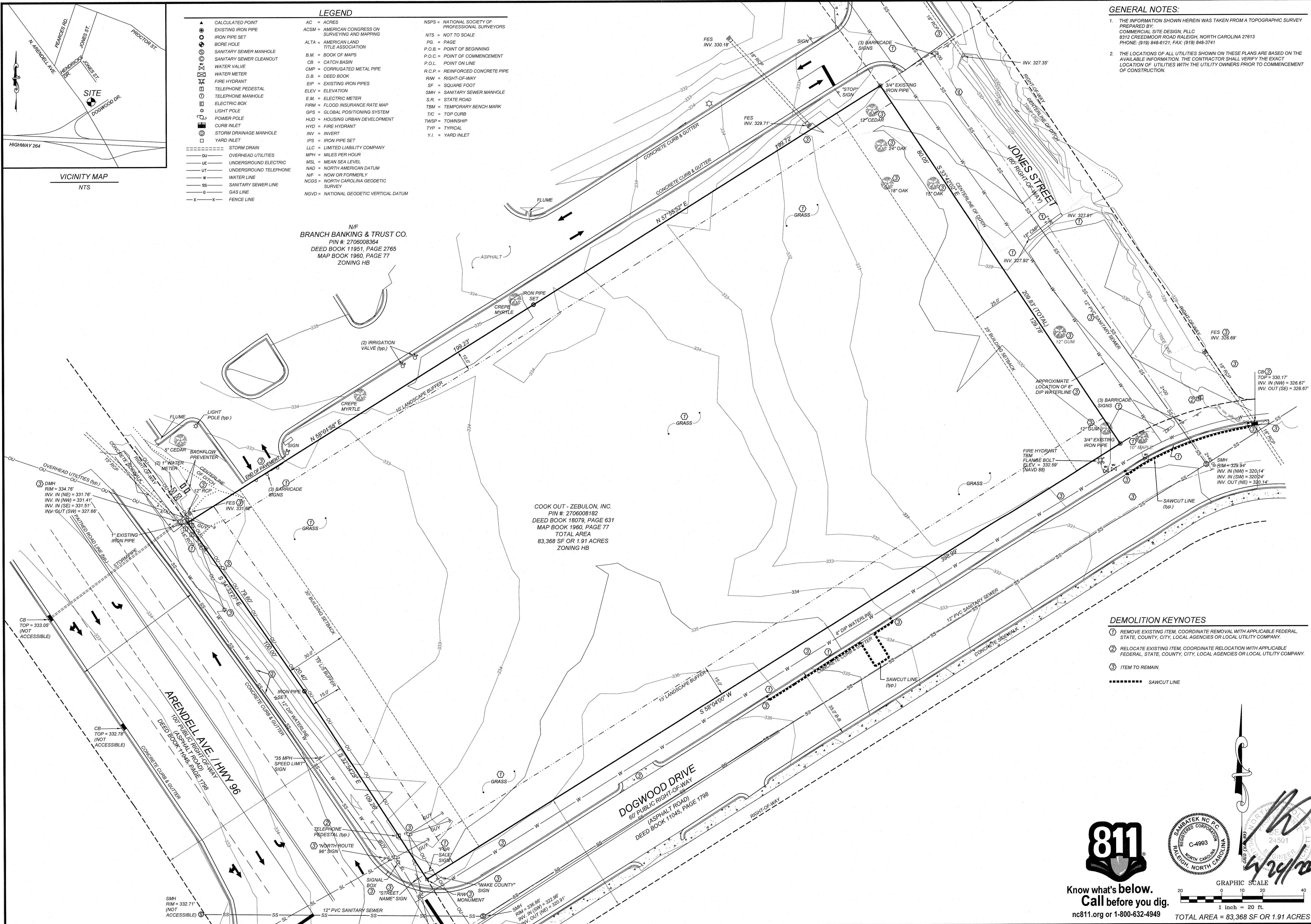
▲ CALCULATED POINT	AC = ACRES	NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
○ EXISTING IRON PIPE	ACSM = AMERICAN CONGRESS ON SURVEYING AND MAPPING	NTS = NOT TO SCALE
○ IRON PIPE SET	ALTA = AMERICAN LAND TITLE ASSOCIATION	P.O. = PAGE
○ BORE HOLE	B.M. = BOOK OF MAPS	P.O.B. = POINT OF BEGINNING
○ SANITARY SEWER MANHOLE	CB = CATCH BASIN	P.O.C. = POINT OF COMMENCEMENT
○ SANITARY SEWER CLEANOUT	CMP = CORRUGATED METAL PIPE	P.O.L. = POINT ON LINE
○ WATER VALVE	D.B. = DEED BOOK	R.C.P. = REINFORCED CONCRETE PIPE
○ WATER METER	EIP = EXISTING IRON PIPES	RM = RIGHT-OF-WAY
○ FIRE HYDRANT	ELEV = ELEVATION	SF = SQUARE FOOT
○ TELEPHONE PEDESTAL	E.M. = ELECTRIC METER	SMH = SANITARY SEWER MANHOLE
○ TELEPHONE MANHOLE	FIRM = FLOOD INSURANCE RATE MAP	S.R. = STATE ROAD
○ LIGHT POLE	GPS = GLOBAL POSITIONING SYSTEM	TBM = TEMPORARY BENCH MARK
○ ELECTRIC BOX	HUD = HOUSING URBAN DEVELOPMENT	T/C = TOP CURB
○ LIGHT POLE	HYD = FIRE HYDRANT	TWSP = TOWNSHIP
○ POWER POLE	INV = INVERT	TYP = TYPICAL
○ CURB INLET	IPS = IRON PIPE SET	Y.I. = YARD INLET
○ STORM DRAINAGE MANHOLE	LLC = LIMITED LIABILITY COMPANY	
○ YARD INLET	MPH = MILES PER HOUR	
--- STORM DRAIN	MSL = MEAN SEA LEVEL	
--- OVERHEAD UTILITIES	NAD = NORTH AMERICAN DATUM	
--- UNDERGROUND ELECTRIC	NF = NOW OR FORMERLY	
--- UNDERGROUND TELEPHONE	NCSS = NORTH CAROLINA GEODETIC SURVEY	
--- WATER LINE	NGVD = NATIONAL GEODETIC VERTICAL DATUM	
--- SANITARY SEWER LINE		
--- GAS LINE		
--- FENCE LINE		

**GENERAL NOTES:**

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121, FAX: (919) 848-3741
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NF  
BRANCH BANKING & TRUST CO.  
PIN #: 2706008364  
DEED BOOK 11951, PAGE 2765  
MAP BOOK 1960, PAGE 77  
ZONING HB

COOK OUT - ZEBULON, INC.  
PIN #: 2706008182  
DEED BOOK 18079, PAGE 631  
MAP BOOK 1960, PAGE 77  
TOTAL AREA  
83,368 SF OR 1.91 ACRES  
ZONING HB

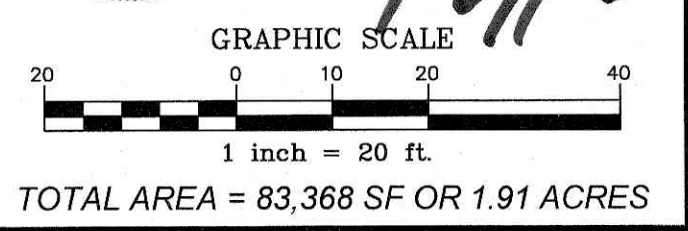


**DEMOLITION KEYNOTES**

- REMOVE EXISTING ITEM. COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- RELOCATE EXISTING ITEM. COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ITEM TO REMAIN.

----- SAWCUT LINE

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NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

(919) 848-4021 FAX: (919) 848-3741  
WWW.CSDESIGN.COM

8312 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

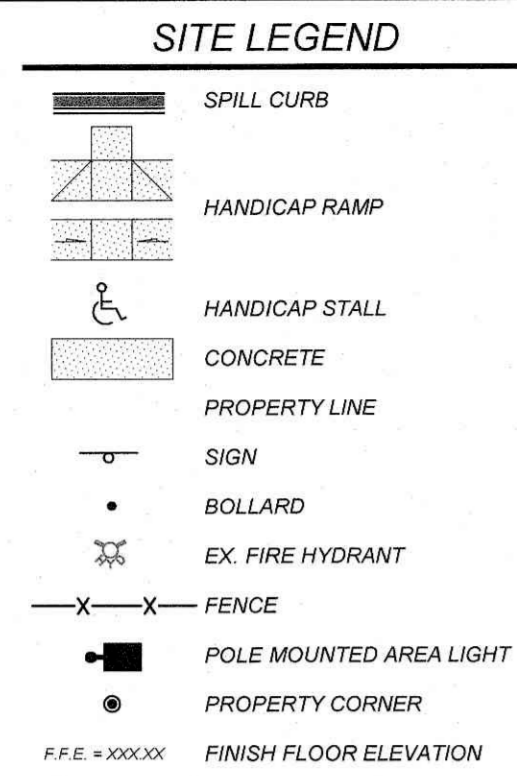
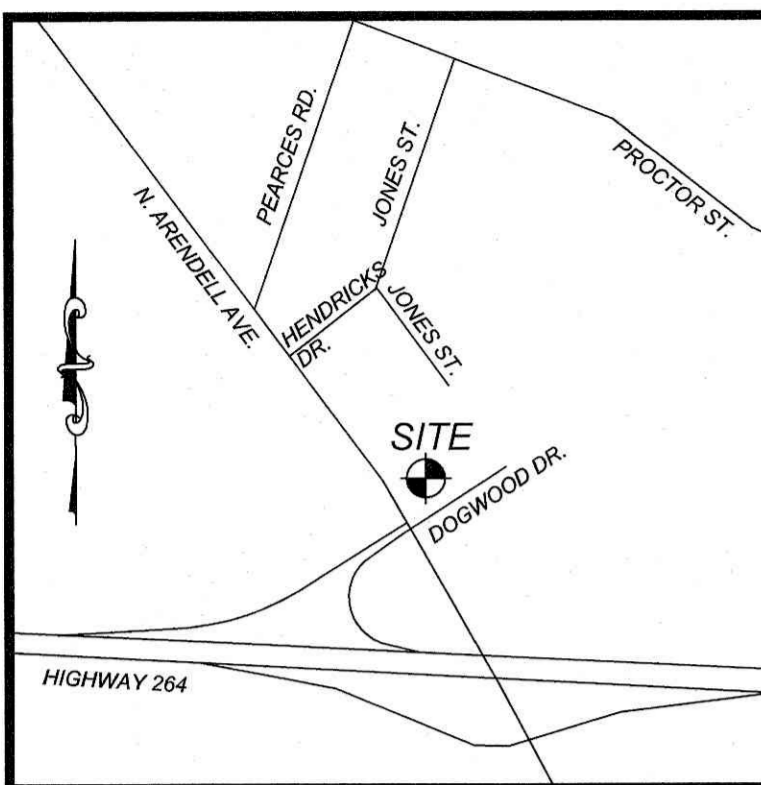
**CLIENT/OWNER:**  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA

**EXISTING CONDITIONS/DEMOLITION PLAN**

PROJECT NO.	OUT-1502
FILENAME	OUT1502-EC
DRAWN BY	STH
SCALE	1" = 20'
DATE	07-06-2022
SHEET NO.	C-1



**TOWN OF ZEBULON ROADWAY CONSTRUCTION NOTES:**

- ROADWAY CONSTRUCTION INSPECTION TO BE PROVIDED BY JASON BROWN, (919) 795-5640. ROADWAY AND UTILITY CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE ANY WORK BEGINS ON THIS SITE.
- JONES STREET ROADWAY (ASPHALT ROAD, CONCRETE CURB & GUTTER, 5" CONCRETE SIDEWALK AND STORM DRAINAGE SYSTEM) SHALL BE EXTENDED FROM BB&T PROPERTY LINE TO DOGWOOD LANE PER THESE CONSTRUCTION DRAWINGS.
- TOWN OF ZEBULON DETAILS #1, 3, 33, 35 AND 36 SHALL BE USED IN THE CONSTRUCTION OF THE ROADWAY.
- STORMWATER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- PROJECT MUST PROVIDE A THIRD PARTY GEOTECHNICAL ENGINEER FOR COMPACTION AND DENSITY TESTING FOR JONES STREET ROADWAY CONSTRUCTION. GEOTECHNICAL FIRM MUST BE A NCDOT CERTIFIED FIRM.
- AT THE COMPLETION OF THE PROJECT, THE INFRASTRUCTURE WILL BE DEDICATED TO THE TOWN OF ZEBULON FOR MAINTENANCE WITH A ONE YEAR WARRANTY.

**FLOOD INFORMATION**  
 SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270800J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

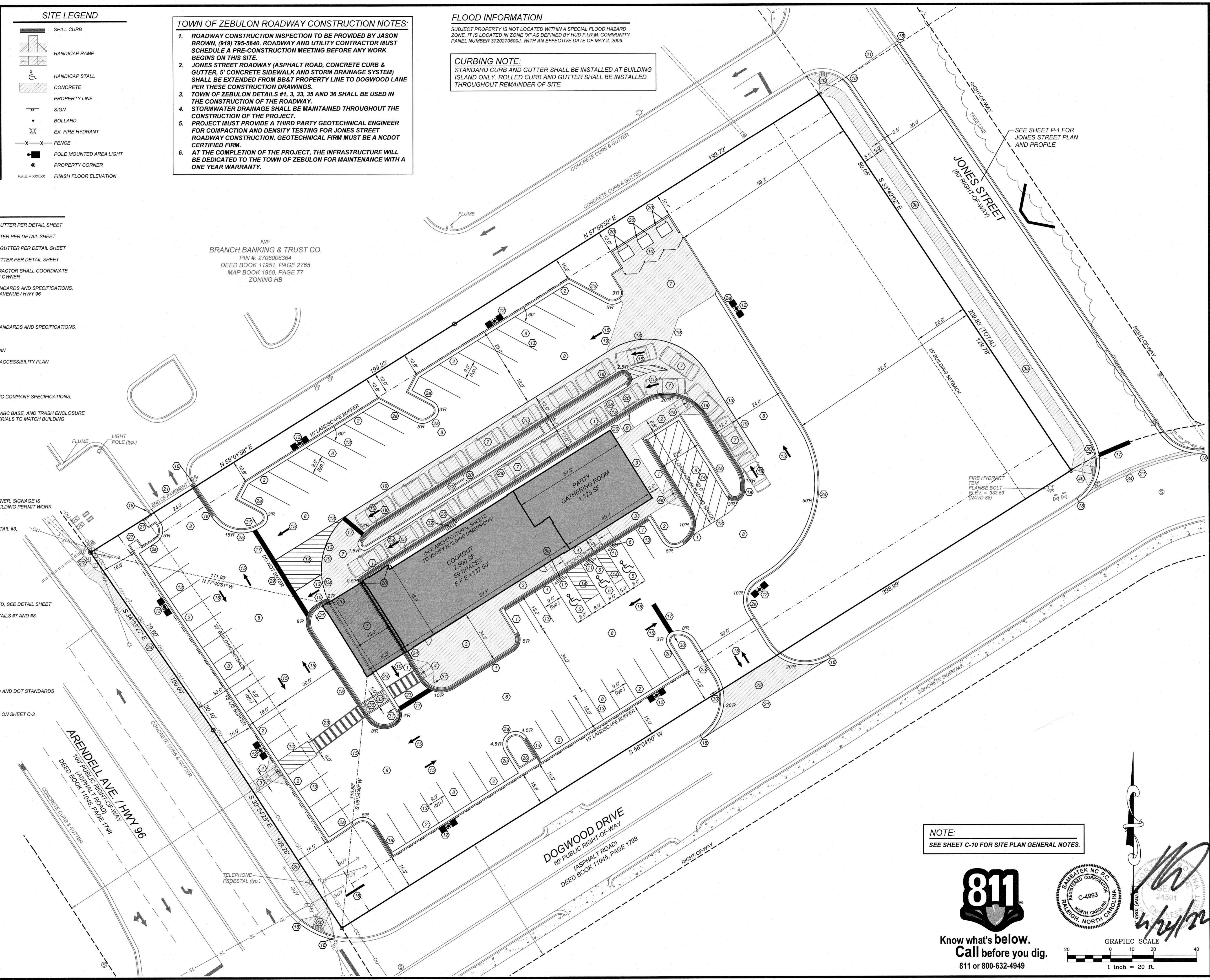
**CURBING NOTE:**  
 STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND ONLY. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.

VICINITY MAP  
 NTS

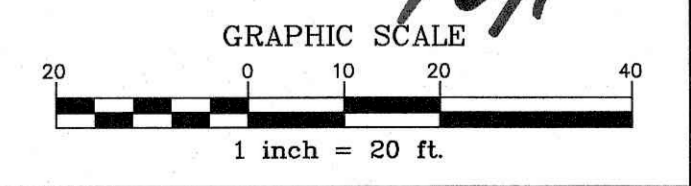
**SITE KEYNOTES:**

- CONSTRUCT 2.0' STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR OF BUILDING SIDEWALK WITH OWNER
- CONSTRUCT CONCRETE SIDEWALK PER CITY AND NCDOT STANDARDS AND SPECIFICATIONS, BACK OF WALK TO BE ON RIGHT-OF-WAY LINE FOR ARENDELL AVENUE / HWY 96
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- LOADING RAMP, 8% MAXIMUM SLOPE
- CONSTRUCT CONCRETE HANDICAP RAMP TO MEET NCDOT STANDARDS AND SPECIFICATIONS.
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER ADA ACCESSIBILITY PLAN
- INSTALL VAN ACCESSIBLE HANDICAP PARKING SIGN PER ADA ACCESSIBILITY PLAN
- CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE MINI SKIP STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN, COORDINATE WITH TOWN AND OWNER, SIGNAGE IS SEPERATE PERMIT, INSTALLATION CAN BE INCLUDED WITH BUILDING PERMIT WORK
- PAINT 24" STOP BAR PER NCDOT STANDARDS
- MATCH EXISTING CURB & GUTTER PER TOWN OF ZEBULON DETAIL #3, SEE SHEET C-10a
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- INSTALL 42" HIGH SAFETY RAILING, FINISH POWER COATED RED, SEE DETAIL SHEET
- DRIVEWAY TO BE CONSTRUCTED PER TOWN OF ZEBULON DETAILS #7 AND #8, SEE SHEET C-10a.
- CONCRETE FLUME - TYPE A, SEE DETAIL SHEET
- CONCRETE FLUME - TYPE B, SEE DETAIL SHEET
- NOSE DOWN CURB, SEE DETAIL SHEET
- PAINT "DO NOT ENTER" PER MUTCD AND DOT STANDARDS
- INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS
- INSTALL "STOP SIGN" AND "DO NOT ENTER" SIGNS PER MUTCD AND DOT STANDARDS
- MENU BOARD, COORDINATE WITH OWNER
- INSTALL TRUNCATED DOMES PER ACCESSIBLE RAMP DETAILS ON SHEET C-3
- VALLEY GUTTER PER DETAIL SHEETS

N/F  
 BRANCH BANKING & TRUST CO.  
 PIN #: 2706008364  
 DEED BOOK 11951, PAGE 2765  
 MAP BOOK 1960, PAGE 77  
 ZONING HB



**NOTE:**  
 SEE SHEET C-10 FOR SITE PLAN GENERAL NOTES.



NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

882 GREENMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 (919) 848-4301, FAX: (919) 848-8741  
 WWW.CSDESIGN.COM

**CLIENT/OWNER:**  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27360  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1848

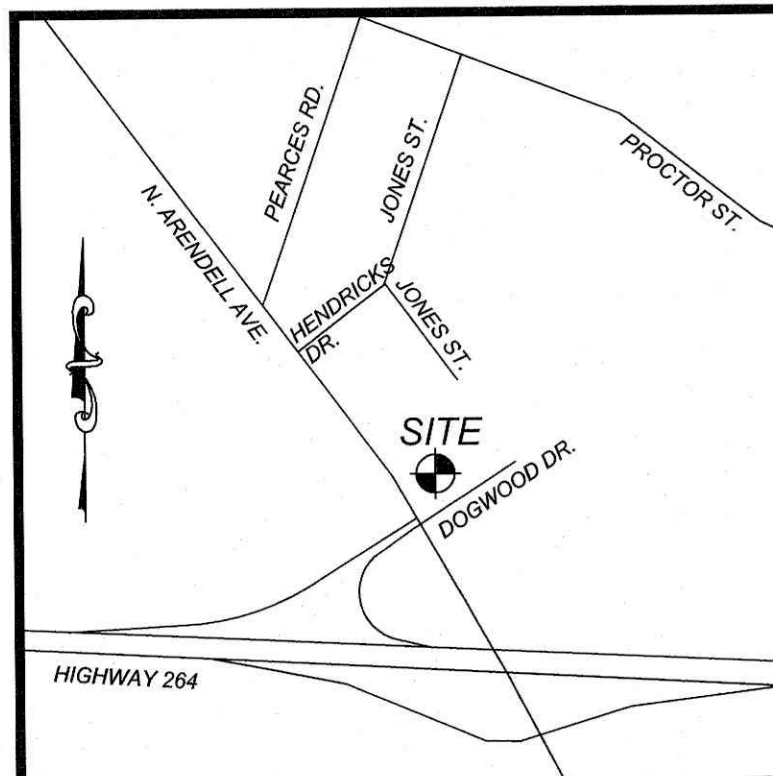
**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

**SITE PLAN**

PROJECT NO.	OUT-1502
FILENAME	OUT1502-SP
DRAWN BY	STH
SCALE	1" = 20'
DATE	07-06-2022
SHEET NO.	C-2

X:\OUT - Cookout\1502 - Zebulon, NC\CAD\OUT1502-SP.dwg 9/29/2022 1:55:06 PM, TransH



**FLOOD INFORMATION**

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD FIRM COMMUNITY PANEL NUMBER 372027060U, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

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BRANCH BANKING & TRUST CO.  
PIN #: 2706008364  
DEED BOOK 11951, PAGE 2765  
MAP BOOK 1960, PAGE 77  
ZONING HB



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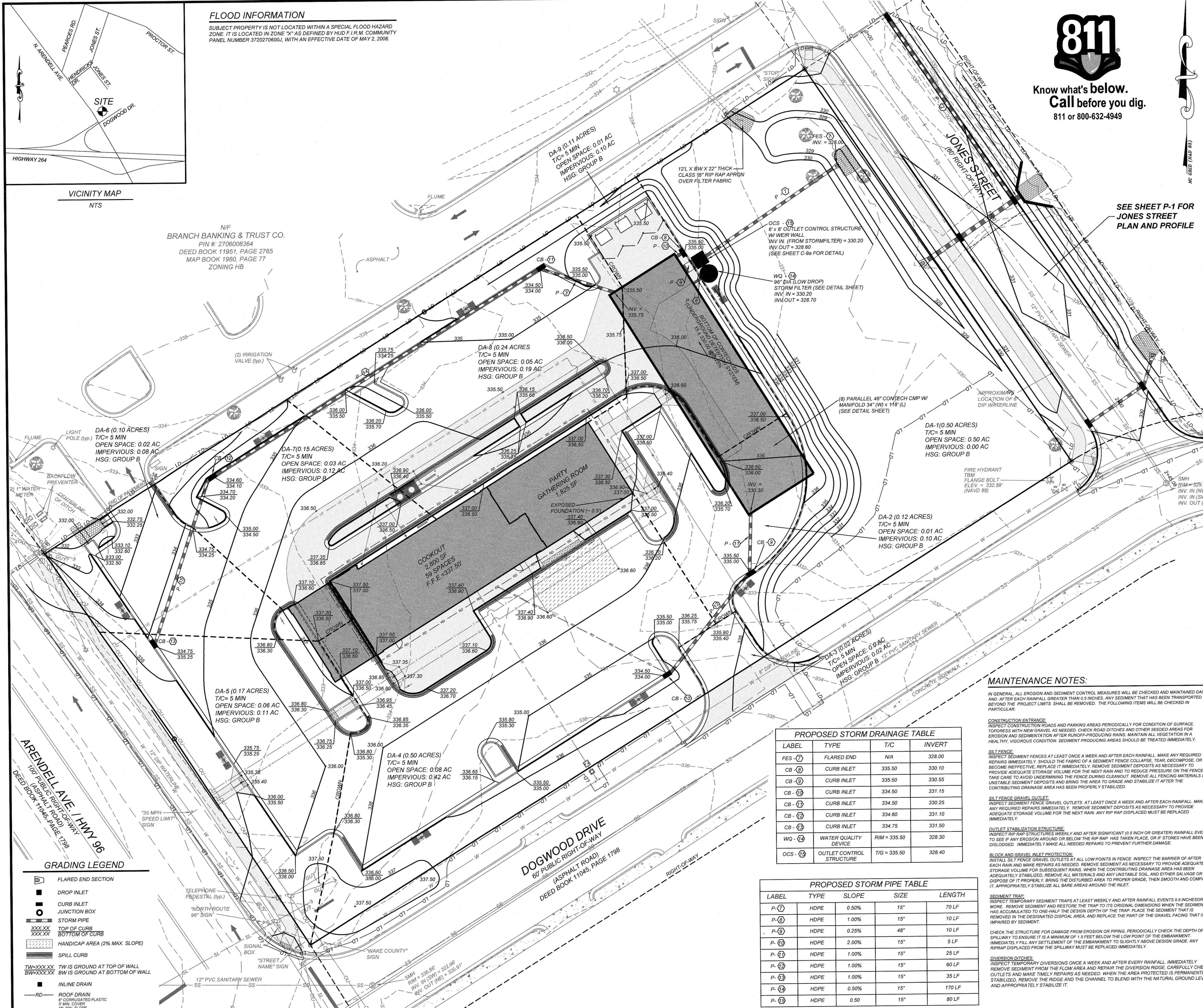
- CONSTRUCTION SEQUENCE:**
- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
  - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
  - CONTACT DEBRA TANNER, WAKE COUNTY WATERSHED MANAGER, WAKE COUNTY ENVIRONMENTAL SERVICES @ 919-842-7442 FOR COMPLIANCE INSPECTION IMMEDIATELY FOLLOWING INSTALLATION OF THE TEMPORARY SEDIMENT CONTROL DEVICES AND PRIOR TO MASS GRADING OF THE SITE.
  - BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
  - BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS; SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
  - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS WITHIN FOURTEEN (14) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED PER NPDES STABILIZATION TEMPORARY AND PERMANENT SEEDING WORK REQUIREMENTS SHOWN ON SHEET C-4D.
  - WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

872 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

(919) 848-4021 FAX: (919) 848-2741  
WWW.CSDESIGN.COM



SEE SHEET P-1 FOR JONES STREET PLAN AND PROFILE

**MAINTENANCE NOTES:**

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOPDRESS WITH NEW GRAVEL, AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
- SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE GRAVEL OUTLETS:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.
- OUTLET STABILIZATION STRUCTURE:**  
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION IS OCCURRING OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
- BLOCK AND GRAVEL INLET PROTECTION:**  
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.
- SEDIMENT TRAP:**  
INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER RAINFALL EVENTS 0.5 INCHES OR MORE. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.
- CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIPRAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.**
- DIVERSION DITCHES:**  
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

**PROPOSED STORM DRAINAGE TABLE**

LABEL	TYPE	T/C	INVERT
FES-17	FLARED END	N/A	328.00
CB-8	CURB INLET	335.50	330.10
CB-9	CURB INLET	335.50	330.55
CB-10	CURB INLET	334.50	331.15
CB-11	CURB INLET	334.50	330.25
CB-12	CURB INLET	334.60	331.10
CB-13	CURB INLET	334.75	331.50
WQ-14	WATER QUALITY DEVICE	RIM = 335.50	328.30
OCS-15	OUTLET CONTROL STRUCTURE	T/G = 335.50	328.40

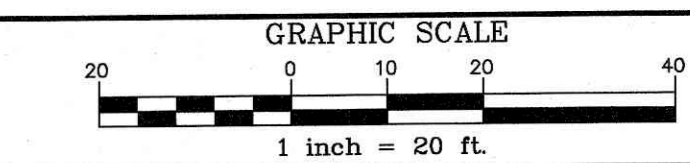
**PROPOSED STORM PIPE TABLE**

LABEL	TYPE	SLOPE	SIZE	LENGTH
P-1	HDPE	0.50%	15"	70 LF
P-2	HDPE	1.00%	15"	10 LF
P-3	HDPE	0.25%	48"	10 LF
P-4	HDPE	2.00%	15"	5 LF
P-5	HDPE	1.00%	15"	25 LF
P-6	HDPE	0.25%	15"	60 LF
P-7	HDPE	1.00%	15"	35 LF
P-8	HDPE	0.50%	15"	170 LF
P-9	HDPE	0.50	15"	80 LF

- GRADING LEGEND**
- FLARED END SECTION
  - DROP INLET
  - CURB INLET
  - JUNCTION BOX
  - STORM PIPE
  - TOP OF CURB
  - BOTTOM OF CURB
  - HANDICAP AREA (2% MAX. SLOPE)
  - SPILL CURB
  - TW-XXXXXX: TW IS GROUND AT TOP OF WALL
  - BW-XXXXXX: BW IS GROUND AT BOTTOM OF WALL
  - IN-LINE DRAIN
  - ROOF DRAIN
  - 4" CORRUGATED PLASTIC
  - 3" MIN. COVER
  - 1/4" MIN. SLOPE
  - PVC IN TRAFFIC AREAS
  - CLEANOUTS LOCATED @ ALL BENDS

**GRADING/EROSION CONTROL NOTES**

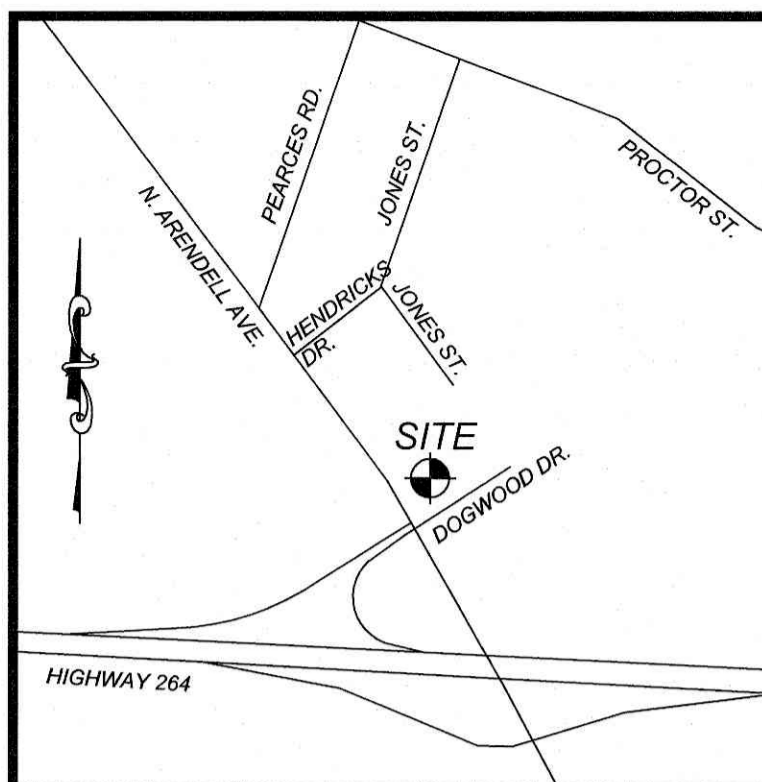
- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING, AND CONSTRUCTION IS 1.80 ACRES.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE MAINTAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDING UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
  - 100 LBS PER 1,000 SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
  - 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
  - VARIETIES TO BE SEED:
    - SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
    - SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
    - ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- SEE LANDSCAPE PLAN FOR PERMANENT SEEDING.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL STORM DRAINAGE PIPES ARE TO BE RCP CLASS III.



**CLIENT OWNER:**  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27380  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

**GRADING PLAN**

PROJECT NO: OUT-1502  
FILENAME: OUT1502-GP  
DRAWN BY: STH  
SCALE: 1"= 20'  
DATE: 07-06-2022  
SHEET NO: C-3



**TEMPORARY SEDIMENT BASIN WITH SKIMMER AND BAFFLES - 10 YEAR STORM EVENT**

FLOW FROM 10 YEAR STORM:	Q = CIA
C (VALUE):	0.50
INTENSITY:	7.22
TOTAL DRAINAGE AREA:	1.80 ACRES
Q:	6.50 CFS
VOLUME REQUIRED (CF):	3,240 CF
(1.80 CFS / ACRE)	
VOLUME PROVIDED:	4,797 CF
DIMENSIONS (D' x W x L):	4.0' x 18 FT x 33 FT (BOTTOM DIMENSIONS)
*DEPTH SHOWN IS TO TOP OF BERM. THIS INCLUDES 1' FOR FREEBOARD.	
*TARP TO BE ARMORED WITH CLASS B RIP RAP.	
3:1 SIDES (MAX):	
EMERGENCY SPILLWAY LENGTH:	10'
MINIMUM WEIR WIDTH:	5'
<b>SURFACE AREA:</b>	
CIA x 435 SF:	0.50 x 7.22 x 1.80 x 435 SF = 2,827 SF
S.A. PROVIDED:	3,000 SF
<b>SKIMMER CALCULATION</b>	
BASIN VOLUME IN CUBIC FEET:	4,797 CF
DAYS TO DRAIN:	3 DAYS
BOTTOM DIMENSIONS IN FEET:	18 FT x 33 FT
DEPTH IN FEET:	3 FT
SKIMMER SIZE:	1.5"
ORIFICE DIAMETER:	1.5"

**PROVIDE 7-DAY GROUND STABILIZATION FOR TEMPORARY DIVERSION DITCHES AND INTERIOR SLOPES OF SKIMMER BASINS.**

**FLOOD INFORMATION**  
 SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.



Know what's below.  
 Call before you dig.  
 811 or 800-632-4949

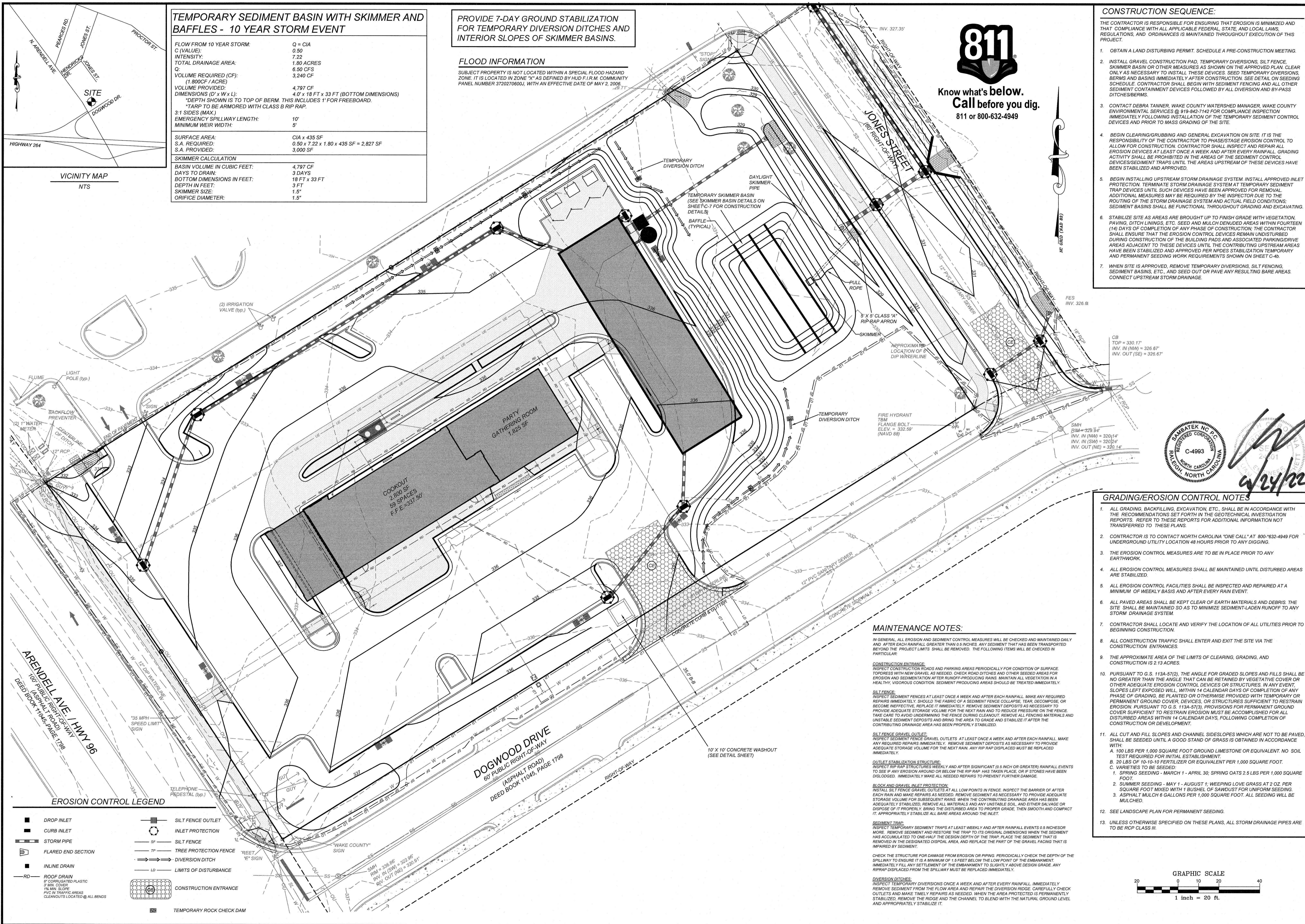
- CONSTRUCTION SEQUENCE:**
- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
  - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEE TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
  - CONTACT DEBRA TANNER, WAKE COUNTY WATERSHED MANAGER, WAKE COUNTY ENVIRONMENTAL SERVICES @ 919-842-7142 FOR COMPLIANCE INSPECTION IMMEDIATELY FOLLOWING INSTALLATION OF THE TEMPORARY SEDIMENT CONTROL DEVICES AND PRIOR TO MASS GRADING OF THE SITE.
  - BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
  - BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS. SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
  - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS WITHIN FOURTEEN (14) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED PER PHASE STABILIZATION TEMPORARY AND PERMANENT SEEDING WORK REQUIREMENTS SHOWN ON SHEET C-4b.
  - WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

811 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27603

(919) 848-4921 FAX: (919) 848-2741  
 WWW.CSTDESIGN.COM



**GRADING/EROSION CONTROL NOTES**

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
- THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING, AND CONSTRUCTION IS 2.13 ACRES.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE MAINTAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDDED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
  - 100 LBS PER 1,000 SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
  - 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
  - VARIETIES TO BE SEEDDED:
    - SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
    - SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SANDWUST FOR UNIFORM SEEDINGS.
    - ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL STORM DRAINAGE PIPES ARE TO BE RCP CLASS III.

**MAINTENANCE NOTES:**

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.8 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

**CONSTRUCTION ENTRANCE:**  
 INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE TOPDRESS WITH NEW GRAVEL, AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDING AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

**SILT FENCE:**  
 INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME UNSPECIFIED, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SILT FENCE GRAVEL OUTLET:**  
 INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

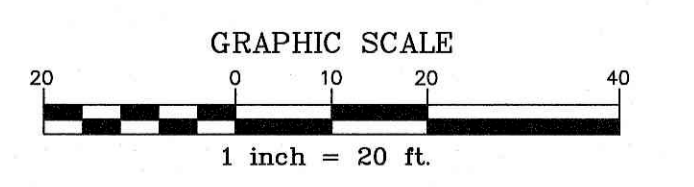
**OUTLET STABILIZATION STRUCTURE:**  
 INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

**BLOCK AND GRAVEL INLET PROTECTION:**  
 INSPECT SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

**SEDIMENT TRAP:**  
 INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER RAINFALL EVENTS 0.5 INCHES OR MORE. REMOVE SEDIMENT AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.

**CHICKEN WIRE:**  
 CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SUITABLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

**DIVERSION DITCHES:**  
 INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL, TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.



**EROSION CONTROL LEGEND**

■ DROP INLET	— SILT FENCE OUTLET
■ CURB INLET	○ INLET PROTECTION
— STORM PIPE	— SILT FENCE
▭ FLARED END SECTION	— TREE PROTECTION FENCE
■ INLINE DRAIN	— DIVERSION DITCH
— ROOF DRAIN	— LIMITS OF DISTURBANCE
— 6" CORRUGATED PLASTIC	— CONSTRUCTION ENTRANCE
— 3" MIN. COVER	— TEMPORARY ROCK CHECK DAM
— 1/2" MIN. COVER	
— PVC IN TRAFFIC AREAS	
— CLEANOUTS LOCATED @ ALL BENDS	

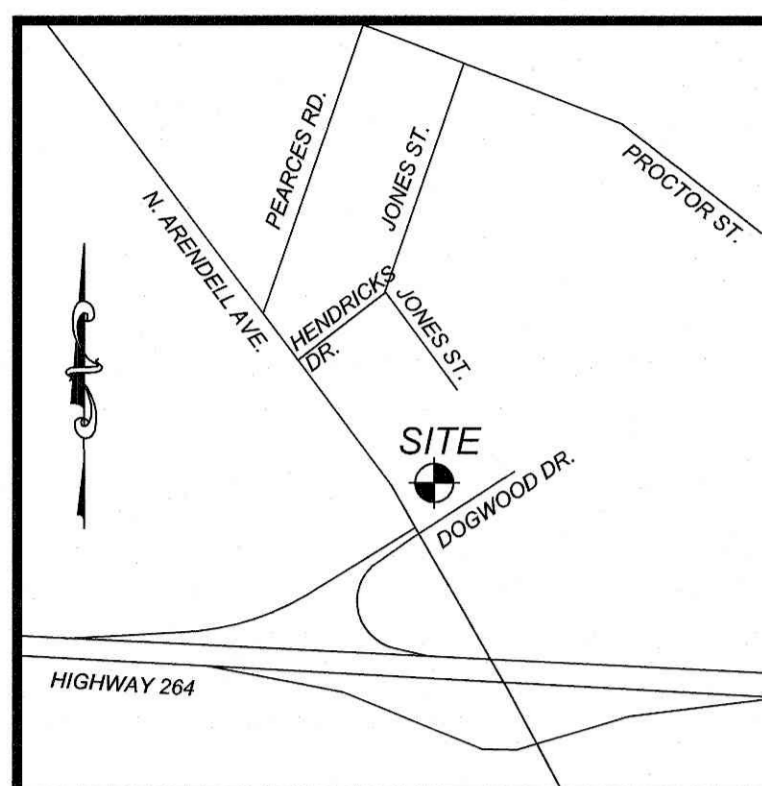
**CLIENT/OWNER:**  
 COOKOUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

**EROSION CONTROL PLAN**

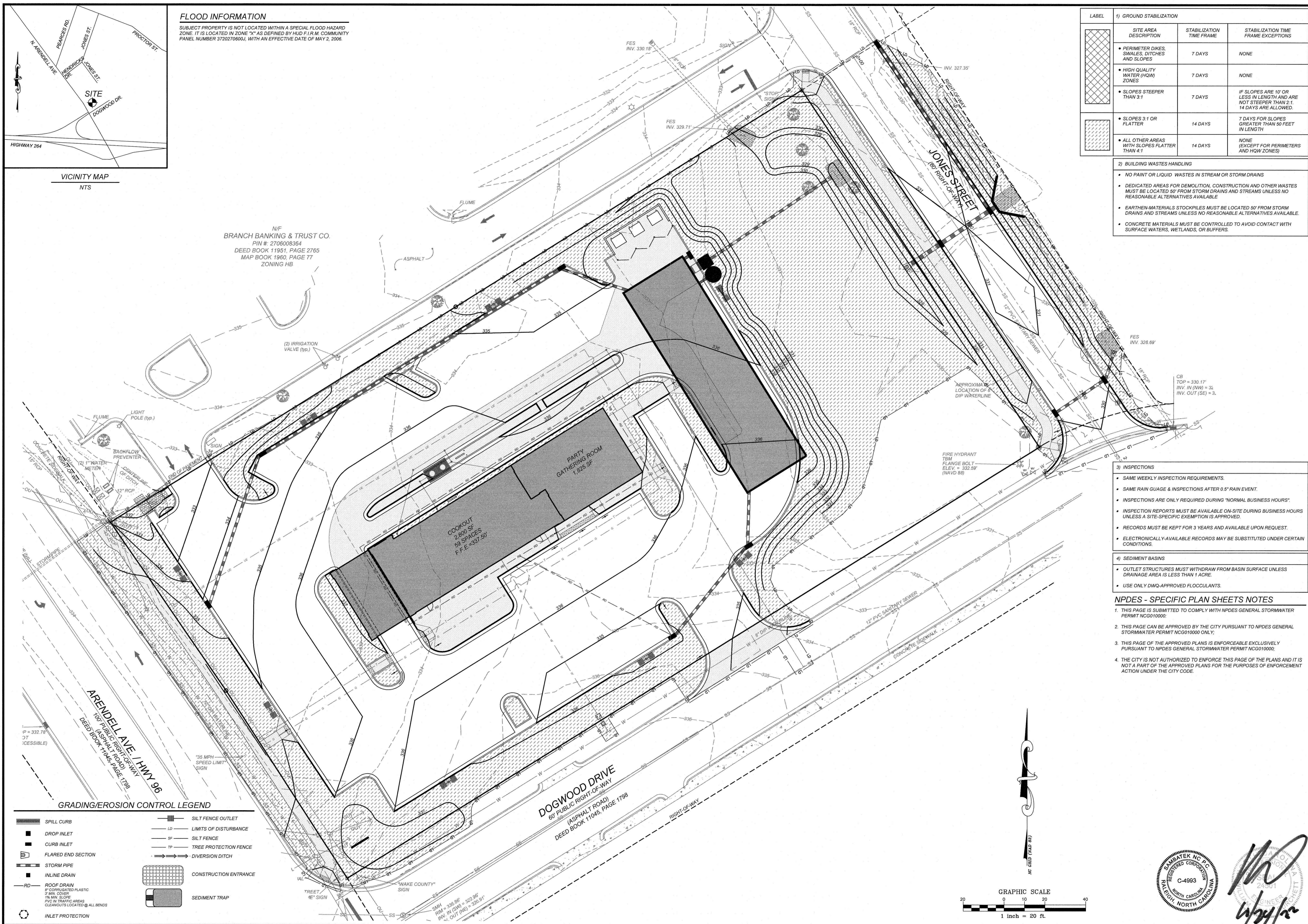
PROJECT NO:	OUT-1502
FILENAME:	OUT1502-ECP
DRAWN BY:	STH
SCALE:	1" = 20'
DATE:	07-06-2022
SHEET NO:	C-3a



**FLOOD INFORMATION**  
 SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720270600J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

VICINITY MAP  
 NTS

N/F  
 BRANCH BANKING & TRUST CO.  
 PIN #: 2706008364  
 DEED BOOK 11951, PAGE 2765  
 MAP BOOK 1960, PAGE 77  
 ZONING HB



LABEL	1) GROUND STABILIZATION		
	SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
[Cross-hatch pattern]	PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
[Diagonal lines pattern]	HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
[Diagonal lines pattern]	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
[Diagonal lines pattern]	SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
[Diagonal lines pattern]	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

- 2) BUILDING WASTES HANDLING**
- NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS
  - DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
  - EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE
  - CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

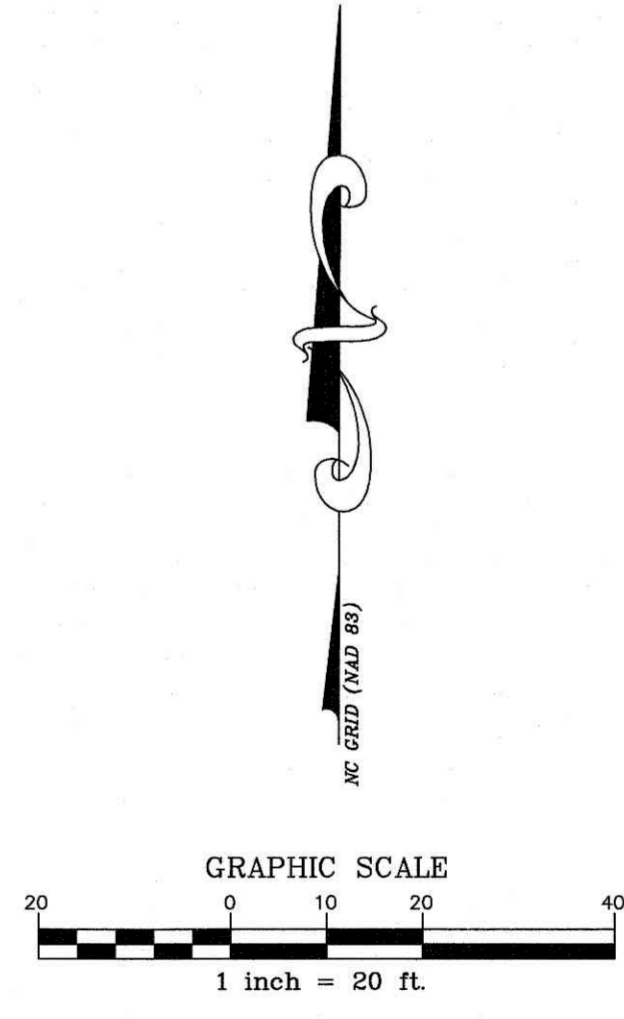
- 3) INSPECTIONS**
- SAME WEEKLY INSPECTION REQUIREMENTS.
  - SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
  - INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
  - INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
  - RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
  - ELECTRONICALLY-AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.
- 4) SEDIMENT BASINS**
- OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
  - USE ONLY DWQ-APPROVED FLOCCULANTS.

**NPDES - SPECIFIC PLAN SHEETS NOTES**

- THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
- THIS PAGE CAN BE APPROVED BY THE CITY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
- THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
- THE CITY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY CODE.

**GRADING/EROSION CONTROL LEGEND**

[Symbol]	SPILL CURB	[Symbol]	SILT FENCE OUTLET
[Symbol]	DROP INLET	[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	CURB INLET	[Symbol]	SILT FENCE
[Symbol]	FLARED END SECTION	[Symbol]	TREE PROTECTION FENCE
[Symbol]	STORM PIPE	[Symbol]	DIVERSION DITCH
[Symbol]	INLINE DRAIN	[Symbol]	CONSTRUCTION ENTRANCE
[Symbol]	ROOF DRAIN IF CORRUGATED PLASTIC 3" MIN. COVER 1" MIN. SLOPE PVC IN TRAFFIC AREAS CLEANOUTS LOCATED @ ALL BENDS	[Symbol]	SEDIMENT TRAP
[Symbol]	INLET PROTECTION		



*Handwritten signature and date: 4/24/22*

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**  
 (919) 848-6021, FAX: (919) 848-2741  
 WWW.CSTDESIGN.COM

8912 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27613

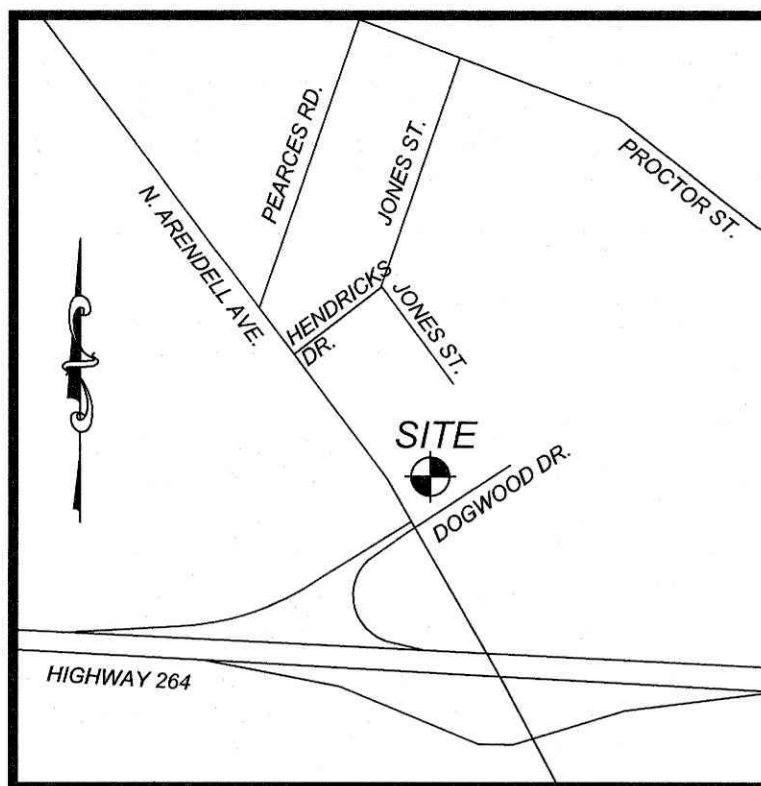
**CLIENT/OWNER:**  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**  
 1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

**NPDES STABILIZATION PLAN**

PROJECT NO.	OUT-1502
FILENAME	OUT1502-NPDES
DRAWN BY:	STH
SCALE:	1" = 20'
DATE:	07-06-2022
SHEET NO.	C-3b





VICINITY MAP  
NTS

**STANDARD UTILITY NOTES (as applicable):**

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 15' min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
  - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 2" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer services @ 1/4 inch per foot minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USAE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

**ATTENTION CONTRACTORS:**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSEPCION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

**UTILITY LEGEND**

- OU— OVERHEAD UTILITIES
- SE— SANITARY SEWER
- UE— UNDERGROUND ELECTRIC
- T— TELEPHONE LINE
- G— GAS LINE
- W— WATER LINE
- E— ELECTRIC SERVICE SLEEVE
- S— 2" PVC COORDINATE WITH ELECTRICAL CONTRACTOR
- SEWER CLEAN OUT
- FIRE HYDRANT ASSEMBLY
- SANITARY SEWER MANHOLE
- POLE MOUNTED AREA LIGHT
- WATER METER
- BACKFLOW PREVENTER
- SIAMESE CONNECTION
- WATER VALVE
- GREASE TRAP

**UTILITY KEYNOTES:**

- 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH.
- 2" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER (WATTS MODEL 909QT OR APPROVED EQUIVALENT) IN ABOVE-GROUND HEATED ENCLOSURE, CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH.
- 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH AND PLUMBING PLANS.
- 4" PVC SANITARY SEWER LINE @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH AND PLUMBING PLANS.
- 8" SADDLE WITH 2" COPORATION, CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION AND COORDINATE ALL WORK WITH CITY OF RALEIGH.
- SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- EXISTING FIRE HYDRANT
- TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 1500 GALLON TRAFFIC RATED GREASE TRAP, CONTRACTOR SHALL COORDINATE MAKE AND MODEL WITH OWNER AND CITY.
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- CONNECT TO EXISTING 12" SANITARY SEWER LINE WITH WYE CONNECTION, CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER MAIN PRIOR TO ANY CONSTRUCTION TO ENSURE MINIMUM PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE ALL WORK WITH THE CITY OF RALEIGH. ROADWAY REPAIR PER TOWN OF ZEBULON DETAIL 6, SEE C-10.
- UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- 2" PVC SLEEVE FOR ELECTRIC SERVICE, CONTRACTOR TO COORDINATE WITH OWNER AND ELECTRICIAN.
- OPEN CUT AND REPAIR ASPHALT PAVEMENT PER TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS, COORDINATE UTILITY CONNECTION AND INSTALLATION WITH CITY OF RALEIGH.
- RELOCATED AND/OR ADJUST EXISTING UTILITY STRUCTURE AS NECESSARY, COORDINATE WITH RESPECTIVE UTILITY COMPANY.
- TELEPHONE PEDESTAL TO BE RELOCATED FOR SIDEWALK, COORDINATE WITH UTILITY COMPANY.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING 6" WATER MAIN AND RELOCATE AS NECESSARY TO AVOID PROPOSED STORM PIPE AND STRUCTURES, CONTRACTOR SHALL COORDINATE ALL WORK WITH CITY OF RALEIGH FIELD INSPECTOR AND PUBLIC UTILITIES REVIEWER.

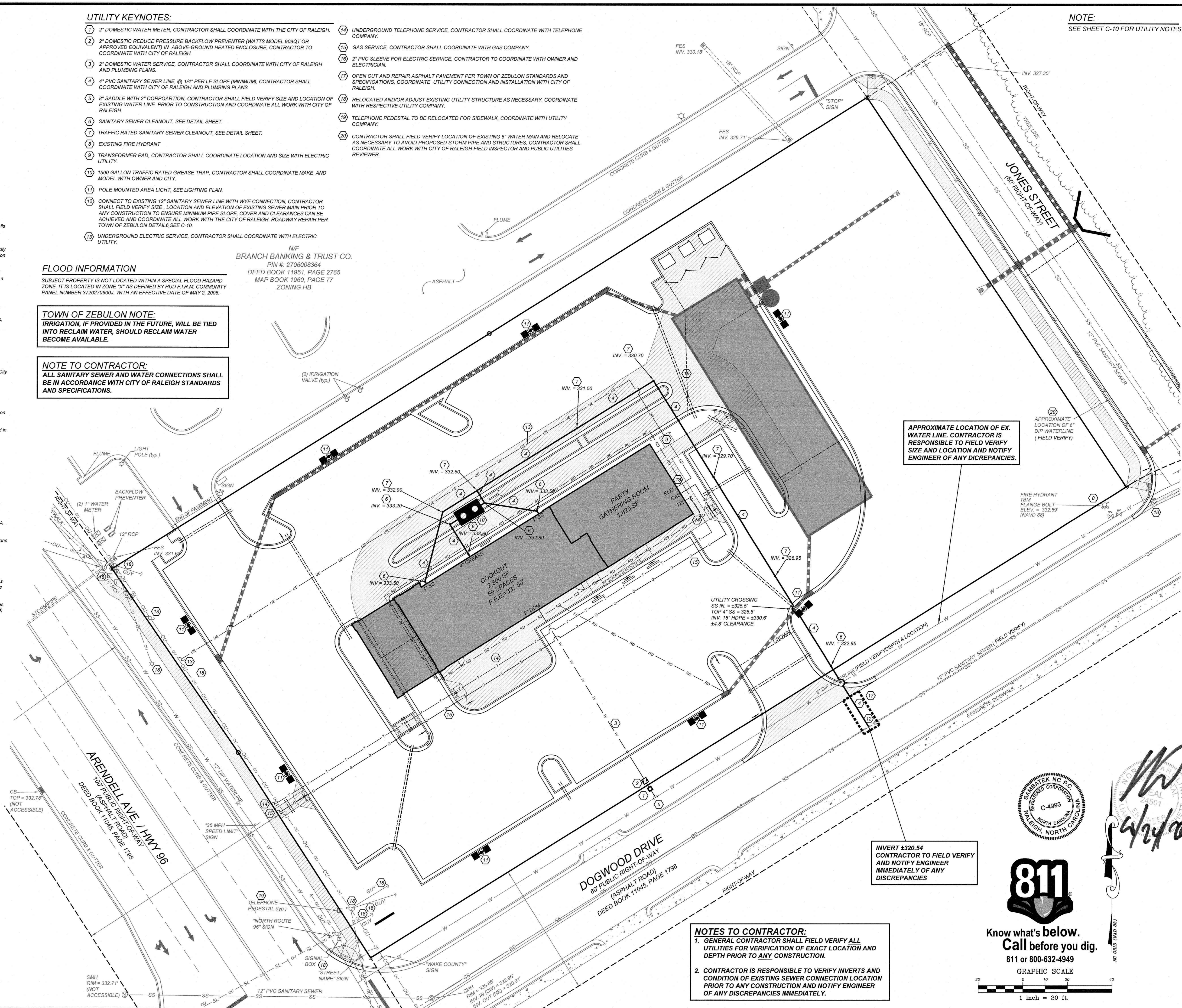
**FLOOD INFORMATION**

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD I.R.M. COMMUNITY PANEL NUMBER 3720270600, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

**TOWN OF ZEBULON NOTE:**  
IRRIGATION, IF PROVIDED IN THE FUTURE, WILL BE TIED INTO RECLAIM WATER, SHOULD RECLAIM WATER BECOME AVAILABLE.

**NOTE TO CONTRACTOR:**  
ALL SANITARY SEWER AND WATER CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

N/F  
BRANCH BANKING & TRUST CO.  
PIN #: 2706008364  
DEED BOOK 11951, PAGE 2765  
MAP BOOK 1960, PAGE 77  
ZONING HB



NOTE:  
SEE SHEET C-10 FOR UTILITY NOTES.

APPROXIMATE LOCATION OF EX. WATER LINE. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY SIZE AND LOCATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

INVERT ±320.54  
CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

**NOTES TO CONTRACTOR:**  
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.  
2. CONTRACTOR IS RESPONSIBLE TO VERIFY INVERTS AND CONDITION OF EXISTING SEWER CONNECTION LOCATION PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

Know what's below.  
**Call before you dig.**  
811 or 800-632-4949  
GRAPHIC SCALE  
1 inch = 20 ft.

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**  
CS  
(919) 948-6171, FAX: (919) 948-7941  
WWW.CSDDESIGN.COM  
8972 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27617

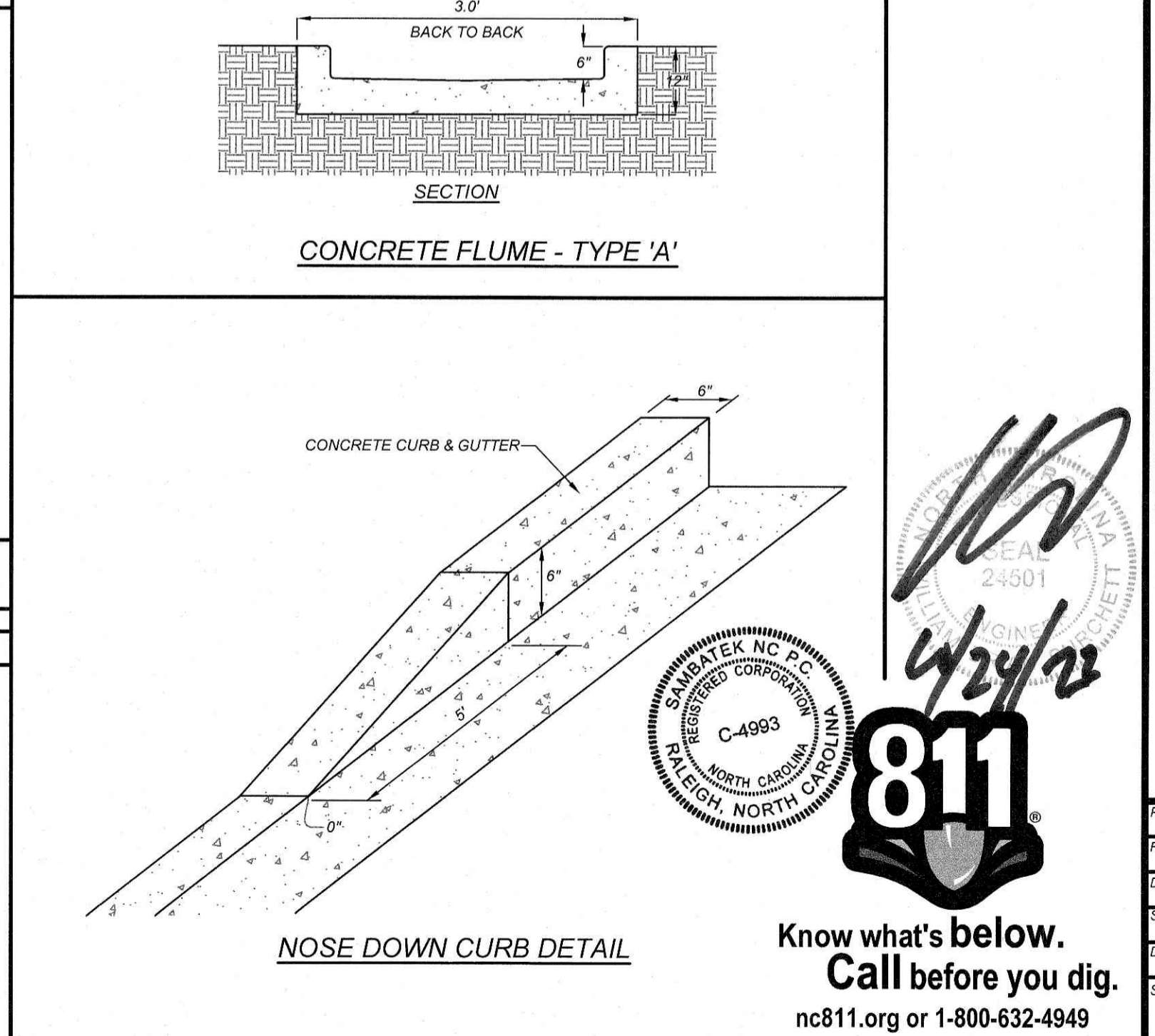
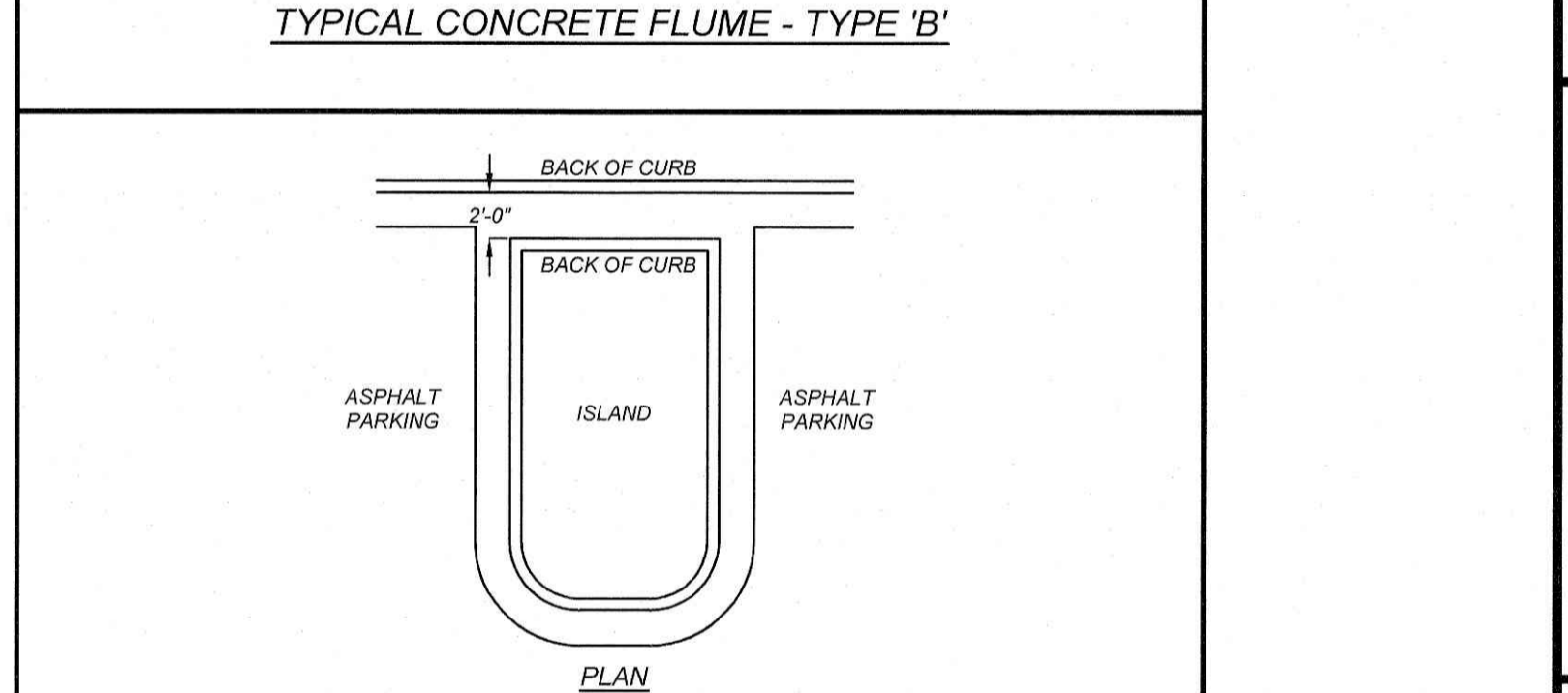
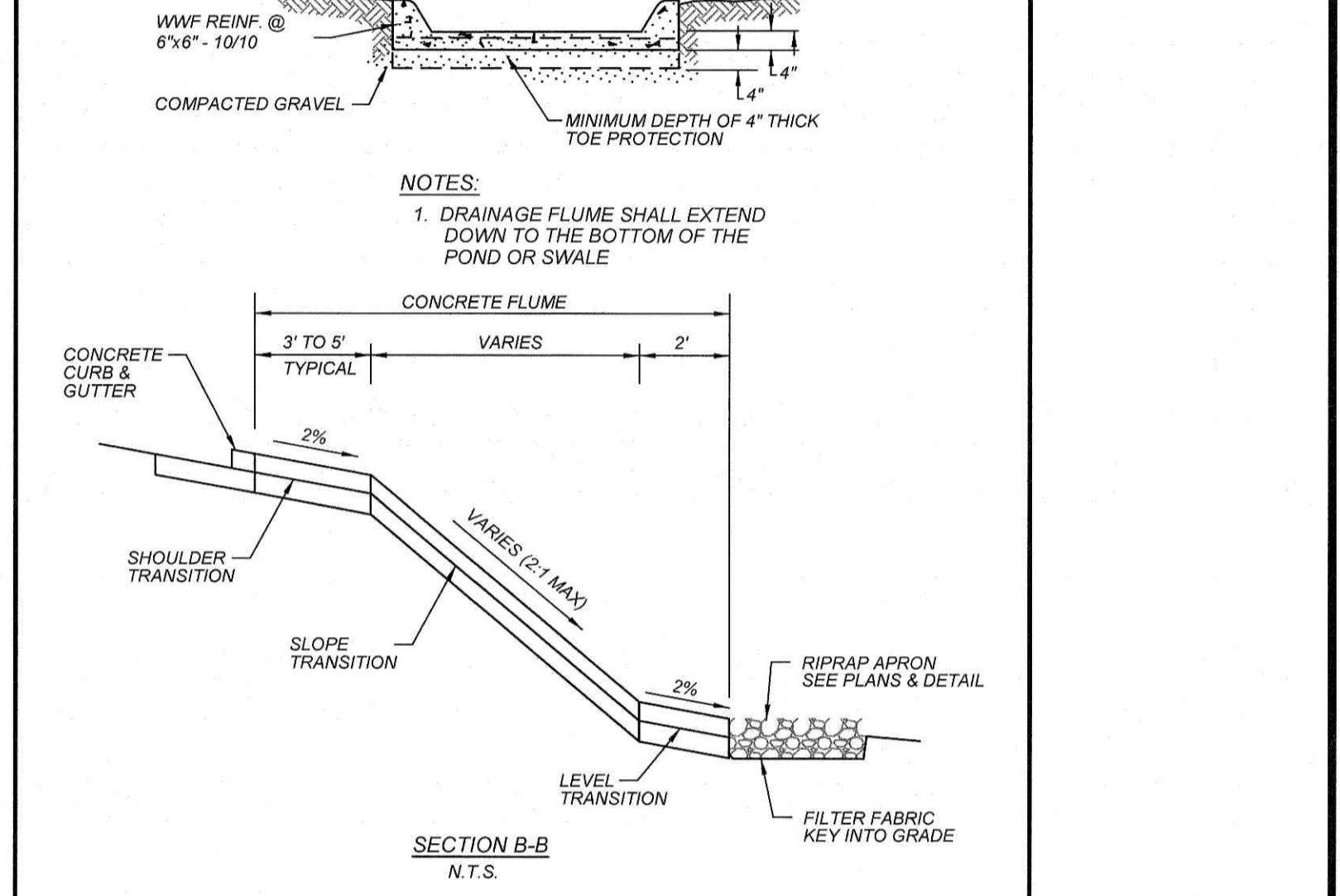
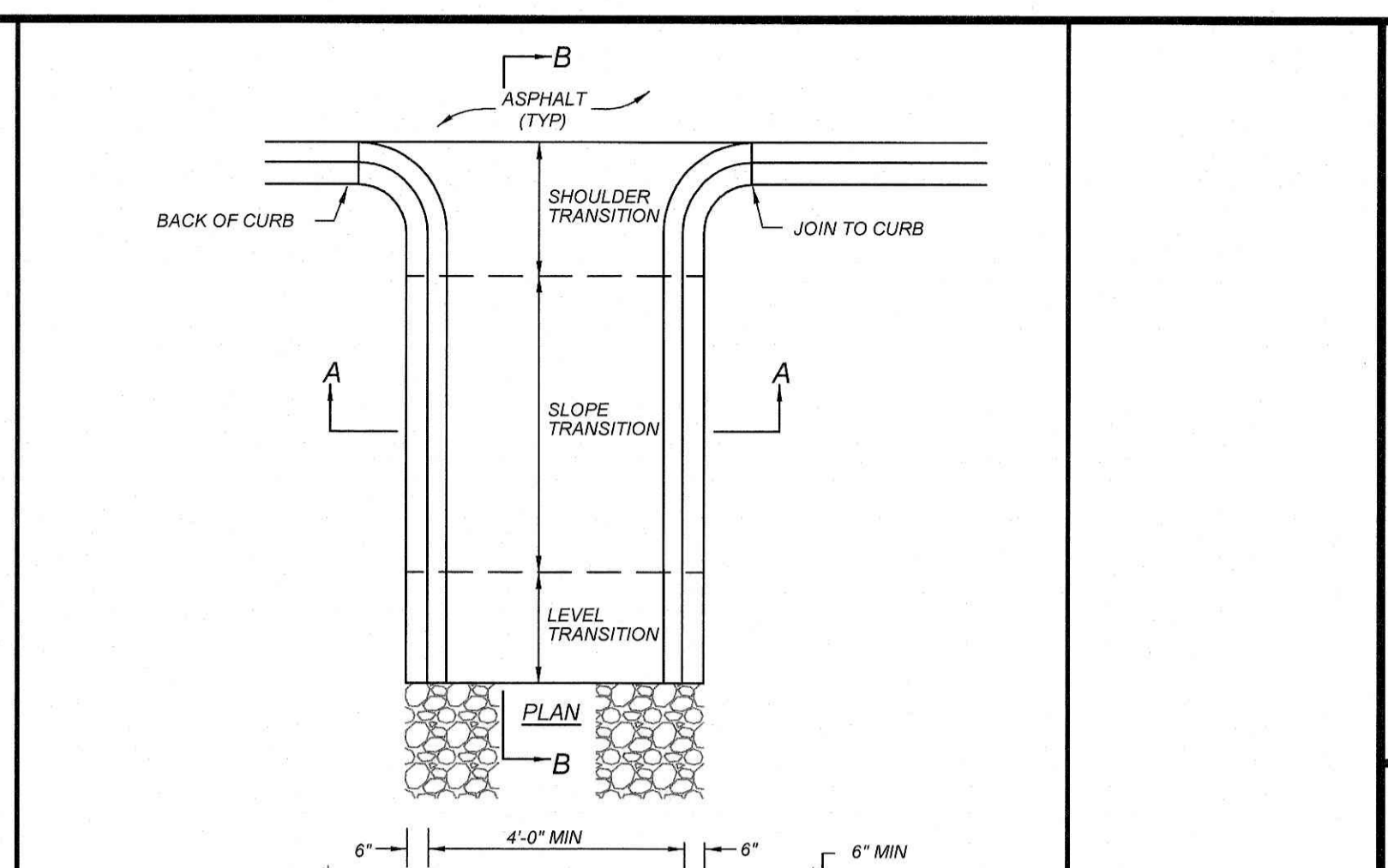
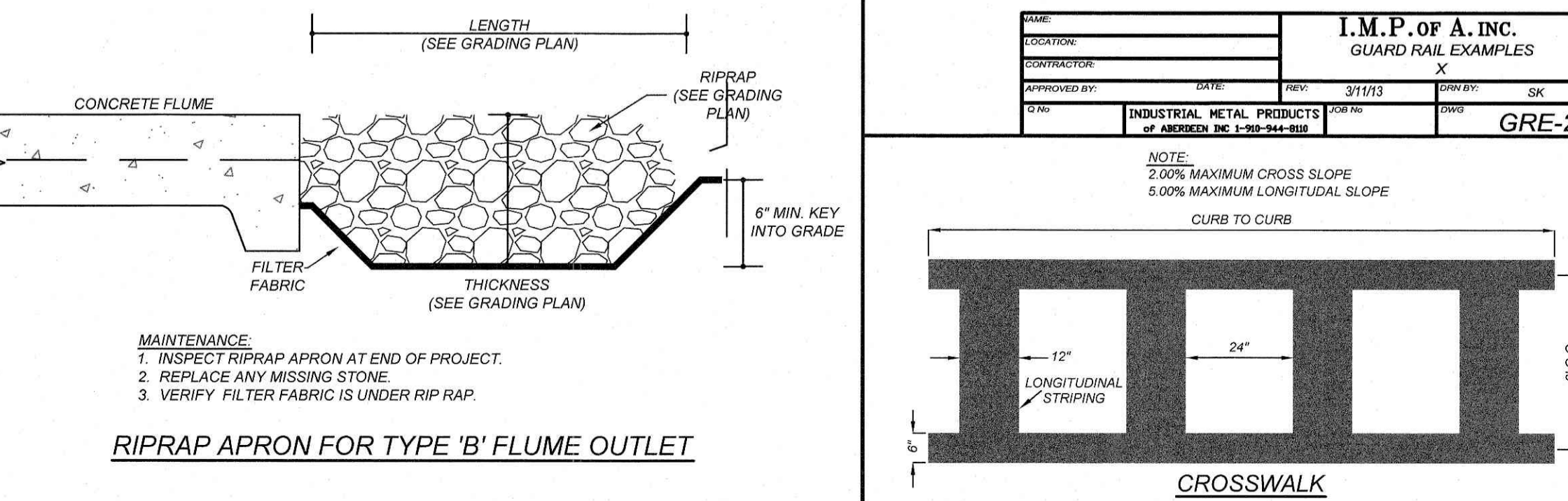
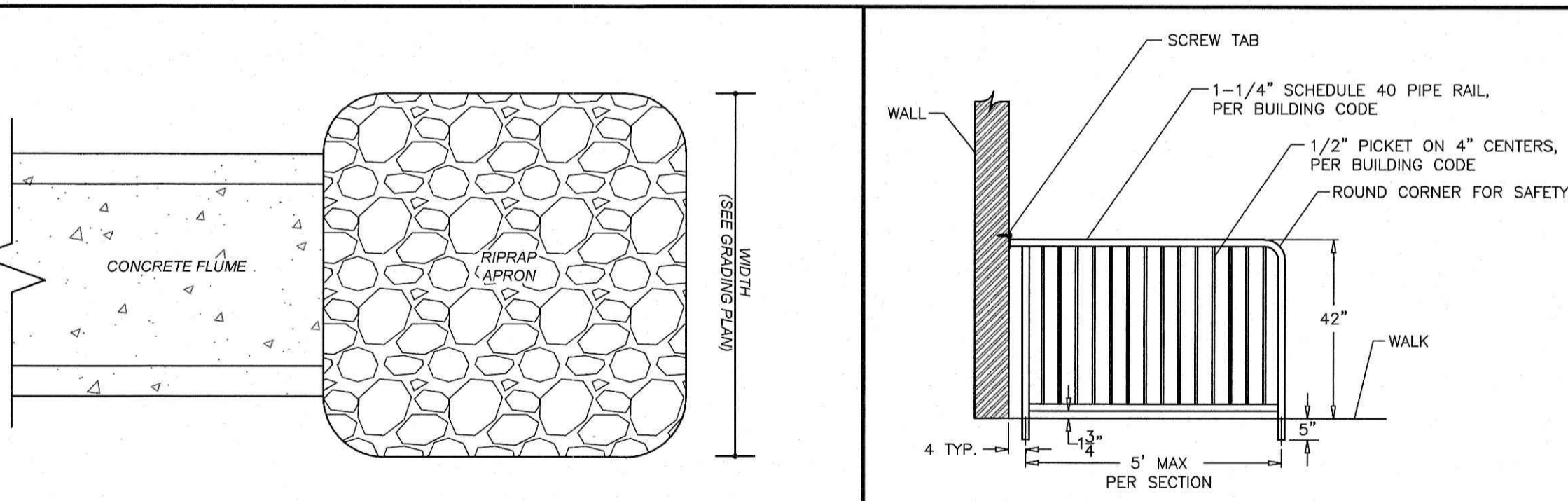
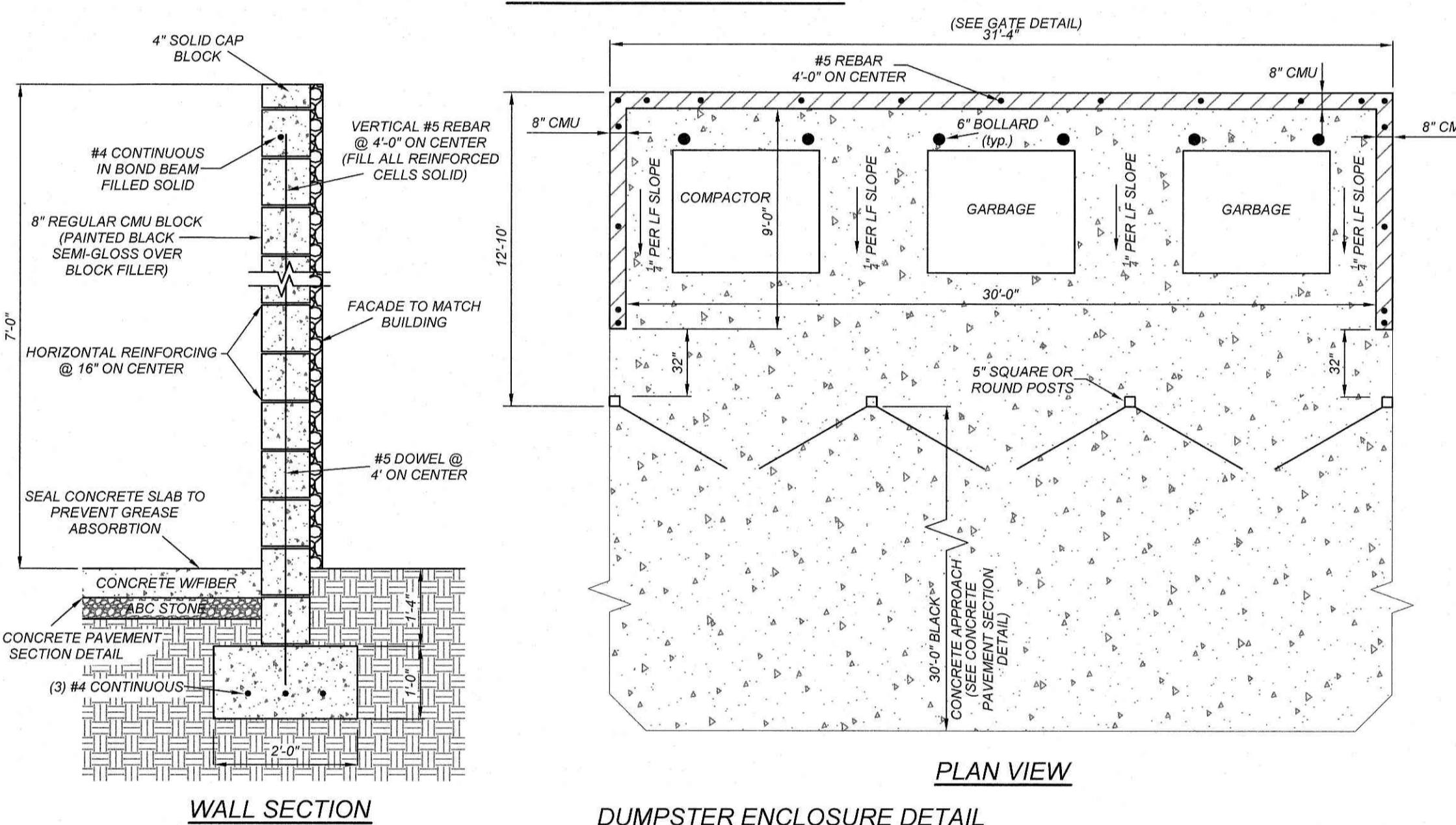
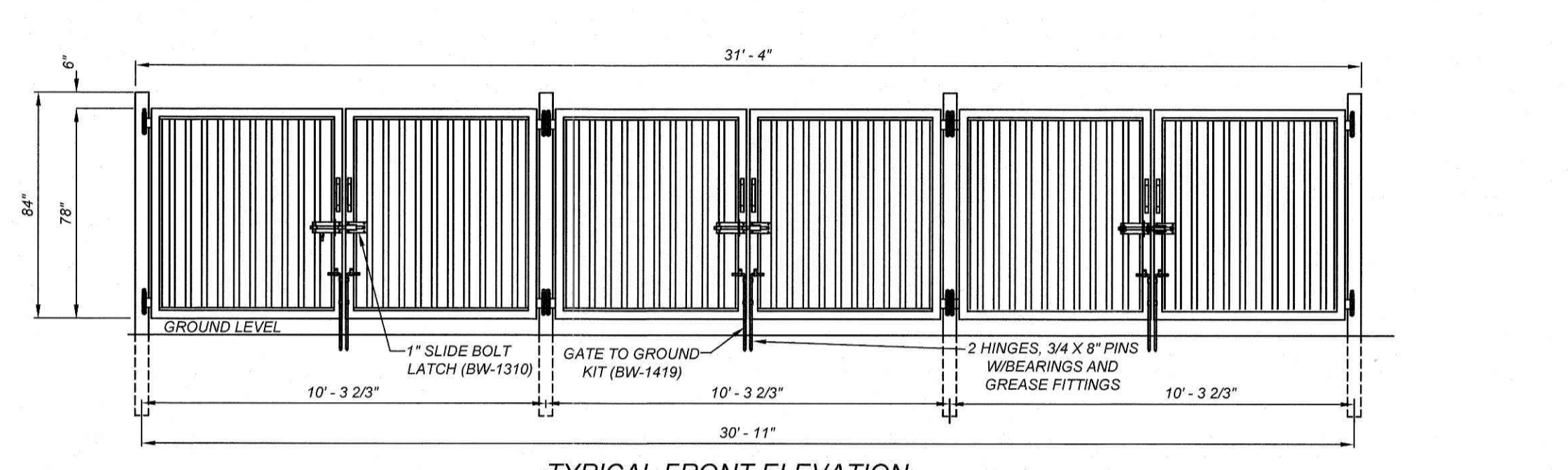
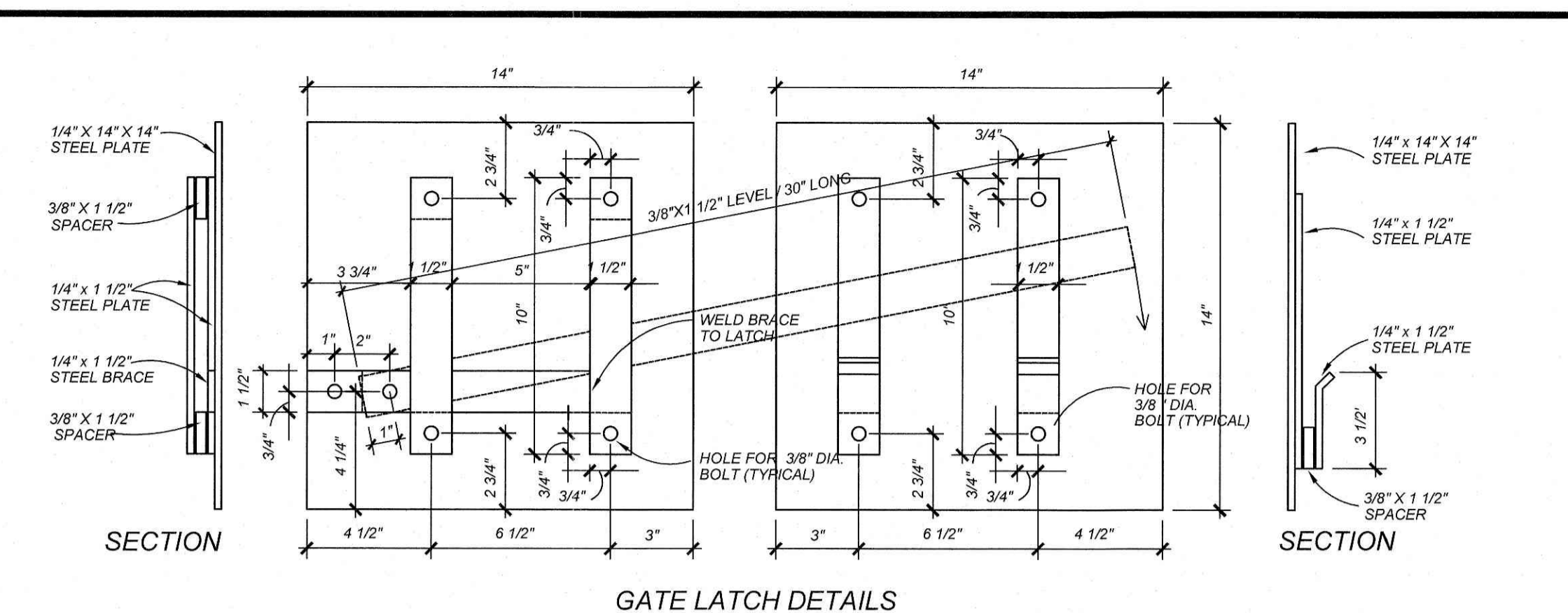
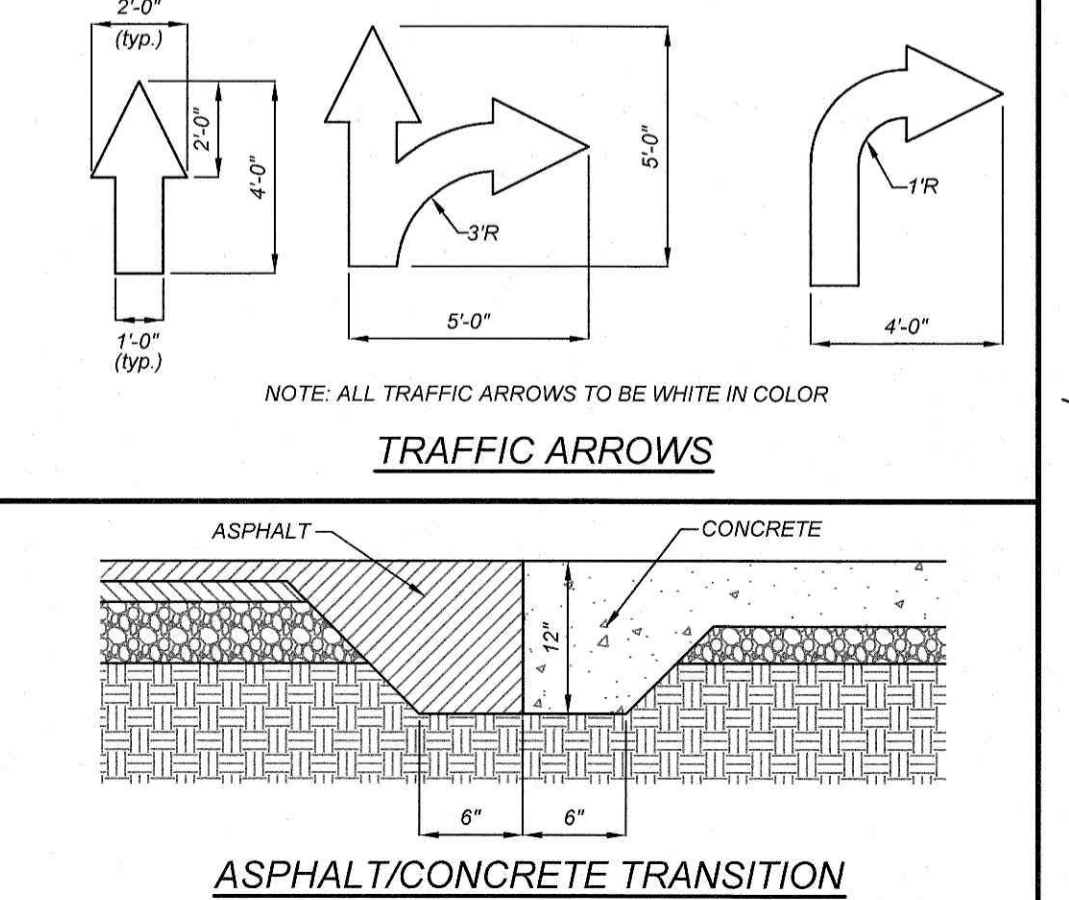
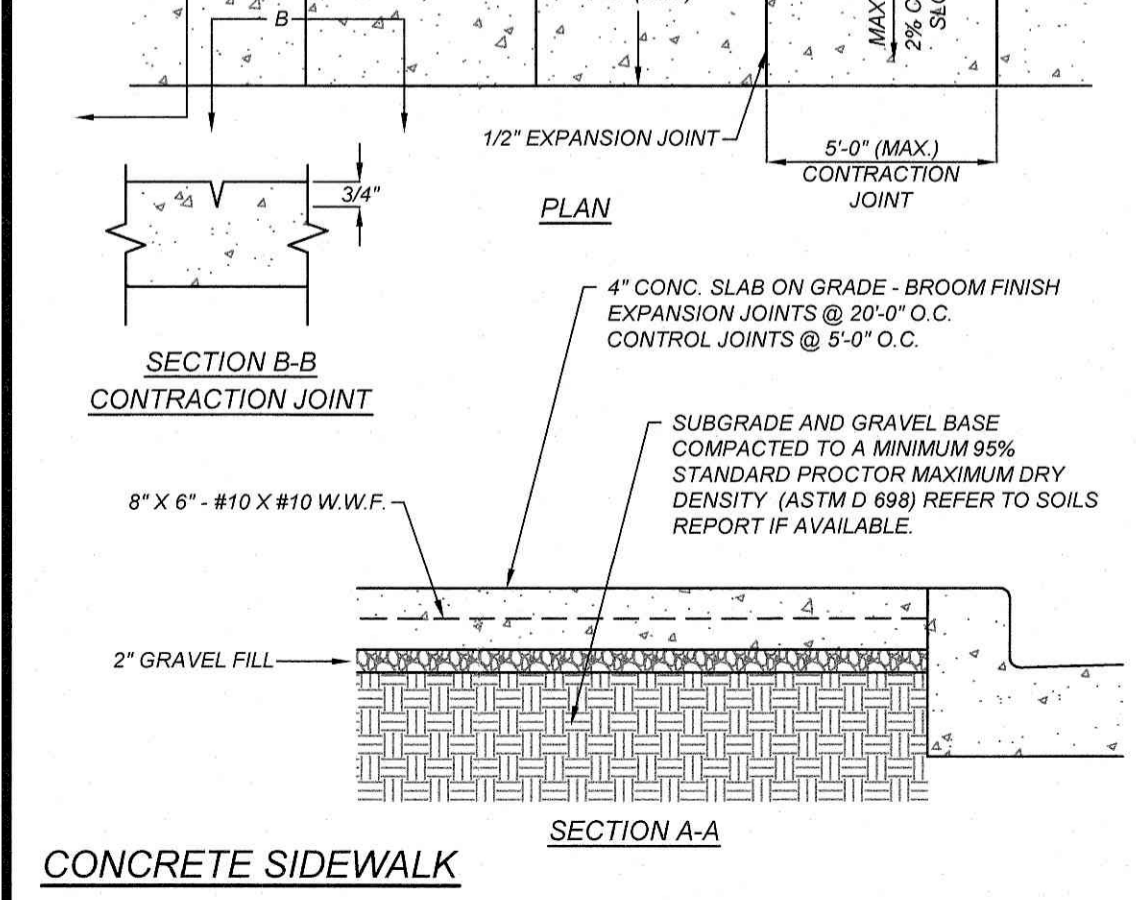
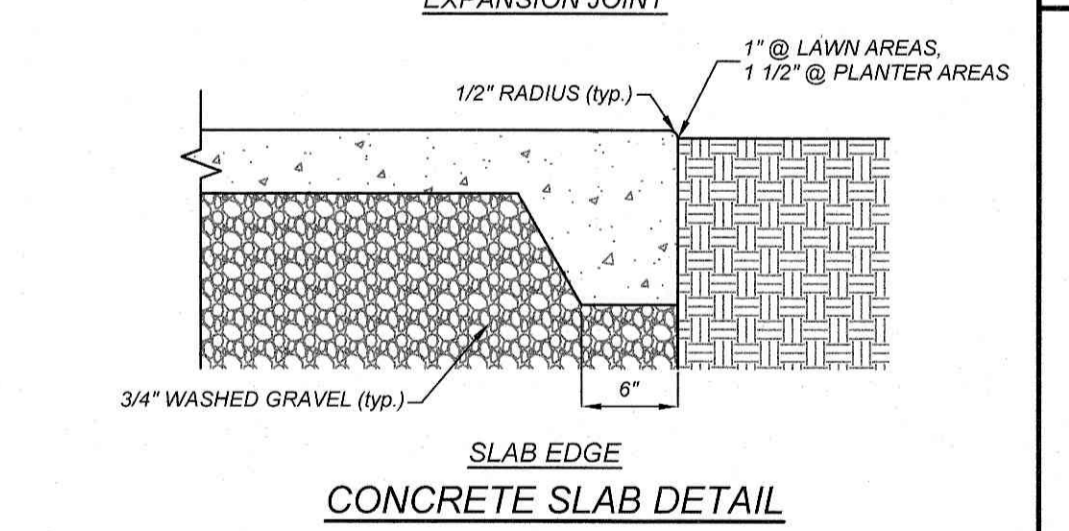
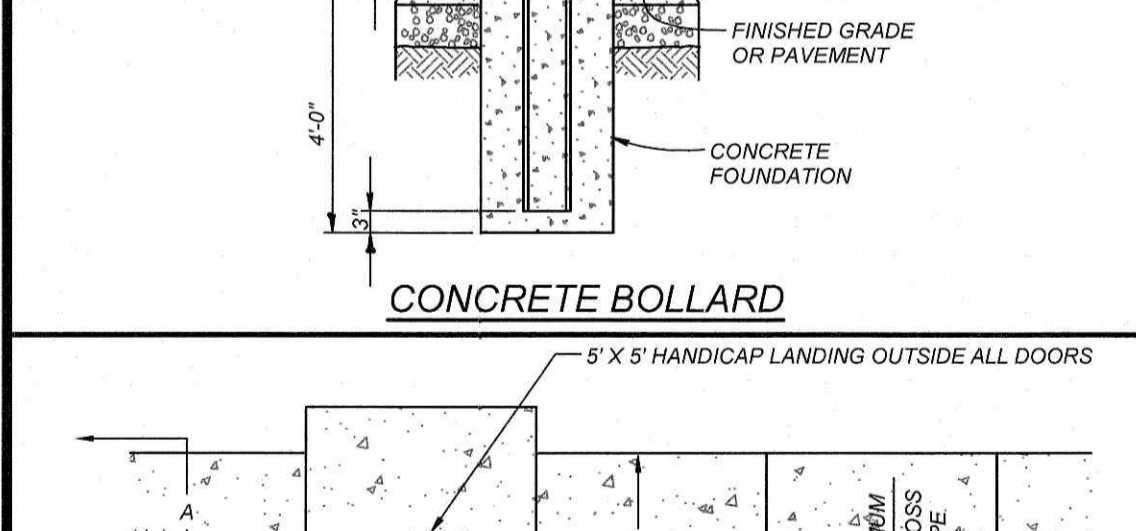
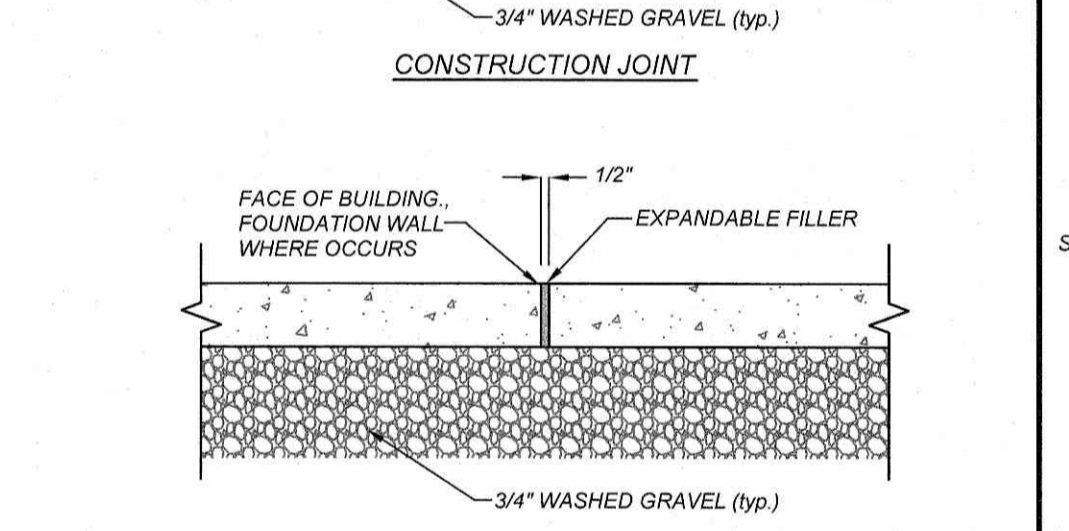
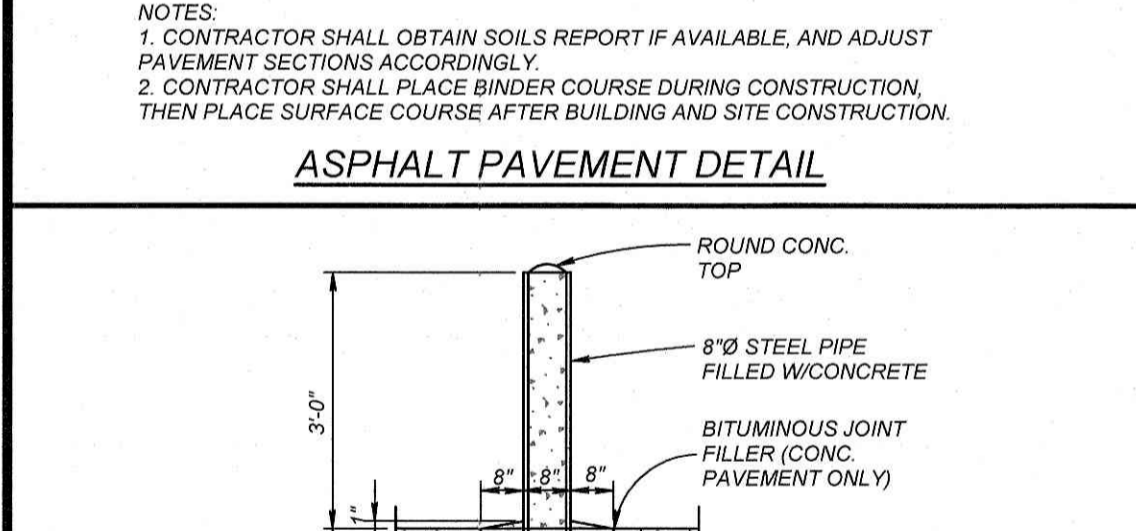
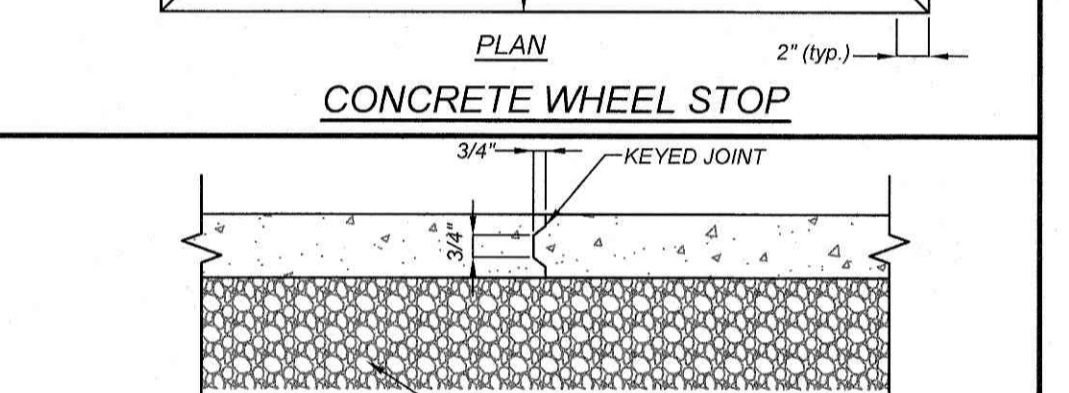
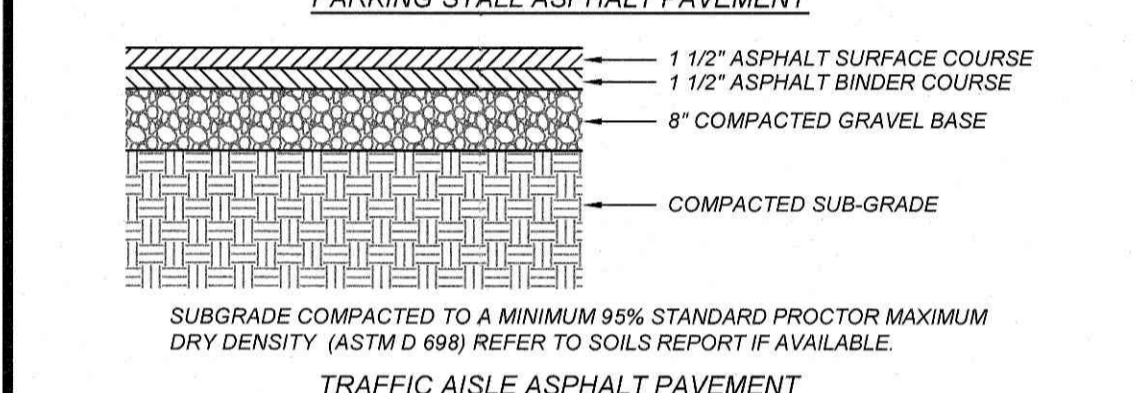
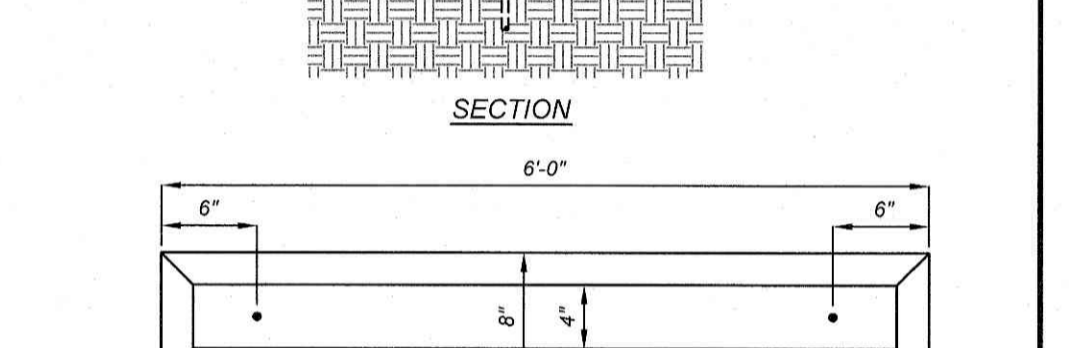
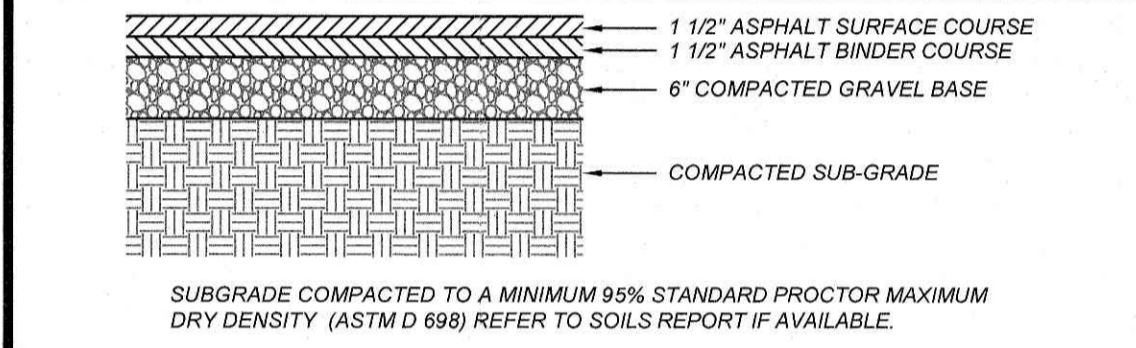
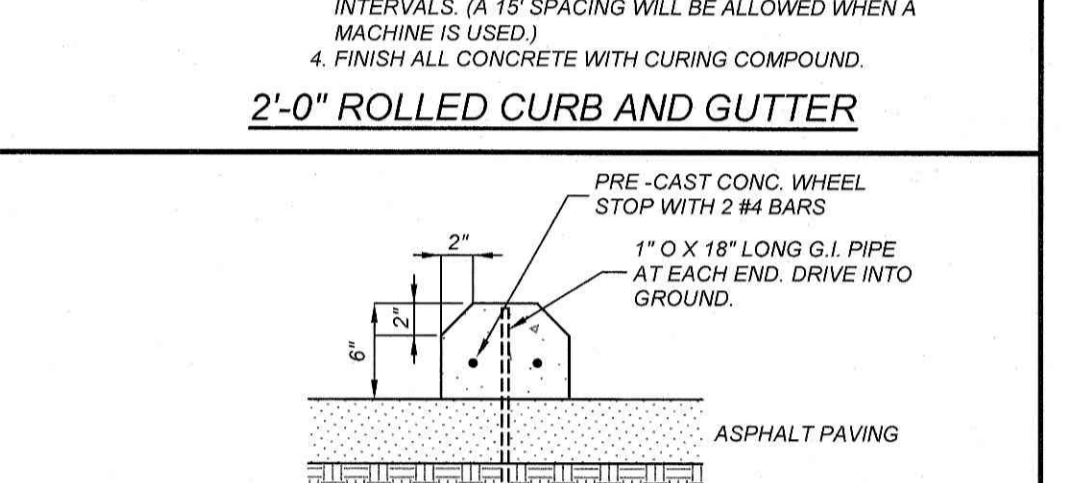
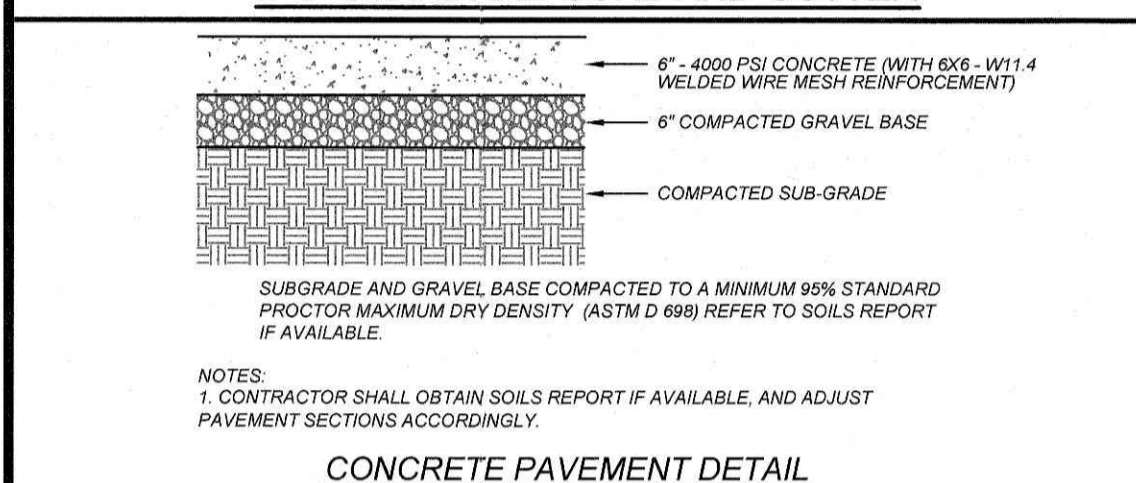
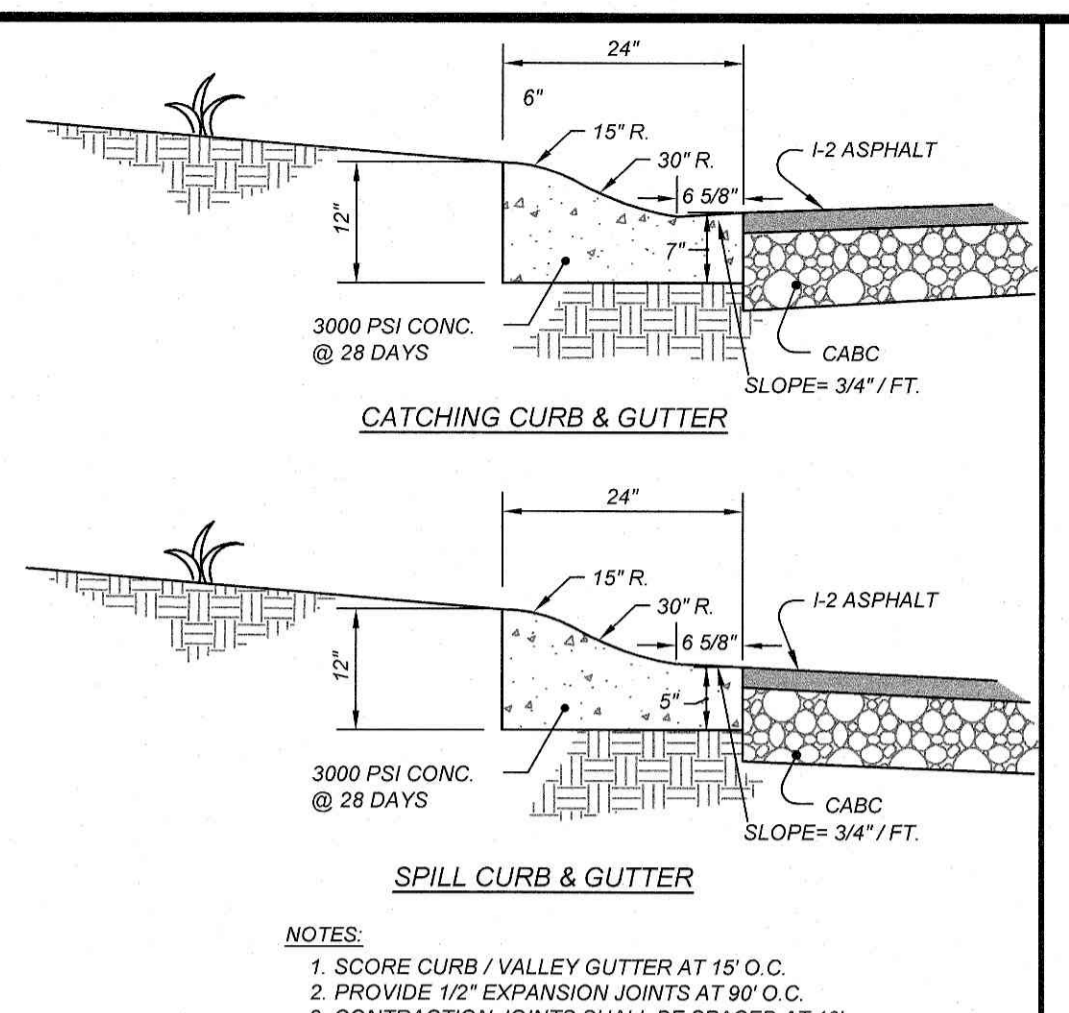
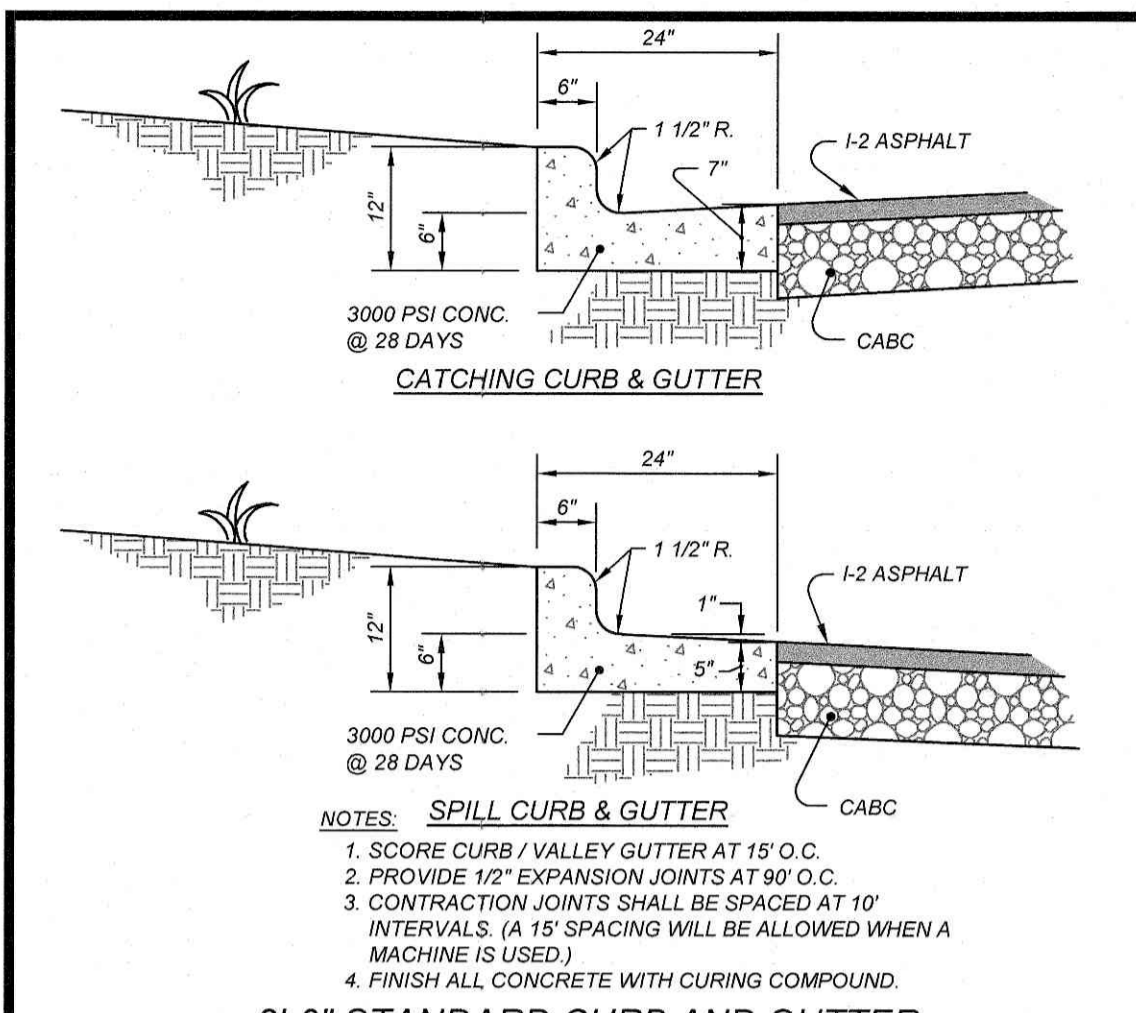
CLIENT/OWNER:  
COOK OUT  
15 LAURA LANE SUITE 300  
THOMASVILLE, NC 27380  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**  
1200 NORTH ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA  
UTILITY PLAN

PROJECT NO.	OUT-1502
FILENAME	OUT1502-UP
DRAWN BY	STH
SCALE	1" = 20'
DATE	07-06-2022
SHEET NO.	C-4

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NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**

8872 CREDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27603  
 (919) 848-8021, FAX: (919) 848-2741  
 WWW.CSITDESIGN.COM

CLIENTOWNER:  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

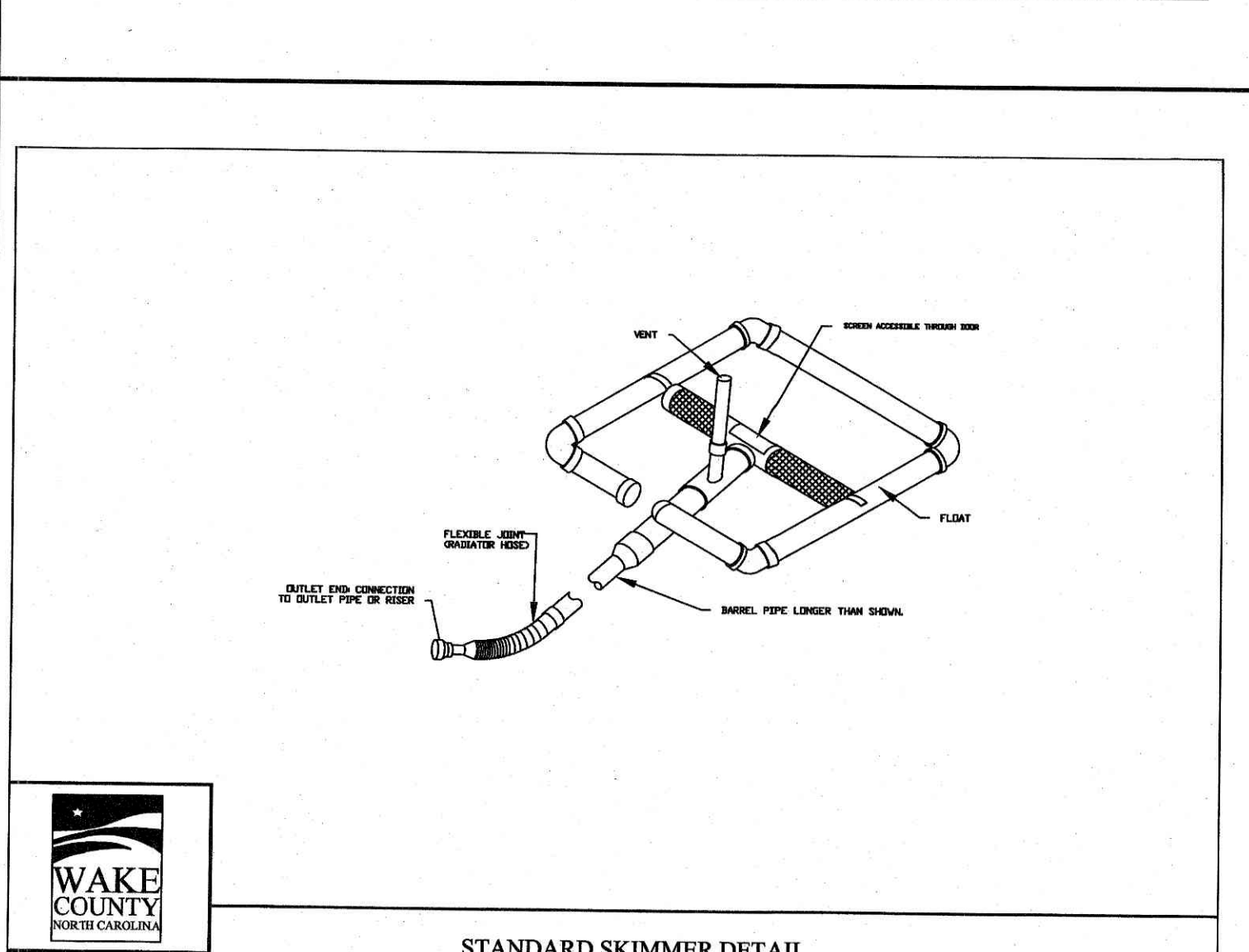
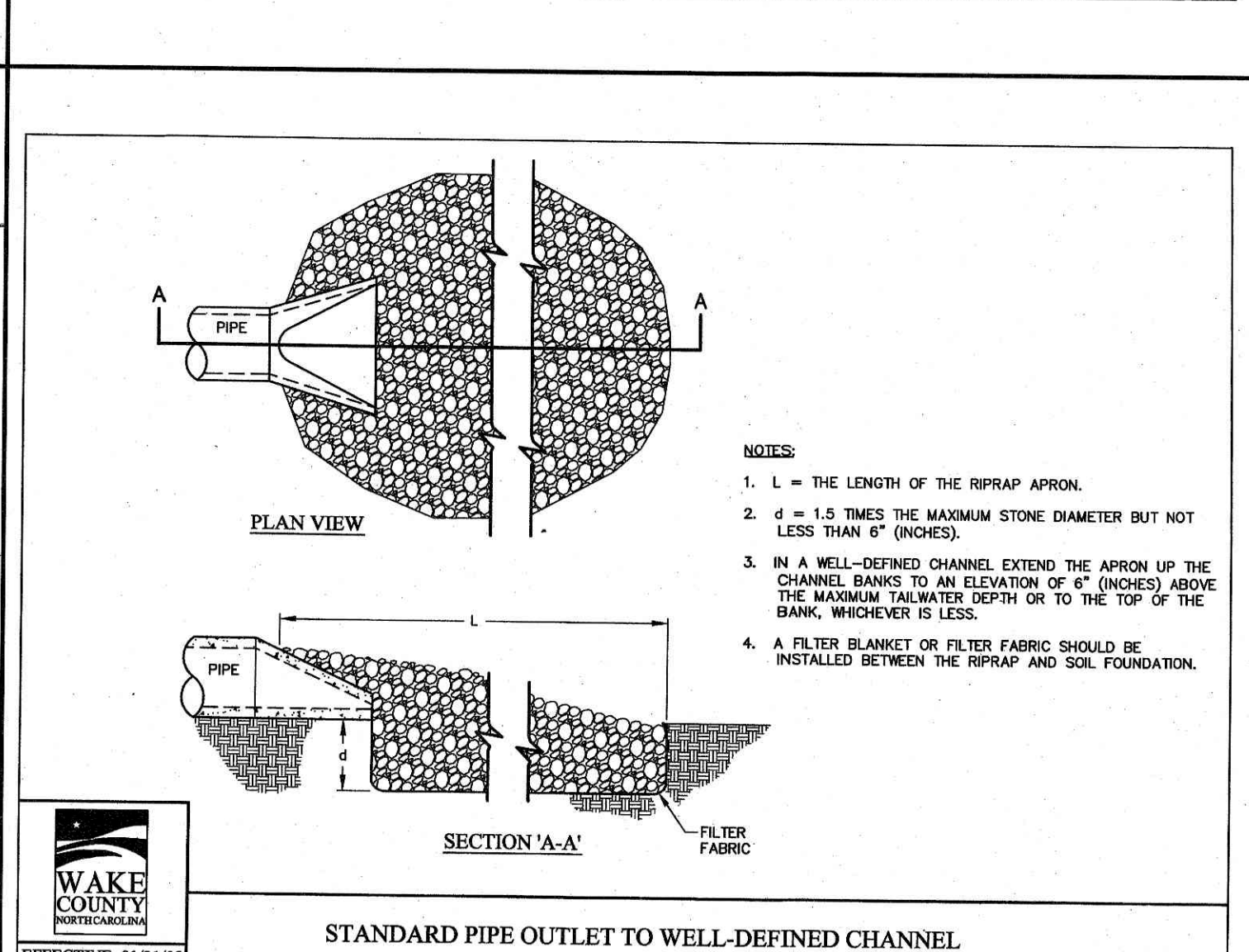
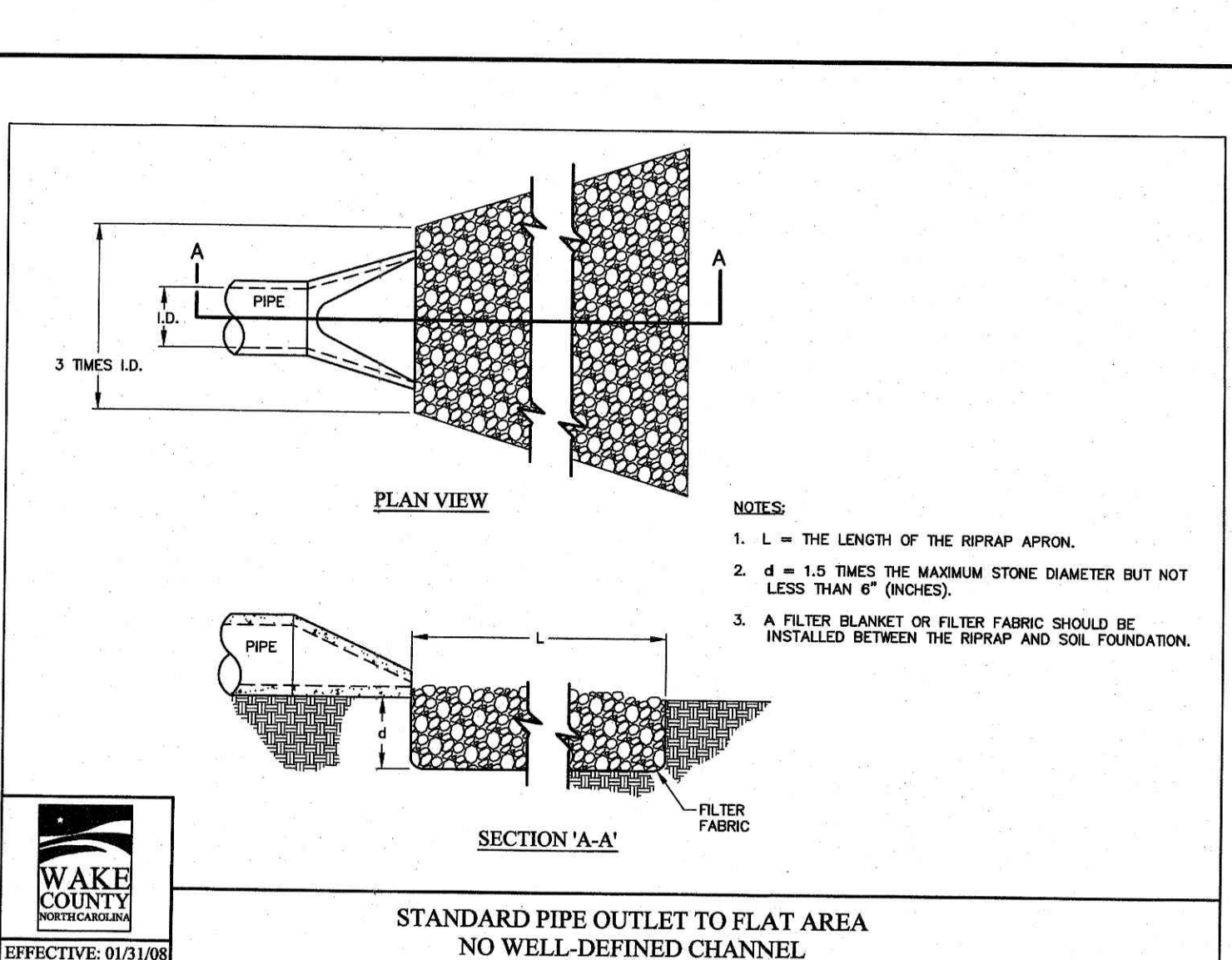
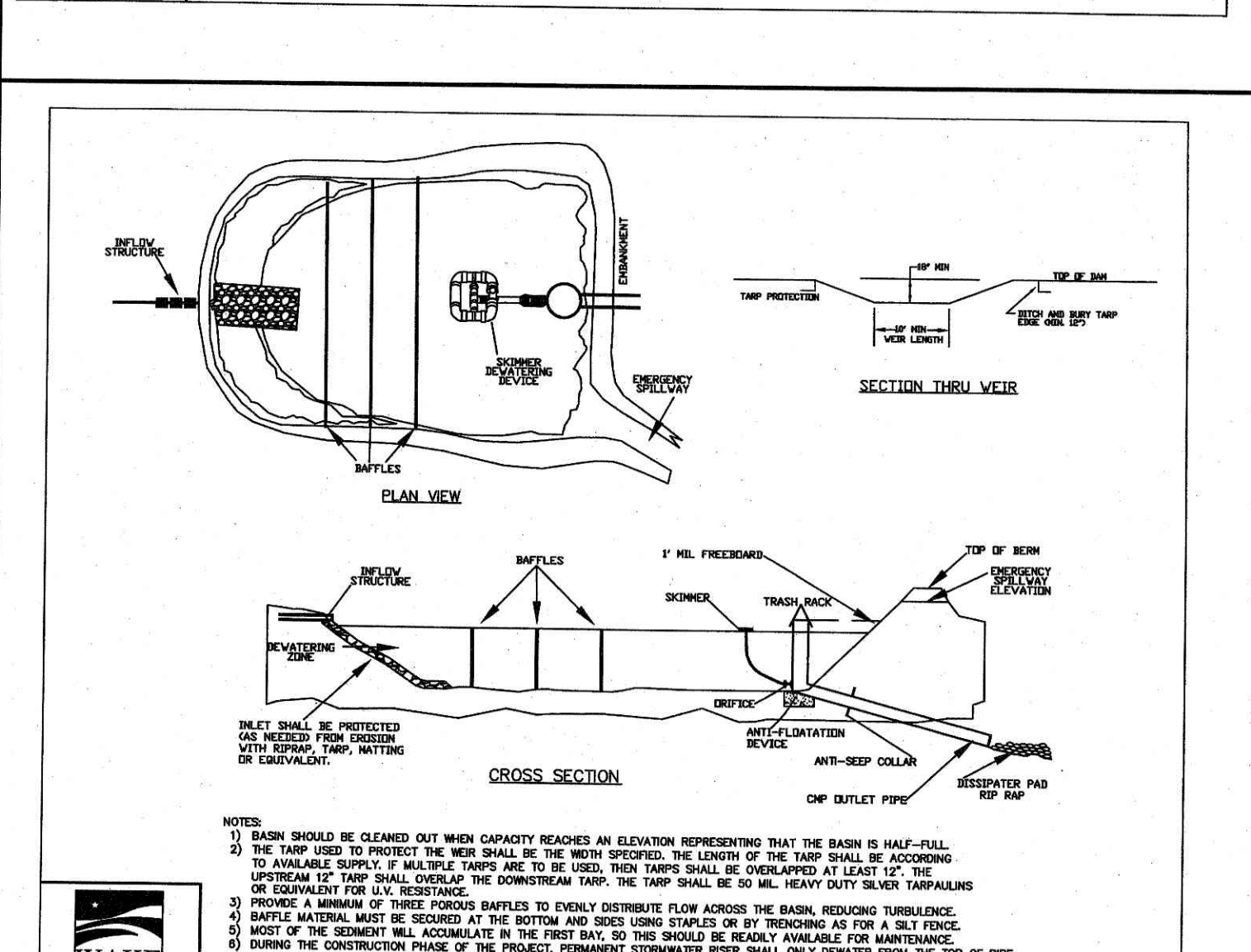
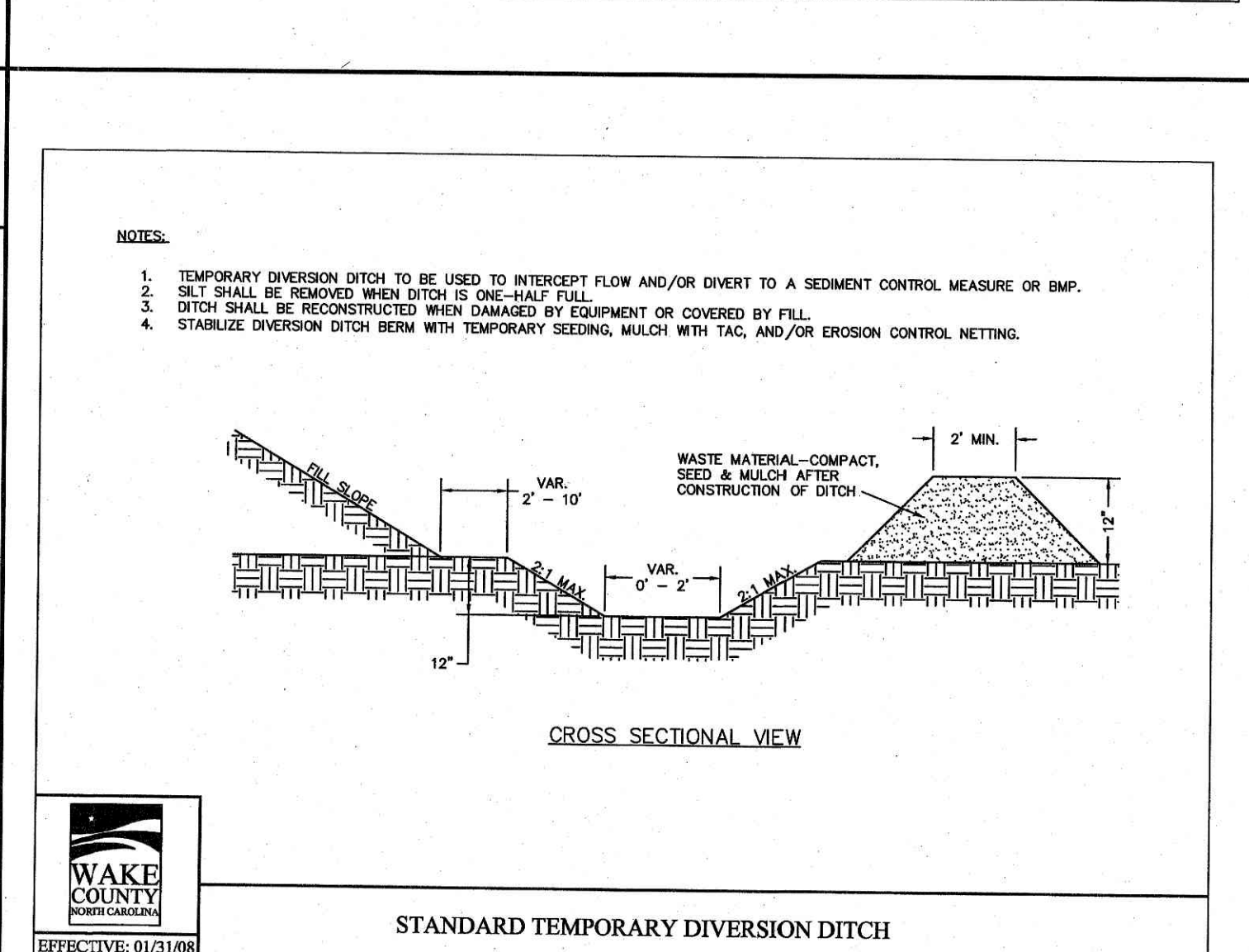
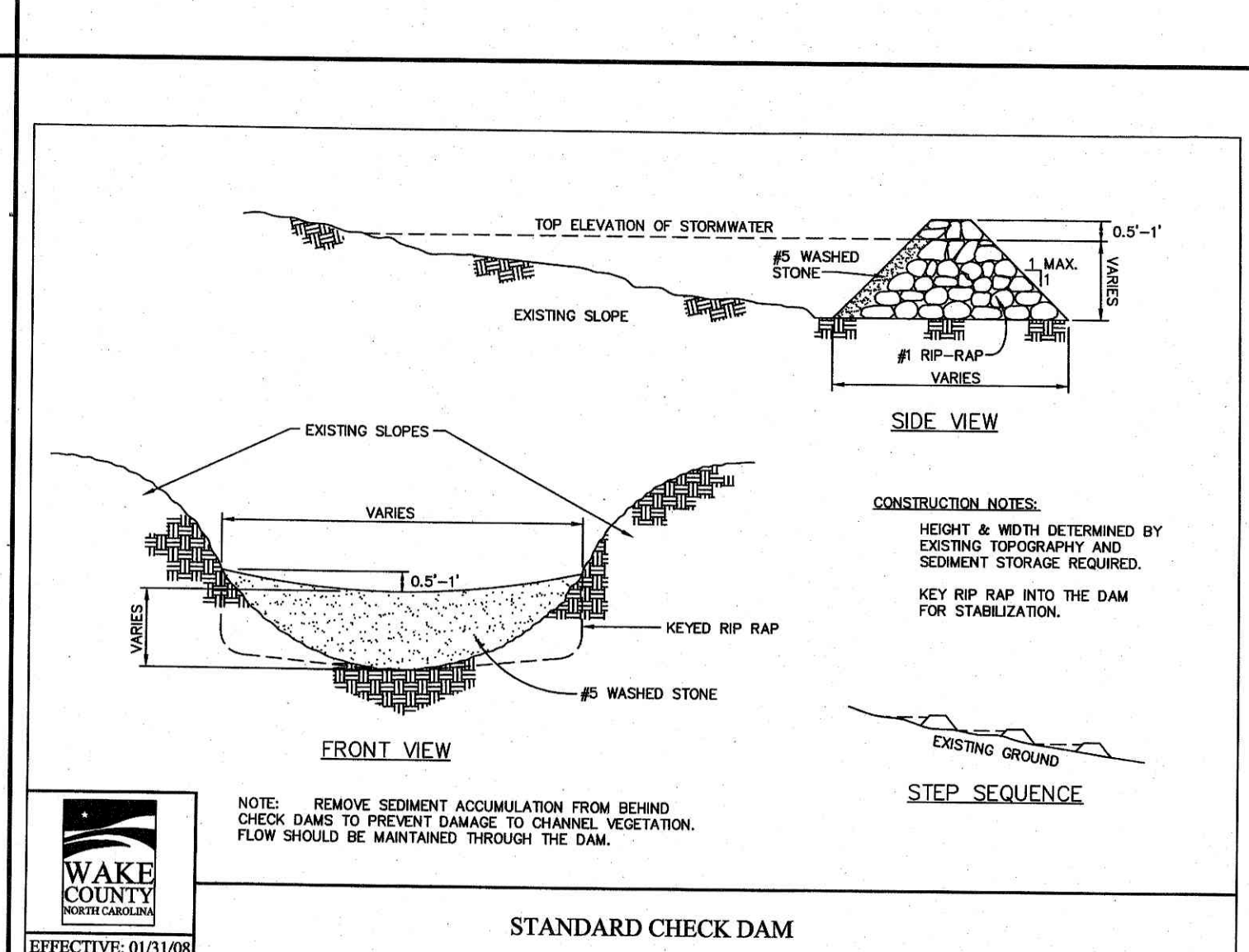
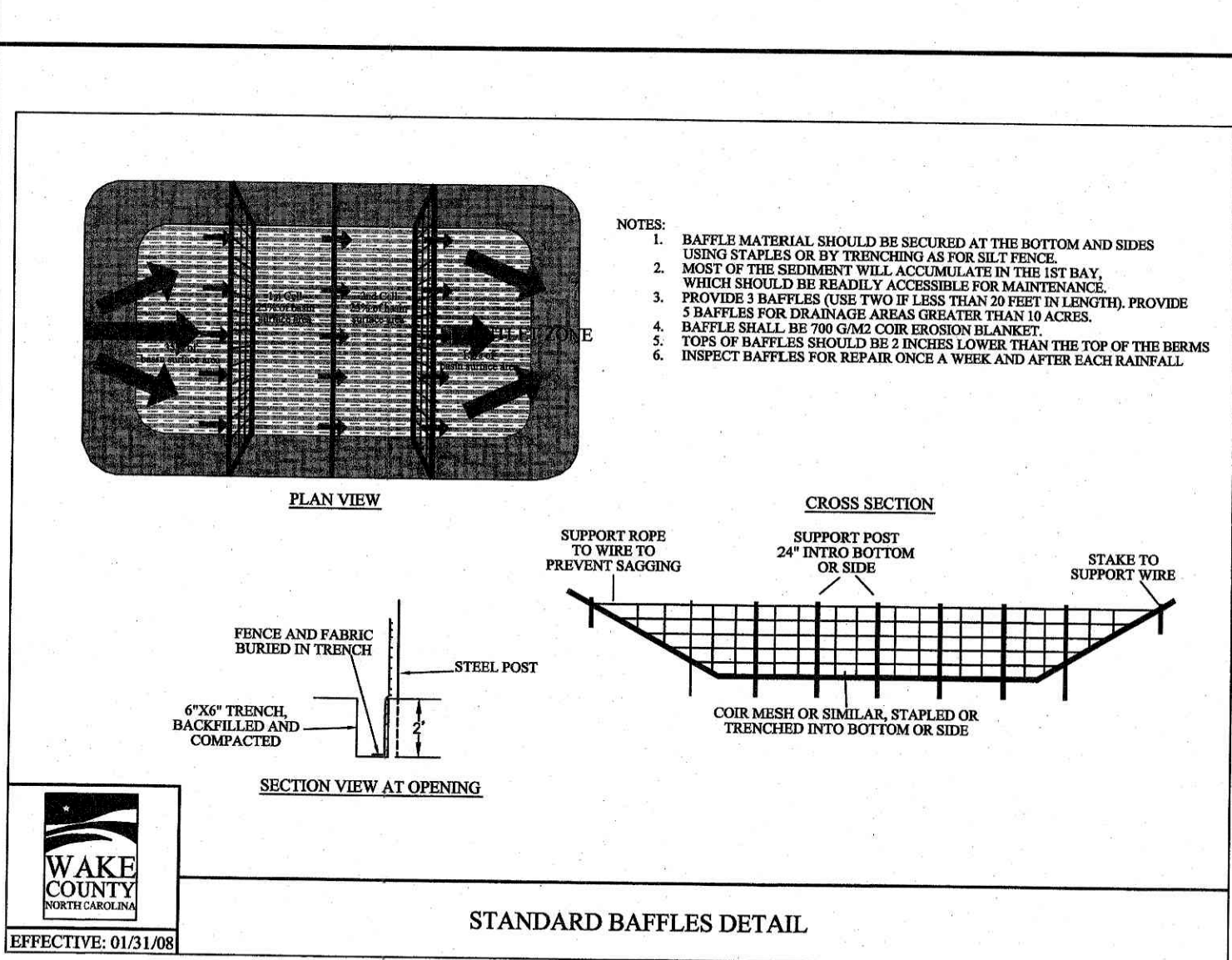
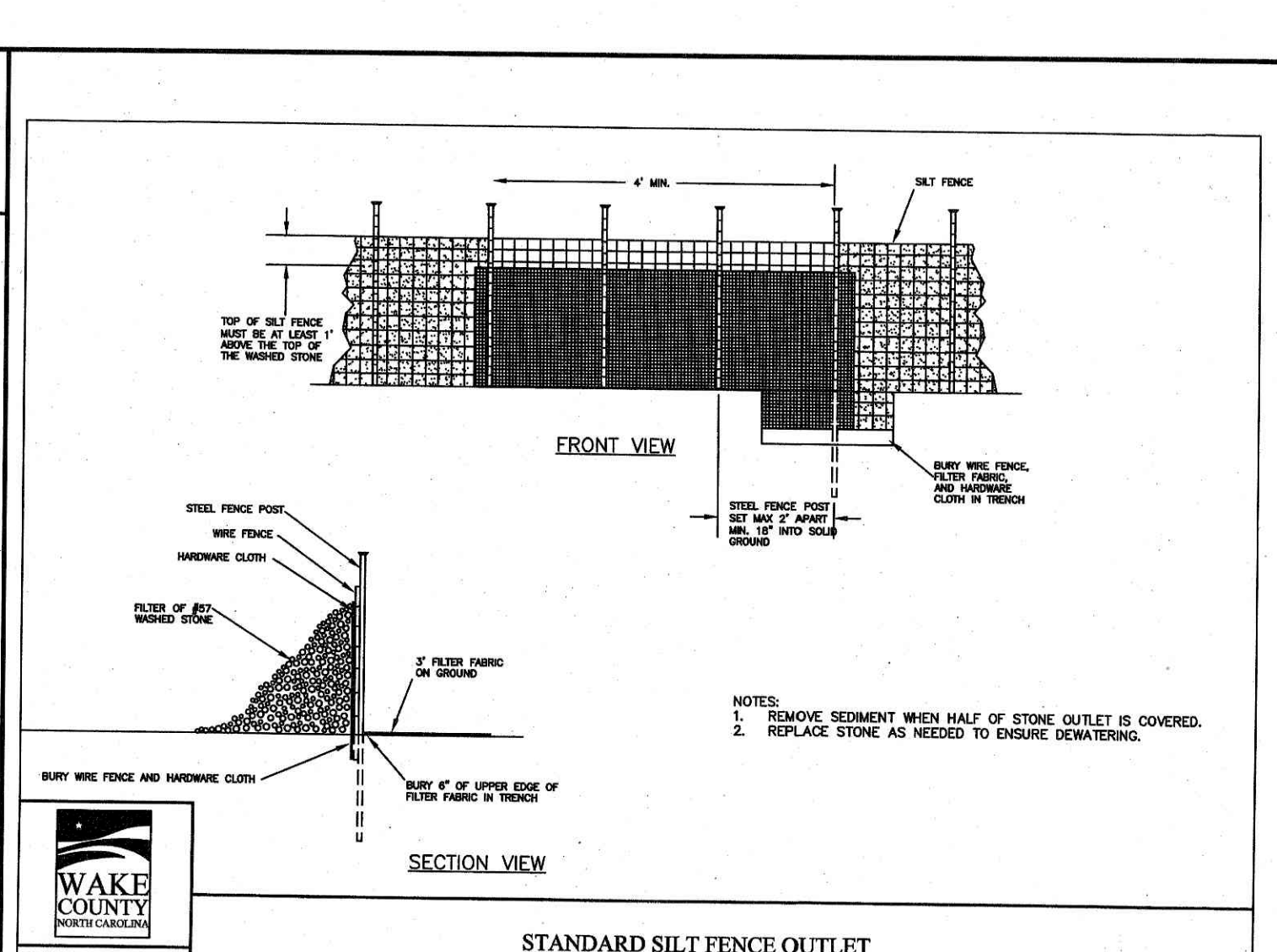
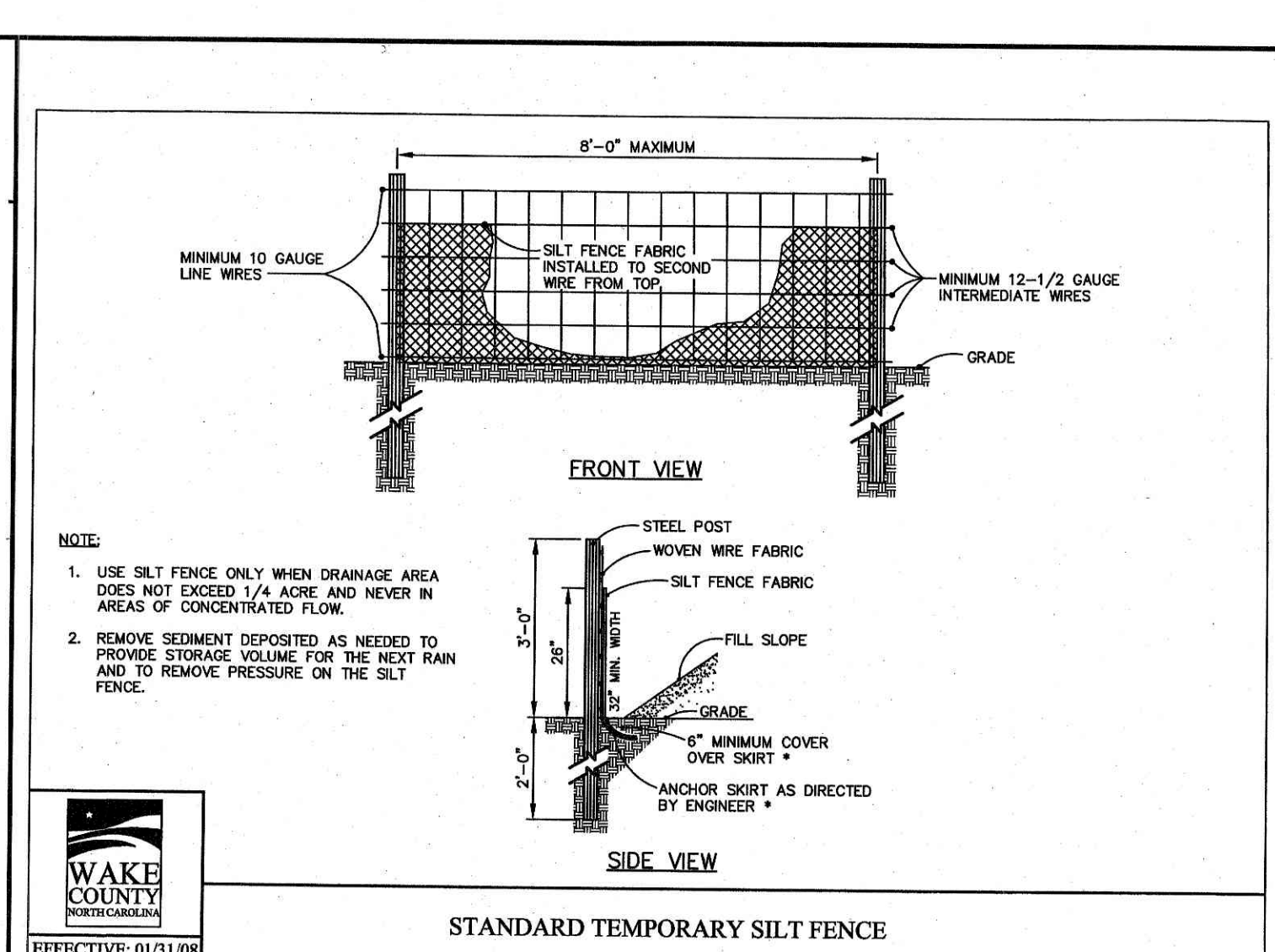
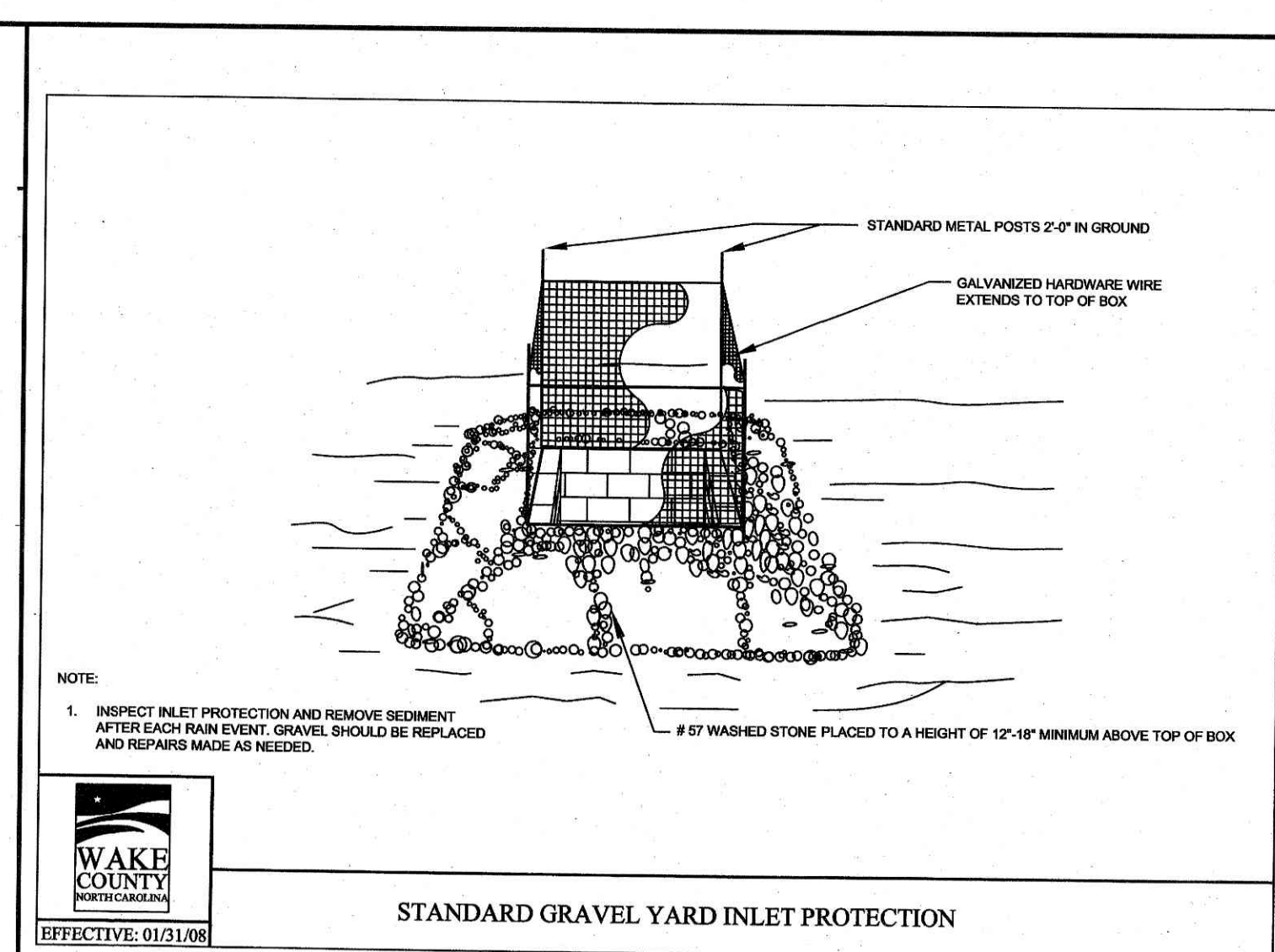
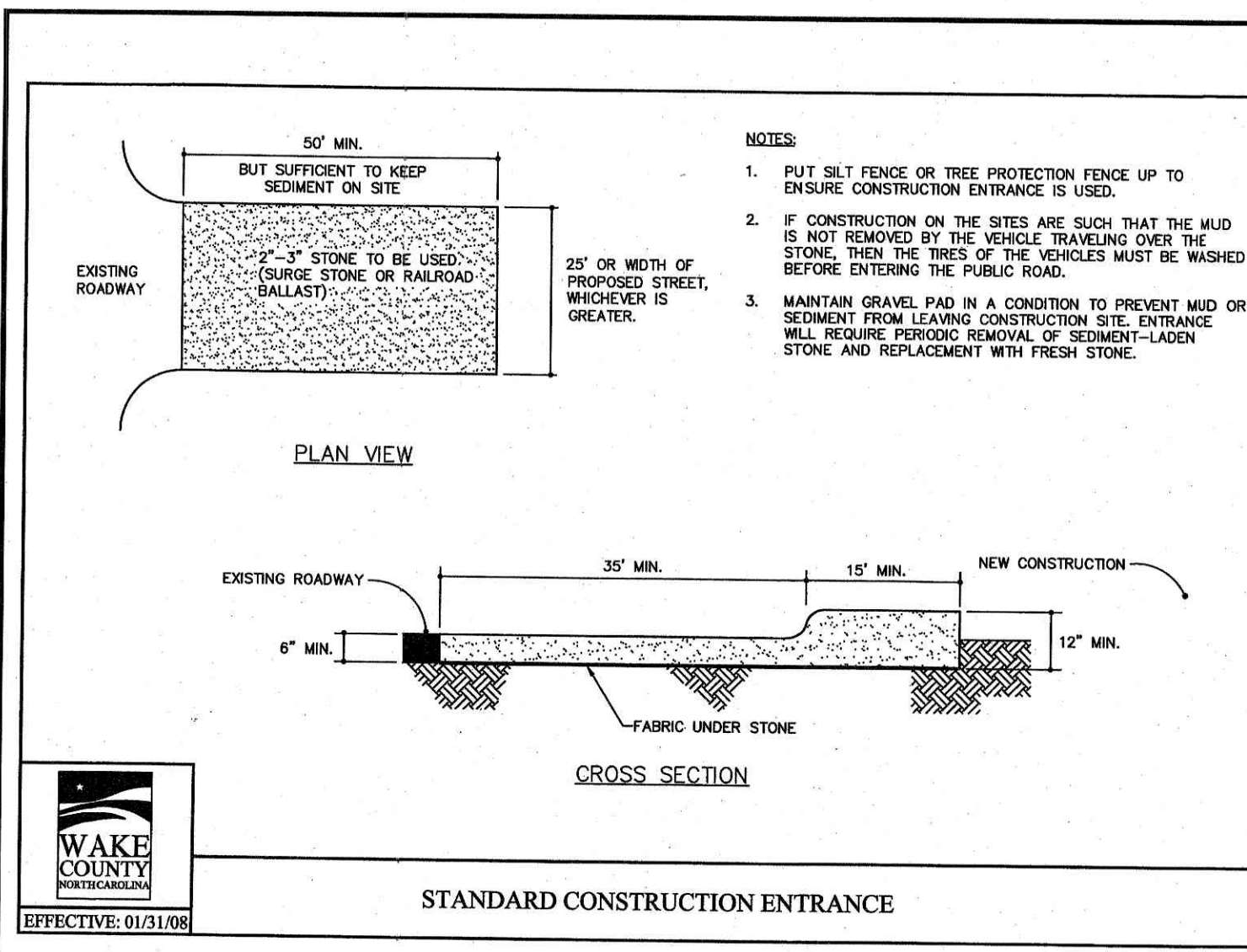
**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

PROJECT NO: OUT-1502  
 FILENAME: OUT1502-DTL1  
 DRAWN BY: STH  
 SCALE: N.T.S.  
 DATE: 07-06-2022  
 SHEET NO: C-5

811 Know what's below. Call before you dig. nc811.org or 1-800-632-4949

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NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**

(919) 948-0721 FAX: (919) 848-2741  
WWW.CSTIESTEDSIGN.COM

8872 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27618

CLIENT/TOWNER:

COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-7849

**COOK OUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA

**DETAILS**

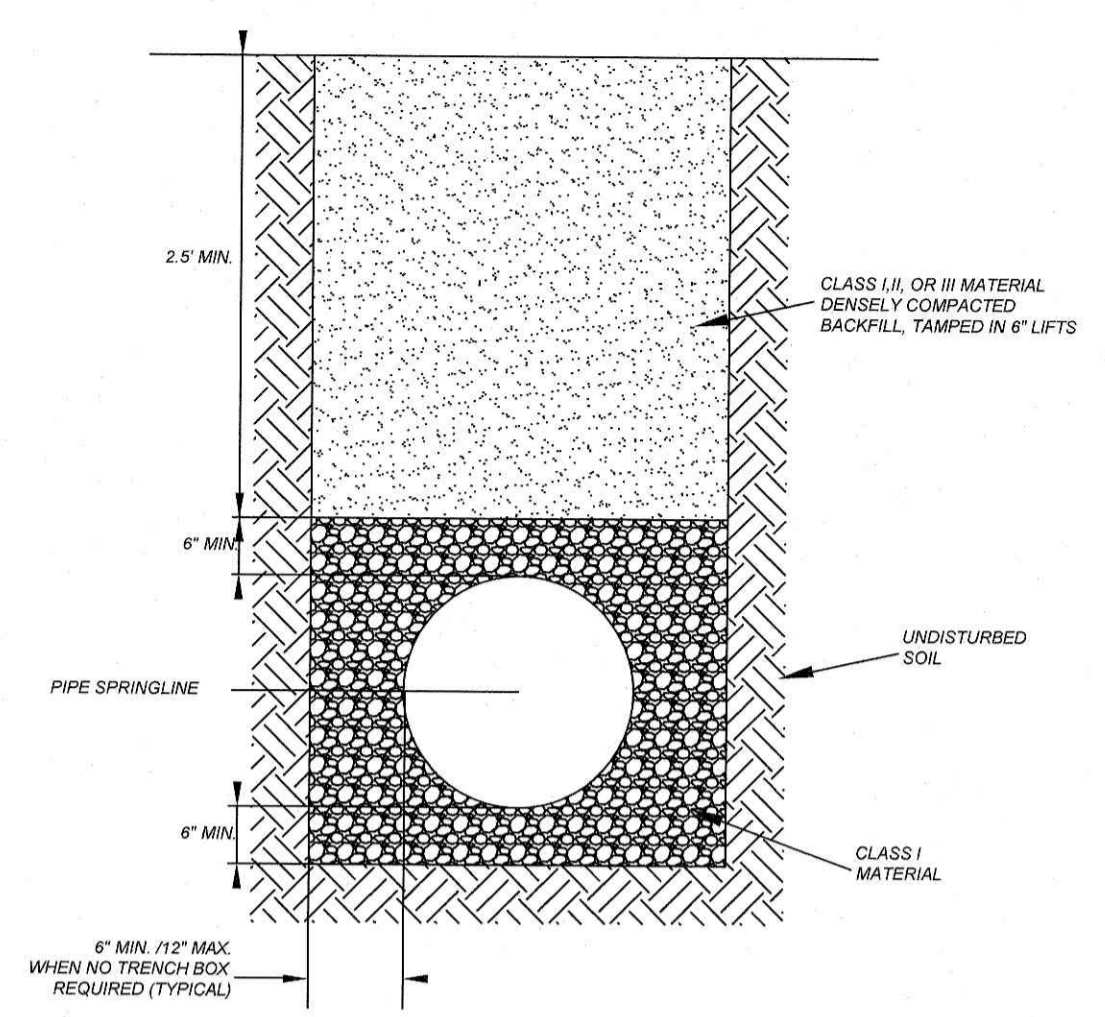
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FILENAME: OUT1502-DTL2  
DRAWN BY: STH  
SCALE: N.T.S.  
DATE: 07-06-2022  
SHEET NO: C-6

811

Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

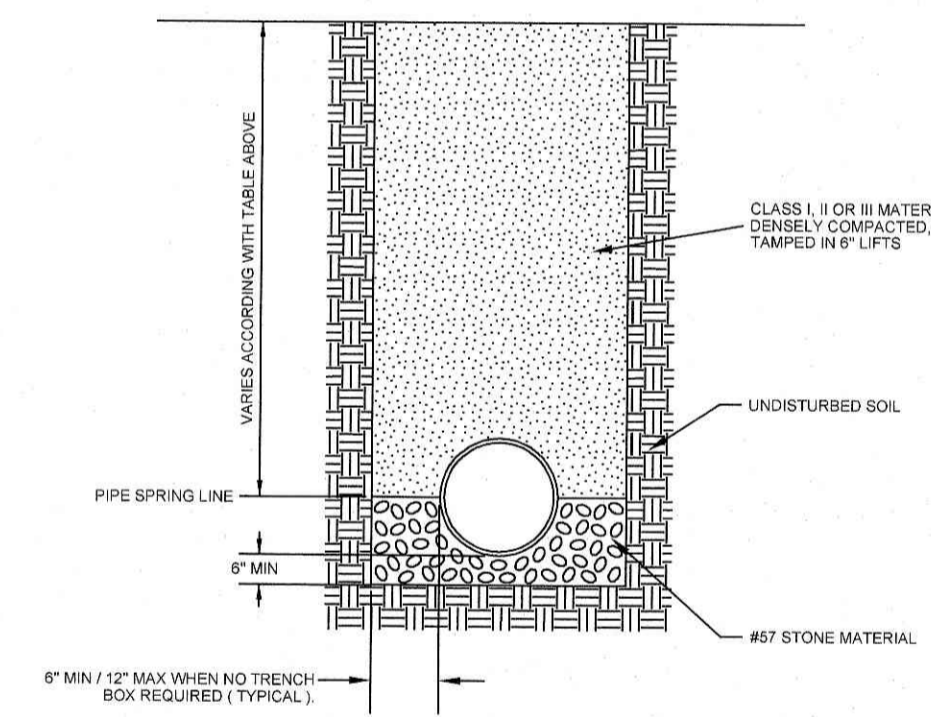
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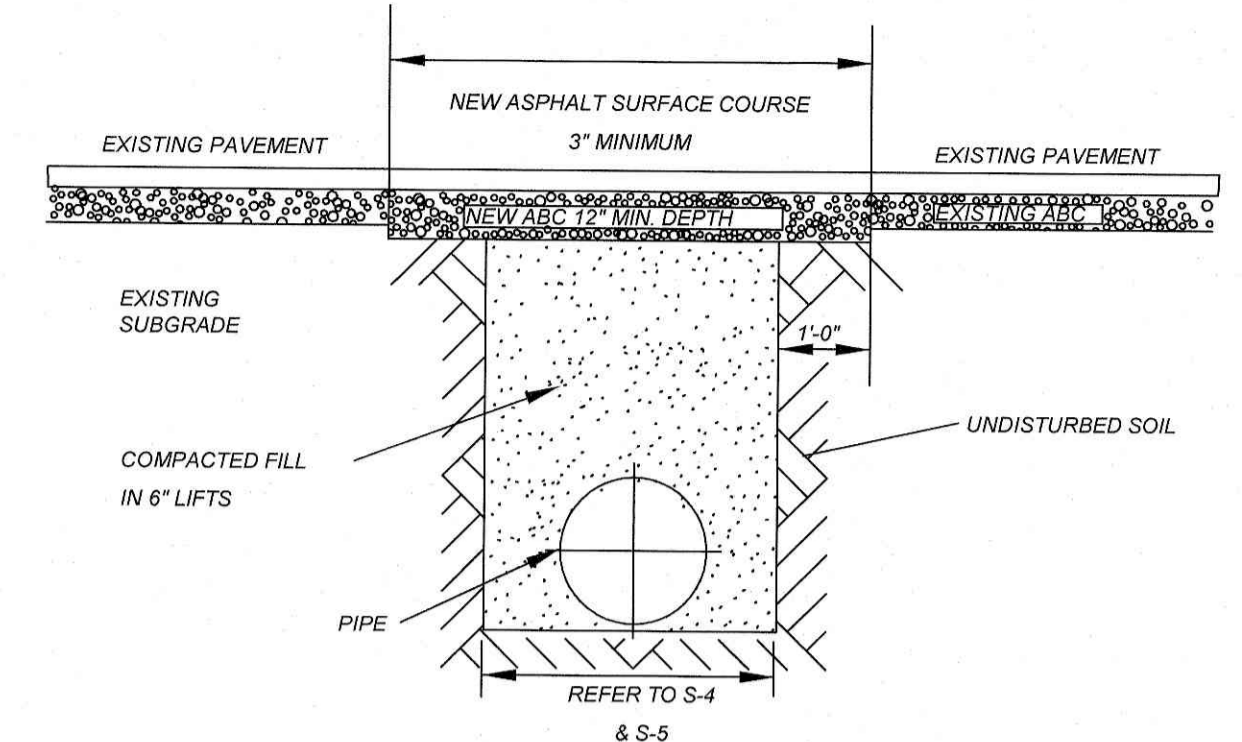


CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD BEDDING DETAILS FOR CCFRPM PIPES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-1	J.P.S.	10-8-10		

PIPE SIZE (IN)	CLEARANCE (DISTANCE IN)
15	2.4
18	2.7
24	3.3
30	3.9
36	4.5
42	4.9
48	5.4
54	6.0
60	6.5
66	7.0
72	7.6

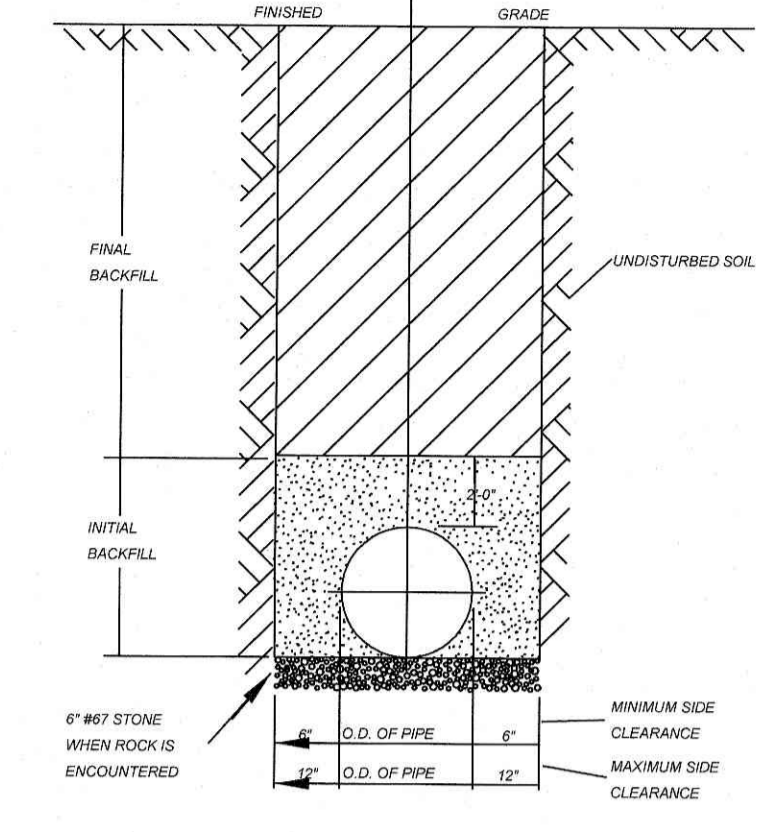


CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL BEDDING FOR STORMWATER RCP PIPES SW-10.14				
REVISIONS	DATE	BY	DATE	DESCRIPTION



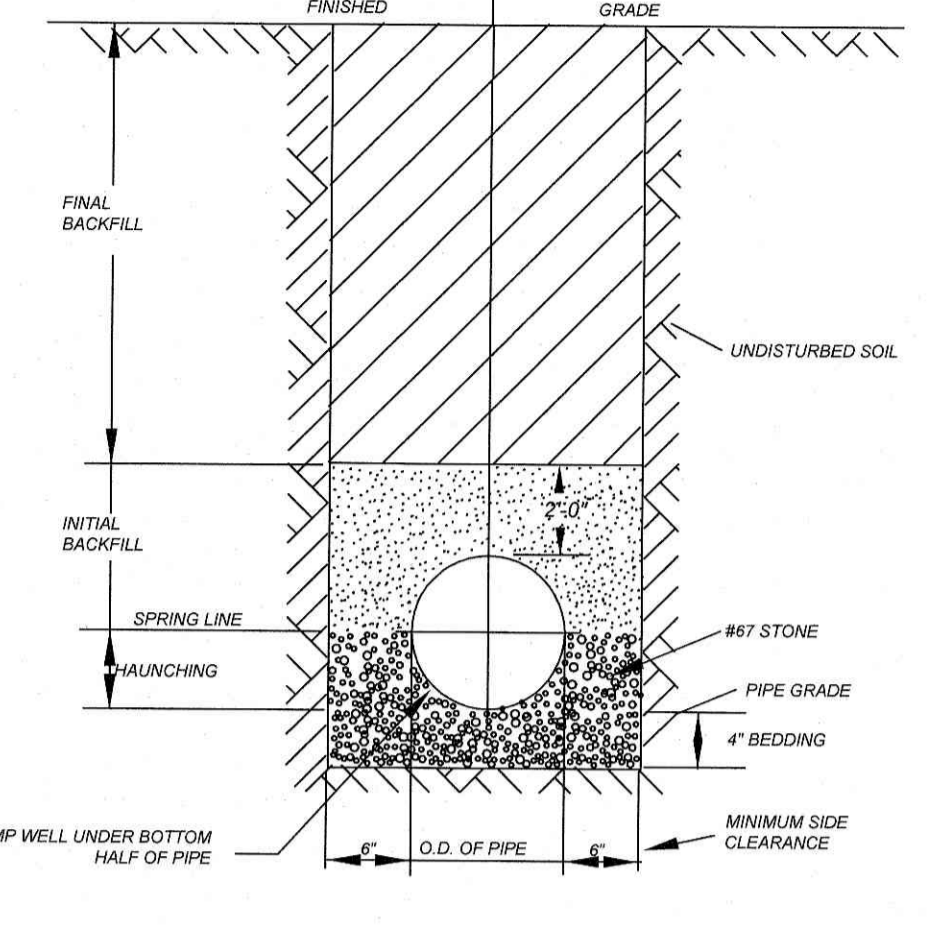
- NOTES:
1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
  2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
  3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
  6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
  8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
  9. NO HAND PATCHING ALLOWED.
  10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	10-8-10



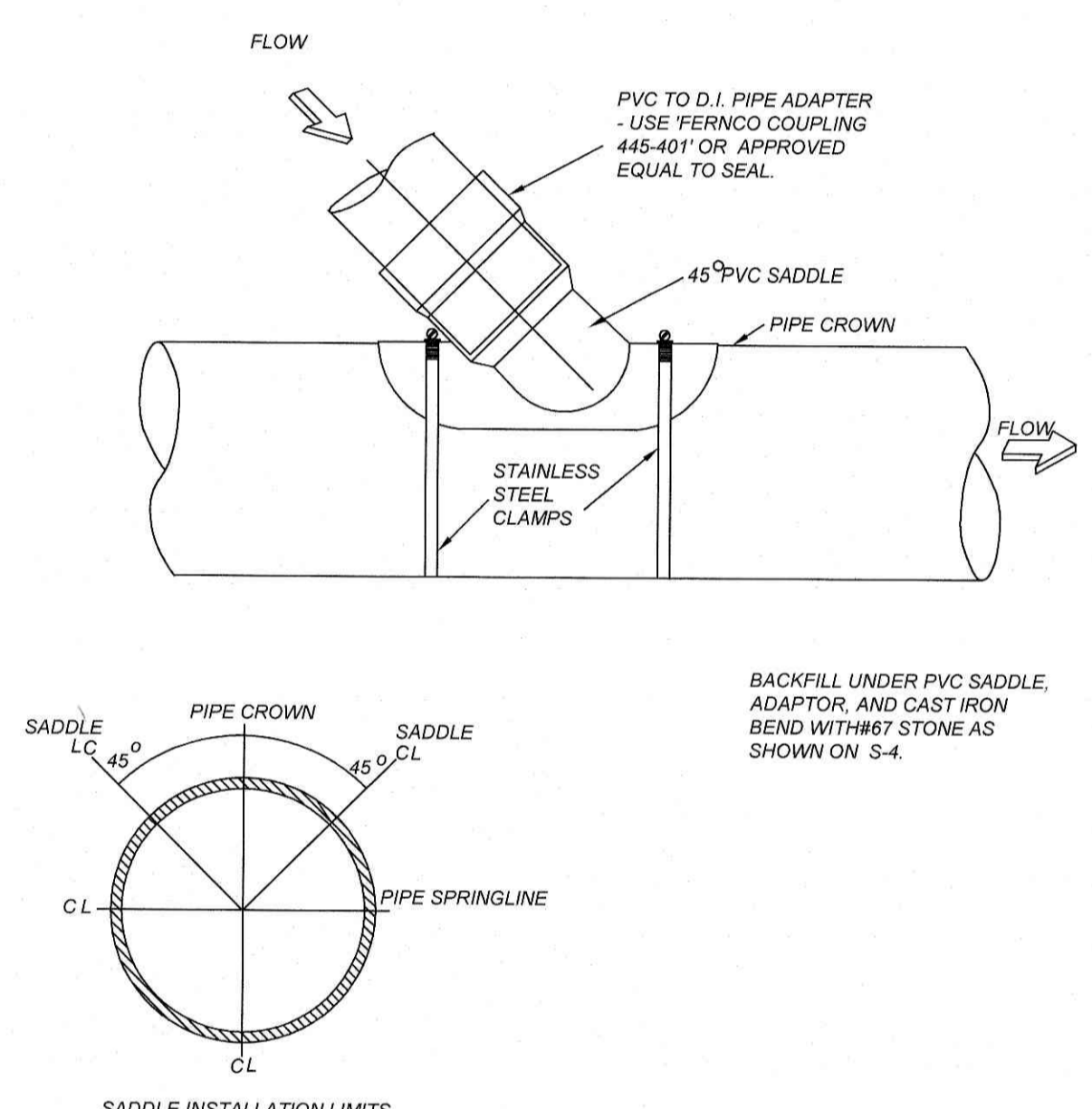
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
  5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
  6. IF IN EASEMENT 4" TOPSOIL AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
  7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	D.W.C.	9-3-99		
	RRH	3-30-00		

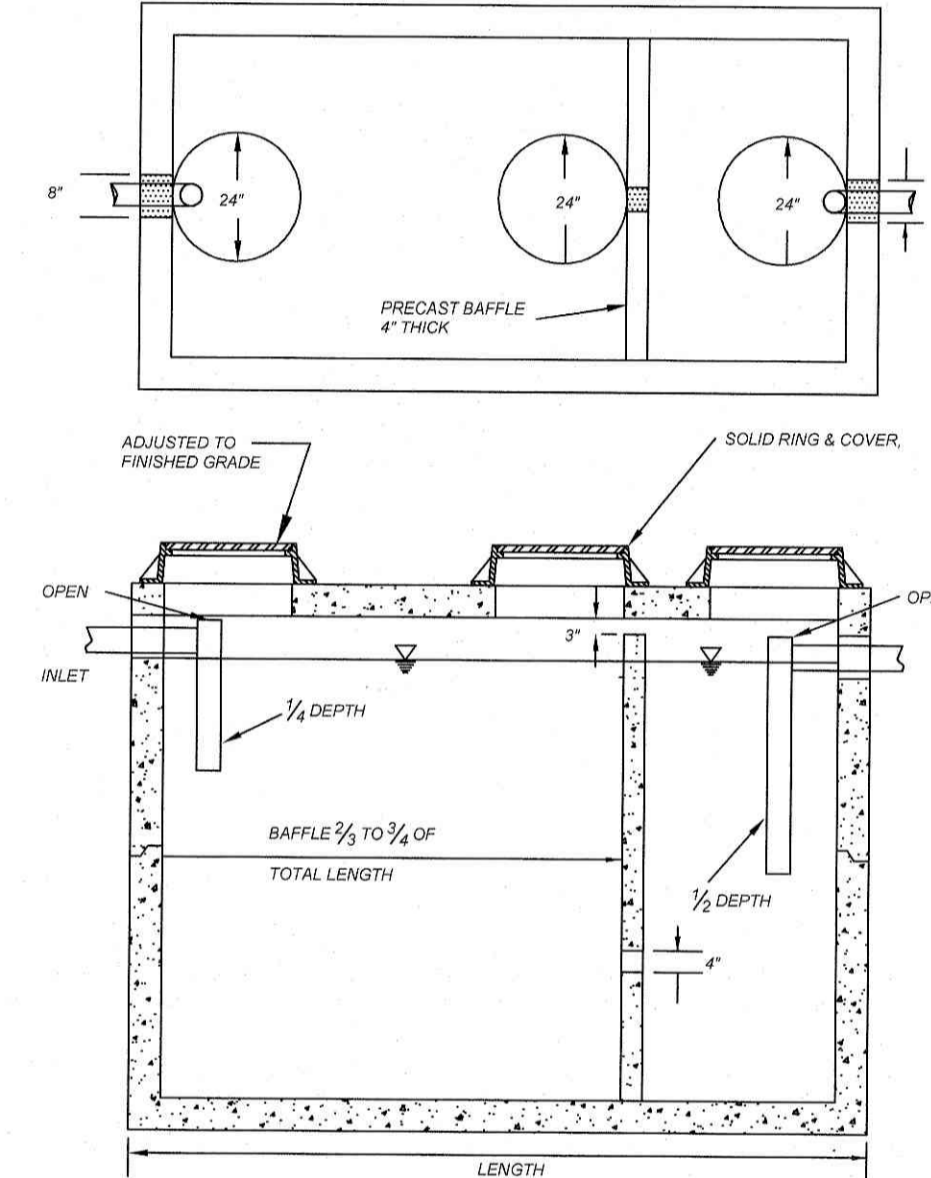


- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

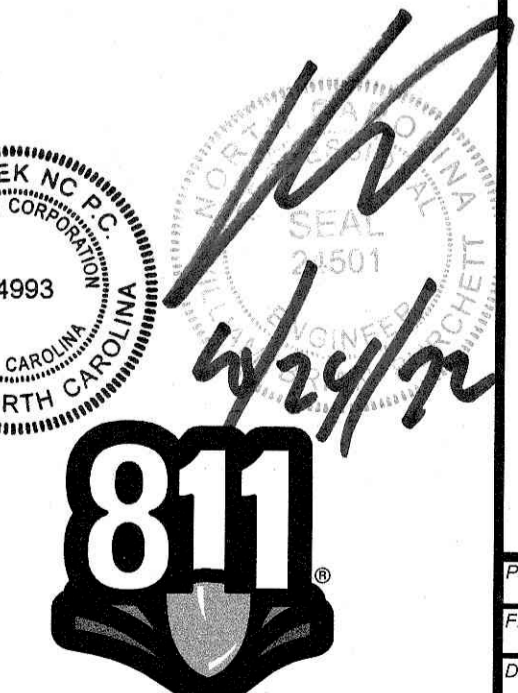
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	T.O. NOTES	1-1-87	D.V.C.	8-3-99
		7-2-82	RRH	3-30-00



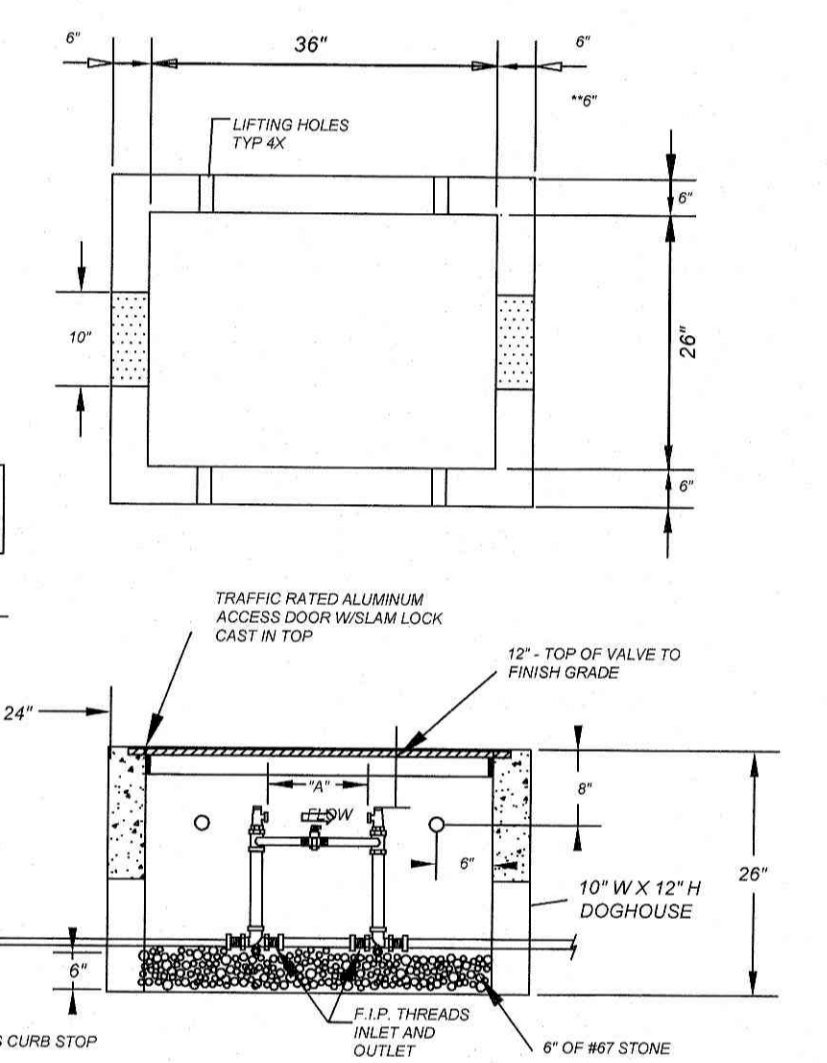
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-31	RRH	3-1-87		
		3-30-00		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES 1000 GALLON GREASE INTERCEPTOR				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-40	RRH	3/5/00	D.H.L.	6/18/00
	ABB	3/19/04		

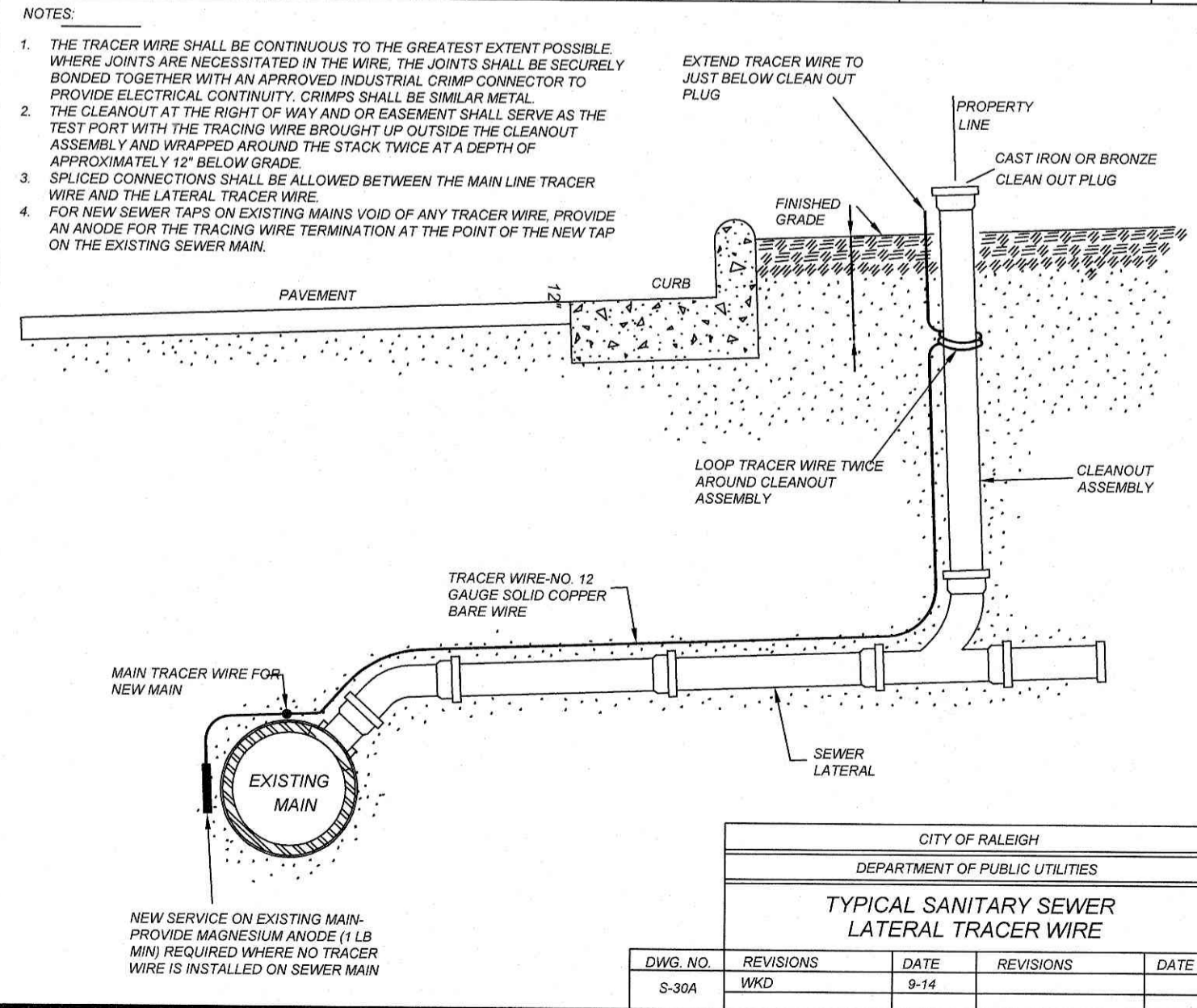


Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

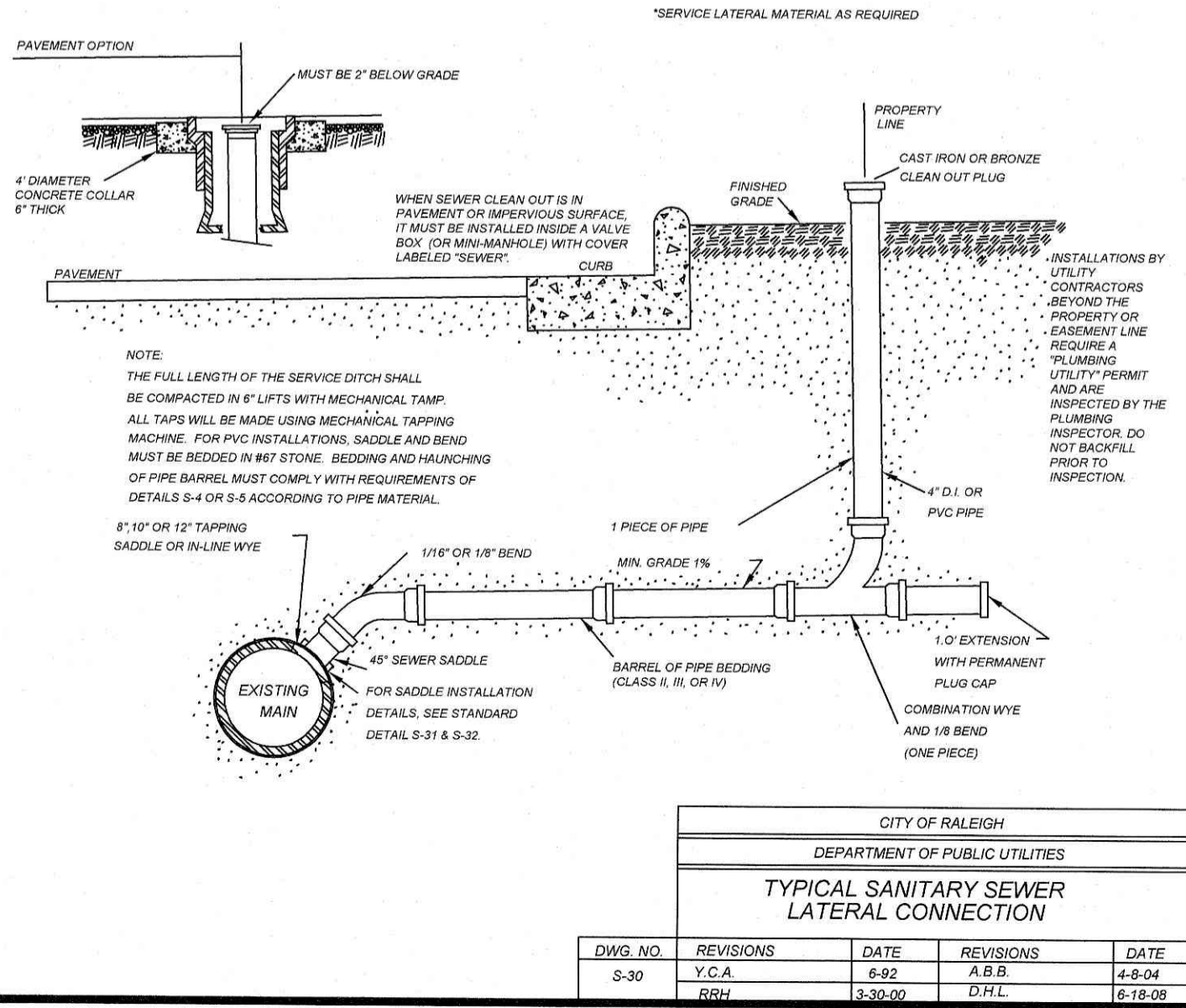


DIMENSION "A"			
1/2" METRIC	1" W"	1 1/2" W"	2" W"
0.5"	1.0"	1.5"	2.0"

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TYPICAL 1 1/2\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-31	A.B.B.	8-17-04	J.P.S.	11-4-10
	D.H.L.	6-18-08		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-304	WKD	9-14		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-82	A.B.B.	4-8-04
	RRH	3-30-00	D.H.L.	6-18-08

REVISIONS			
NO.	DATE	DESCRIPTION	BY

COMMERCIAL  
SITE DESIGN



8772 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27618

CLIENT/OWNER:  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

1200 NORTH ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA  
CITY OF RALEIGH DETAILS

PROJECT NO.	OUT-1502
FILENAME	OUT1502-DT1.3
DRAWN BY	STH
SCALE	N.T.S.
DATE	07-06-2022
SHEET NO.	C-7



PROJECT SUMMARY

CALCULATION DETAILS

LOADING = HS20HS25
APPROX. LINEAR FOOTAGE = 718 LF

STORAGE SUMMARY

STORAGE VOLUME REQUIRED = 8,000 CF
PIPE STORAGE VOLUME = 8,023 CF
BACKFILL STORAGE VOLUME = 0 CF
TOTAL STORAGE PROVIDED = 8,023 CF

PIPE DETAILS

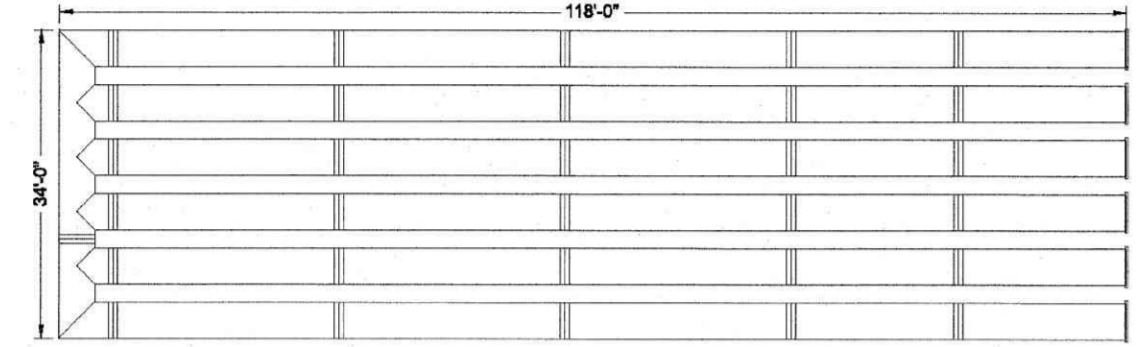
DIAMETER = 48"
CORRUIGATION = 2 23x12
GAGE = 18
CONTING = AL12
WALL TYPE = SOLID
BARREL SPACINGS = 24"

BACKFILL DETAILS

WIDTH AT ENDS = 12"
ABOVE PIPE = 0"
WIDTH AT SIDES = 12"
BELOW PIPE = 0"

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A536.

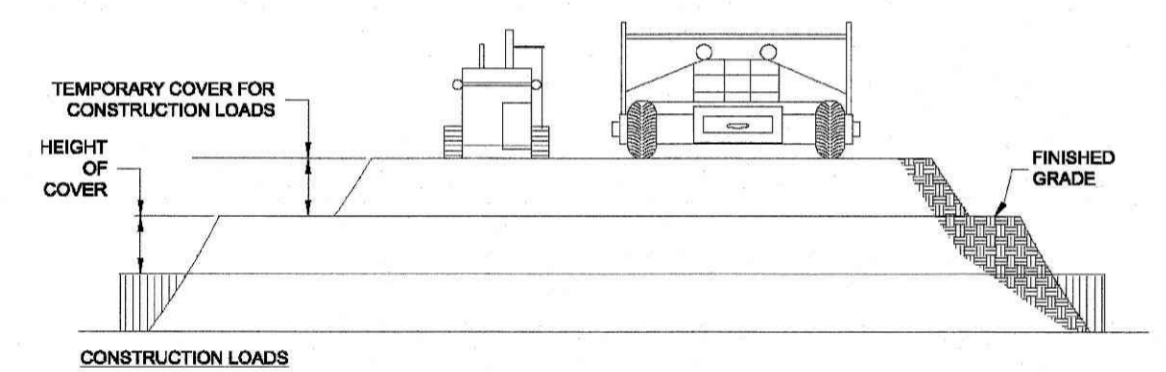


ASSEMBLY SCALE: 1" = 20'

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information.

CONTECH CMP DETENTION SYSTEMS logo and contact information.

PROJECT INFORMATION: DYO20970 COOK OUT COOK OUT Zebulon, NC DETENTION SYSTEM



FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW.

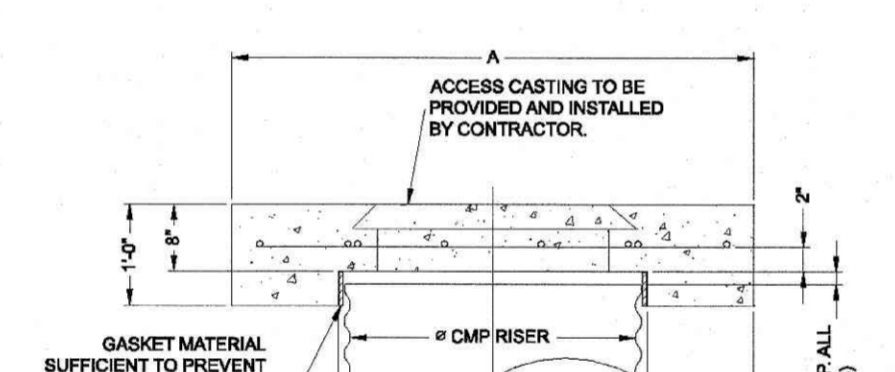
Table with columns: PIPE SPAN INCHES, AXLE LOADS (kips), MINIMUM COVER (FT). Rows include spans from 12-42 to 126-144 inches and axle loads from 2.0 to 4.5 kips.

MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

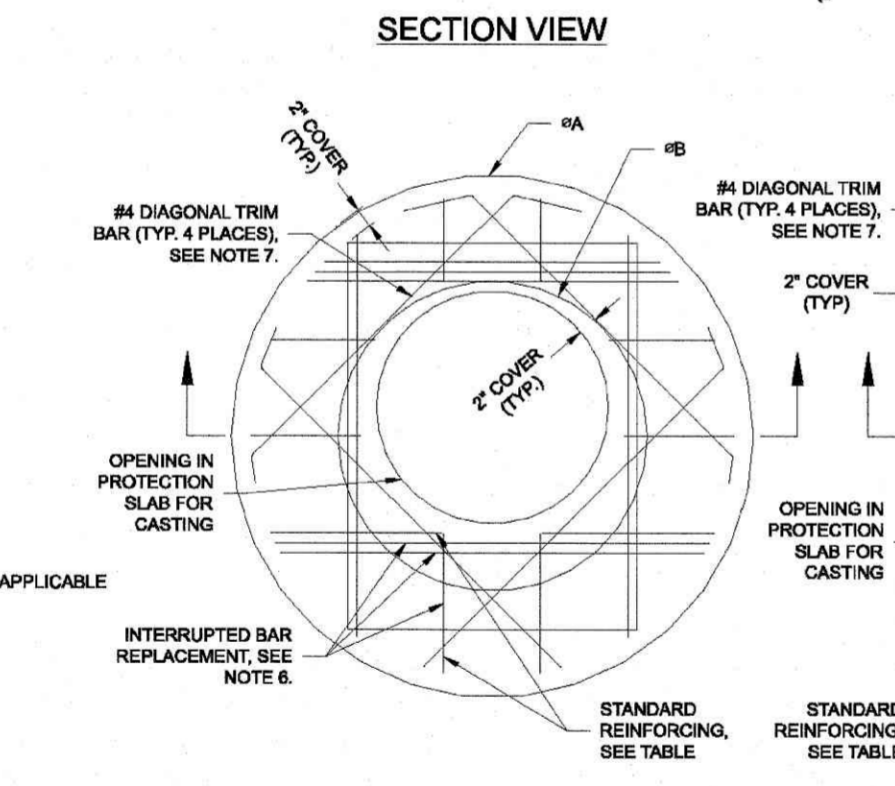
CONSTRUCTION LOADING DIAGRAM SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE: THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.
MATERIAL: THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW.

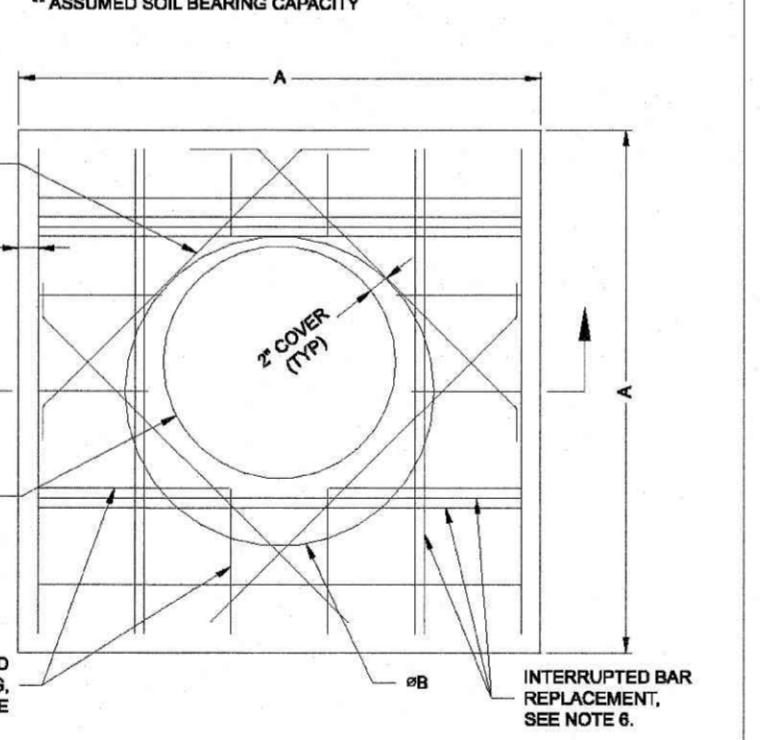


SECTION VIEW



ROUND OPTION PLAN VIEW

REINFORCING TABLE with columns: # CMP RISER, A, # B, REINFORCING, BEARING PRESSURE (PSF). Rows include riser sizes from 24" to 48" and reinforcement details.



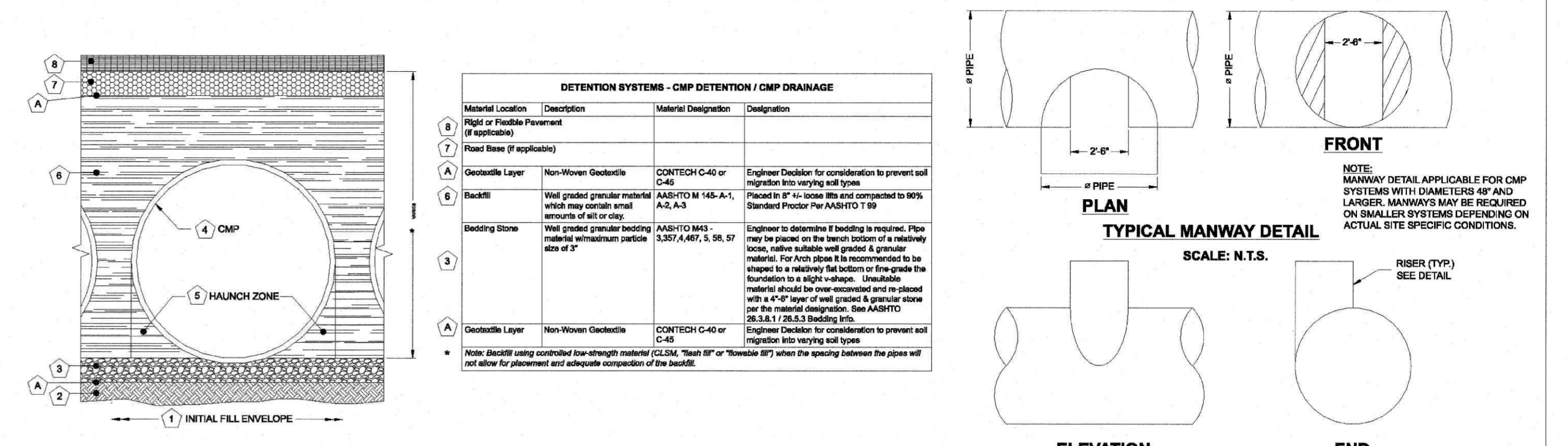
SQUARE OPTION PLAN VIEW

NOTES: 1. DESIGN IN ACCORDANCE WITH AASHTO, 7TH EDITION. 2. DESIGN LOAD HS25. 3. EARTH COVER = 1' MAX. 4. CONCRETE STRENGTH = 3,500 psi. 5. REINFORCING STEEL = ASTM A615, GRADE 60. 6. PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information.

CONTECH CMP DETENTION SYSTEMS logo and contact information.

PROJECT INFORMATION: DYO20970 COOK OUT COOK OUT Zebulon, NC DETENTION SYSTEM



DETENTION SYSTEMS - CMP DETENTION / CMP DRAINAGE
Material Location Description Material Designation Designation
Riser or Flexible Pavement (if applicable)
Road Base (if applicable)
Geotextile Layer Non-Woven Geotextile CONTECH C-40 or C-45 AASHTO M 145-A-1, A2, A3
Backfill Well graded granular material which may contain small amount of clay.
Bedding Stone Well graded granular bedding material minimum particle size of 3"

MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT. FOUNDATION/BEDDING PREPARATION. PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER.

BACKFILL WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (1FT DIFFERENTIAL BETWEEN ANY OF THE PIPES) AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information.

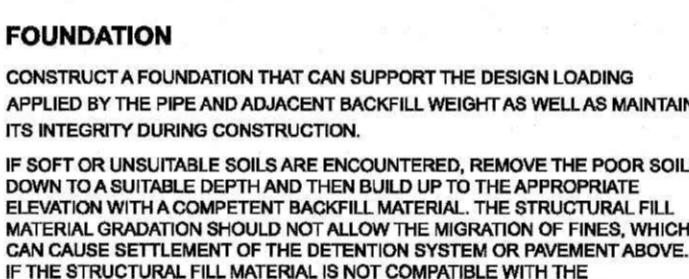
CONTECH CMP DETENTION SYSTEMS logo and contact information.

PROJECT INFORMATION: DYO20970 COOK OUT COOK OUT Zebulon, NC DETENTION SYSTEM

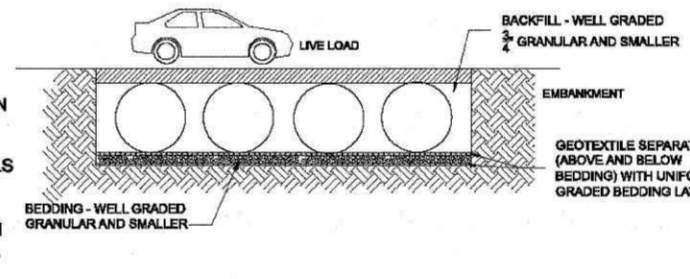
CMP DETENTION INSTALLATION GUIDE
PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION.

IN-SITU TRENCH WALL
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE SHEDS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT.

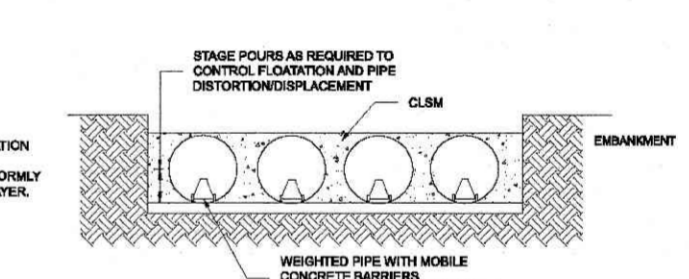
CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE
UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.



FOUNDATION

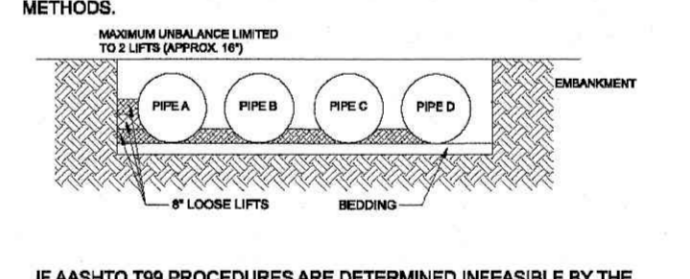


BACKFILL PLACEMENT



CONSTRUCTION LOADING

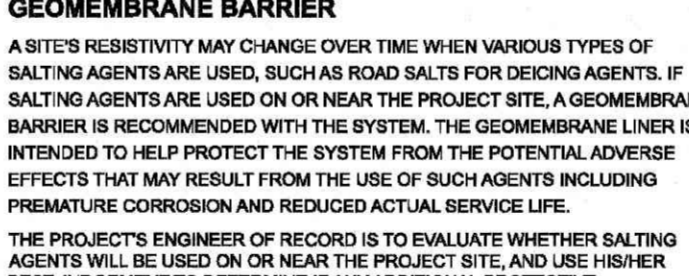
GEOMEMBRANE BARRIER
A SITE'S RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED. SUCH AS ROAD SALTS FOR DEICING AGENTS, IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM.



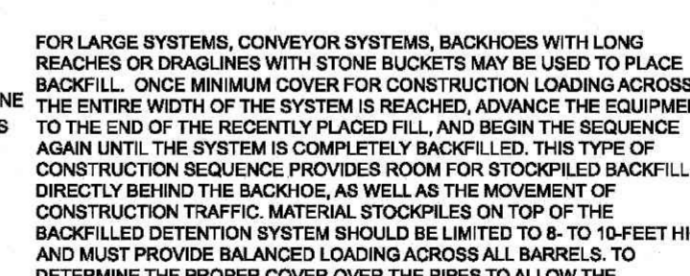
GEOMEMBRANE BARRIER

ADDITIONAL CONSIDERATIONS
BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES.

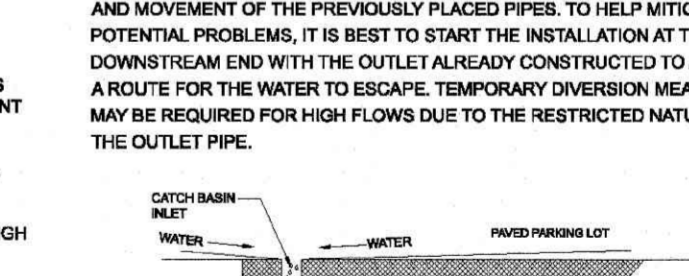
ADDITIONAL CONSIDERATIONS



MANHOLE CAP DETAIL



TYPICAL MANWAY DETAIL



CONSTRUCTION LOADING

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information.

CONTECH CMP DETENTION SYSTEMS logo and contact information.

PROJECT INFORMATION: DYO20970 COOK OUT COOK OUT Zebulon, NC DETENTION SYSTEM

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information.

CONTECH CMP DETENTION SYSTEMS logo and contact information.

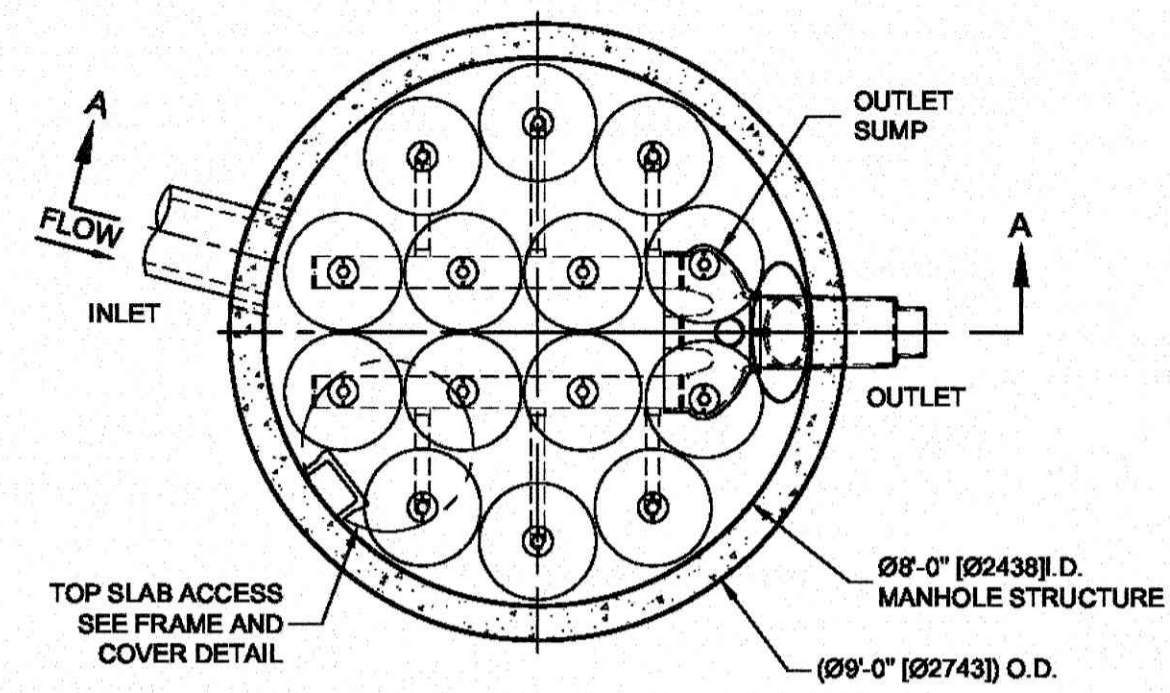
PROJECT INFORMATION: DYO20970 COOK OUT COOK OUT Zebulon, NC DETENTION SYSTEM

COMMERCIAL SITE DESIGN logo and contact information: (919) 848-6101, www.cstedesign.com

CLIENT OWNER: COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NC 27360

1200 NORTH ARENDELLE AVENUE ZEBULON, NORTH CAROLINA

PROJECT NO: OUT-1502 FILENAME: OUT1502-DTL4 DRAWN BY: STH SCALE: N.T.S. DATE: 07-06-2022 SHEET NO: C-9



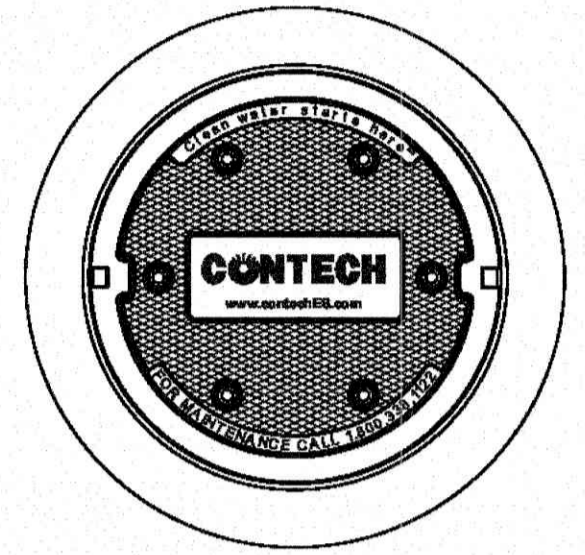
**STORMFILTER DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 14 CARTRIDGES. Ø8'-0" [2438 mm] MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.8 CFS [51 L/s]. IF THE SITE CONDITIONS EXCEED 1.8 CFS [51 L/s] AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

**CARTRIDGE SELECTION**

CARTRIDGE HEIGHT	27" [686 mm]	18" [458 mm]	LOW DROP
RECOMMENDED HYDRAULIC DROP (H)	3.05' [930 mm]	2.3' [700 mm]	1.8' [550 mm]
SPECIFIC FLOW RATE (gpm/ft²) [L/s/m²]	2 [1.30] 1.67* [1.08] 1 [0.65]	2 [1.30] 1.67* [1.08] 1 [0.65]	2 [1.30] 1.67* [1.08] 1 [0.65]
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 [1.42] 18.75 [1.19] 11.25 [0.71]	15 [0.95] 12.53 [0.79] 7.5 [0.44]	10 [0.63] 8.35 [0.54] 5 [0.32]

\* 1.67 gpm/ft² [1.08 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

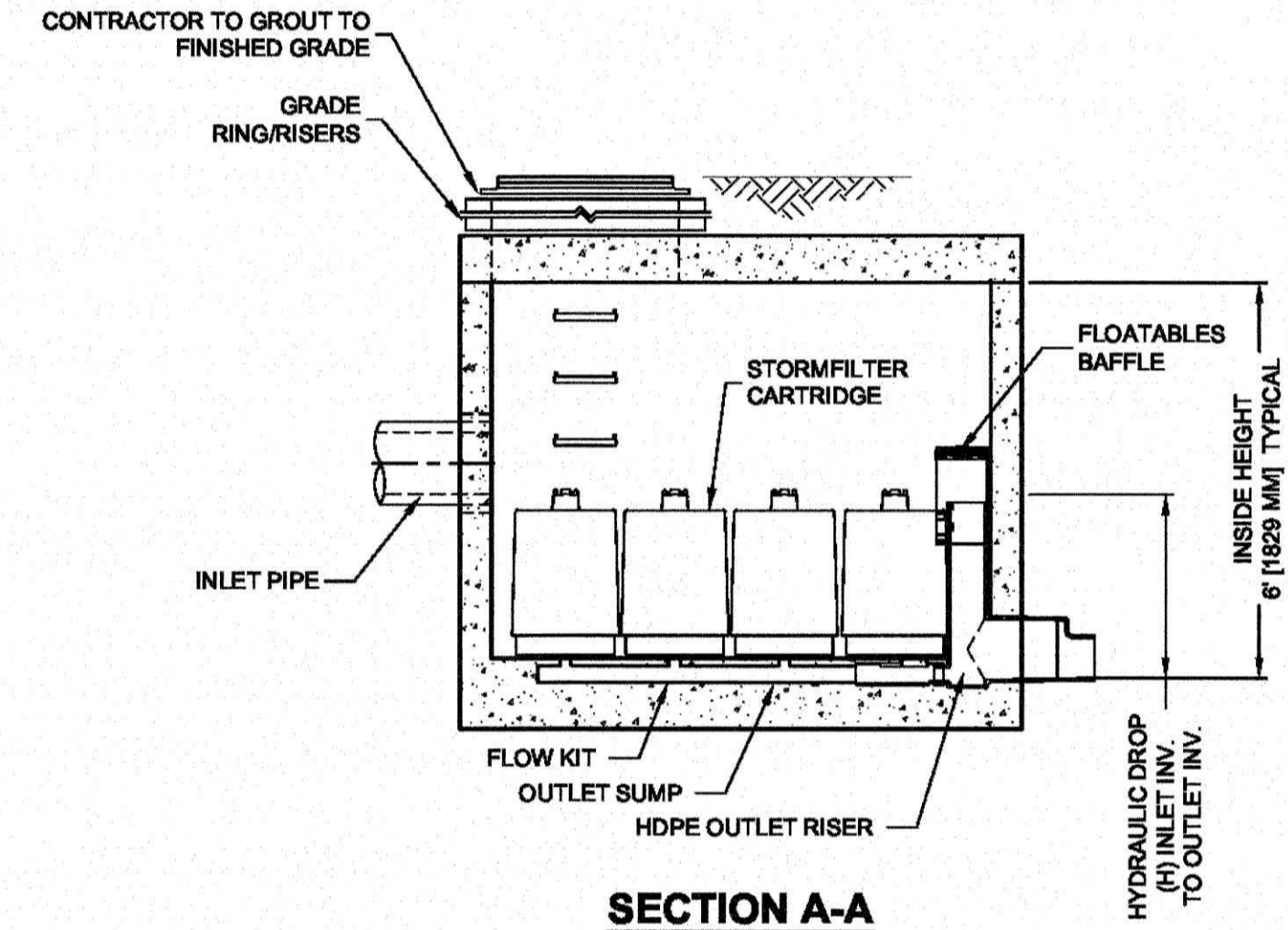


**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	*	
WATER QUALITY FLOW RATE (cfs) [L/s]	*	
PEAK FLOW RATE (cfs) [L/s]	*	
RETURN PERIOD OF PEAK FLOW (yrs)	*	
CARTRIDGE HEIGHT (SEE TABLE ABOVE)	*	
NUMBER OF CARTRIDGES REQUIRED	*	
CARTRIDGE FLOW RATE	*	
MEDIA TYPE (PERLITE, ZPG, PSORB)	*	
PIPE DATA:		
I.E.	MATERIAL	DIAMETER
INLET PIPE #1	*	*
INLET PIPE #2	*	*
OUTLET PIPE	*	*
RIM ELEVATION	*	*
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT
	*	*

NOTES/SPECIAL REQUIREMENTS:  
\* PER ENGINEER OF RECORD

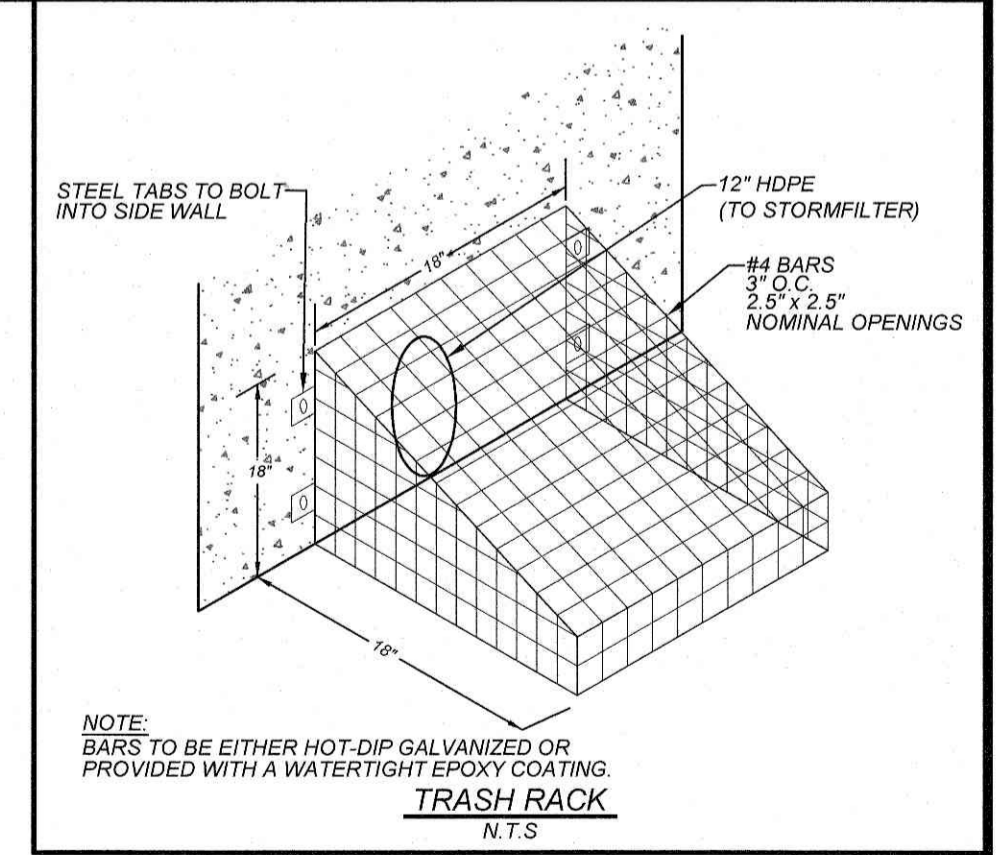
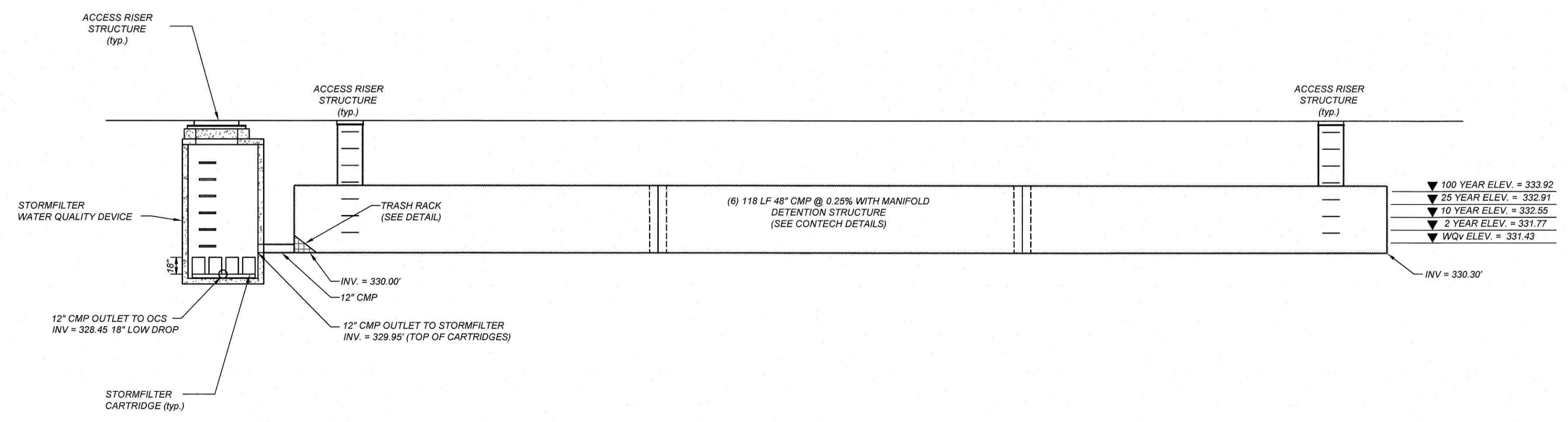
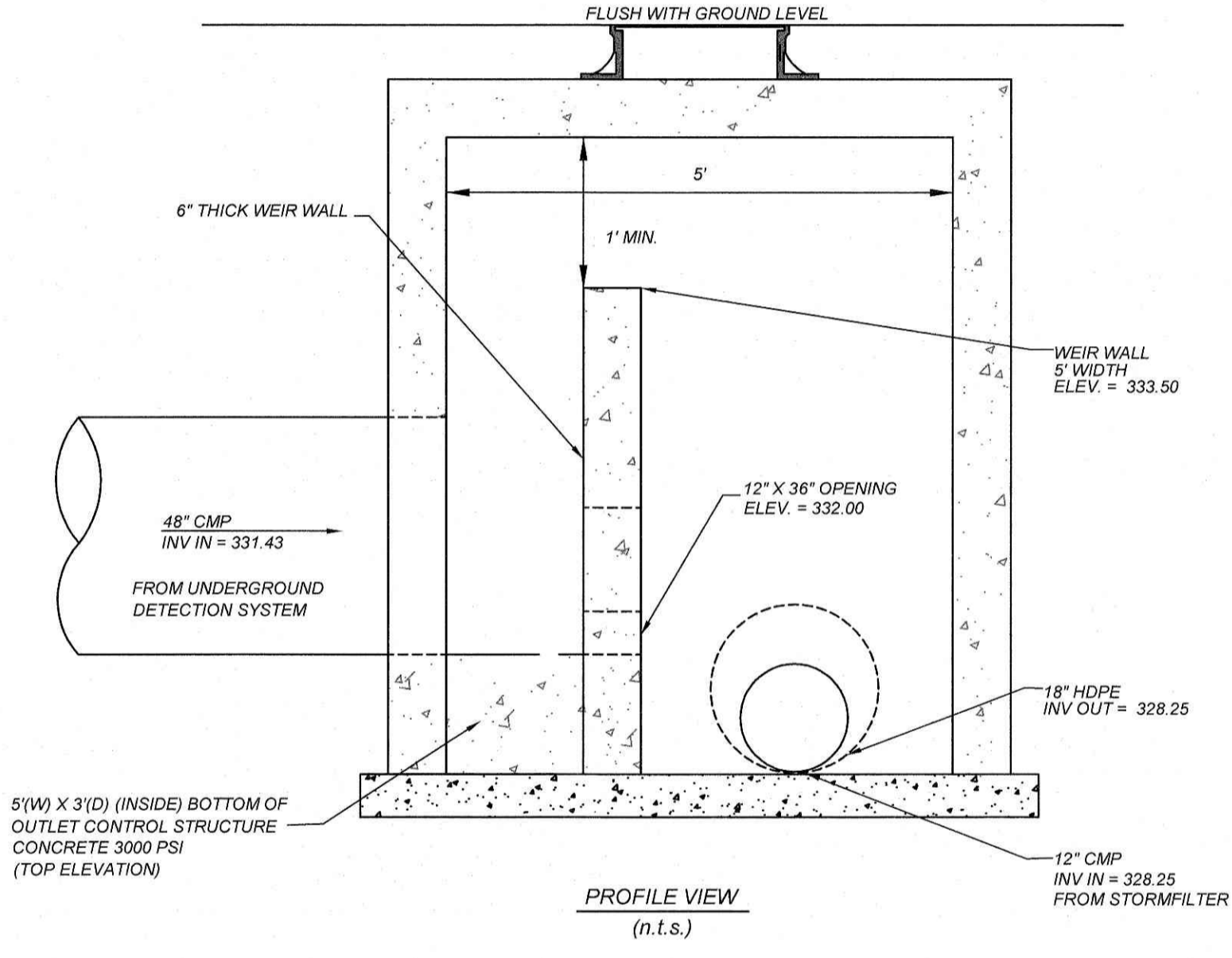
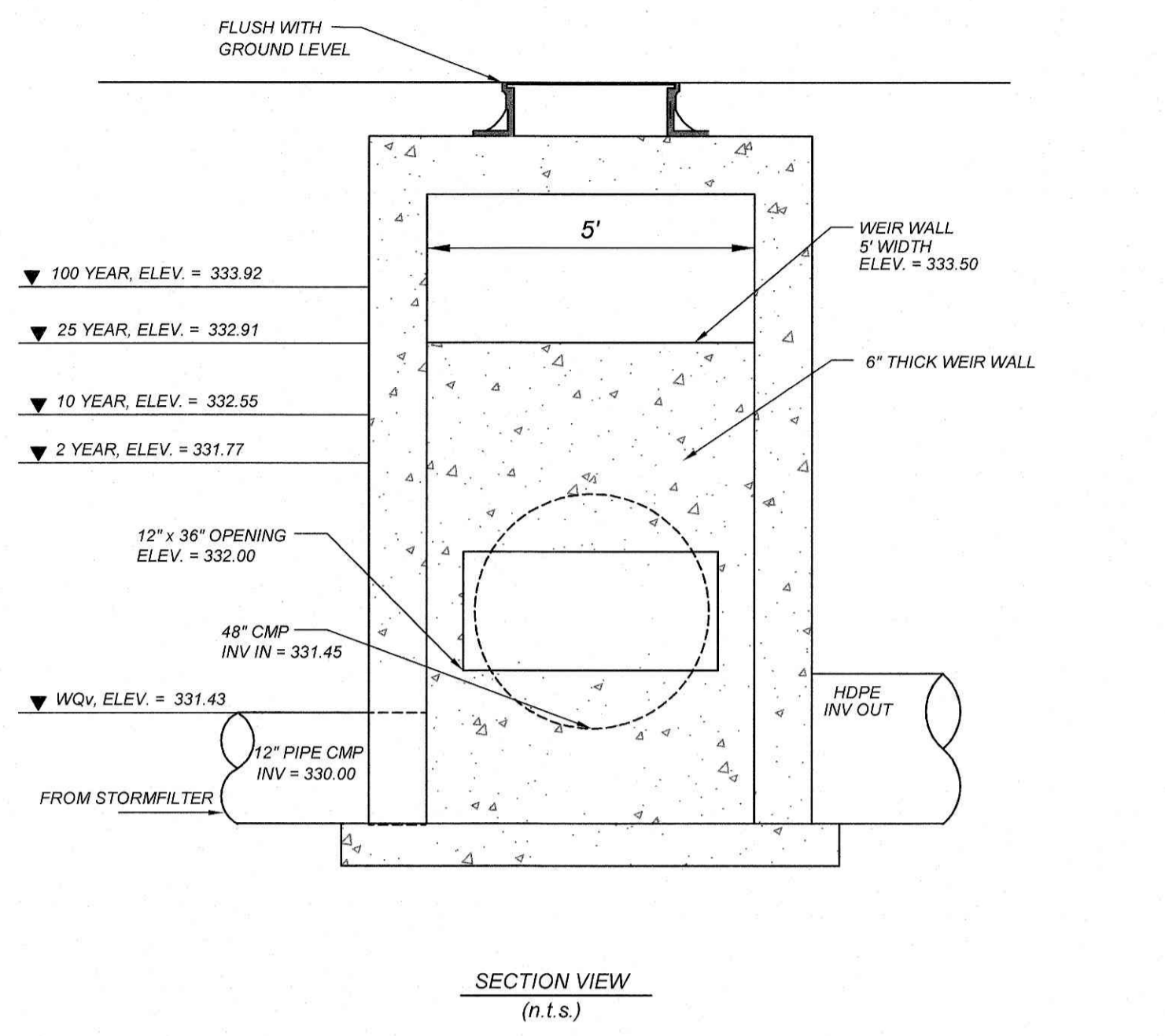
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' [1524 mm] AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES [178 mm]. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) [m²].
  - STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S).
  - CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HDPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES [200 mm], CONTRACTOR TO REMOVE THE 8 INCH [200 mm] OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERNCO OR EQUAL AND PROVIDED BY CONTRACTOR.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



The Stormwater Management  
**StormFilter®**  
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 6,807,809; 6,824,276; 6,707,807; 6,986,167; 6,927,839; 6,646,046; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
[www.contechES.com](http://www.contechES.com)  
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
800-338-1122 513-645-7000 513-645-7993 FAX

**SFMH96**  
**STORMFILTER**  
**STANDARD DETAIL**



PROJECT NO. OUT-1502  
FILENAME: OUT1502-DTL4  
DRAWN BY: STH  
SCALE: N.T.S.  
DATE: 07-06-2022  
SHEET NO. C-9A

**COMMERCIAL SITE DESIGN**  
(919) 848-6021 FAX: (919) 848-2741  
[WWW.CSTEDDESIGN.COM](http://WWW.CSTEDDESIGN.COM)

8812 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27619

**CLIENT OWNER:**  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

**1200 NORTH ARENDELL AVENUE**  
ZEBULON, NORTH CAROLINA

**SCM DETAILS**

PROJECT NO. OUT-1502  
FILENAME: OUT1502-DTL4  
DRAWN BY: STH  
SCALE: N.T.S.  
DATE: 07-06-2022  
SHEET NO. C-9A

SITE PLAN GENERAL NOTES

- 1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA PHONE 919-848-6121, FAX 919-848-3745
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE 'CONSTRUCTION LIMITS' BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNERS SPECIFICATION. COORDINATE LOCATION WITH OWNERS REPRESENTATIVE.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNERS SPECIFICATIONS.
17. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA 'ONE CALL' AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPINGS AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN 'AS-BUILT' SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH 'THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS'.
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

UTILITY NOTES:

- 1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4"FT FOR 4" LINES AND 2) 1/8"FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO RAW, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE 'K' COPPER.
15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART 'P' APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONSTRUCTION SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
24. CONTRACTOR SHALL MAINTAIN AN 'AS-BUILT' SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4"FT, 6" - 1/8"FT.
27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE 'K' HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDERS CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
30. CONTRACTOR SHALL NOTIFY NORTH CAROLINA 811 OR CALL 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH WATER AND SEWER REGULATIONS AND STANDARDS.
32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH CITY OF RALEIGH STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT, IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" x 2, 3" ABC OR BETTER.
35. RELATION OF WATER MAINS TO SEWERS:
A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
B. CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
C. CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 24 INCH CLEAR SEPARATION DISTANCES, OR OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
38. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

DRAINAGE STRUCTURE NOTES

- 1. BOXES SHALL COMPLY WITH LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. ANY NONSTANDARD BOX IS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. THE MAXIMUM HEIGHT OF AN UN-REINFORCED MASONRY DRAINAGE STRUCTURE WITH 8" WALLS SHALL BE LIMITED TO 8'-0" FROM INVERT OF THE OUTLET PIPE TO THE TOP OF THE CASTING. DEPTHS GREATER THAN 8'-0" SHALL HAVE WALLS 12" THICK. BASINS OVER 12' IN TOTAL DEPTH SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. FOUR INCH WALLS ARE NOT ALLOWED ON DRAINAGE STRUCTURES. BOTTOM SLAB ON STRUCTURES SHALL BE REINFORCED WHEN BOX DEPTHS EXCEEDS 8 FT.
4. STEPS ARE TO BE PROVIDED ON ALL BASINS DEEPER THAN 42".
5. STEPS ARE TO BE PS1-PF AS MANUFACTURED BY M.A. INDUSTRIES OR AN APPROVED EQUAL. LOCATE ON NON-PIPE WALLS.
6. MORTAR IN MASONRY BOXES IS TO BE TYPE M.
7. CLAY BRICK STRUCTURES ARE NOT ALLOWED.
8. CONCRETE PIPE IS TO BE MINIMUM CLASS III.
9. CONCRETE BUILDING BRICK IS TO MEET ASTM C-55, GRADE N, TYPE 1.
10. BASINS LOCATED IN WET AREAS, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER, SHALL HAVE WEEP HOLES AS SHOWN ON DETAILS.
11. ALL CAST-IN-PLACE PRECAST CONCRETE DRAINAGE STRUCTURES LOCATED IN PAVED AREAS ACCESSIBLE TO TRUCK LOADINGS TO BE DESIGNED TO MEET AASHTO HS 20-44 LOADING. SEE MANUFACTURERS DETAILS FOR WALL, TOP AND BOTTOM THICKNESS.

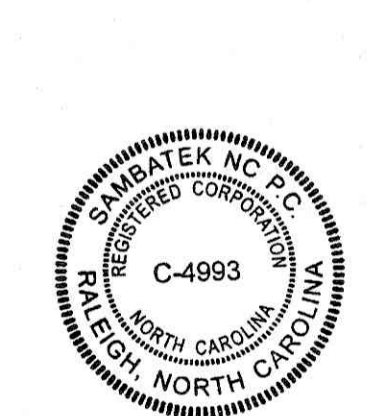
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CLIENT/OWNER: COOK OUT 15 LAURA LANE SUITE 300 THOMASVILLE NC 27380 TELEPHONE: (336) 215-7025 FAX: (336) 474-1849

COOKOUT FRESH HAMBURGERS 1200 NORTH ARENDELL AVENUE ZEBULON, NORTH CAROLINA

Table with 2 columns: PROJECT NO., FILENAME, DRAWN BY, SCALE, DATE, SHEET NO.



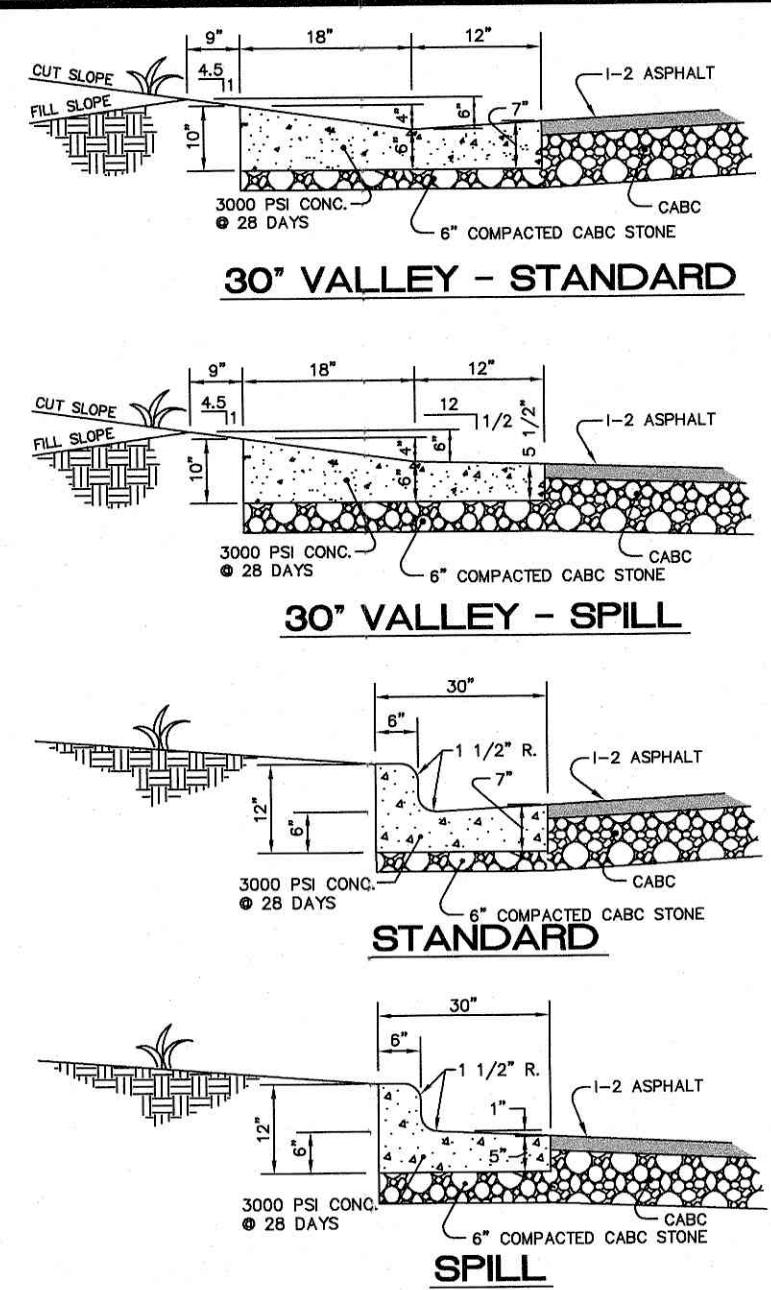
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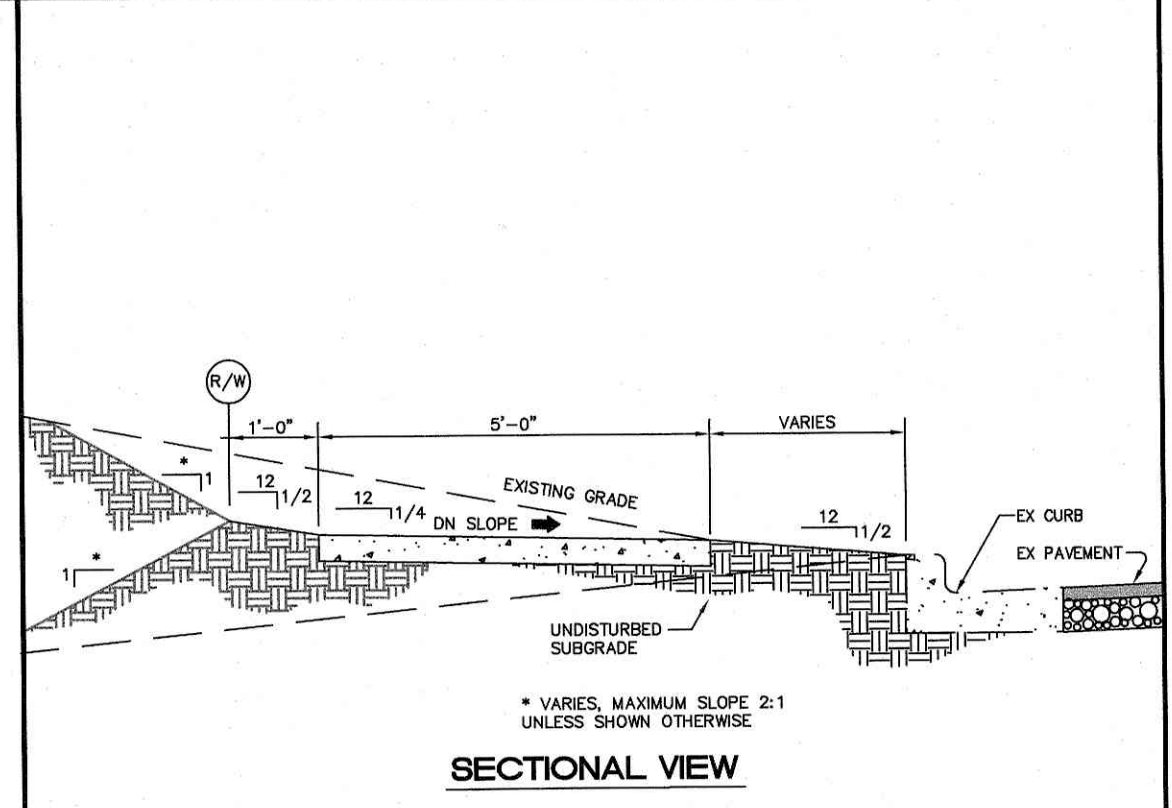
Know what's Below. Call before you dig. nc811.org or 1-800-632-4949

DETAILS

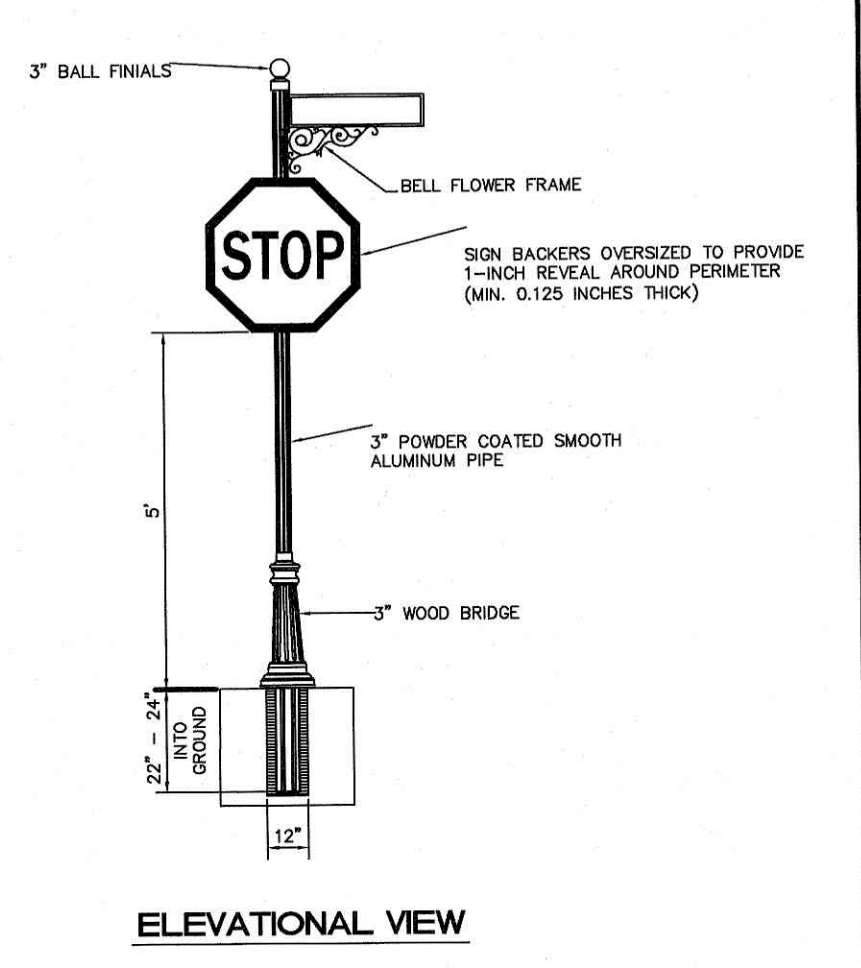
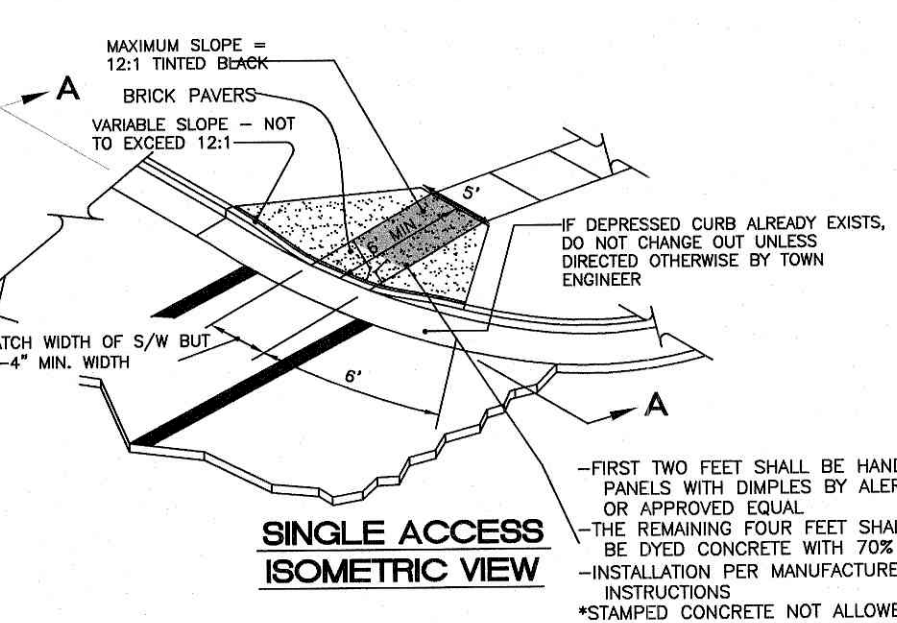
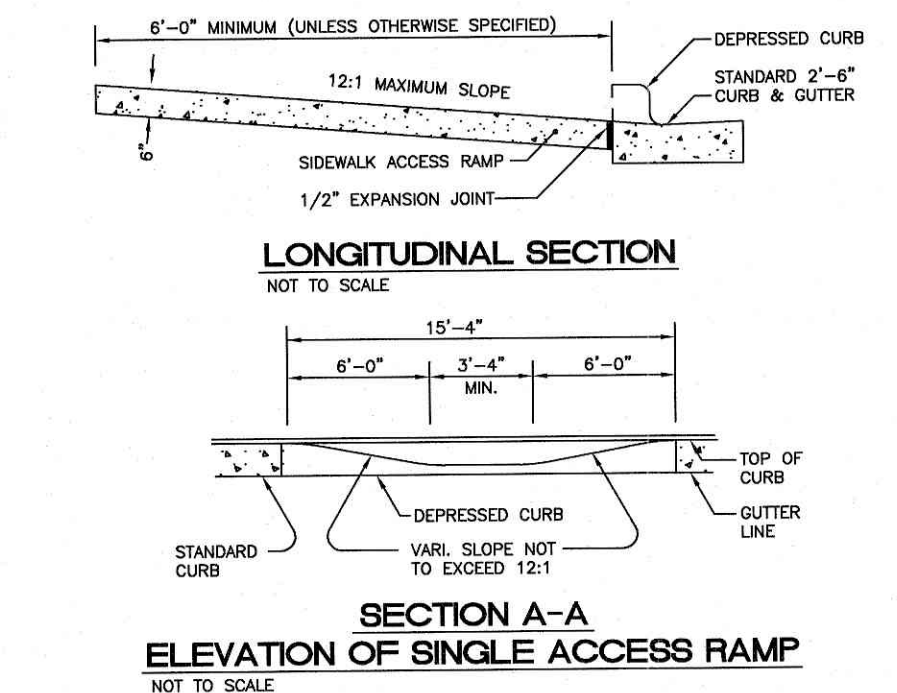
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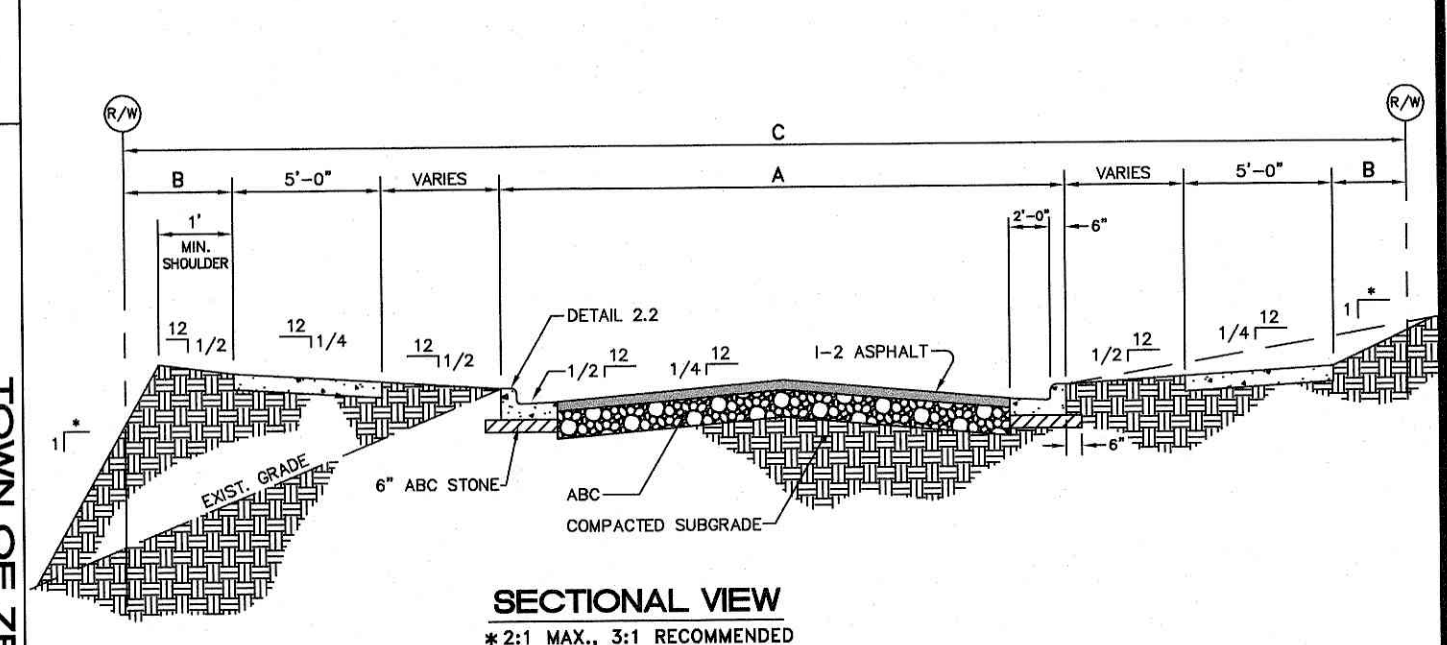
NOTES:  
 1. SCORE CURB / VALLEY GUTTER AT 15° O.C.  
 2. PROVIDE 1/2\"/>



- PROVIDE 3/4\"/>



- NOTES:  
 1. SIGNS WILL BE CONSTRUCTED FROM QUALITY ALUMINUM AND POWDER COATED WITH GLOSS BLACK POLYESTER TWO COAT PROCESS.  
 2. ALL FASTENERS WILL BE STAINLESS STEEL.  
 3. STOP SIGNS WILL HAVE A 1/2\"/>



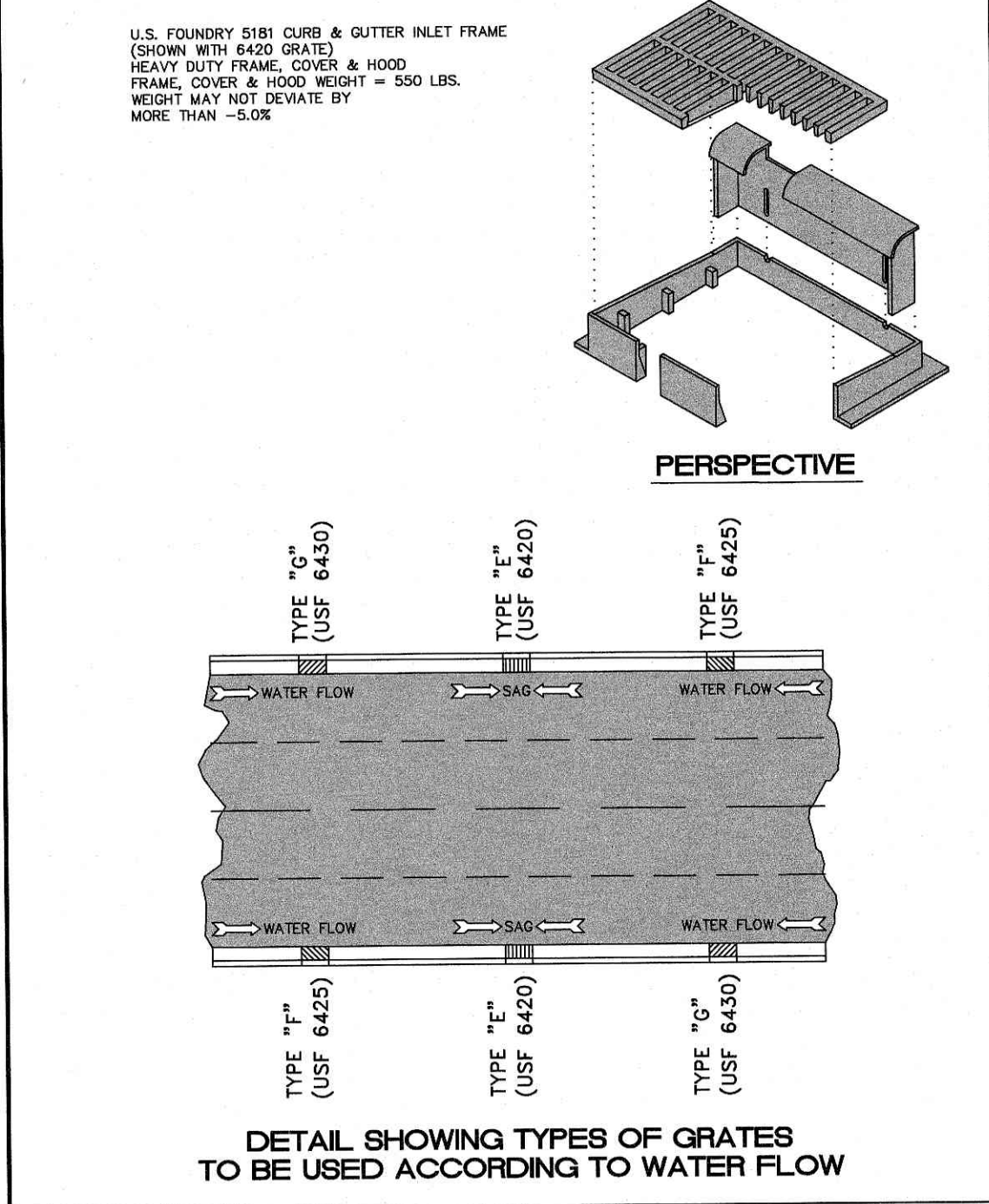
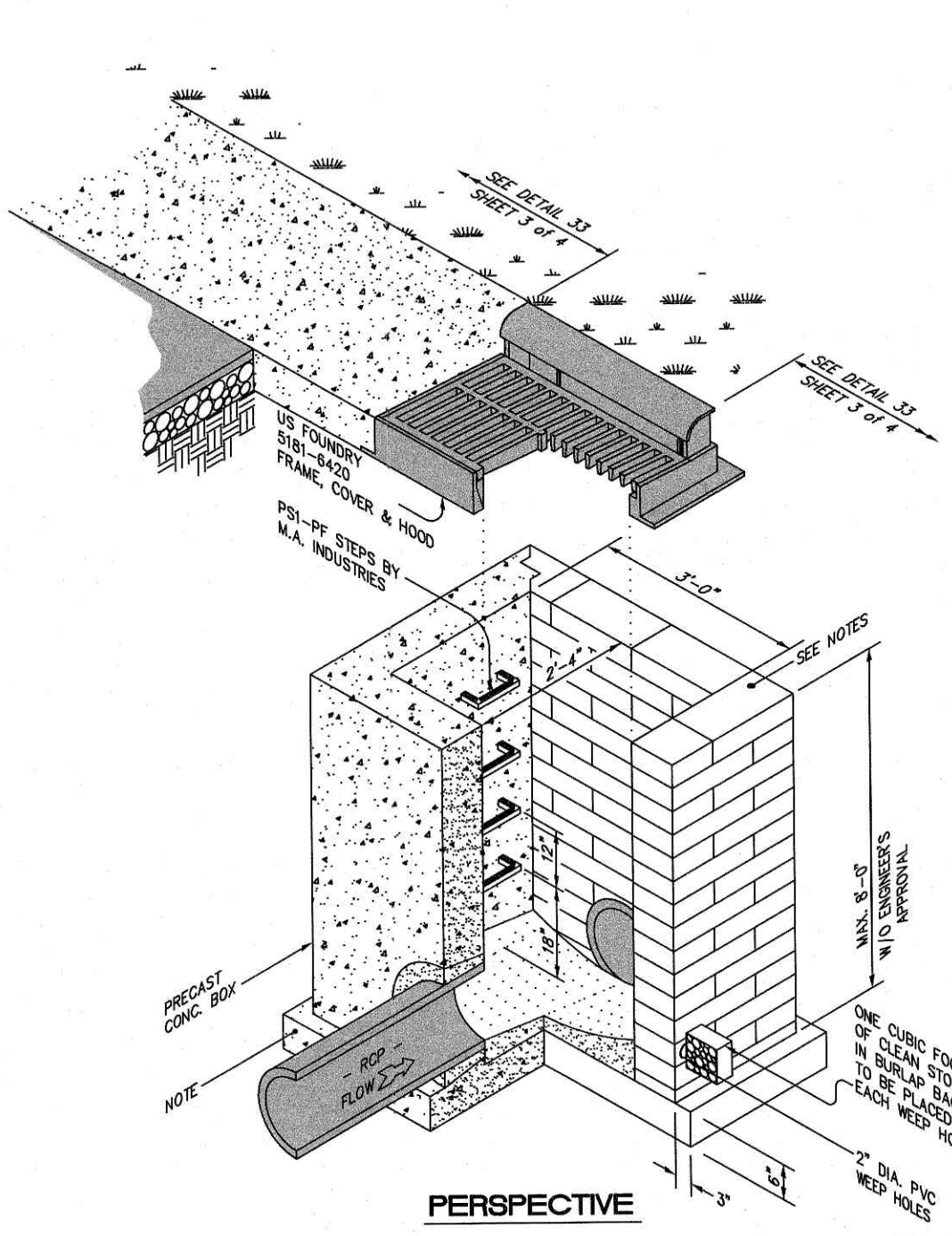
CLASSIFICATION	GEOMETRIC PROPERTIES			SECTION C (ft)
	MIN. BACK (ft)	MAX. BACK (ft)	PAVEMENT SF9.5	
OUT-DE-SAG	26'	N/A	3'	8"
LOCAL STREET	26'	FROM R/W	3'	8"
RESIDENTIAL COLLECTOR	35'	FROM R/W	4'	8"
THOROUGHFARE	35'	FROM R/W	VARIES	SEE NCDOT STANDARDS

TOWN OF ZEBULON  
 STD. CURB & GUTTER & VALLEY GUTTER DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 1

TOWN OF ZEBULON  
 TYP. SIDEWALK in CUT or FILL SECTIONS  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 1

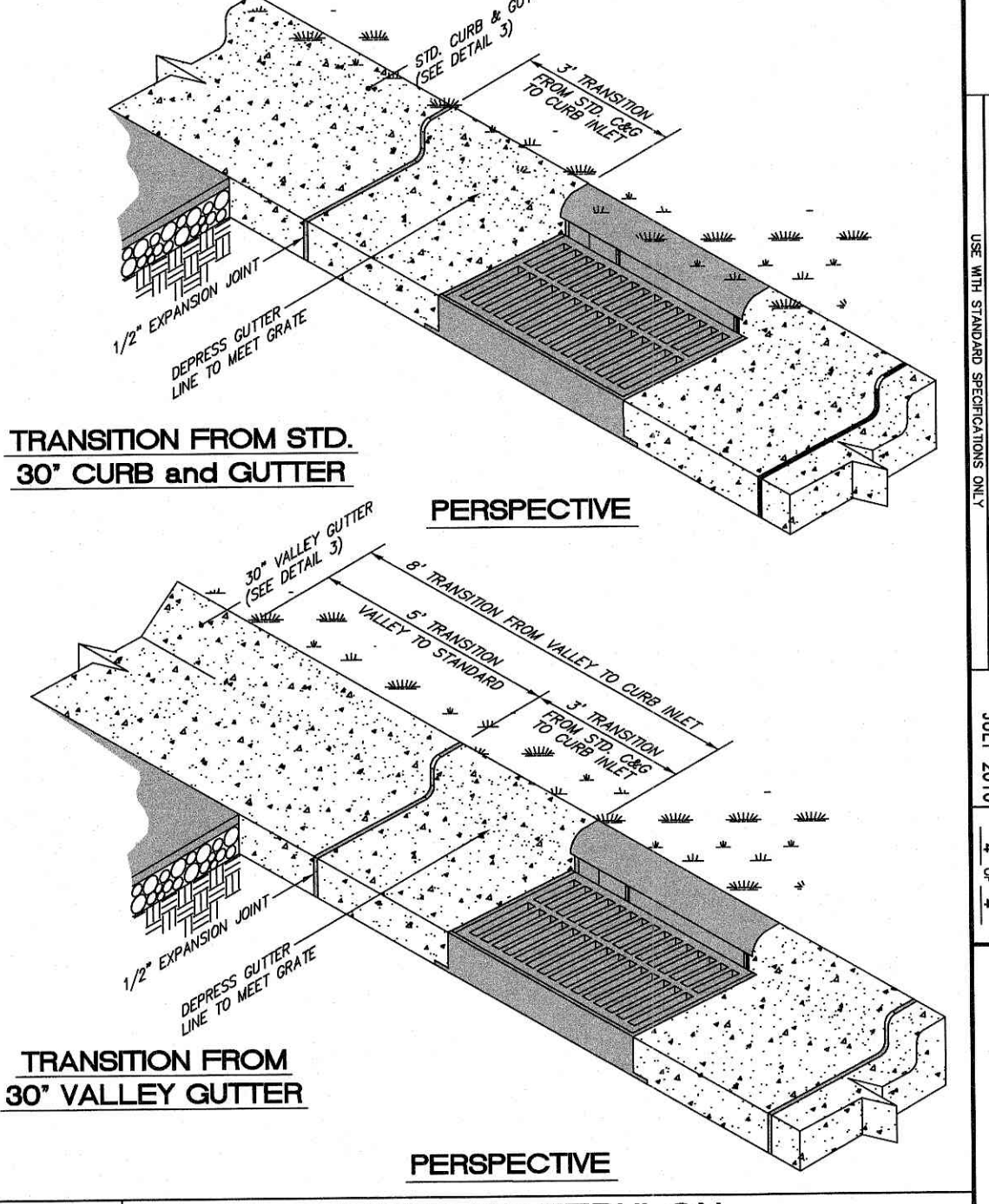
TOWN OF ZEBULON  
 SINGLE HANDICAP RAMP DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 1

TOWN OF ZEBULON  
 PREMIUM SIGN INSTALLATION DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 1

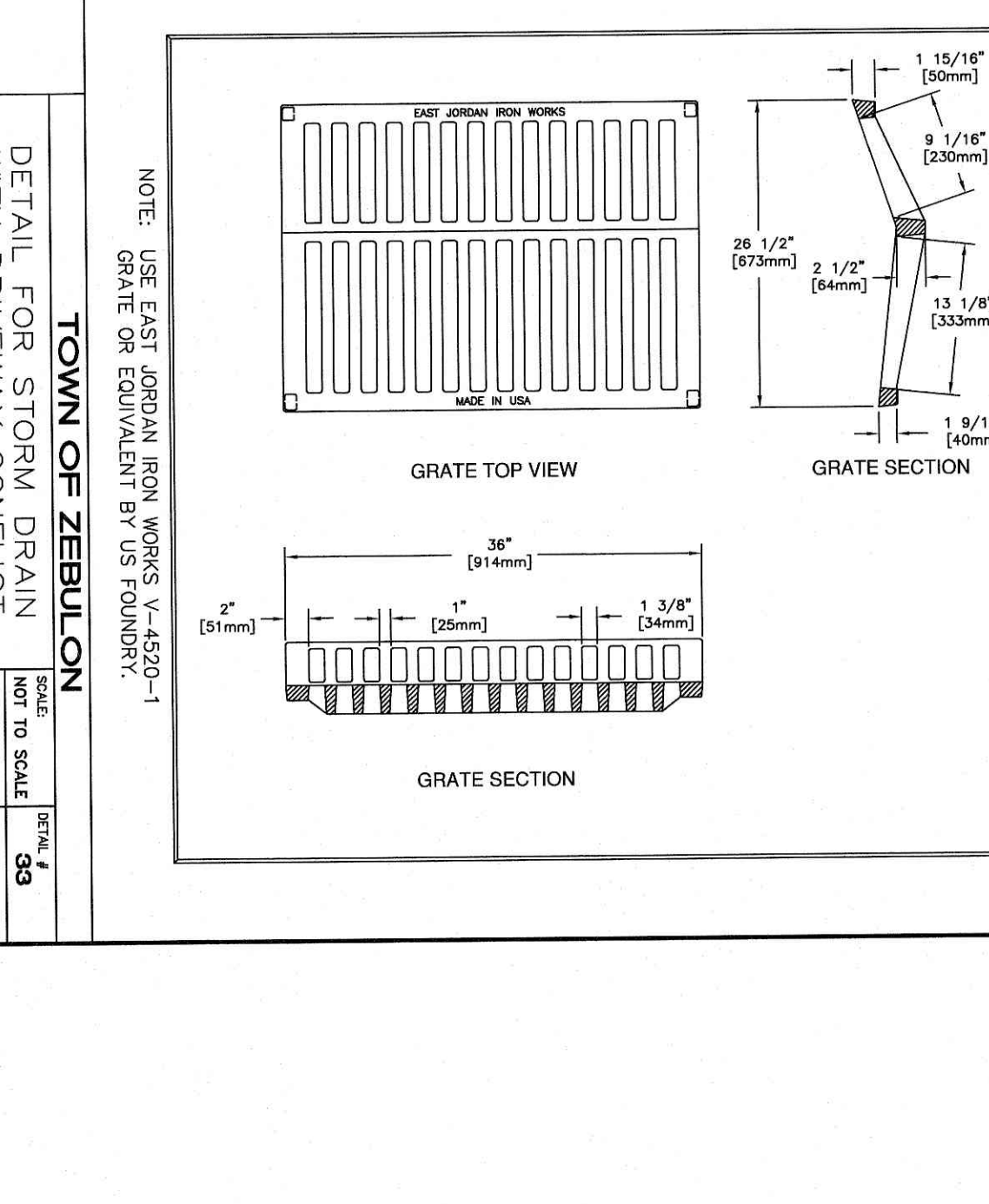


TOWN OF ZEBULON  
 STD. C&G INLET W/HOOD DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 4

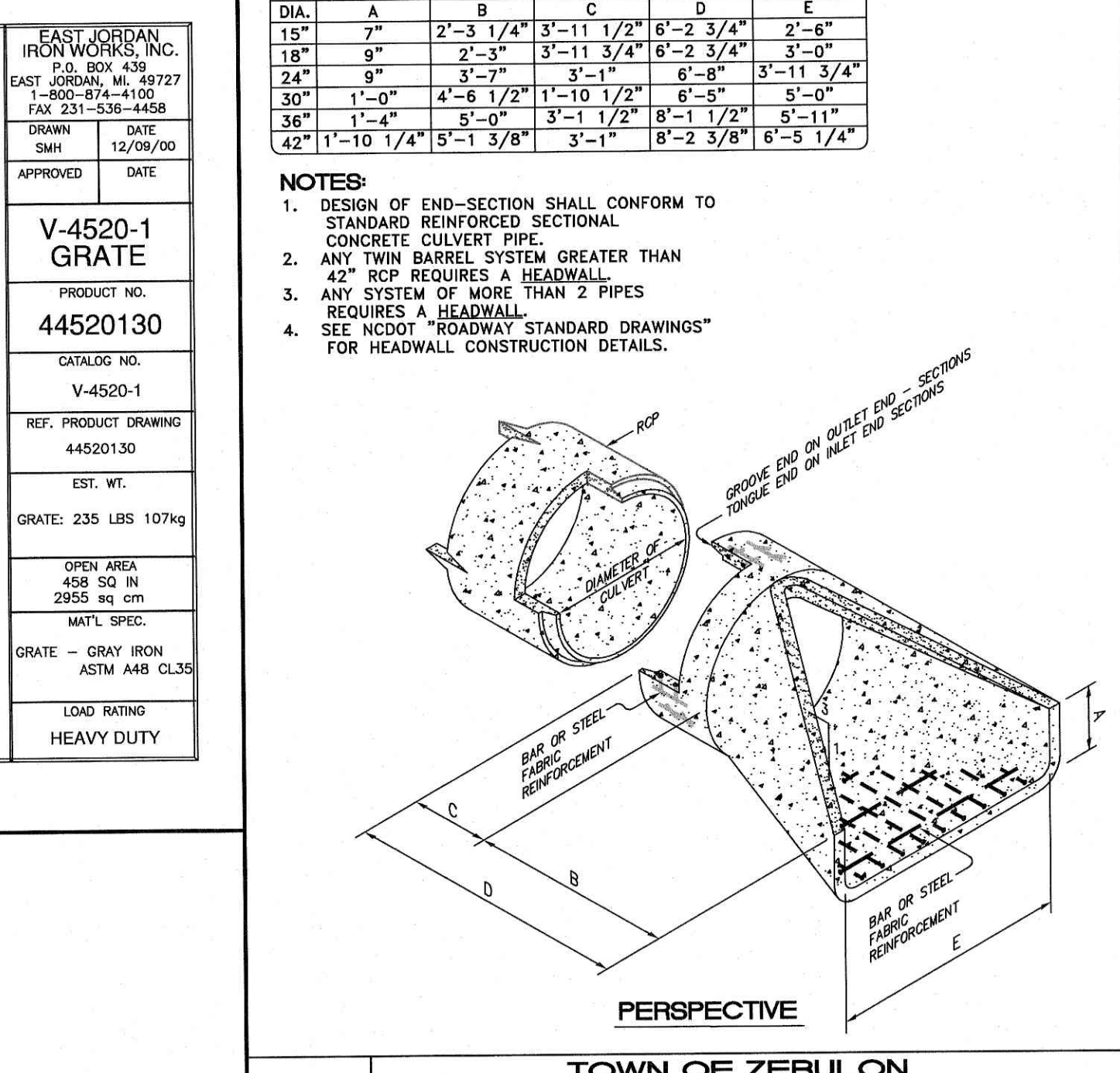
TOWN OF ZEBULON  
 STD. C&G INLET W/HOOD DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 2 OF 4



TOWN OF ZEBULON  
 STD. TRANSITION FROM INLET TO STD. C&G / VALLEY GUTTER  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 3 OF 4



TOWN OF ZEBULON  
 DETAIL FOR STORM DRAIN WITH DRIVEWAY CONFLICT  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 4 OF 4



TOWN OF ZEBULON  
 STD. FLARED END SECTIONS DESIGN AID DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 1 OF 1

EAST JORDAN IRON WORKS, INC.  
 P.O. BOX 439  
 EAST JORDAN, W.V. 26027  
 800-874-4100  
 FAX 201-336-4458  
 DRAWN: SMH  
 DATE: 12/09/00  
 APPROVED: [Signature]  
 V-4520-1 GRATE  
 PRODUCT NO. 44520130  
 CATALOG NO. V-4520-1  
 REF. PRODUCT DRAWING 44520130  
 EST. WT. GRATE: 235 LBS 107kg  
 OPEN AREA 458 SQ IN 2955 sq cm  
 MATL. SPEC. GRATE - GRAY IRON ASTM A88 CL35  
 LOAD RATING HEAVY DUTY

DIA.	END SECTION DIMENSIONS				
	A	B	C	D	E
15"	7"	2'-3 1/4"	3'-11 1/2"	6'-2 3/4"	2'-6"
18"	9"	2'-3"	3'-11 3/4"	8'-2 3/4"	3'-0"
24"	9"	3'-7"	3'-11"	6'-8"	3'-11 3/4"
30"	1'-0"	4'-6 1/2"	1'-10 1/2"	6'-5"	5'-0"
36"	1'-4"	5'-0"	3'-1 1/2"	8'-1 1/2"	5'-11"
42"	1'-10 1/4"	5'-1 3/8"	3'-1"	8'-2 3/8"	6'-5 1/4"

- NOTES:  
 1. DESIGN OF END-SECTION SHALL CONFORM TO STANDARD REINFORCED SECTIONAL CONCRETE CULVERT PIPE.  
 2. ANY TWIN BARREL SYSTEM GREATER THAN 42" RCP REQUIRES A HEADWALL.  
 3. ANY SYSTEM OF MORE THAN 2 PIPES REQUIRES A HEADWALL.  
 4. SEE NCDOT "ROADWAY STANDARD DRAWINGS" FOR HEADWALL CONSTRUCTION DETAILS.

NO.	DATE	DESCRIPTION

COMMERCIAL SITE DESIGN  
 (919) 846-8271 FAX: (919) 846-3741  
 WWW.CSITDESIGN.COM  
 8718 CREEDEMOR ROAD  
 RALEIGH, NORTH CAROLINA 27613

CLIENTOWNER:  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

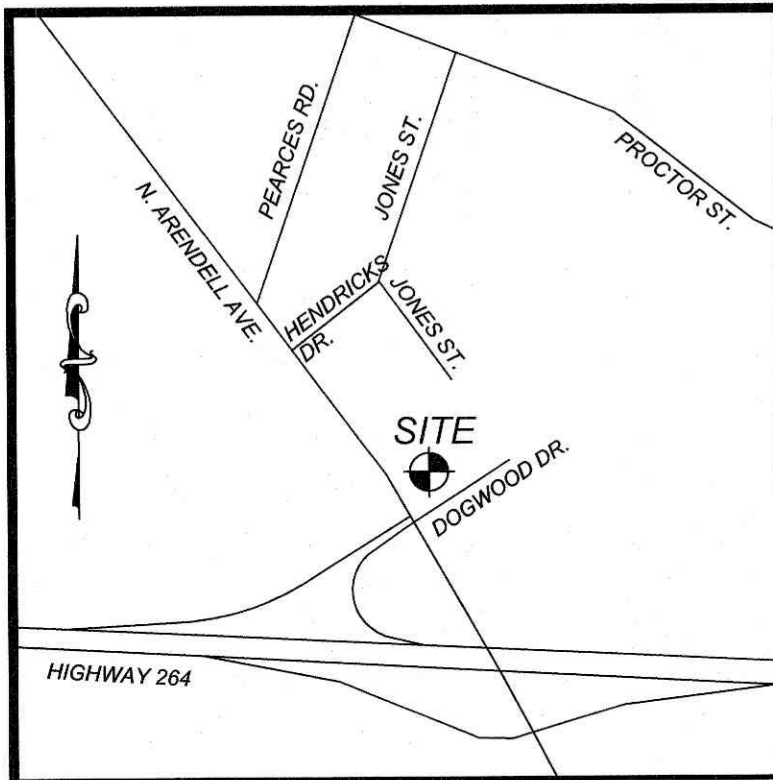
1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA  
 TOWN OF ZEBULON DETAILS

PROJECT NO.	OUT-1502
FILENAME	OUT1502-DTL6
DRAWN BY	STH
SCALE	N.T.S.
DATE	07-06-2022
SHEET NO.	C-11

811 Know what's below. Call before you dig.  
 nc811.org or 1-800-632-4949







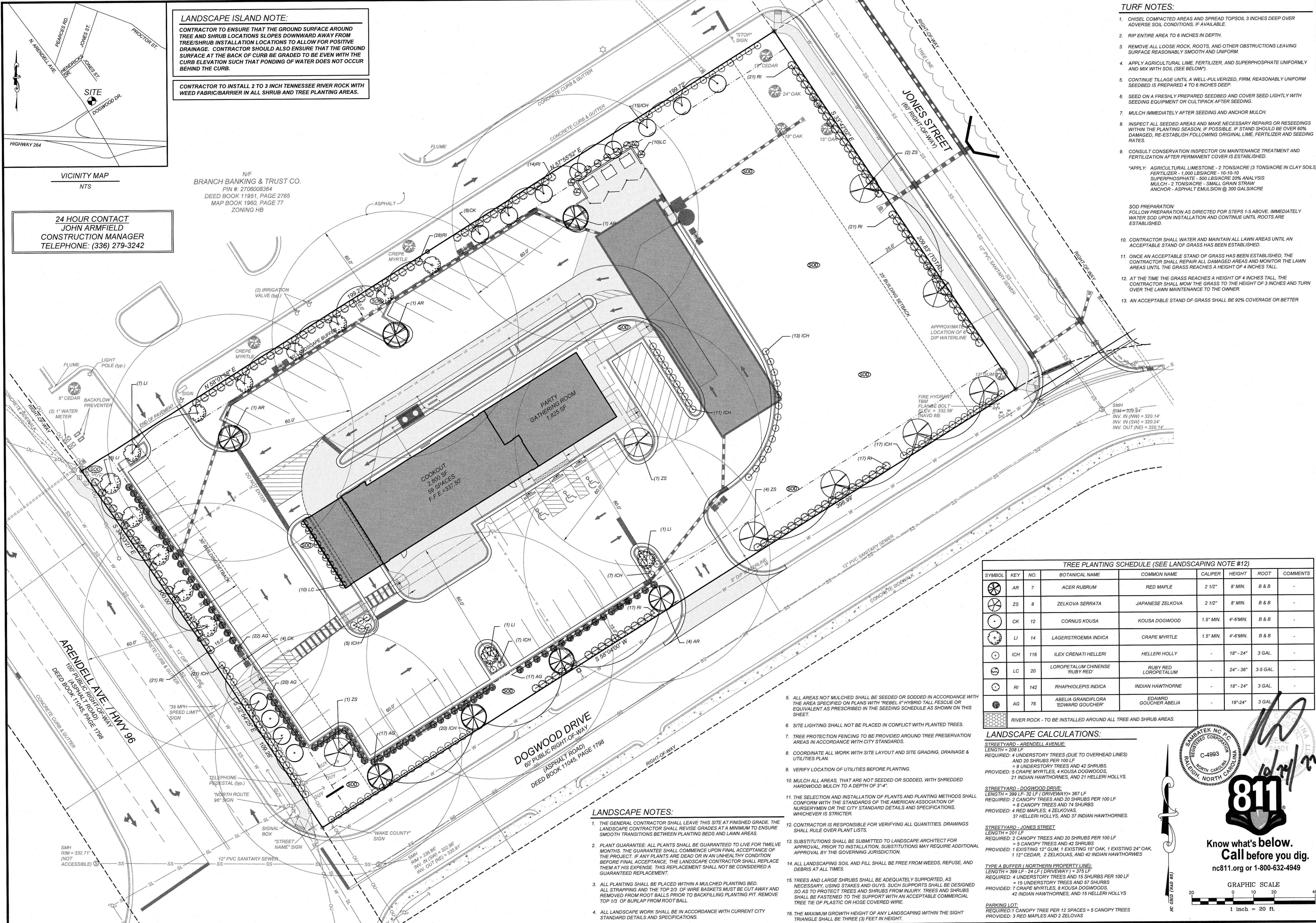
**LANDSCAPE ISLAND NOTE:**  
 CONTRACTOR TO ENSURE THAT THE GROUND SURFACE AROUND TREE AND SHRUB LOCATIONS SLOPES DOWNWARD AWAY FROM TREE/SHRUB INSTALLATION LOCATIONS TO ALLOW FOR POSITIVE DRAINAGE. CONTRACTOR SHOULD ALSO ENSURE THAT THE GROUND SURFACE AT THE BACK OF CURB BE GRADED TO BE EVEN WITH THE CURB ELEVATION SUCH THAT PONDING OF WATER DOES NOT OCCUR BEHIND THE CURB.

CONTRACTOR TO INSTALL 2 TO 3 INCH TENNESSEE RIVER ROCK WITH WEED FABRIC/BARRIER IN ALL SHRUB AND TREE PLANTING AREAS.

VICINITY MAP  
 NTS

**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
 CONSTRUCTION MANAGER  
 TELEPHONE: (336) 279-3242

N/F  
 BRANCH BANKING & TRUST CO.  
 PIN #: 2706008364  
 DEED BOOK 11951, PAGE 2765  
 MAP BOOK 1960, PAGE 77  
 ZONING HB



**TURF NOTES:**

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
  - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
  - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
  - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
  - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
  - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- \*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)  
 FERTILIZER - 1,000 LBS/ACRE - 10-10-10  
 SUPERPHOSPHATE - 500 LBS/ACRE 30% ANALYSIS  
 MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW  
 ANCHOR - ASPHALT EMULSION @ 30 GALS/ACRE
- SOD PREPARATION:  
 FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
  - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
  - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
  - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

**TREE PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)**

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	7	ACER RUBRUM	RED MAPLE	2 1/2"	8' MIN.	B & B	-	
ZS	8	ZELKOVA SERRATA	JAPANESE ZELKOVA	2 1/2"	8' MIN.	B & B	-	
CK	12	CORNUS KOUSA	KOUSA DOGWOOD	1.5" MIN.	4'-6" MIN.	B & B	-	
LI	14	LAGERSTROEMIA INDICA	CRAPE MYRTLE	1.5" MIN.	4'-6" MIN.	B & B	-	
ICH	116	ILEX CRENATI HELLERI	HELLERI HOLLY	-	18"-24"	3 GAL.	-	
LC	20	LOROPETALUM CHINENSE 'RUBY RED'	RUBY RED LOROPETALUM	-	24"-36"	3-5 GAL.	-	
RI	142	RHAPHIOLEPIS INDICA	INDIAN HAWTHORNE	-	18"-24"	3 GAL.	-	
AG	76	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	-	18"-24"	3 GAL.	-	

RIVER ROCK - TO BE INSTALLED AROUND ALL TREE AND SHRUB AREAS.

**LANDSCAPE CALCULATIONS:**

**STREETYARD - ARENDELL AVENUE:**  
 LENGTH = 200 LF  
 REQUIRED: 4 UNDERSTORY TREES (DUE TO OVERHEAD LINES) AND 20 SHRUBS PER 100 LF  
 = 8 CANOPY TREES AND 42 SHRUBS  
 PROVIDED: 5 CRAPE MYRTLES, 4 KOUSA DOGWOODS, 21 INDIAN HAWTHORNES, AND 21 HELLERI HOLLIES.

**STREETYARD - DOGWOOD DRIVE:**  
 LENGTH = 399 LF, 32 LF (DRIVEWAY) = 367 LF  
 REQUIRED: 2 CANOPY TREES AND 20 SHRUBS PER 100 LF  
 = 8 CANOPY TREES AND 74 SHRUBS  
 PROVIDED: 4 RED MAPLES, 4 ZELKOVAS, 37 HELLERI HOLLIES, AND 37 INDIAN HAWTHORNES.

**STREETYARD - JONES STREET:**  
 LENGTH = 201 LF  
 REQUIRED: 2 CANOPY TREES AND 20 SHRUBS PER 100 LF  
 = 5 CANOPY TREES AND 42 SHRUBS  
 PROVIDED: 1 EXISTING 12" GUM, 1 EXISTING 15" OAK, 1 EXISTING 24" OAK, 112" CEDAR, 2 ZELKOVAS, AND 42 INDIAN HAWTHORNES.

**TYPE A BUFFER (NORTHERN PROPERTY LINE):**  
 LENGTH = 399 LF, 24 LF (DRIVEWAY) = 375 LF  
 REQUIRED: 4 UNDERSTORY TREES AND 15 SHRUBS PER 100 LF  
 = 15 UNDERSTORY TREES AND 57 SHRUBS  
 PROVIDED: 7 CRAPE MYRTLES, 8 KOUSA DOGWOODS, 42 INDIAN HAWTHORNES, AND 15 HELLERI HOLLIES.

**PARKING LOT:**  
 REQUIRED: 1 CANOPY TREE PER 12 SPACES = 5 CANOPY TREES  
 PROVIDED: 3 RED MAPLES AND 2 ZELOVAS

**LANDSCAPE NOTES:**

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.

- ALL AREAS NOT MULCHED SHALL BE SEED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYRS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.

REVISIONS

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

811 CREWMOR ROAD  
 RALEIGH, NORTH CAROLINA 27618  
 (919) 848-6421, FAX: (919) 848-7741  
 WWW.CSITDESIGN.COM

CLIENT OWNER:  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

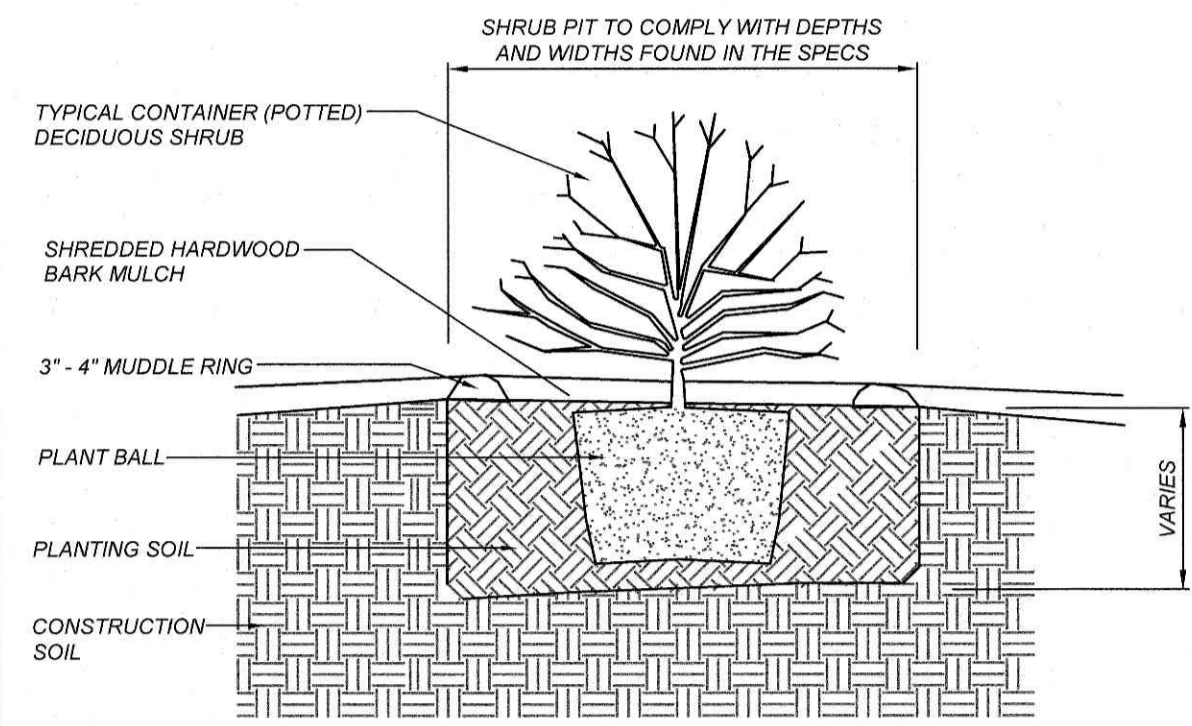
LANDSCAPE PLAN

PROJECT NO: OUT-1502  
 FILENAME: OUT1502-LS  
 DRAWN BY: STH  
 SCALE: 1" = 20'  
 DATE: 07-06-2022  
 SHEET NO: C-13

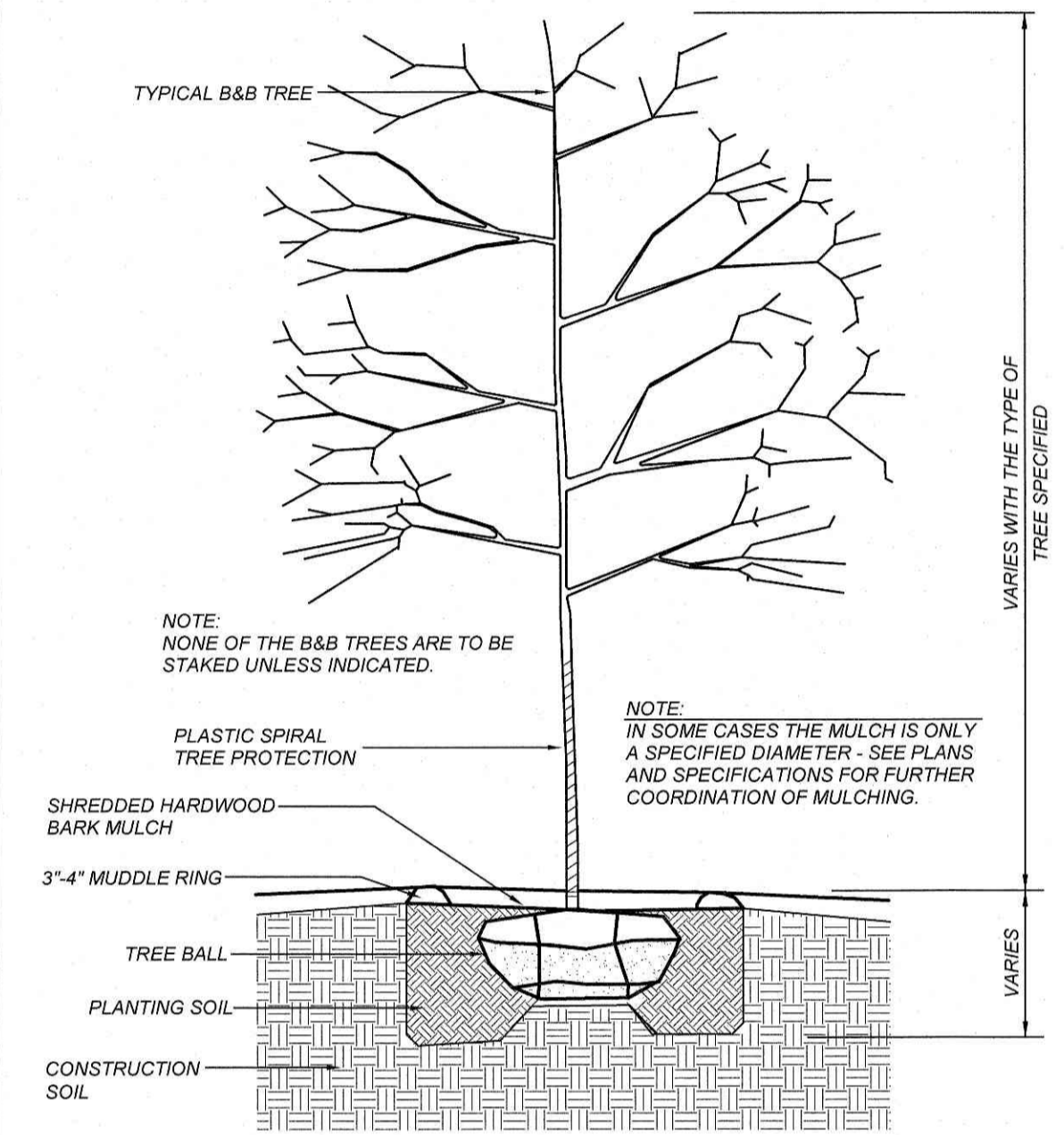
811  
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GRAPHIC SCALE  
 1 inch = 20 ft.

NOTE: IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER. SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

**PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11s)**

SEEDING MIXTURE SPECIES	RATE (lb/acre)
CENTPEDE GRASS	10-20 LB/ACRE (SEED) OR 33 LB/ACRE (SPRIGS)

**SEEDING DATES:**  
MAR - JUNE  
(SPRIGGING CAN BE DONE THROUGH JULY WHERE WATER IS AVAILABLE FOR IRRIGATION.)

**SOIL AMENDMENTS**  
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10.

**SPRIGGING**  
PLANT SPRIGS IN FURROWS WITH A TRACTOR-DRAWN TRANSPLANTER OR BROADCAST BY HAND.  
FURROWS SHOULD BE 4-6 INCHES DEEP AND 2 FT APART. PLACE SPRIGS ABOUT 2 FT APART IN THE ROW WITH ONE END AT OR ABOVE GROUND LEVEL.  
BROADCAST AT RATES SHOWN ABOVE, AND PRESS SPRIGS INTO THE TOP 1/2 - 2 INCHES OF SOIL WITH A DISK SET STRAIGHT SO THAT SPRIGS ARE NOT BROUGHT BACK TOWARD THE SURFACE.

**MULCH**  
DO NOT MULCH.

**MAINTENANCE**  
FERTILIZE VERY SPARINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEDEGRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

**TURF NOTES:**

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  - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
  - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
  - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
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- SOD PREPARATION:  
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
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- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.
- PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS: FERTILE, FRABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES 1 INCH AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D5268 WITH A PH RANGE OF 5.5 TO 7, AND A MIN. 4 PERCENT ORGANIC MATERIAL.

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

882 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27603

(919) 848-6721 FAX: (919) 848-2741  
WWW.CSITDESIGN.COM

**CLIENT/OWNER:**  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360  
TELEPHONE: (336) 215-7025  
FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**

1200 NORTH ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA

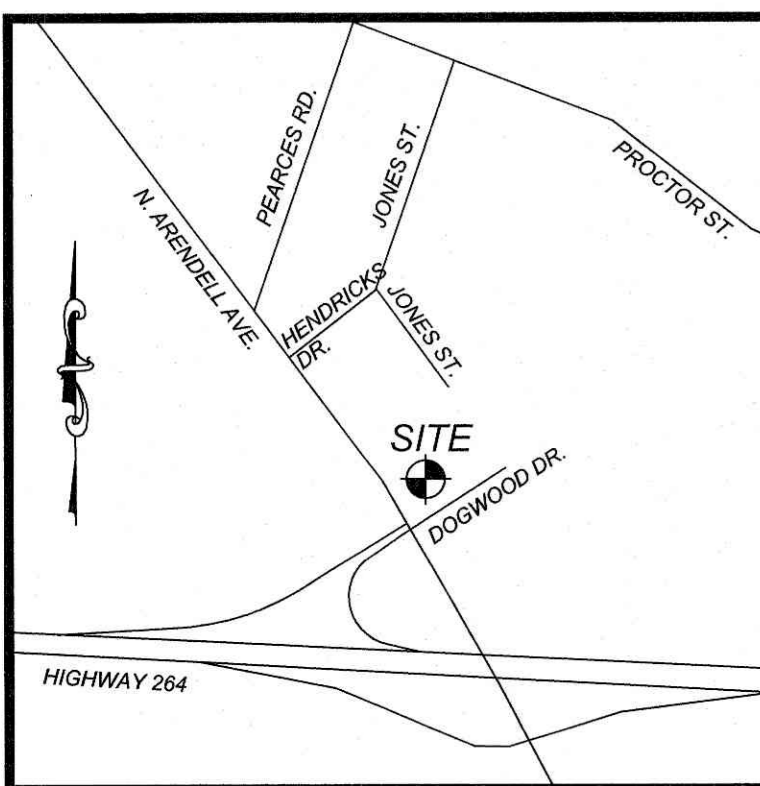
**LANDSCAPE DETAILS AND NOTES**

PROJECT NO:	OUT-1502
FILENAME:	OUT1502-LS2
DRAWN BY:	STH
SCALE:	1"= 20'
DATE:	07-06-2022
SHEET NO:	C-14

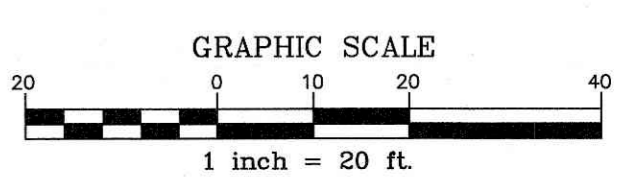
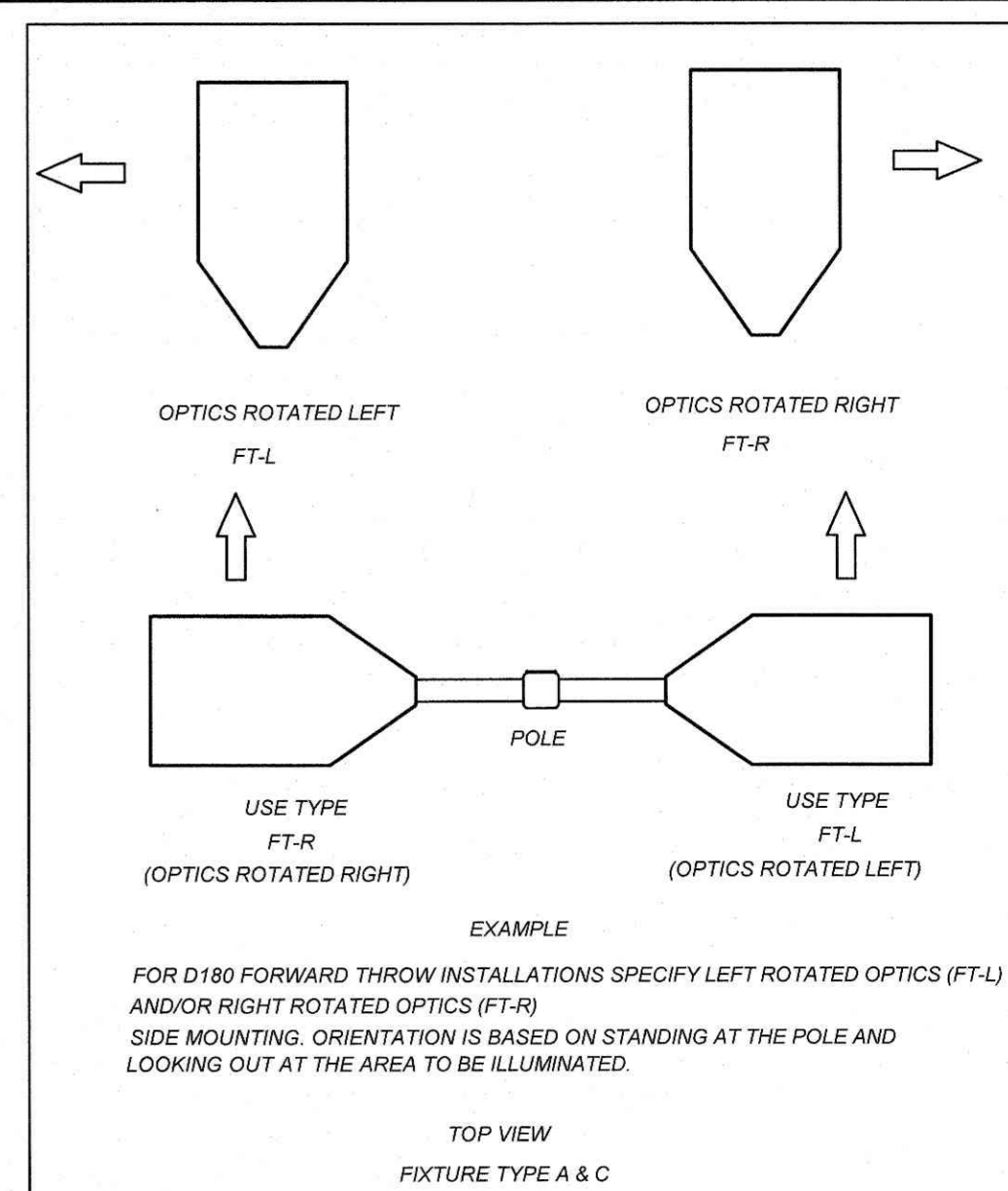
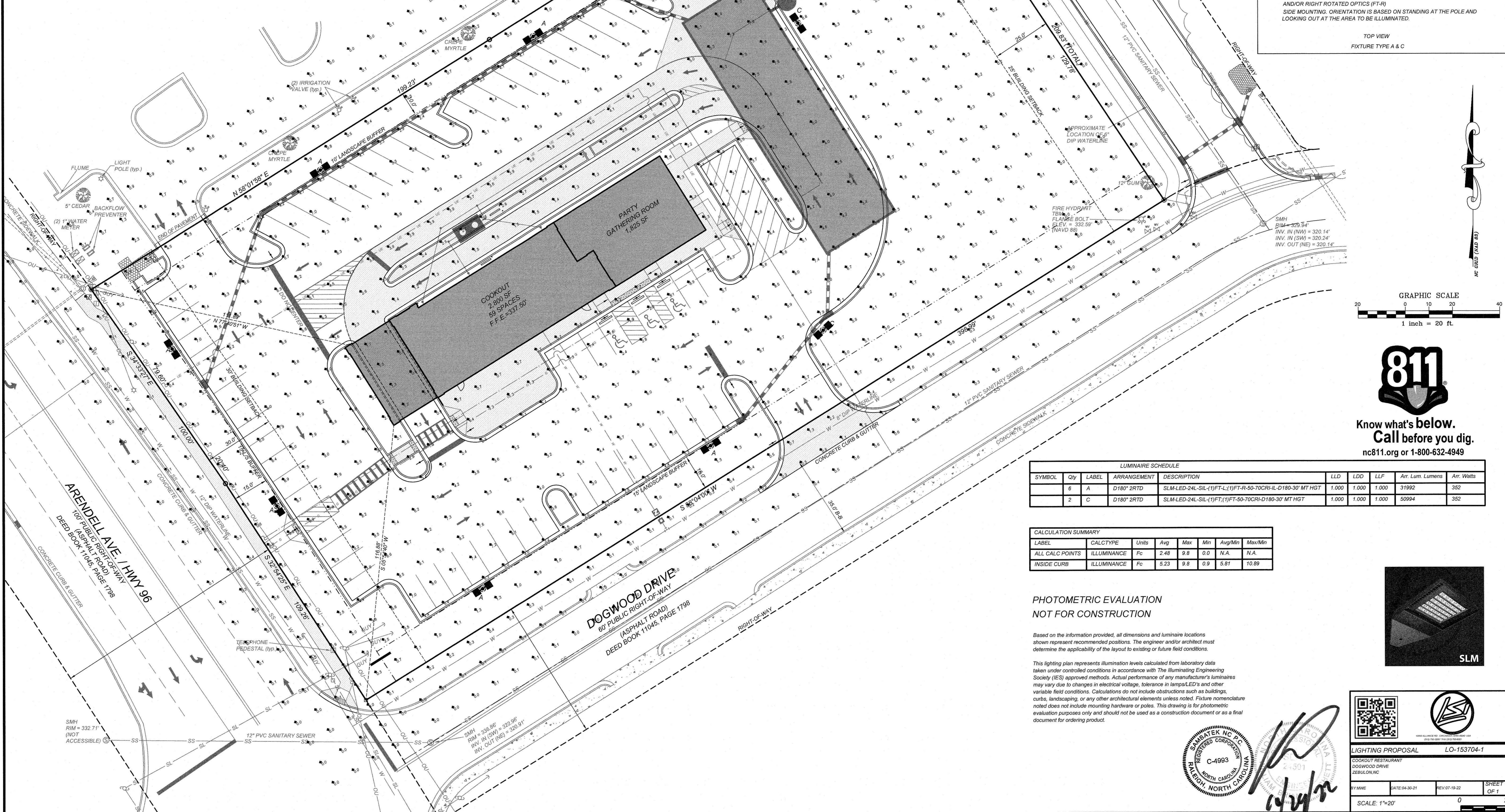
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Stamp: STATE OF NORTH CAROLINA, REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT, C-4993, 6/24/22



N/F  
 BRANCH BANKING & TRUST CO.  
 PIN #: 2706008364  
 DEED BOOK 11951, PAGE 2765  
 MAP BOOK 1960, PAGE 77  
 ZONING HB



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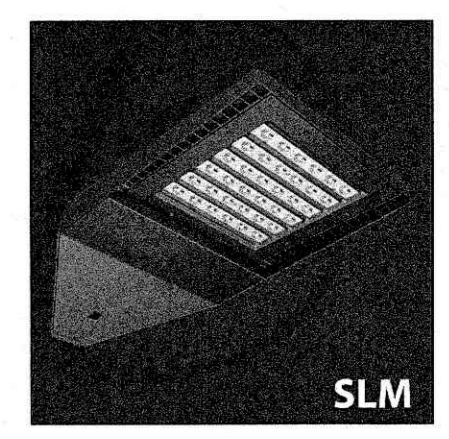
LUMINAIRE SCHEDULE									
SYMBOL	Qty	LABEL	ARRANGEMENT	DESCRIPTION	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
A	6	D180° 2RTD		SLM-LED-24L-SIL-(1)FT-L,(1)FT-R-50-70CRI-L-D180-30' MT HGT	1,000	1,000	1,000	31992	352
C	2	D180° 2RTD		SLM-LED-24L-SIL-(1)FT-L,(1)FT-R-50-70CRI-D180-30' MT HGT	1,000	1,000	1,000	50994	352

CALCULATION SUMMARY							
LABEL	CALCTYPE	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	ILLUMINANCE	Fc	2.48	9.8	0.0	N.A.	N.A.
INSIDE CURB	ILLUMINANCE	Fc	5.23	9.8	0.9	5.81	10.89

PHOTOMETRIC EVALUATION  
 NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Stamp: STATE OF NORTH CAROLINA, PROFESSIONAL ENGINEER, C-4993, JAMES M. [Signature]

QR CODE

LOGO: [Professional Engineer Seal]

LIGHTING PROPOSAL LO-153704-1

COOKOUT RESTAURANT  
 DOGWOOD DRIVE  
 ZEBULON, NC

DATE: 04-21-22 REV: 07-19-22 SHEET 1 OF 1

SCALE: 1"=20'

NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

832 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27615

(919) 948-6121 FAX: (919) 948-3741  
 WWW.CSDESIGN.COM

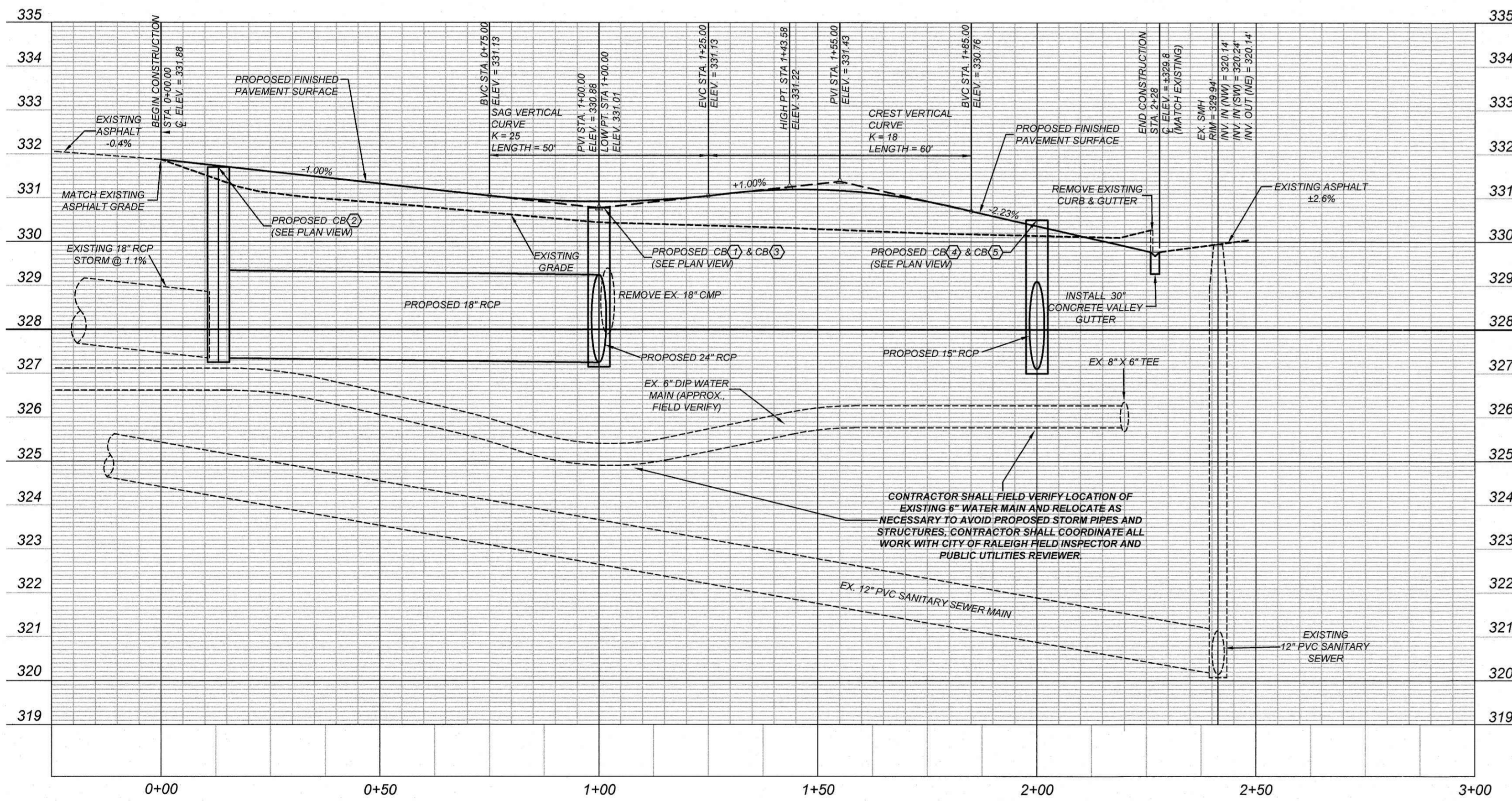
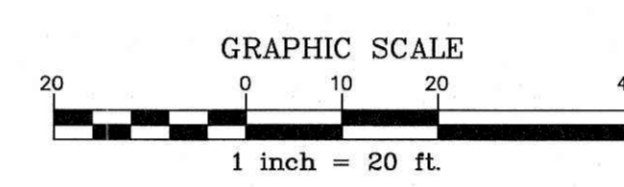
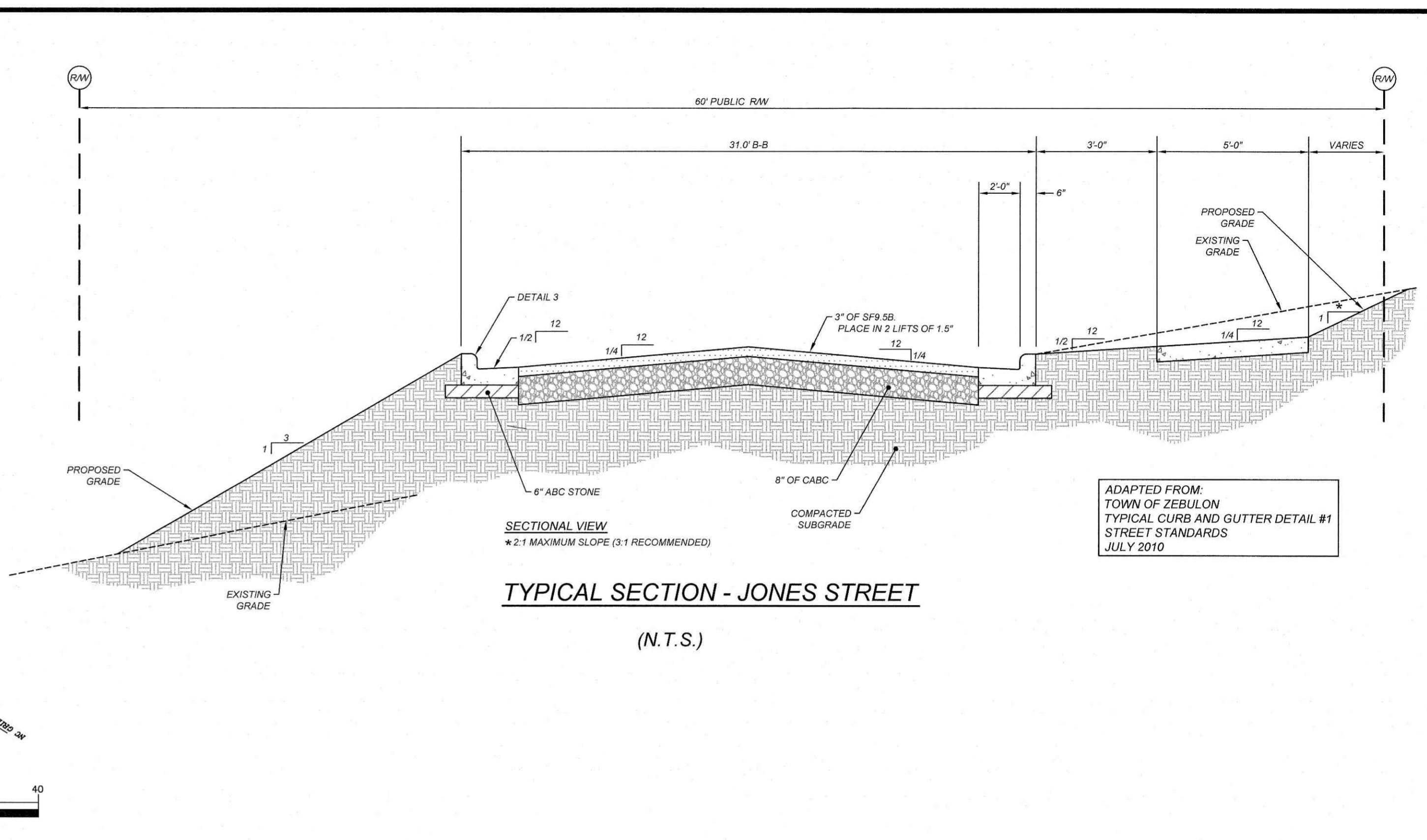
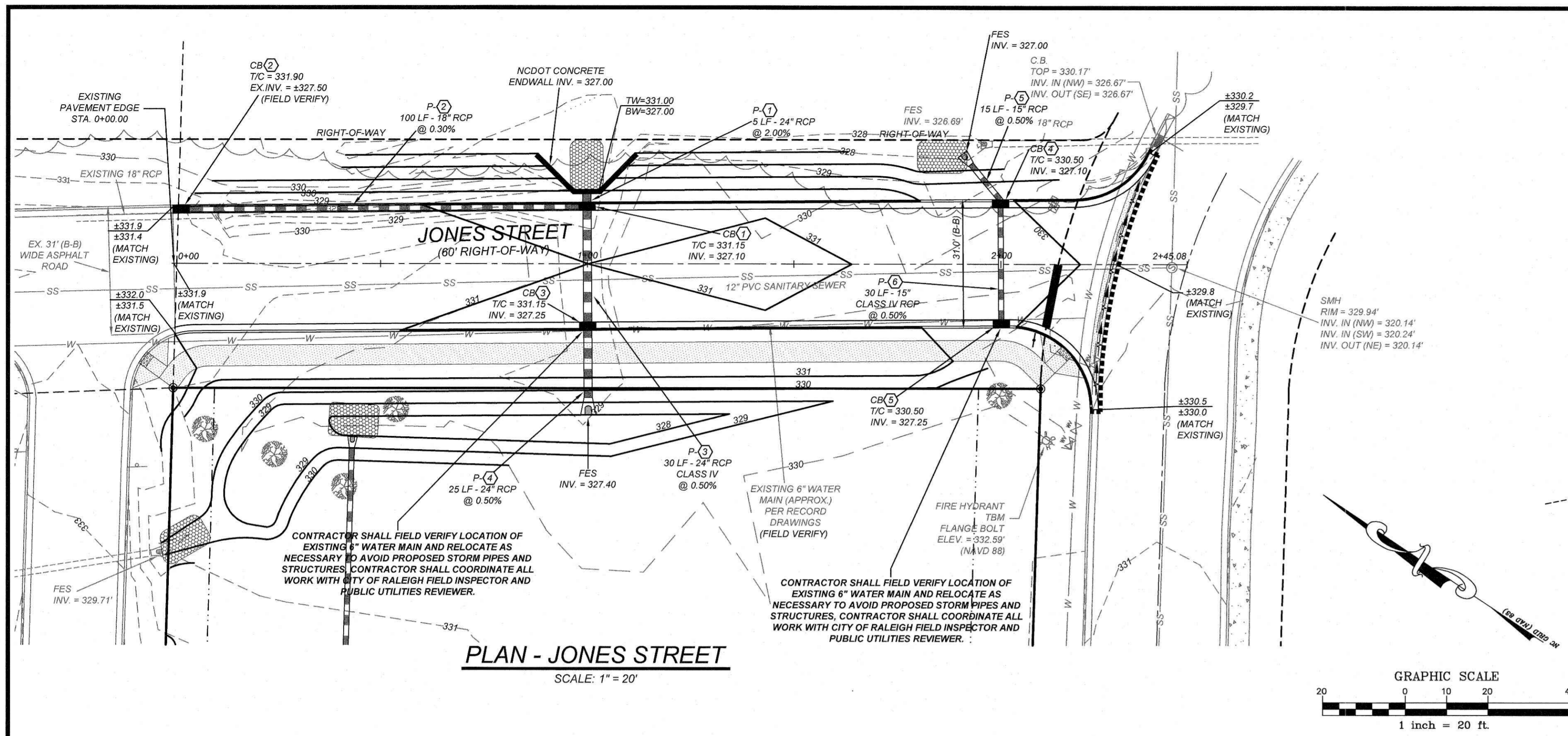
CLIENT/OWNER:  
 COOK OUT  
 15 LAURA LANE SUITE 500  
 THOMASVILLE, NC 27560  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

COOKOUT FRESH HAMBURGERS

1200 NORTH ARENDELL AVENUE  
 ZEBULON, NORTH CAROLINA

LIGHTING PLAN

PROJECT NO.	OUT-1502
FILENAME:	OUT1502-LI
DRAWN BY:	STH
SCALE:	1"=20'
DATE:	07-06-2022
SHEET NO.	C-15



ALL STREET AND STORM CONSTRUCTION SHALL COMPLY WITH TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.

ALL WATER CONSTRUCTION SHALL COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

ALL SIDEWALKS SHALL BE ADA COMPLIANT.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	08-13-15	TRC COMMENTS	TEK
2	10-08-15	CITY COMMENTS	RCN
3	11-18-15	TOWN COMMENTS	STH

**COMMERCIAL SITE DESIGN**  
8312 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613  
(919) 848-6121, FAX: (919) 848-3741  
WWW.CSITIDESIGN.COM

**COOK OUT**  
1200 ARENDELL AVENUE  
ZEBULON, NORTH CAROLINA

**PLAN AND PROFILE - JONES STREET**  
STATION 0+00.00 THRU 2+45.08

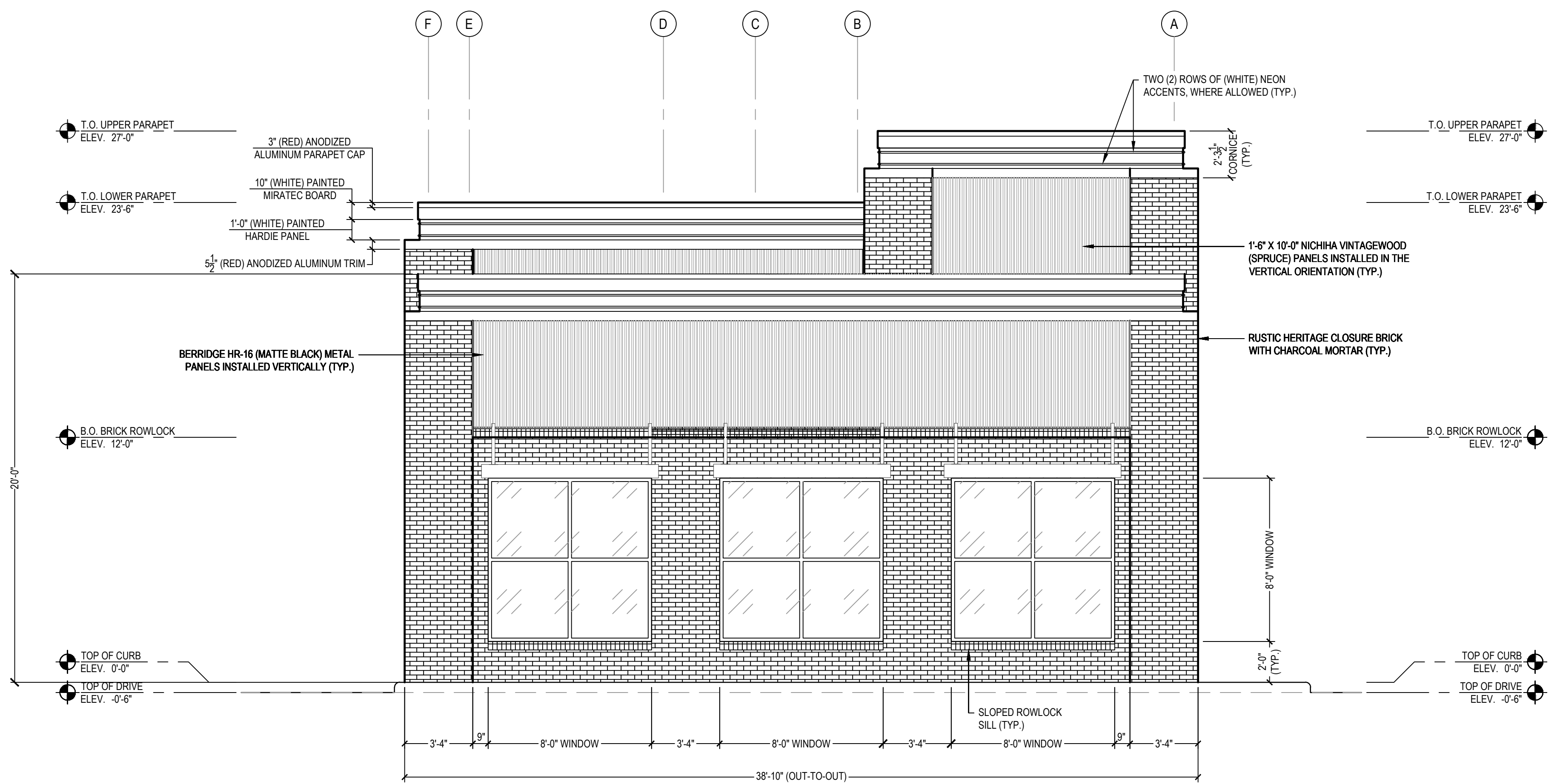
CLIENT:  
COOK OUT  
15 LAURA LANE, SUITE 300  
THOMASVILLE, N.C. 27360  
PHONE: (336) 215-7025  
FAX: (336) 474-1849

PROJECT NO. OUT-1502  
FILENAME: OUT1502-PP1  
DRAWN BY: RCN  
DESIGNED BY: WBB  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 2'  
DATE: 10-07-15

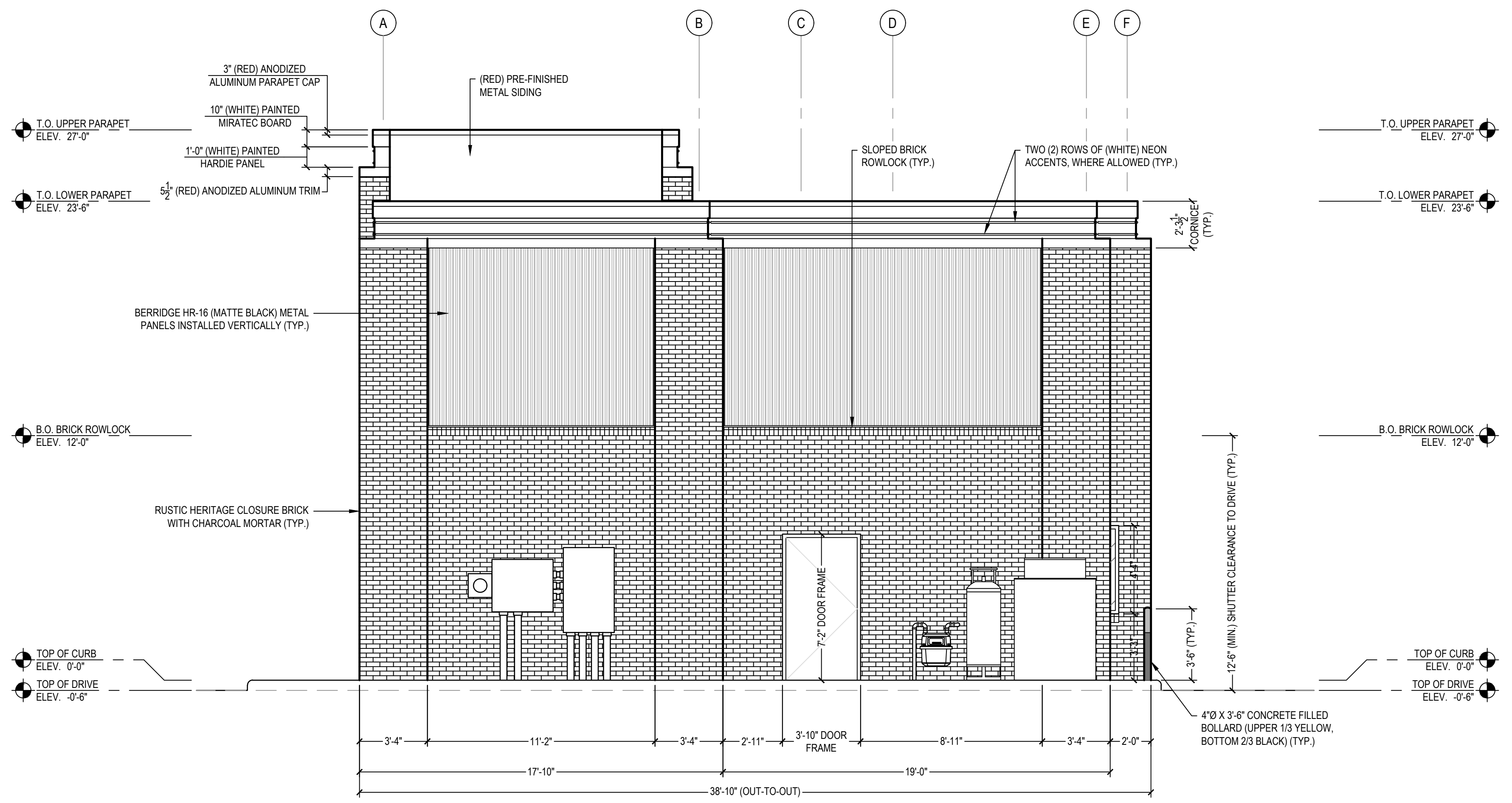


10/24/22

SHEET NO.  
**P-1**



**1 FRONT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 REAR EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH DESIGNATIONS**

<b>BRICK VENEER SPECIFICATION:</b>		
MANUFACTURER:	STATESVILLE BRICK CO.	
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK	
MORTAR COLOR:	CHARCOAL (TYPE S)	
<b>NICHHA ARCHITECTURAL WALL PANEL SPECIFICATION:</b>		
PANEL SERIES:	VINTAGEWOOD	
FINISH / COLOR:	MATTE / SPRUCE	
PANEL ORIENTATION:	VERTICAL	
MATERIAL TYPE:	FIBER CEMENT	

**PAINT COLOR DESIGNATIONS**

PLAN COLOR:	BLACK	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 6990	
PRODUCT NAME:	CAVIAR	
PAINT FINISH:	FLAT	
PLAN COLOR:	WHITE	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 7070	
PRODUCT NAME:	SITE WHITE	
PAINT FINISH:	FLAT	
PLAN COLOR:	RED	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 6868	
PRODUCT NAME:	REAL RED	
PAINT FINISH:	FLAT	

**PRODUCT CONTACT INFORMATION**

<b>NICHHA:</b>	
CONTACT NAME:	MATT STEPHENSON
EMAIL ADDRESS:	MSTEPHENSON@NICHHA.COM
PHONE NUMBER:	770.789.8228
WEBSITE:	WWW.NICHHA.COM
<b>SCOTT STONE, INC.:</b>	
CONTACT NAME:	RANDY CLAYTON
EMAIL ADDRESS:	RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER:	919.563.3469
WEBSITE:	WWW.SCOTTSTONE.COM
<b>STATESVILLE BRICK CO.:</b>	
CONTACT NAME:	SCOTT RANKIN
EMAIL ADDRESS:	BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER:	704.872.4123
WEBSITE:	WWW.STATESVILLEBRICK.COM

- GENERAL NOTES**
- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
  - GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DAILY DURING PROJECT DURATION.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
  - CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
  - VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
  - CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIED MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
  - ALL WINDOW AND STOREFRONT FRAMES SHALL BE CLEAR ANODIZED (BLACK) ALUMINUM.
- PROJECT LOCATION IS IN A WIND-BORNE DEBRIS REGION. CONTRACTOR IS TO ENSURE WINDOWS AND DOORS ARE RATED AND INSTALLED ACCORDINGLY.

PRELIMINARY LAYOUT IS BASED ON OWNER / CONTRACTOR REQUEST AND DESIGNED TO MEET FEDERAL AND LOCAL CODE REQUIREMENTS. CLIENT SHALL REVIEW THE PROPOSED LAYOUT AND APPROVE OR COMMENT. FINAL PLANS WILL BE BASED ON THIS LAYOUT AFTER APPROVED BY CLIENT. SOME ITEMS MAY BE CHANGED OR ADDED TO MEET CODE REQUIREMENTS.

I AGREE TO THE PROPOSED LAYOUT BEING USED AS BASIS FOR FINAL DESIGN. I AGREE THAT REQUESTED CHANGES OR ADDITIONS TO THIS PROPOSED LAYOUT AFTER CLIENT APPROVAL MAY BE SUBJECT TO CHANGE ORDER.

OWNER / CONTRACTOR: \_\_\_\_\_ (SIGNATURE) \_\_\_\_\_ DATE: \_\_\_\_\_

LAYOUT APPROVED AS SHOWN  LAYOUT APPROVED AS NOTED (PLEASE MARK PLAN FOR REQUESTED CHANGES)

**Summey Engineering Associates, PLLC**  
Engineering - Land Planning - Consulting  
PO Box 968, Asheboro, NC 27204  
Ph: 336-528-0902 F: 336-528-0922  
www.summeyengineering.com

NC ENGINEERING FIRM CERTIFICATE OF AUTHORIZATION: P-0396

By:	
Description:	PRELIMINARY FOR REVIEW
Date:	11/09/2023
No.:	

**ELEVATION PLAN**  
**COOK OUT RESTAURANT**  
1200 NORTH ARENDEL AVE.  
WAKE COUNTY - ZEBULON - NORTH CAROLINA

Scale: \_\_\_\_\_  
Date: MMMM YYYY  
Drawn By: SEA  
Checked By: WEA  
Job No.: E-7105  
Sheet No. \_\_\_\_\_

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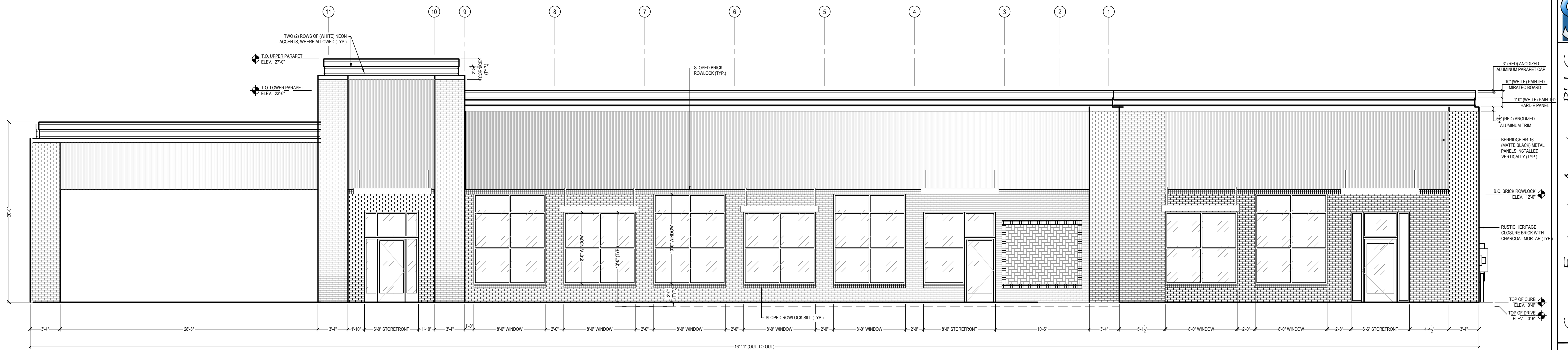


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 Engineering - Land Planning - Consulting

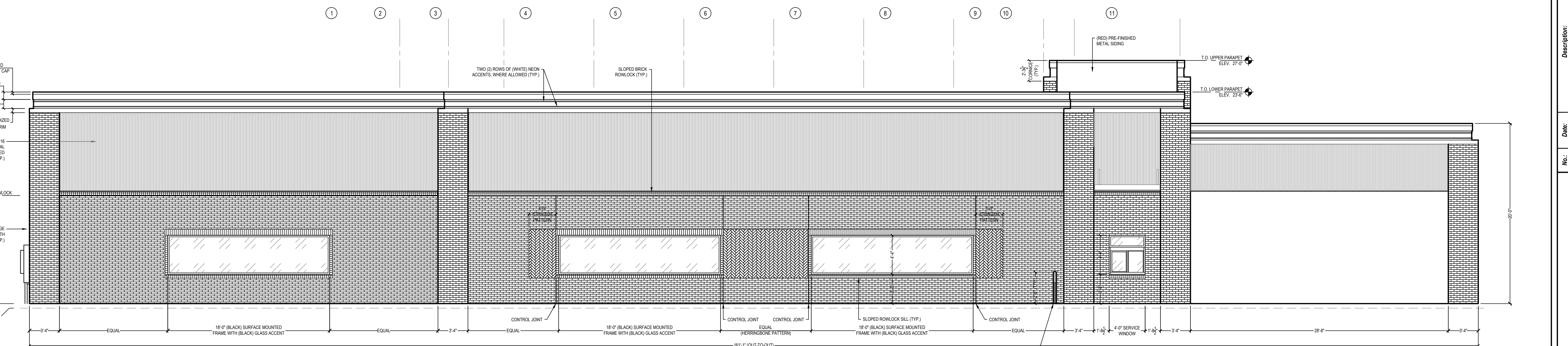
PO Box 968, Asheville, NC 27204  
 Ph: 336-228-0922, Fax: 336-228-0922  
 www.summeyengineering.com

NC ENGINEERING FIRM CERTIFICATE OF AUTHORIZATION, P.0336

ZEBULON, NORTH CAROLINA



**1** LEFT EXTERIOR ELEVATION  
 SCALE: 3/16" = 1'-0"



**2** RIGHT EXTERIOR ELEVATION  
 SCALE: 3/16" = 1'-0"

By:	
Description:	PRELIMINARY FOR REVIEW
Date:	11/08/2022
No.:	

**ELEVATION PLAN**  
**COOK OUT RESTAURANT**  
 1200 NORTH ARENDEL AVE.  
 WAKE COUNTY - ZEBULON - NORTH CAROLINA

Scale:  
 Date: MMMM YYYY  
 Drawn By: SEA  
 Checked By: WBA  
 Job No.: E-7105  
 Sheet No.:

PRELIMINARY LAYOUT IS BASED ON OWNER / CONTRACTOR REQUEST AND DESIGNED TO MEET FEDERAL AND LOCAL CODE REQUIREMENTS. CLIENT SHALL REVIEW THE PROPOSED LAYOUT AND APPROVE OR COMMENT. FINAL PLANS WILL BE BASED ON THIS LAYOUT AFTER APPROVED BY CLIENT. SOME ITEMS MAY BE CHANGED OR ADDED TO MEET CODE REQUIREMENTS.

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OWNER / CONTRACTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 (SIGNATURE)  
 LAYOUT APPROVED AS SHOWN  LAYOUT APPROVED AS NOTED (PLEASE MARK PLAN FOR REQUESTED CHANGES)