

CONSTRUCTION DRAWINGS

DOMINO'S ZEBULON

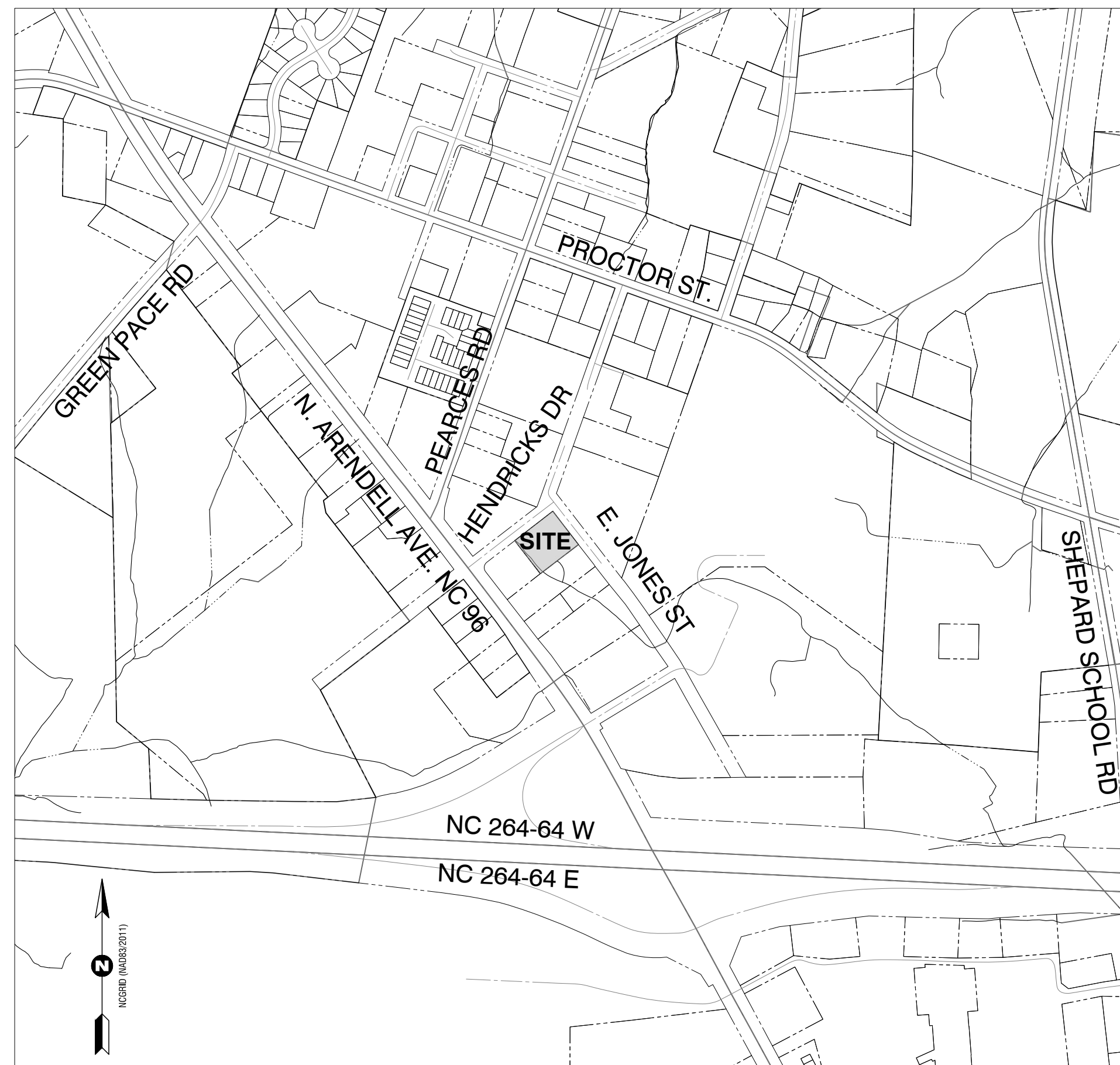
1000 HENDRICKS DR.
ZEBULON, WAKE COUNTY, NORTH CAROLINA 27597



CD SUBMITTAL #1 - JUNE 1, 2023
CD SUBMITTAL #2 - DECEMBER 7, 2023
CD SUBMITTAL #3 - JANUARY 19, 2024

1 2

1. CONTRACTOR MUST NOTIFY NORTH CAROLINA ONE-CALL CENTER, INC. (NC-811) AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
2. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
3. ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE TOWN OF ZEBULON MANUAL OF STANDARD DESIGNS AND DETAILS AND THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT (CORPUD) STANDARD DETAILS AND SPECIFICATIONS.
4. CONSTRUCTION PLAN APPROVAL FROM CORPUD SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY WATER AND/OR SANITARY SEWER FACILITIES.
5. THIS SITE IS LOCATED IN A ZONE 'X' (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE 100 YEAR FLOODPLAIN) AS IDENTIFIED BY FEMA FLOOD INSURANCE RATE MAP 3720270600K, EFFECTIVE JULY 19, 2022.
6. EROSION CONTROL PLAN APPROVAL REQUIRED IS NOT REQUIRED FOR SITES WITH DISTURBED AREAS OF LESS THAN 1 ACRE. AN NCGO1 PERMIT IS REQUIRED.
7. STORMWATER MANAGEMENT PLAN APPROVAL AND PERMIT IS NOT REQUIRED FOR SITES WITH DISTURBED AREAS OF LESS THAN 1 ACRE.
8. BUILDINGS MUST MEET ALL APPLICABLE BUILDING CODES. SITE SHALL MEET ALL RELATIVE NORTH CAROLINA ACCESSIBILITY CODE REQUIREMENTS.
9. NCDOT AND TOWN OF ZEBULON DRIVEWAY PERMITS ARE NOT REQUIRED.
10. ANY UNUSED DRIVEWAY SHALL BE CLOSED IN ACCORDANCE WITH TOWN OF ZEBULON DRIVEWAY ORDINANCE.
11. REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
12. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
13. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
14. CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
15. ACCESS TO PUBLIC UTILITIES MUST BE MADE AVAILABLE AT ALL TIMES.
16. ZEBULON ELECTRIC EASEMENT IS 10' IN WIDTH AND CENTERED OVER ELECTRIC LINES AS INSTALLED.
17. NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLE AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES AND IMPERVIOUS SURFACES SHALL ENCR OACH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF THE TOWN OF ZEBULON AND/OR CORPUD, AS APPROPRIATE.
18. THIS SITE DOES NOT REQUIRE ANNEXATION UPON APPROVAL OF SITE PLAN.
19. LANE CLOSURES ON THOROUGHFARE ROADS ARE ONLY PERMITTED BETWEEN THE HOURS OF 9:00AM AND 4:00PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE TRAFFIC ENGINEER. ADDITIONALLY, THERE WILL BE NO LANE CLOSURES ON HOLIDAYS INCLUDING THE DAY BEFORE OR AFTER SAID HOLIDAY. A TRAFFIC CONTROL PLAN PREPARED IN ACCORDANCE WITH THE USDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL LANE CLOSURES AND MUST BE APPROVED BY THE TRAFFIC ENGINEER.
20. ALL SITE LIGHTING SHALL COMPLY WITH THE TOWN OF ZEBULON LIGHTING STANDARDS.
21. NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510-EMERGENCY RESPONDER RADIO COVERAGE.
22. PLEASE BE ADVISED OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASIN. THIS RULE IS ENFORCED BY THE NC DEPT. OF ENVIRONMENTAL QUALITY (DEQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO YOUR PROJECT TO VANESSA MANUEL, ASSISTANT REGIONAL SUPERVISOR, WATER RESOURCES/WATER QUALITY REGIONAL OPERATION SECTION, RALEIGH REGIONAL OFFICE, AT (919) 791-4232.



VICINITY MAP

1" = 500'

Sheet Number	Sheet Title
C1.01	COVER
C1.02	PROPERTY SURVEY
C1.03	EXISTING CONDITIONS & DEMOLITION PLAN
C2.01	SITE PLAN
C2.10	SITE DETAILS
C2.11	SITE DETAILS
C3.01	UTILITIES PLAN
C3.10	UTILITIES DETAILS
C3.11	UTILITIES DETAILS
C4.01	STORMWATER AND GRADING PLAN
C4.31	STORM DETAILS
C4.32	STORM DETAILS
C5.01	SEDIMENTATION & EROSION CONTROL - STAGE 1
C5.02	SEDIMENTATION & EROSION CONTROL PLAN - STAGE 2
C5.21	SEDIMENTATION & EROSION CONTROL DETAILS
C5.22	SEDIMENTATION & EROSION CONTROL DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE NOTES, PLANT SCHEDULE, & DETAILS
E101	LIGHTING PLAN
E102	SITE LIGHTING PLAN
E103	SITE PHOTOMETRIC PLAN
A103	REFLECTED CEILING PLAN & LIGHTING SCHEDULE
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS

2

1000 Hendricks Dr Grease Interceptor Review - Dominos Zebulon

FOG <FatOG.FOG@raleighnc.gov>
Thu 12/28/2023 2:06 PM
To: Paul Meder <pmeder@riversandassociates.com>
Cc: FOG <FatOG.FOG@raleighnc.gov>; Sanders, Courtney <Courtney.Sanders@raleighnc.gov>

3 attachments (6 MB)
Dominos-Gravity Grease Interceptor Sizing Template-231222.xls; Dominos Zebulon-Plumbing Plans-231222.pdf; Dominos Zebulon-Utilities Plans-231222.pdf.

Paul,

Raleigh Water Fats, Oil, and Grease offers no objection to **Dominos located 1000 Hendricks Dr, Zebulon, NC 27597** installing a 1000 gallon single use grease interceptor. The grease interceptor shall conform to 540.41 and 25 detail.

C. DeCarlo Sanders
Utilities Analyst
City of Raleigh
Public Utilities | Raleigh Water
Sewer Maintenance Division
Raleigh, NC 27604
919-996-2334 (office) | 919-280-1300 (mobile)
Courtney.Sanders@raleighnc.gov

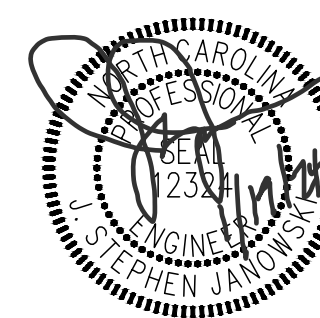
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPT., NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.

CIVIL ENGINEER



107 East Second Street
Greenville, NC 27858
(252) 752-4135

Contact: Steve Janowski, PE
sjanowski@riversandassociates.com



DEVELOPER/ARCHITECT

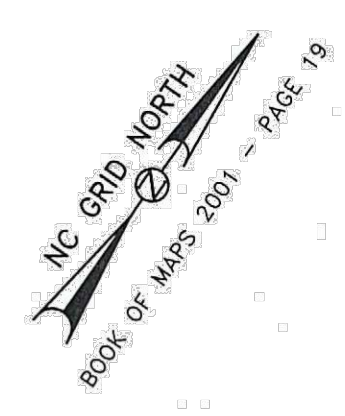
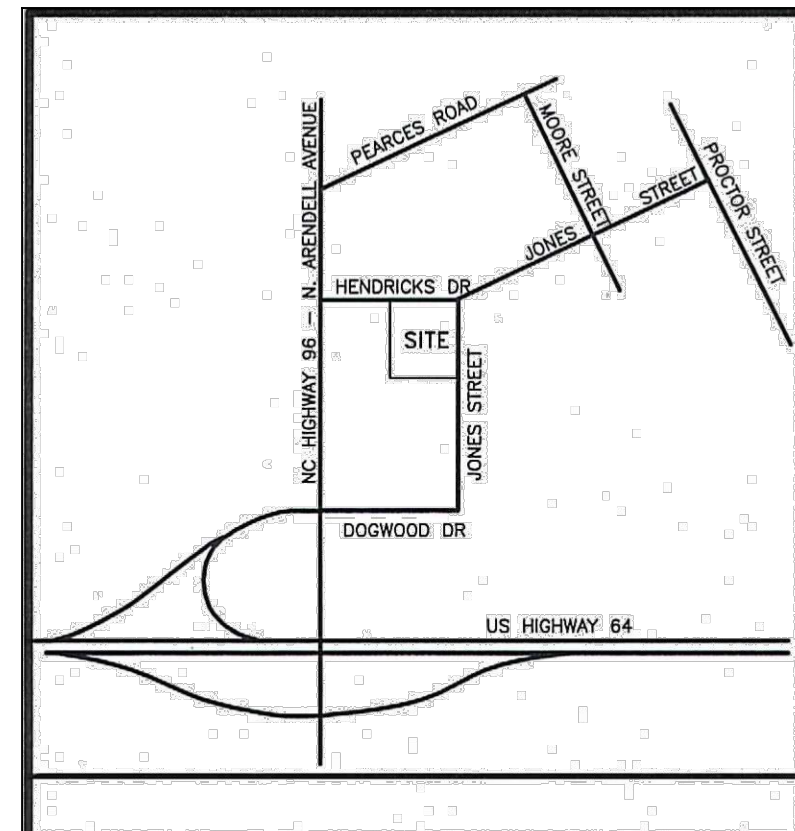


1900 Abbott Street / Suite 103
Charlotte, North Carolina 28203
704-335-1292
www.begarchitect.com



353 EAST SIX FORKS ROAD
SUITE 230
RALEIGH, NC 27609
(919) 594-1626

Engineers
Planners
Surveyors
Landscape Architects



NOTE: BEING LOT 2 AS RECORDED IN BOOK OF MAPS 2006 PAGE 2692.

NOTE: PIN # 2706-00-6772

REFERENCE: DB 11560 PG 240
BOOK OF MAPS 2001 PG 19
BOOK OF MAPS 2006 PG 2692
DB 13097 PGS 2212-2214

NOTE: AREA COMPUTED BY COORDINATE METHOD.

NOTE: UTILITY LOCATIONS SHOWN ARE BASED ON VISIBLE EVIDENCE. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR.

NOTE: THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

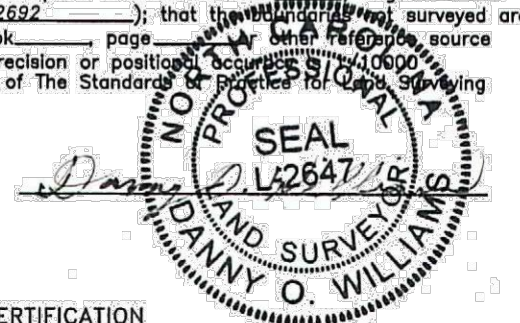
OWNER:
TONY & KATHY SMITH
P O BOX 1215
1000 HENDRICKS DR
ZEBULON, NC 27597

ZONED HC

MANHOLE # 3 TOP = 340.03' INV IN = 333.31' INV OUT = 331.82'	MANHOLE # 5 TOP = 345.07' INV IN = 331.87' INV OUT = 331.82'	MANHOLE # 7 TOP = 337.41' INV IN = 330.21' INV OUT = 330.18'
MANHOLE # 4 TOP = 338.65' INV IN = 332.76' INV OUT = 332.71'	MANHOLE # 6 TOP = 341.69' INV IN = 331.47' INV IN = 331.79' INV OUT = 331.45'	

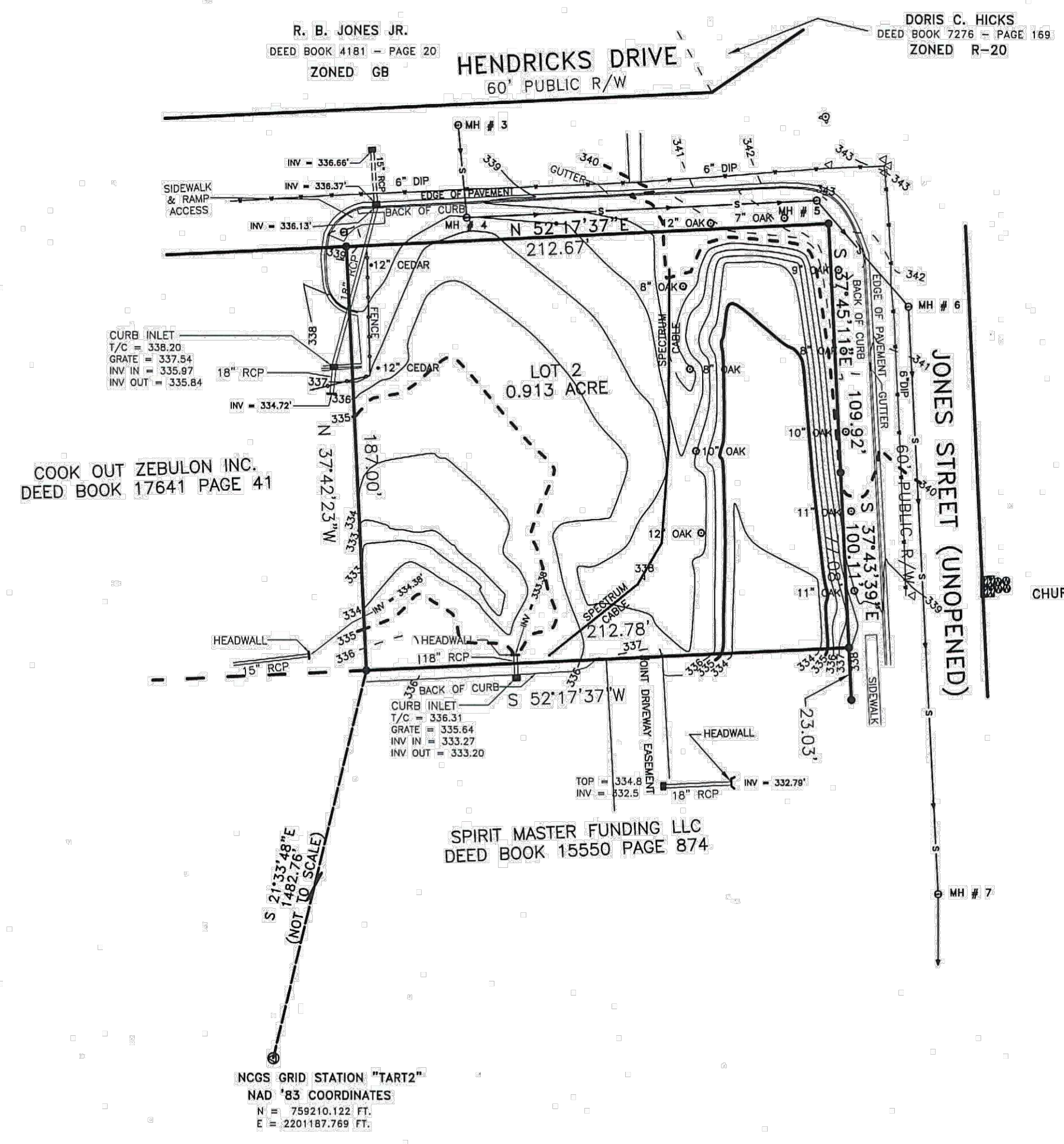
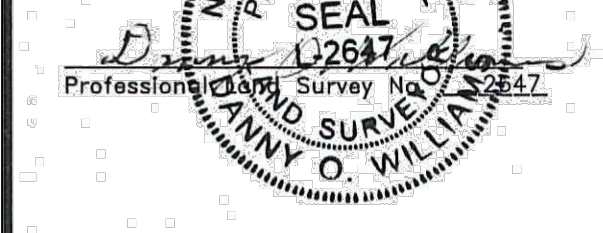
I, DANNY O. WILLIAMS, certify that this map was drawn under my supervision from an actual survey made under my supervision (and description recorded in Book _____ Page _____ or other reference source _____) that the _____ surveyed are indicated as drawn from information in Book _____ page _____ source _____ and that this map meets the requirements of the Standards of Professional Land Surveying in North Carolina (21 NCAC 56.1800).

This 6TH day of DECEMBER, 2022.
P. L. S. L-2647



FLOOD CERTIFICATION

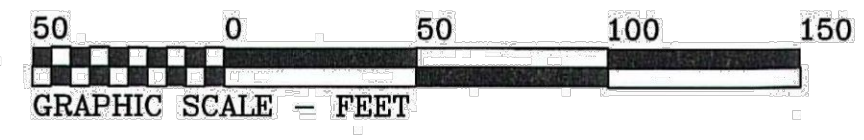
I have examined the Flood Insurance Rate Map for _____ WAKE County, North Carolina, Community Panel Number _____ dated _____ and hereby certify that this property is not located in a Special Flood Hazard Area as determined by the Department of Housing and Urban Development.



LEGEND

- = EXISTING IRON PIN
- = NCGS GRID MONUMENT
- = MANHOLE
- = WATER VALVE
- = FIRE HYDRANT
- S— = UNDERGROUND SANITARY SEWER
- = WATER CUT OFF
- = CATCH BASIN / CURB INLET
- = WATER METER
- v— = WATER LINE AS PAINTED BY THE TOWN OF ZEBULON
- DIP = DUCTILE IRON PIPE

PROPERTY SURVEY FOR
PIEDMONT PROPERTIES
TOWN OF ZEBULON
WAKE COUNTY
NORTH CAROLINA



DRAWN BY: DOW & BCW
CHECKED BY: DOW
DATE: 12-06-2022
SCALE: 1" = 50'
JOB: SONIC\ZEBULON\LOT 2 TOPO.DWG
FB:



WILLIAMS - PEARCE & ASSOC., P.A. Professional Land Surveyors P.O. Box 892, Zebulon, N.C. 27597 Phone (919) 269-9605

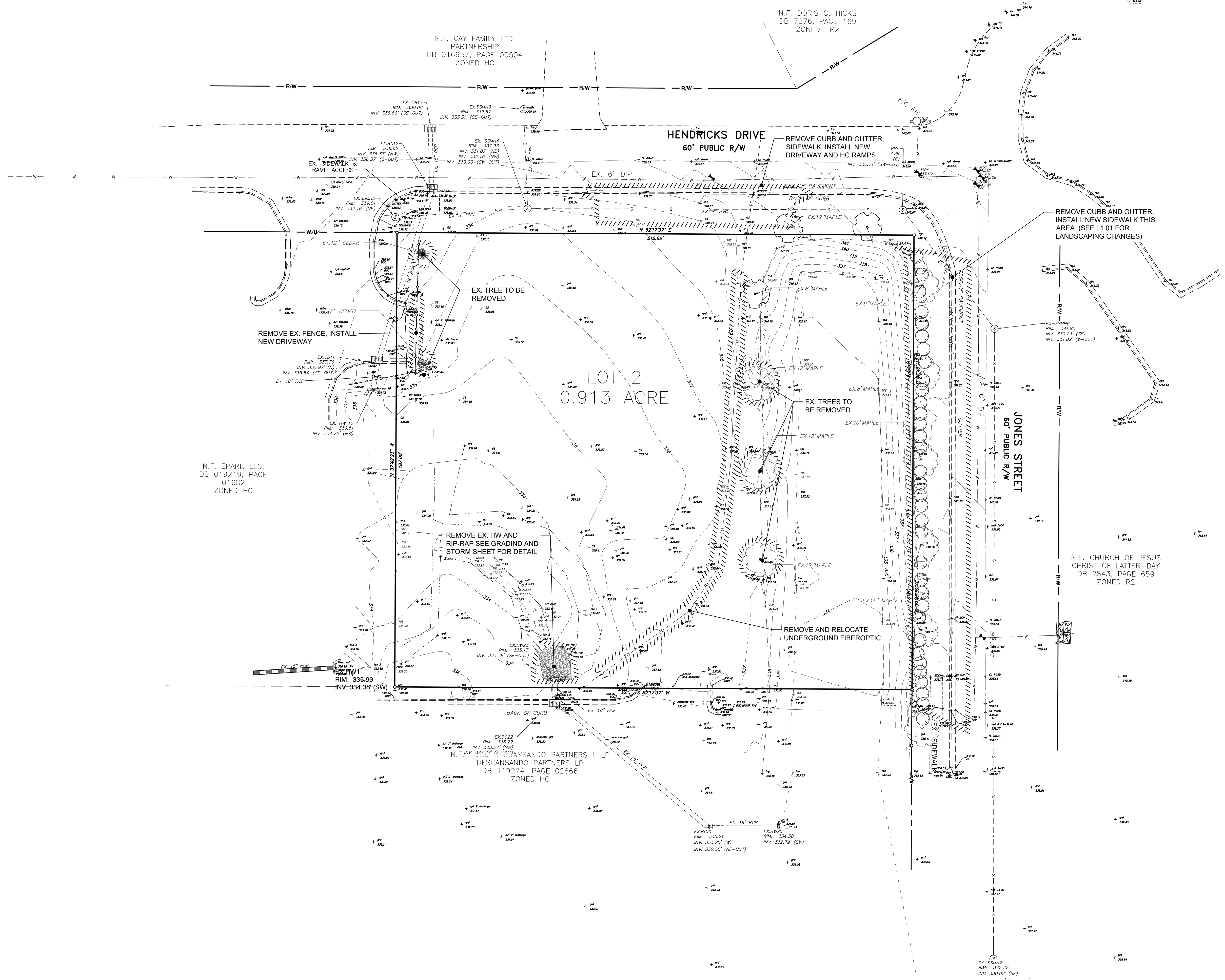
REFERENCE:
1. EIP INDICATES EXISTING IRON PIPE OR EXISTING IRON PIN ON ALL SHEETS IN THIS PLAN SET.

NOTES:
 1. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
 2. PER FEMA FIRM MAP 372046000L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 3. WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.



REVISIONS:

NO.	DESCRIPTION	DATE	BY
01/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3		
12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2		
11/21/23	CLIENT REVIEW		
11/07/23	TRC REVIEW PLAN		
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1		



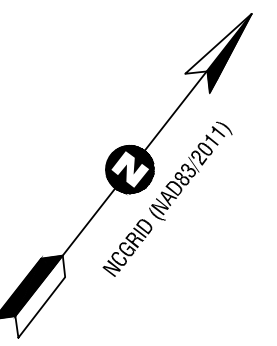
N.F. EPARK LLC.
 DB 019219, PAGE 01682
 ZONED HC

N.F. GAY FAMILY LTD.
 PARTNERSHIP
 DB 016957, PAGE 00504
 ZONED HC

N.F. DORIS C. HICKS
 DB 7276, PAGE 169
 ZONED R2

N.F. CHURCH OF JESUS
 CHRIST OF LATTER-DAY
 DB 2843, PAGE 659
 ZONED R2

N.F. ANSANDO PARTNERS II LP
 DESCANSANDO PARTNERS LP
 DB 119274, PAGE 02666
 ZONED HC



SCALE 1 inch = 20 ft

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
EXISTING CONDITIONS & DEMOLITION PLAN

DATE:
 DESIGNED BY: JSJ/MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C1.03**



SITE DATA TABLE	
PROPERTY INFORMATION / SITE ADDRESSES -	NC PIN - 27-0600-6772 ADDRESS - 1000 HENDRICKS DR ZEBULON, WAKE COUNTY, NORTH CAROLINA 27597
TOWNSHIP -	JTSJ INC.
OWNER/ DEVELOPER -	9107 S TRYON ST STE. F, CHARLOTTE, NC 28273
SITE AREA -	0.91 AC (PER RIVERS SURVEY)
LAND USE -	EXISTING - VACANT / STORMWATER CONTROL MEASURE
ZONING -	PROPOSED - RESTAURANT WITH DRIVE-THROUGH PICK-UP LANE
SETBACKS -	STREET - 30' SIDE - 0'; 5' IF PROVIDED REAR - 0'
BUFFERS -	15' STREETSCAPE BUFFER ALONG HENDRICKS DR & JONES ST 10' TYPE 'A' PERIMETER BUFFER ALONG ADJACENT PROPERTIES
BUILDING DATA -	PROPOSED BUILDING FOOTPRINT = 2,507 SF
PARKING -	REQUIRED - 1 SPACE / 4 SEATS 3 BOOTHS @ 4 SEATS/BOOTH = 12 SEATS 3 BENCHES @ 4 SEATS/BENCH = 12 SEATS 12 + 12 = 24 SEATS TOTAL, 24 / 4 = 6 6 PARKING SPACES REQUIRED
	PROVIDED - 17 PARKING SPACES, INCL. 2 VAN ACCESSIBLE HANDICAP SPACES.
	MINIMUM DIMENSIONS - 46' X 26'
BICYCLE PARKING -	REQUIRED - 1 SPACE / 20 OFF-STREET AUTO PARKING SPACES 1 SPACE / 17 SPACES PROPOSED ON-SITE SPACES
IMPERVIOUS SURFACE AREA -	PROVIDED - 2 HC VAN SPACES EXISTING - 1 ASPHALT DRIVEWAY PROPOSED - ASPHALT PAVEMENT - +/- 14,172 SF CONCRETE - +/- 3,093 SF BUILDING - +/- 2,507 SF TOTAL - +/- 19,772 SF (+/- 0.454 AC)
	PROPOSED IMPERVIOUS PERCENTAGE - +/- 49.25%

- GENERAL NOTES:
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RIVERS AND ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER RETENT FEDERAL, STATE AND LOCAL LAWS.
 - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-548) REGARDING CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID, SURVEYOR OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. ONE CALL AT 1.800.632.4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
 - CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
 - REFER TO C3.02 FOR SURVEY CONTROL INFORMATION.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - PER FEMA FIRM MAP 9704069000L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 - BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO DRIVEWAYS AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, WALL REEFERENCES, AND IMPERVIOUS SURFACES SHALL NOT ENCROACH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF TOWN OF ZEBULON & THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SOIL EROSION AND SEDIMENTATION CONTROL PLAN IS NOT APPLICABLE, THE SITE DISTURBANCE IS LESS THAN ONE ACRE.
 - WETLANDS ARE VALUABLE NATURAL RESOURCES THAT PROVIDE IMPORTANT ECOSYSTEM FUNCTIONS. BE ADVISED THAT ACTIVITIES IN WETLANDS ARE REGULATED BY THE FEDERAL GOVERNMENT UNDER SECTION 404 OF THE CLEAN WATER ACT. JURISDICTIONAL WETLANDS MAY INCLUDE: THE FINE-SHRUB POCCIONS THAT ARE COMMON IN THIS REGION, IF ANY PRIVATE LAND OWNER, DEVELOPER, CORPORATION, OR OTHER PERSON PROPOSES TO UNDERTAKE CONSTRUCTION/PLUMBING ACTIVITIES IN OR NEAR LAKE, STREAM, CREEK TRIBUTARY OR ANY UNBANKED BODY OF WATER INCLUDING ITS ADJACENT WETLANDS, FEDERAL PERMIT AUTHORIZATION MAY BE REQUIRED FROM THE U.S. ARMY CORPS OF ENGINEERS PRIOR TO COMMENCEMENT OF SUCH LAND-DISTURBING ACTIVITIES. PLEASE CONTACT MS. TRACY WHEELER, TELEPHONE (252) 975-1616 FOR A WETLAND DETERMINATION AND INFORMATION REGARDING SPECIFIC PERMIT REQUIREMENTS. WETLANDS DETERMINATION PENDING, BY OTHERS.
 - APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
 - ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
 - ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDING, MULCHED OR LANDSCAPED/SOODED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
 - ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE TOWN OF ZEBULON ZONING ORDINANCE.
 - REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
 - CONSTRUCTION OF ROADWAY EXTENSION BY OTHERS.

STORMWATER MANAGEMENT NOTES:

1. EXISTING STORMWATER MANAGEMENT DETENTION BASIN	
A. ON-SITE ALLOWABLE IMPERVIOUS SURFACE AREA -	1.89 AC = 82,328 SF
B. SONIC BANK IMPERVIOUS SURFACE AREA -	0.84 AC = 36,590 SF
C. CAPITAL BANK IMPERVIOUS SURFACE AREA -	0.56 AC = 24,394 SF
2. ALLOWABLE IMPERVIOUS SURFACE AREA FOR SITE -	0.46 AC = 20,344 SF
3. PROPOSED IMPERVIOUS SURFACE AREA FOR SITE -	0.45 AC = 19,772 SF
4. ALLOWABLE FUTURE IMPERVIOUS AREA -	21.344 SF - 19,772 SF = 1,572 SF

- NOTE:**
- PAVEMENT MARKINGS WITHIN SITE CAN BE PAINTED. PAVEMENT MARKINGS WITHIN RIGHT OF WAY SHALL BE THERMOPLASTIC AND SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
 - EXISTING ON-SITE FIBER OPTIC LINES TO BE REROUTED BY CONTRACTOR.

- HC RAMPS:**
- ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE TOWN OF ZEBULON FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

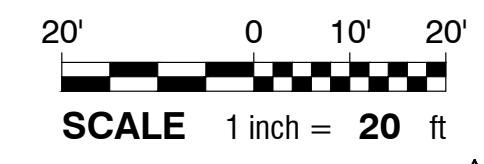
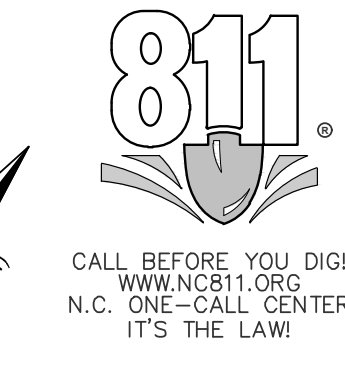
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #3	07/19/24	
2	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
3	CLIENT REVIEW	11/21/23	
4	TRC REVIEW PLAN	11/07/23	
5	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

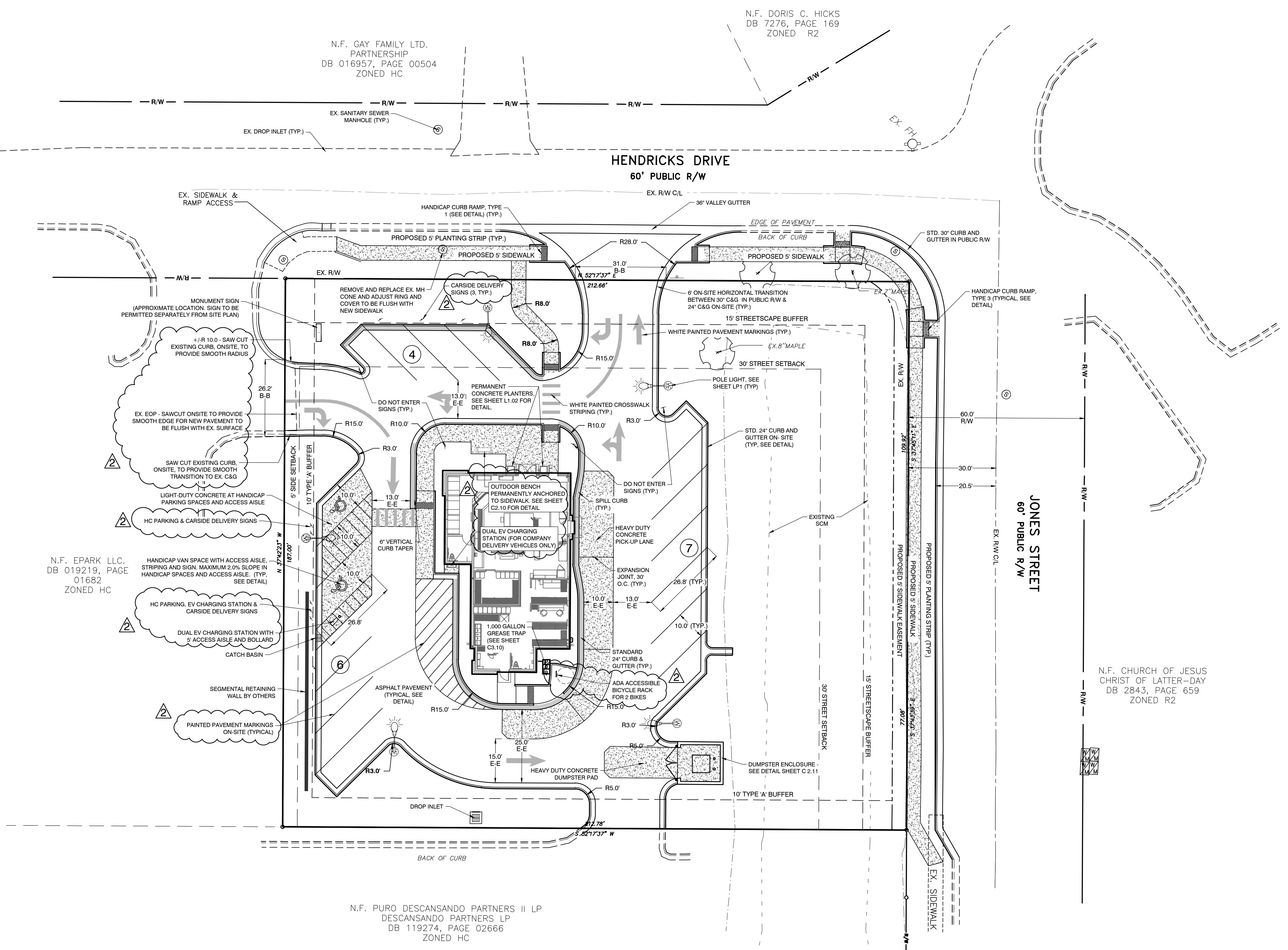
CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON ~ WAKE COUNTY ~ NORTH CAROLINA
SITE PLAN

DATE: _____

DESIGNED BY: SF/MS
 DRAWN BY: SF/MS
 CHECKED BY: JSJ/PRM
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C2.01**



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPT., NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.

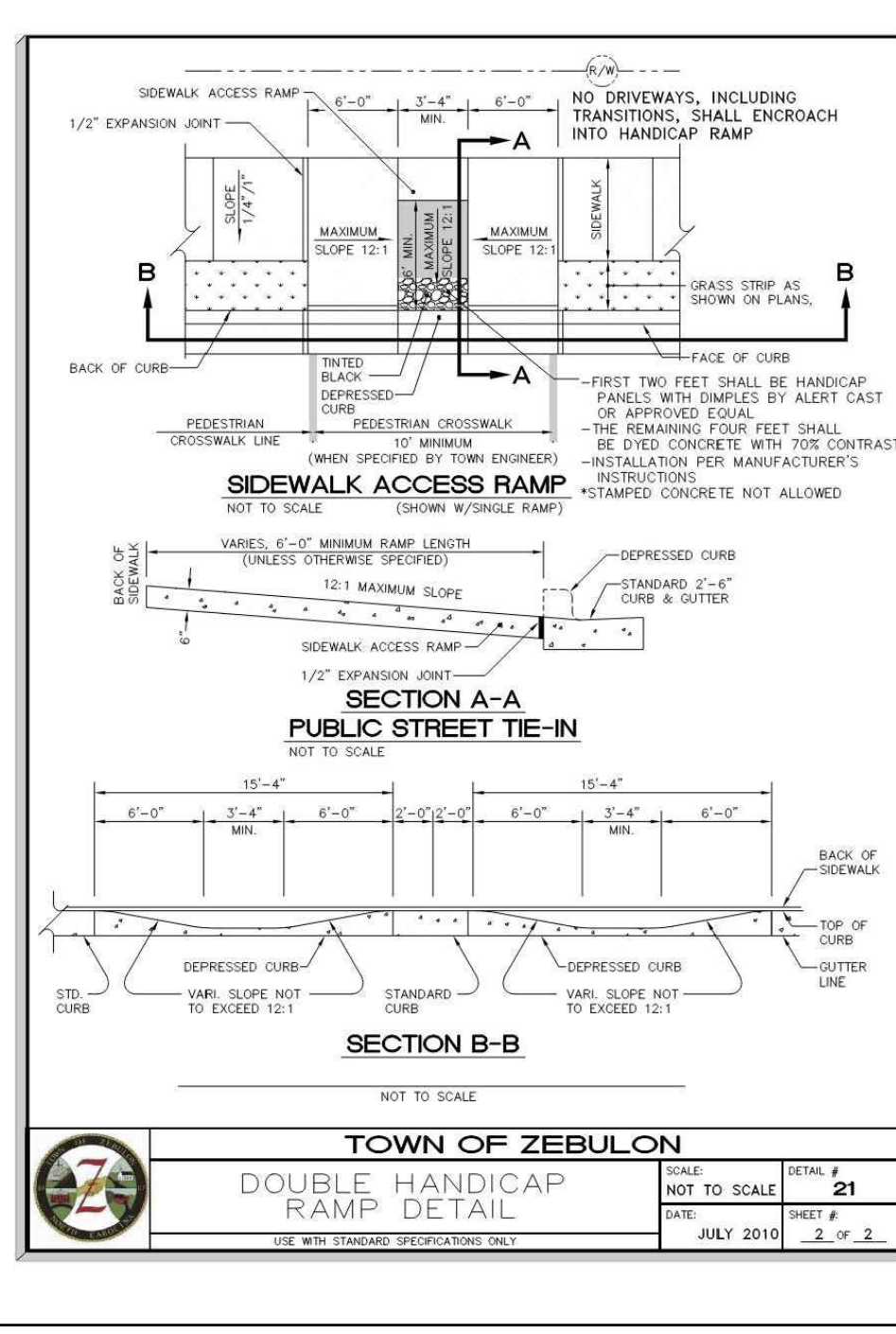
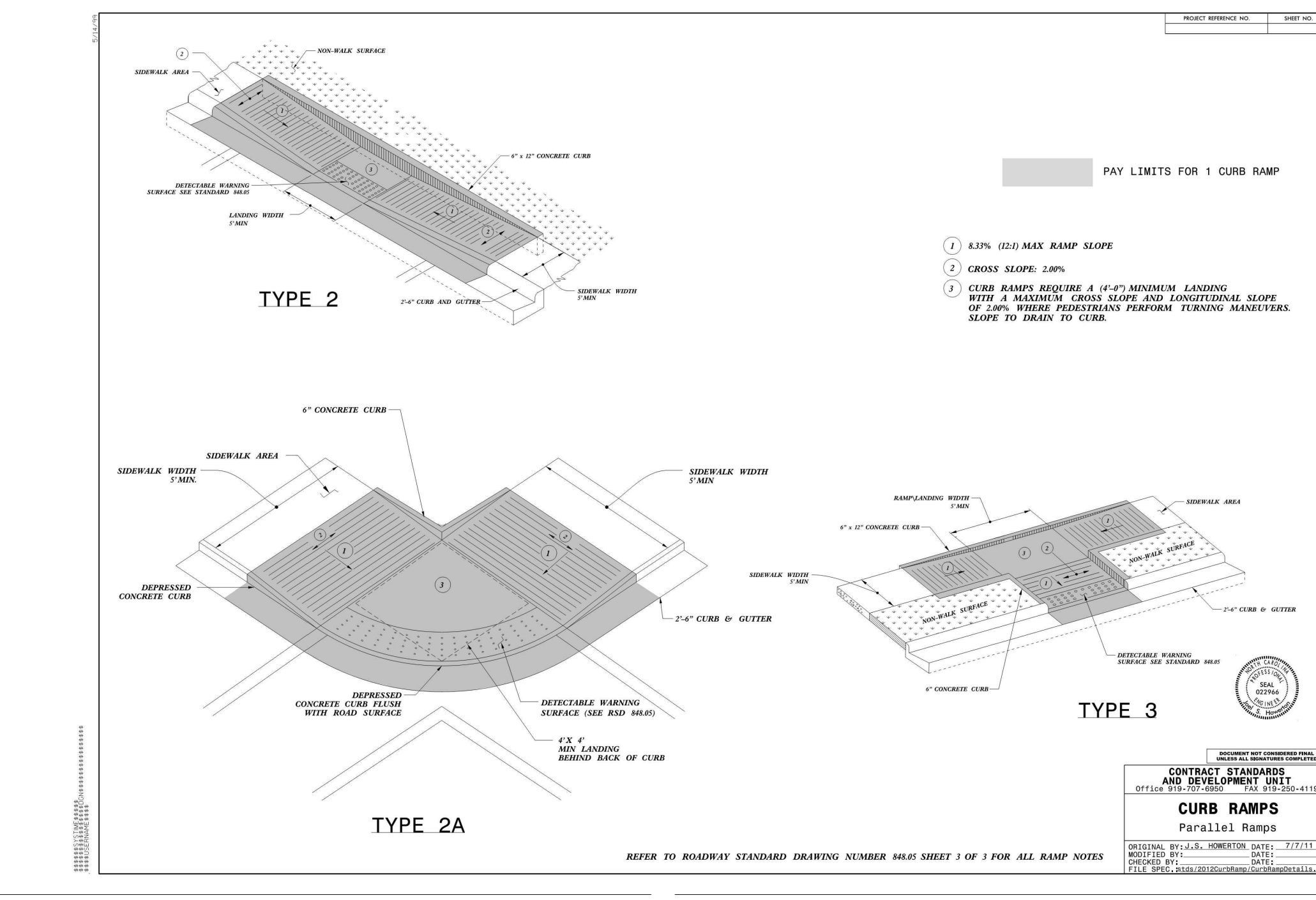
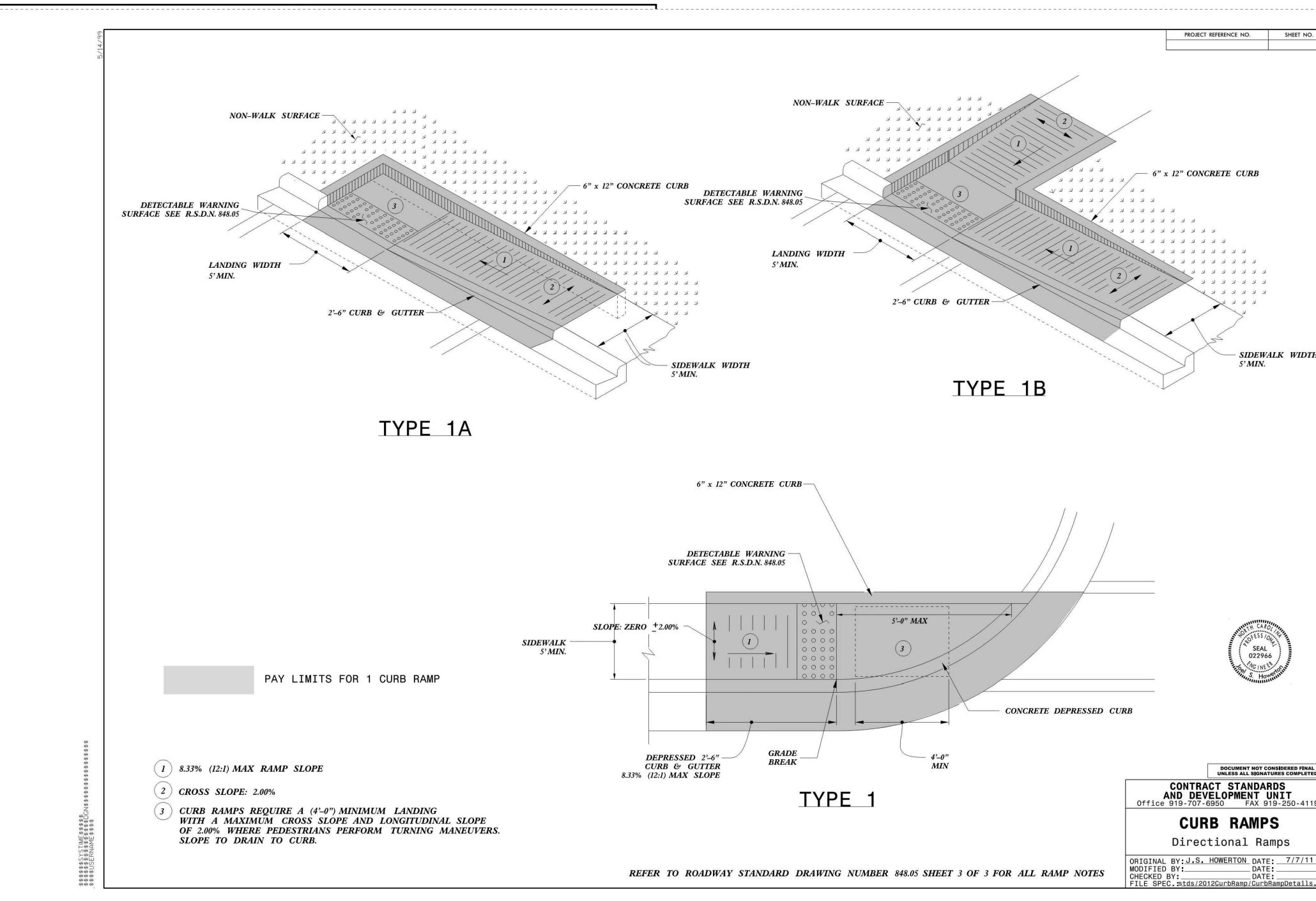
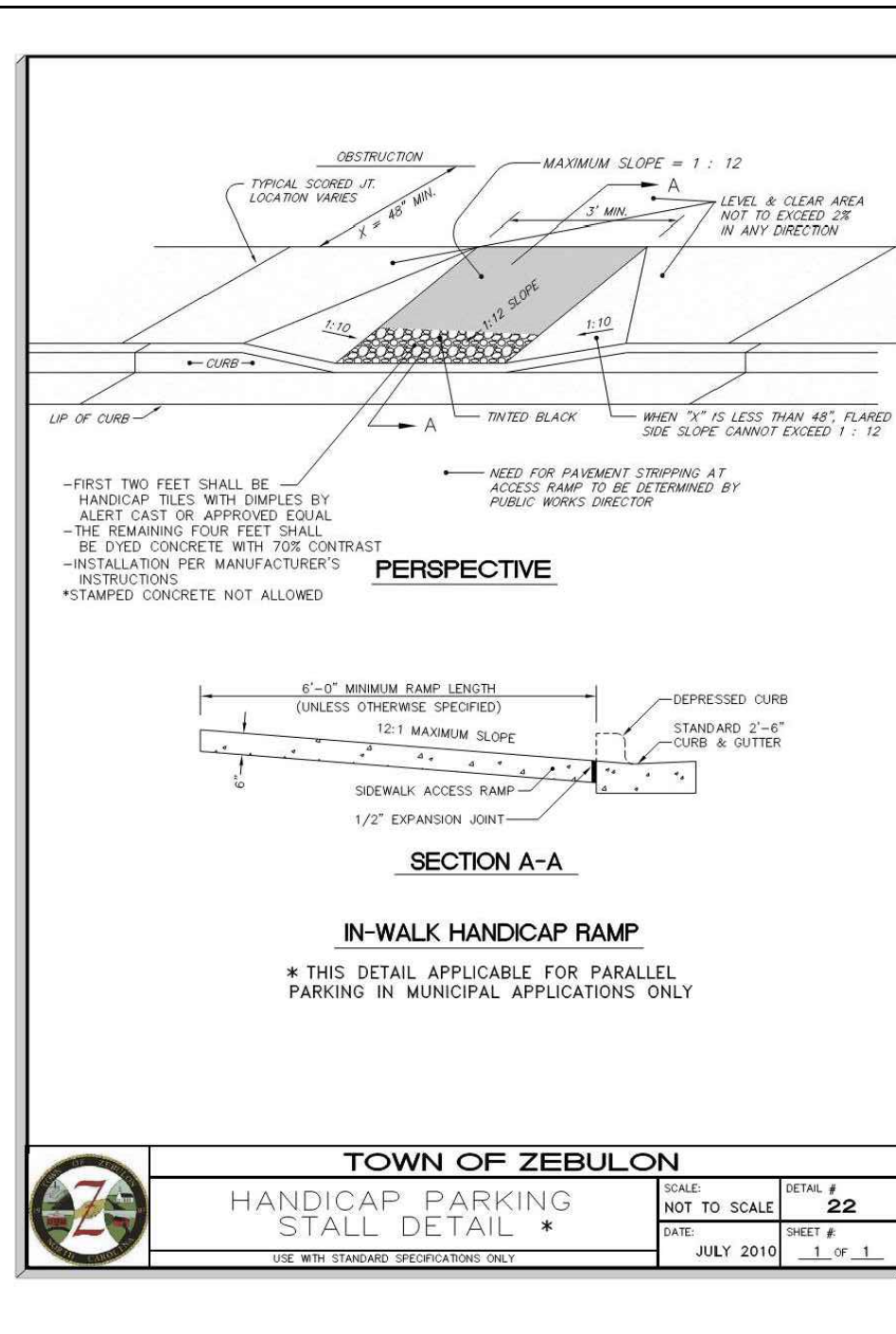
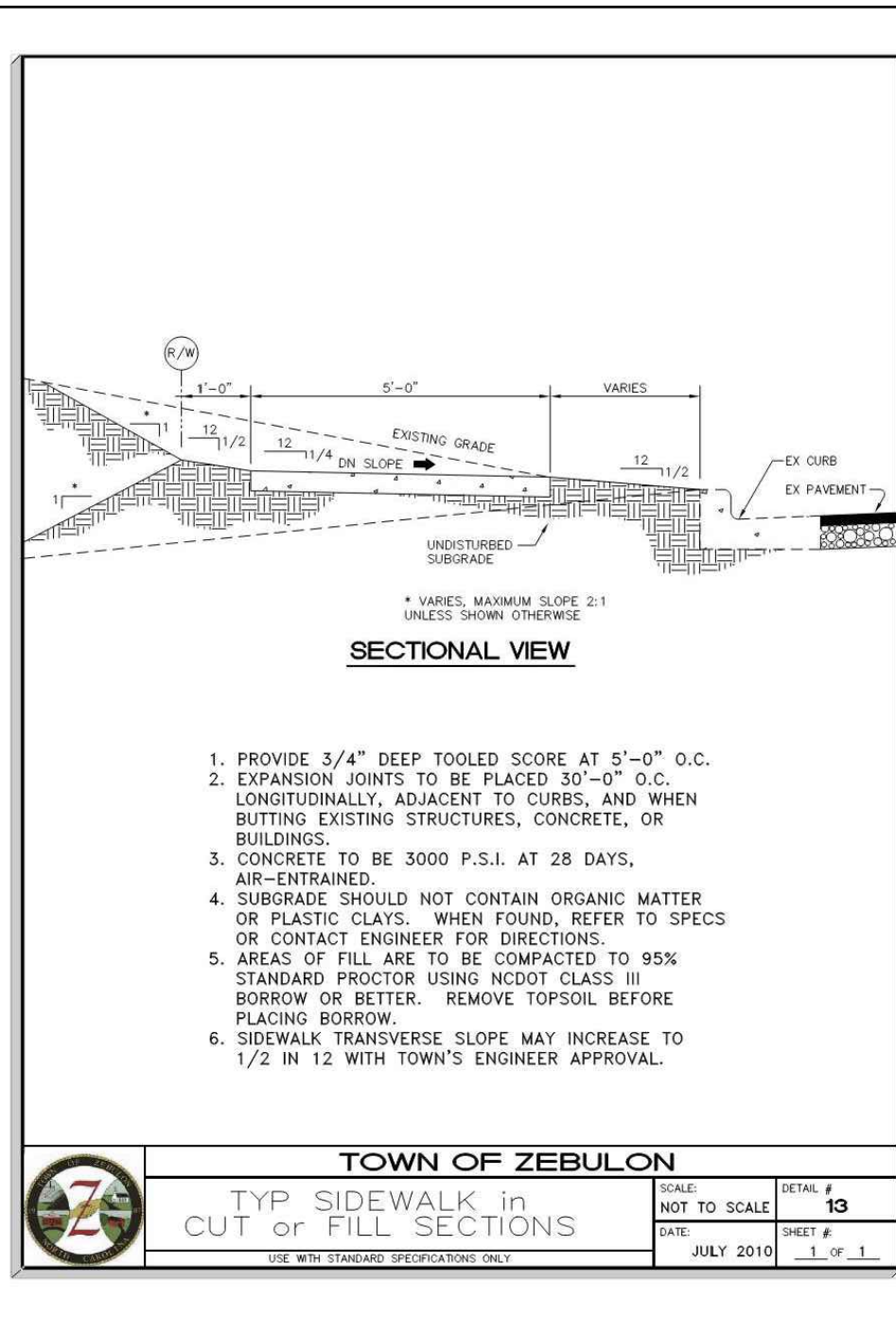
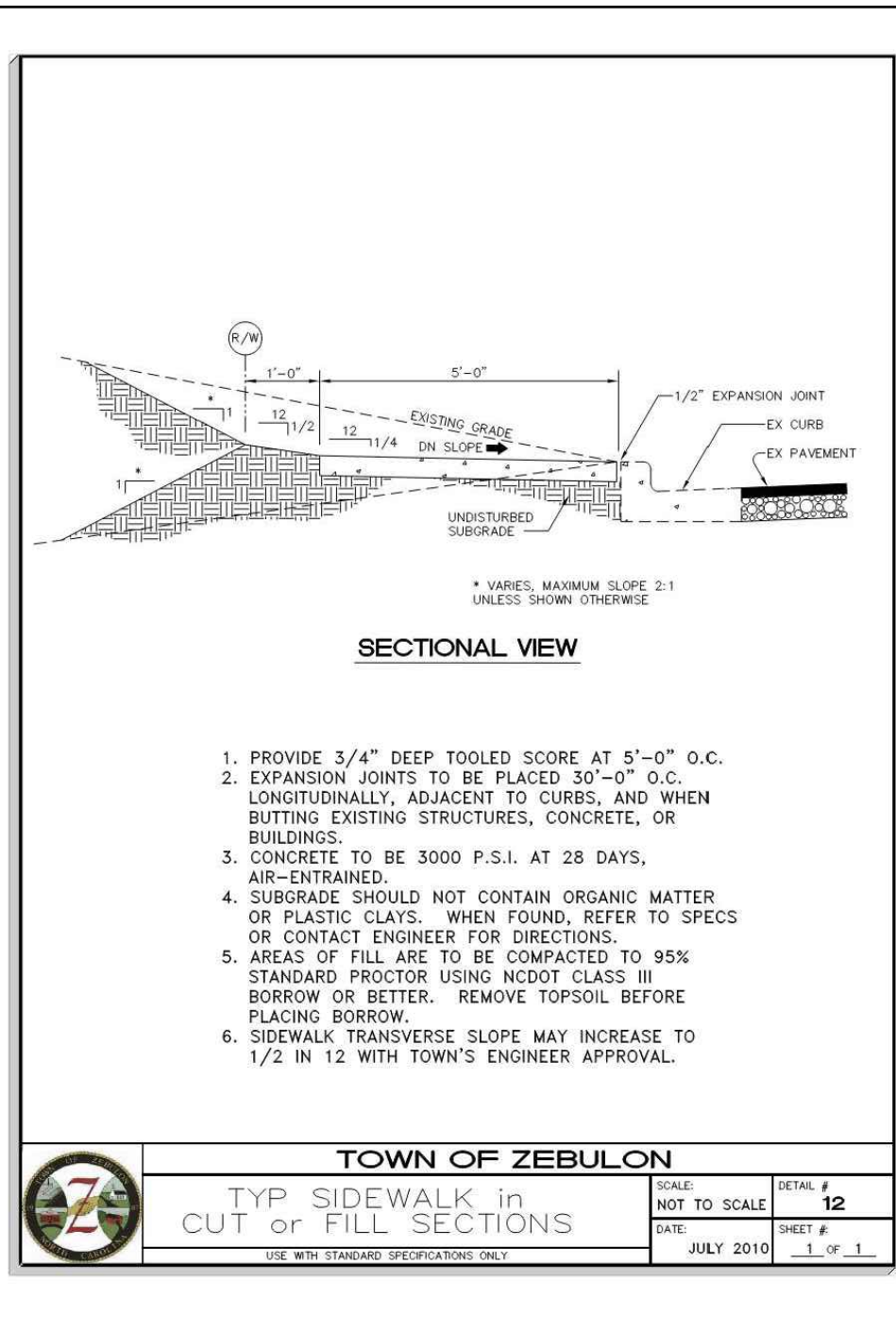
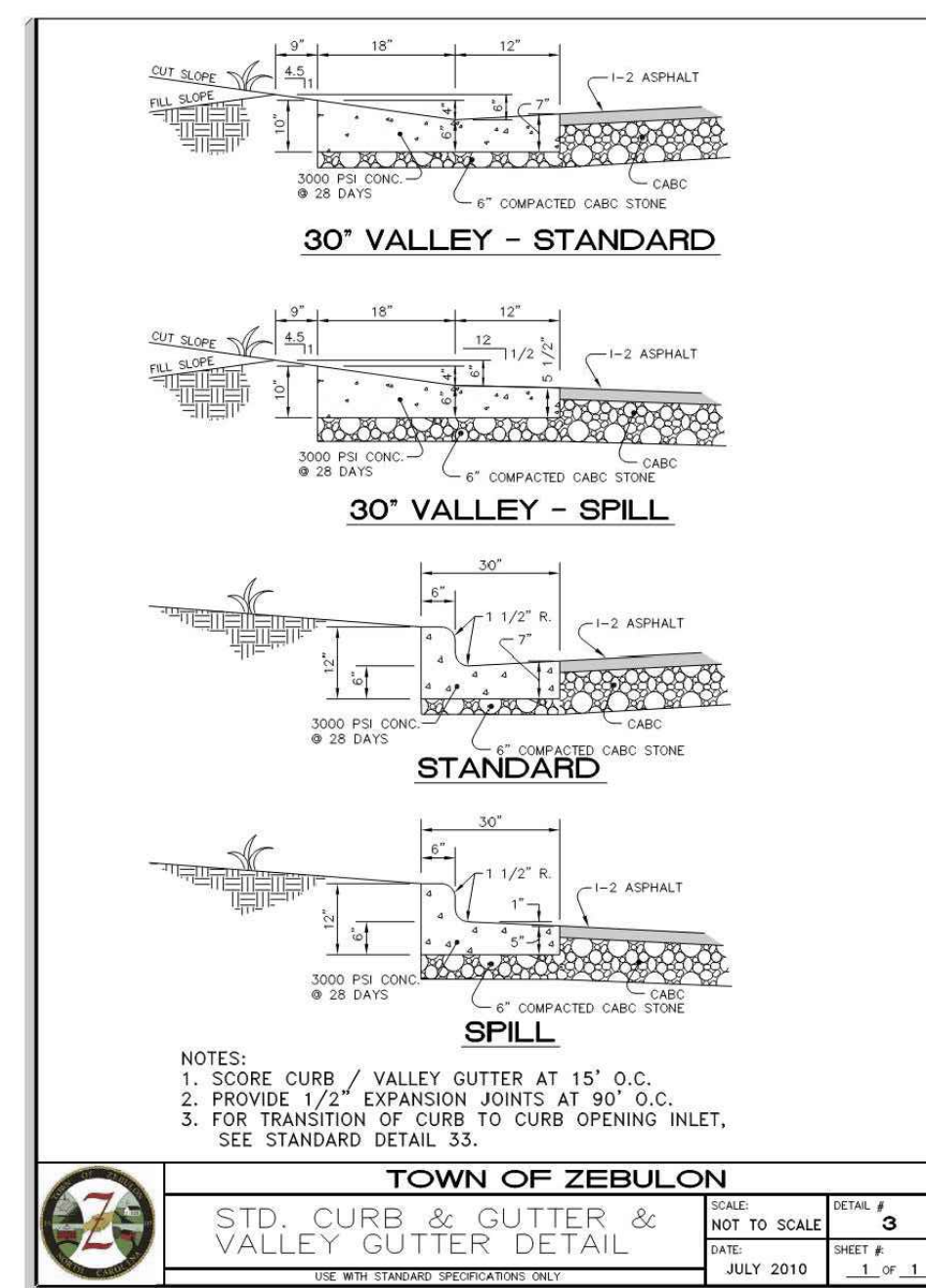
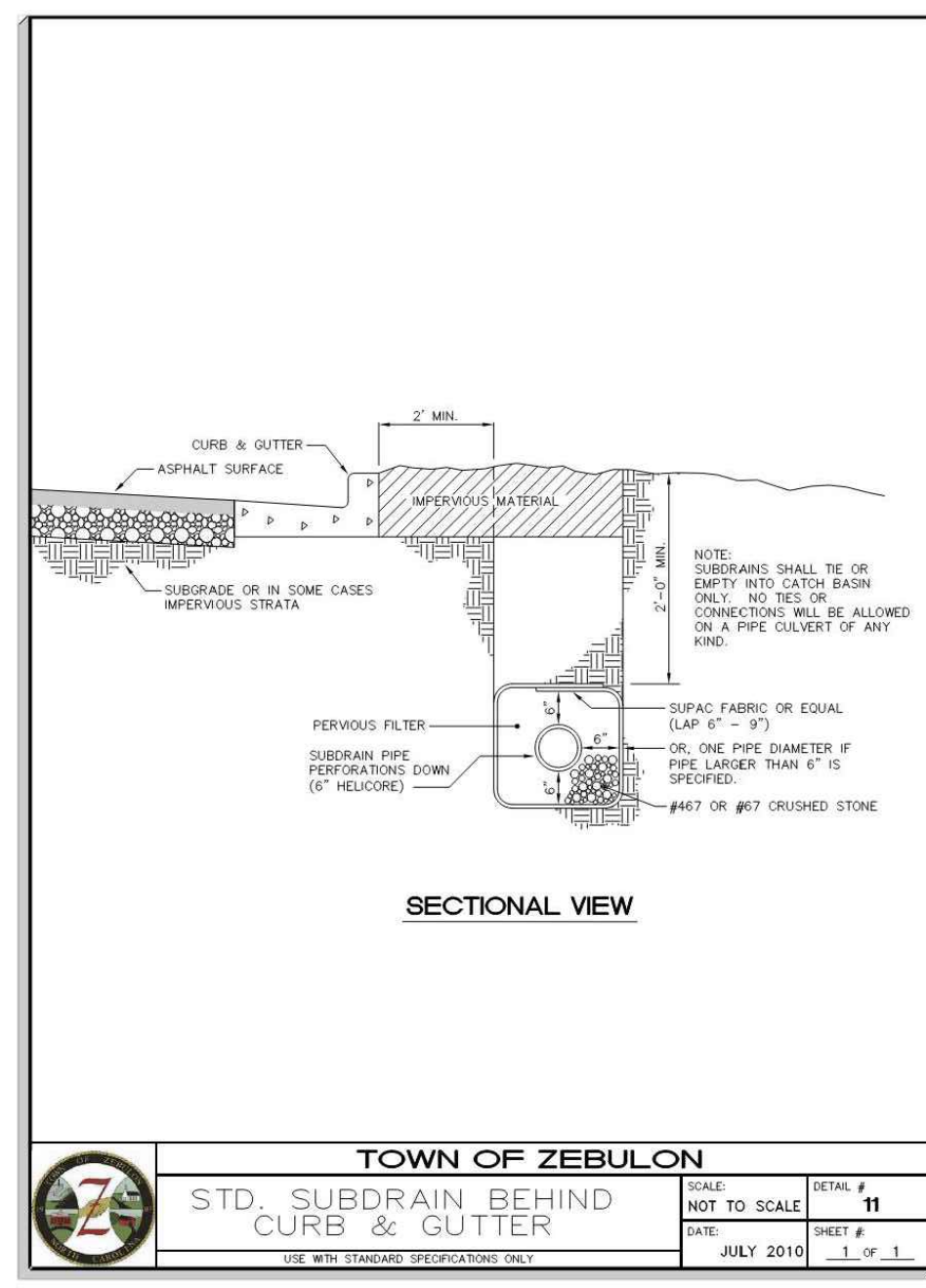
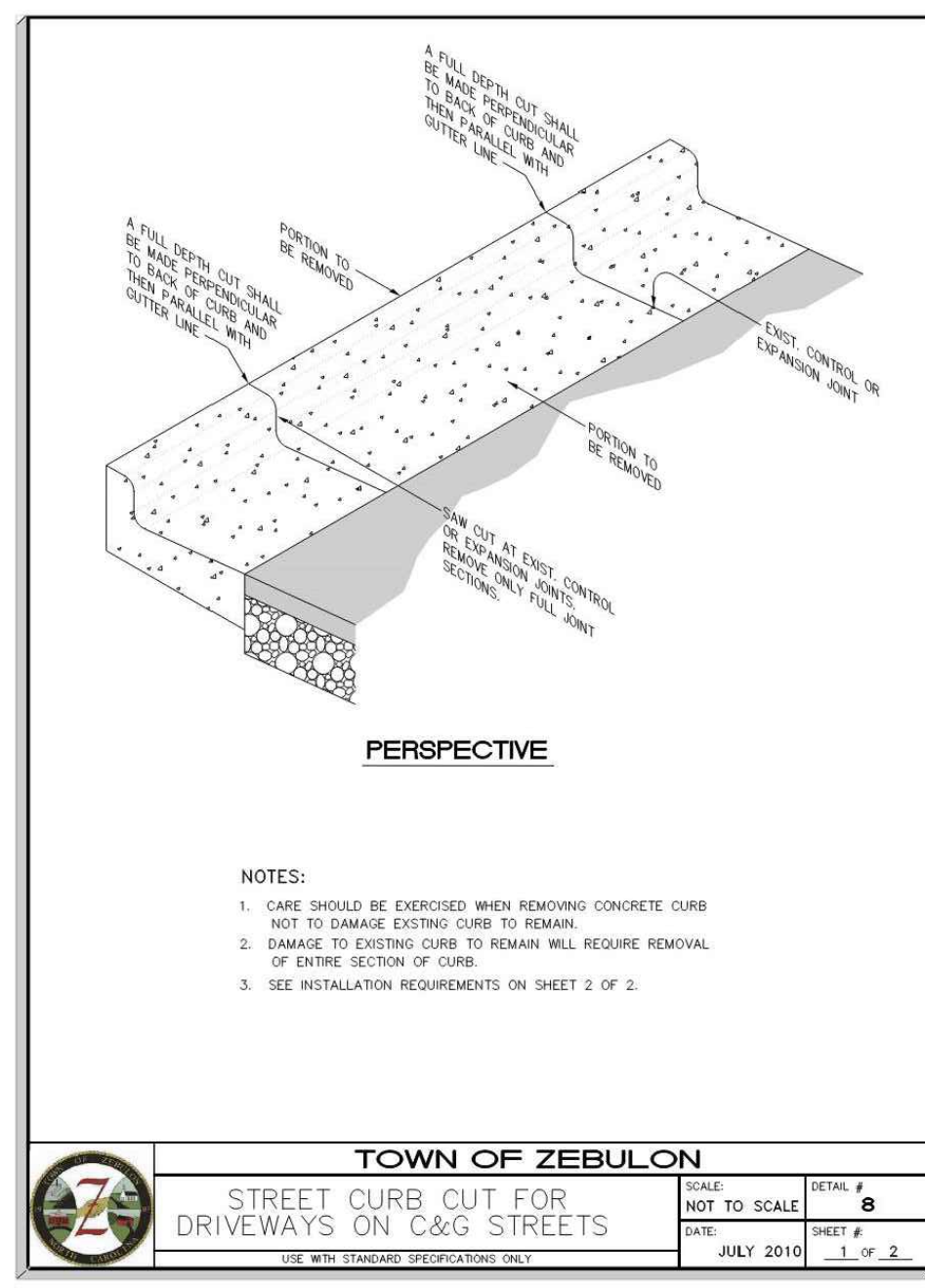
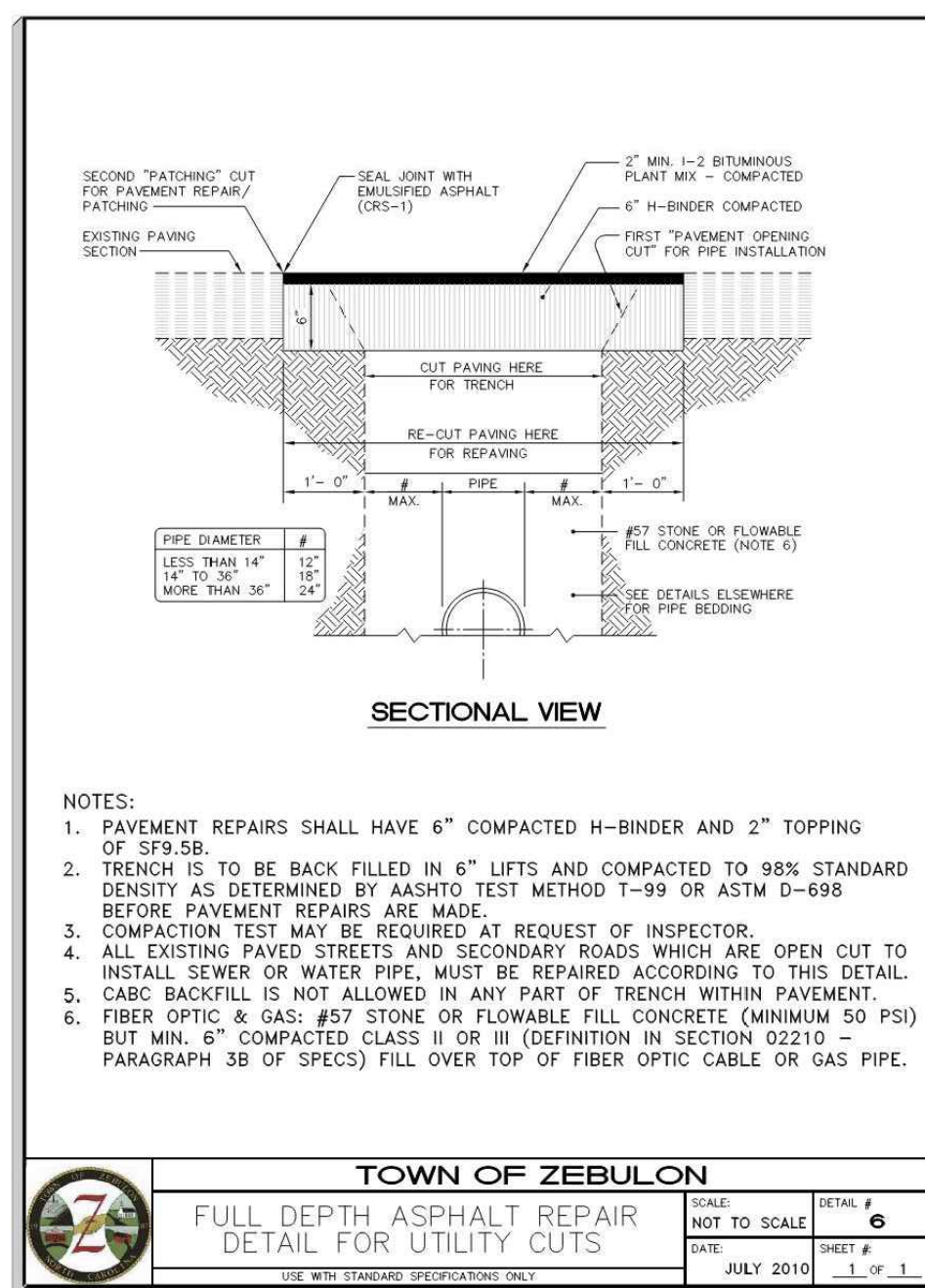
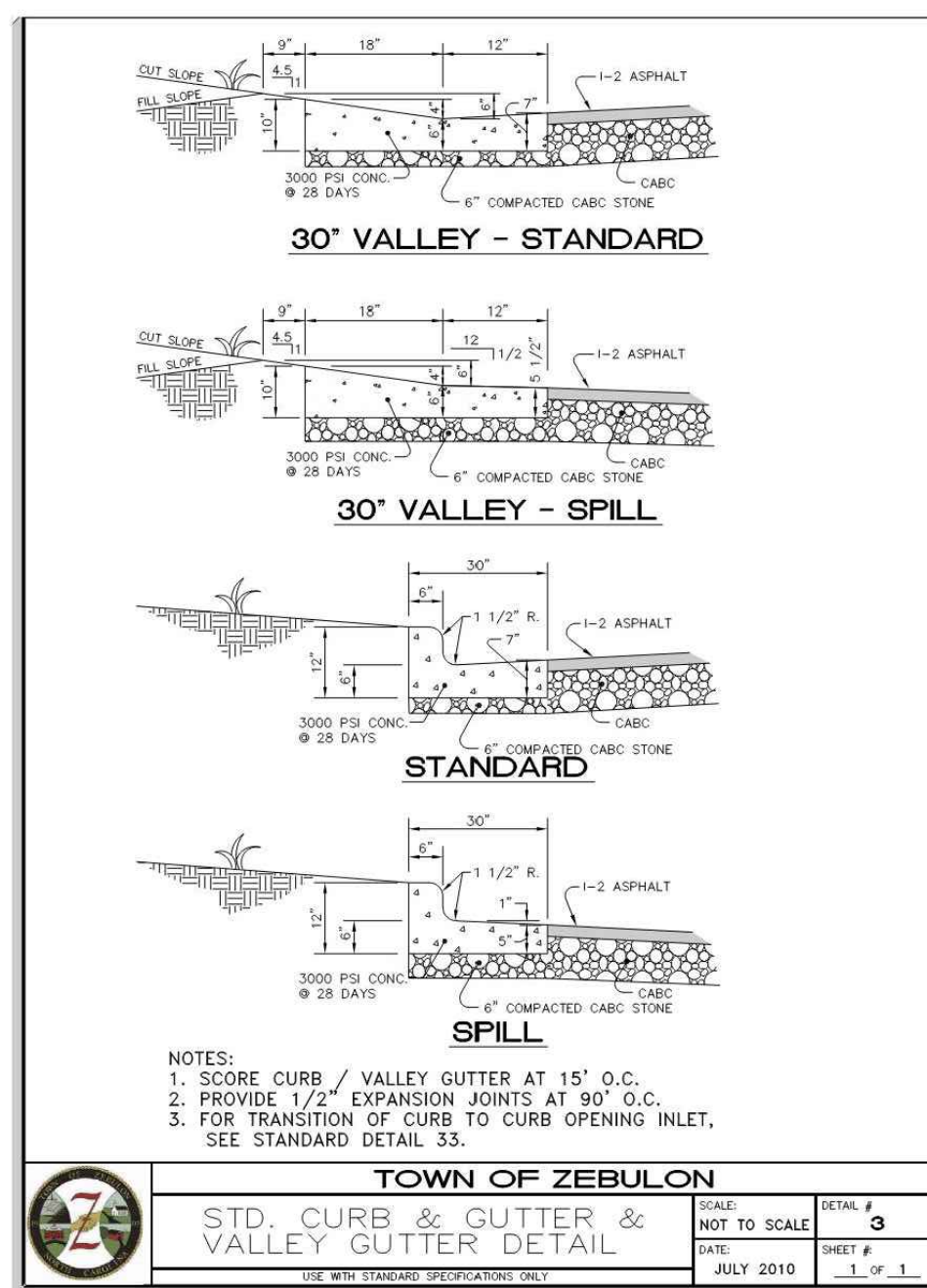


N.F. GAY FAMILY LTD. PARTNERSHIP
 DB 016957, PAGE 00504
 ZONED HC

N.F. DORIS C. HICKS
 DB 7276, PAGE 169
 ZONED R2

N.F. EPARK LLC.
 DB 019219, PAGE 01682
 ZONED HC

N.F. PURO DESCANSANDO PARTNERS II LP
 DESCANSANDO PARTNERS LP
 DB 119274, PAGE 02666
 ZONED HC



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



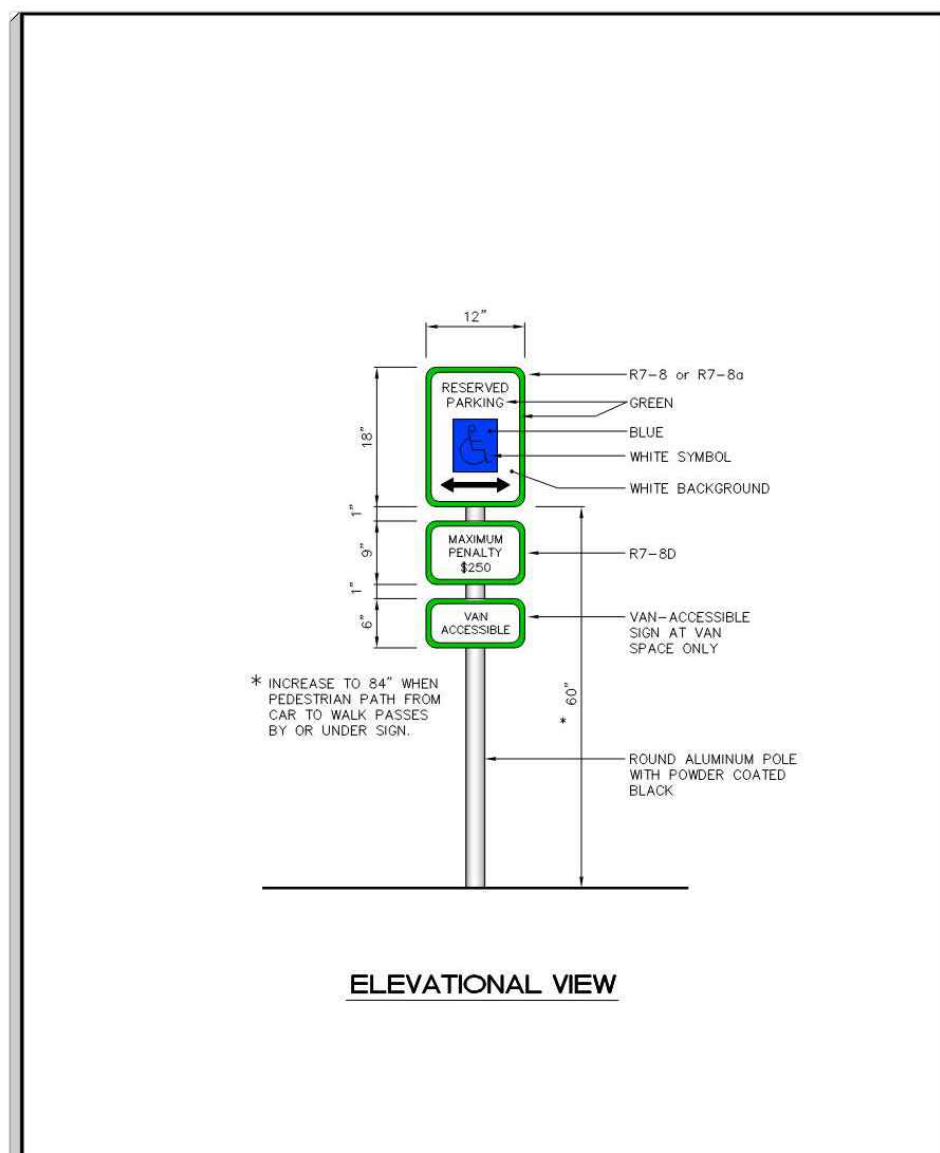
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2	11/21/23		CLIENT REVIEW
3	11/07/23		TRC REVIEW PLAN
4	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL #1

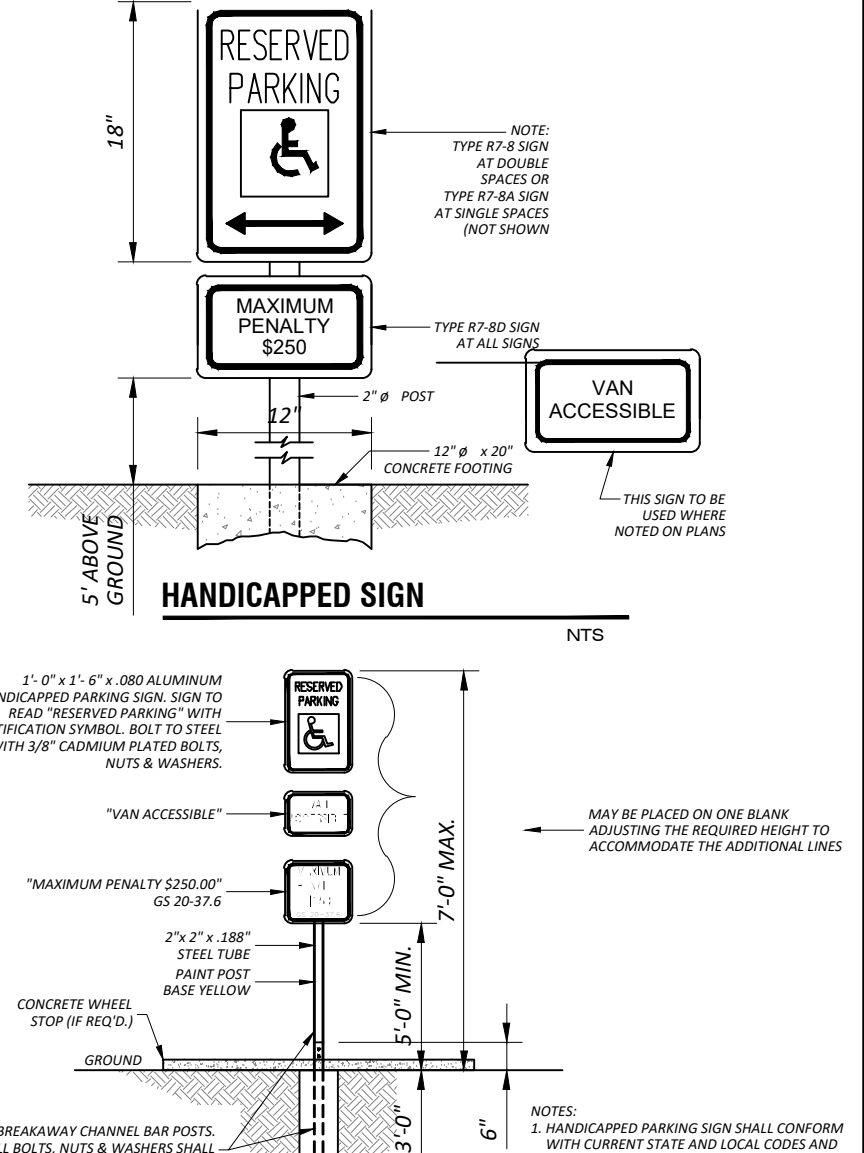


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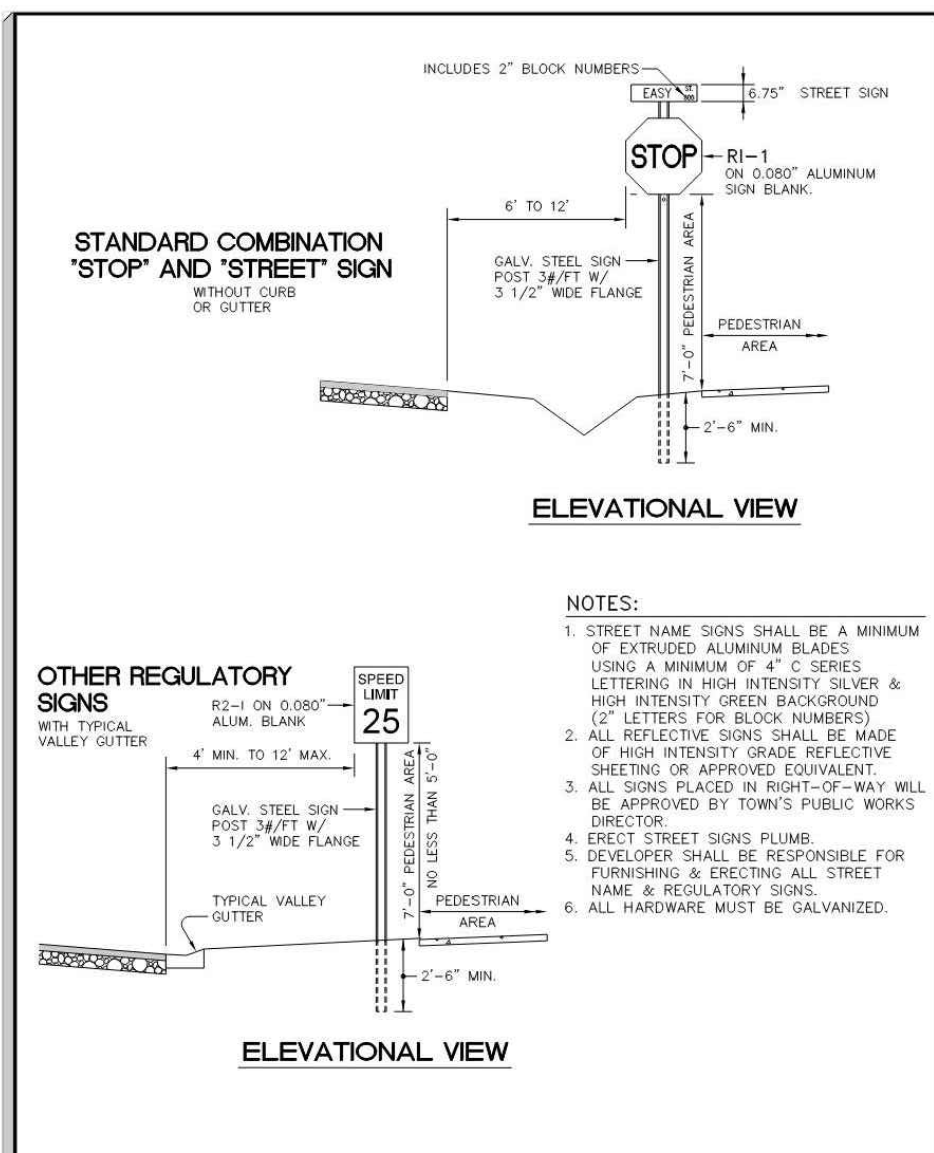
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 CHECKED BY: JSJ
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 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C2.10**



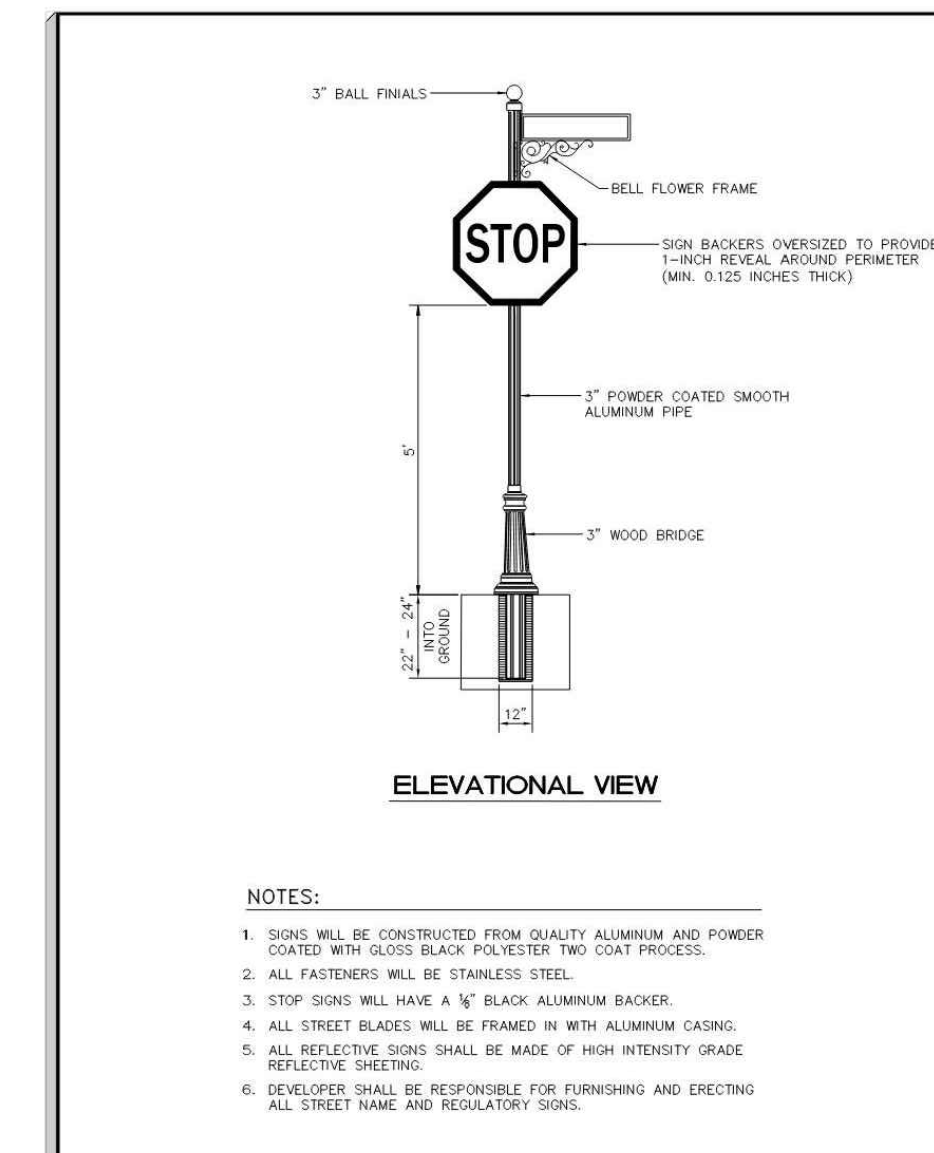
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R7-8 HANDICAP SIGN DETAIL
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 SHEET # 23
 DATE: JULY 2010
 USE WITH STANDARD SPECIFICATIONS ONLY



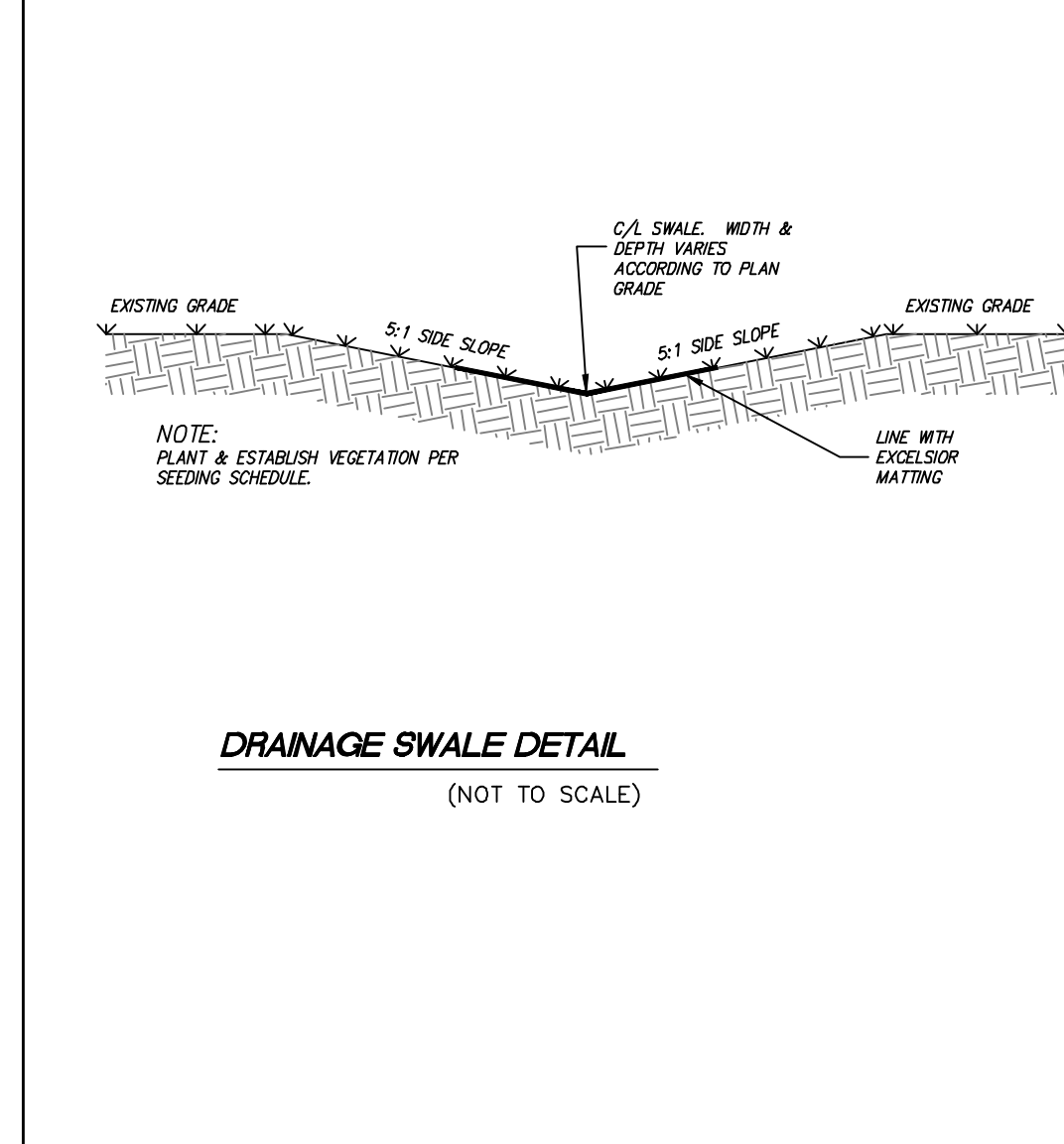
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 DATE: JULY 2010
 USE WITH STANDARD SPECIFICATIONS ONLY



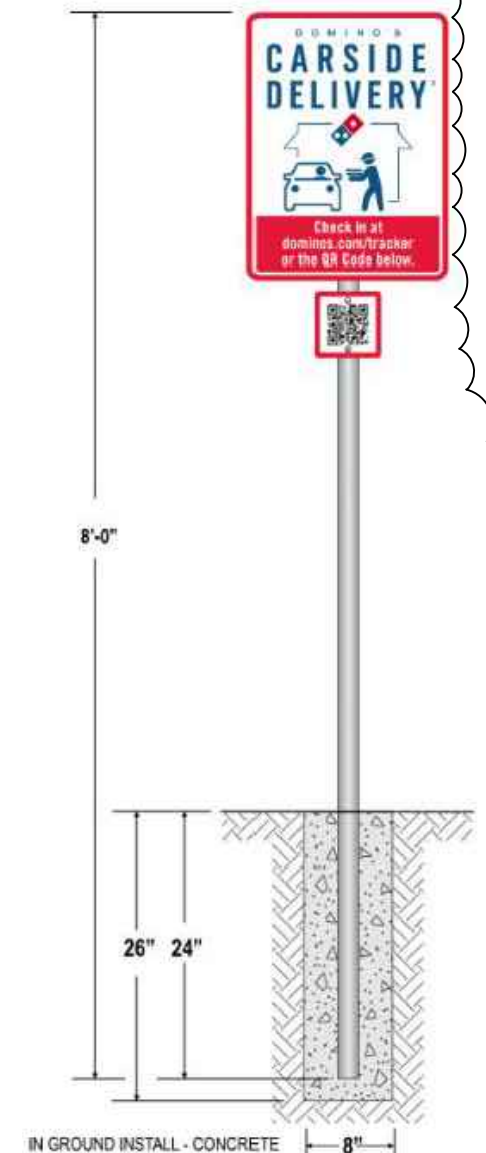
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 DATE: JULY 2010
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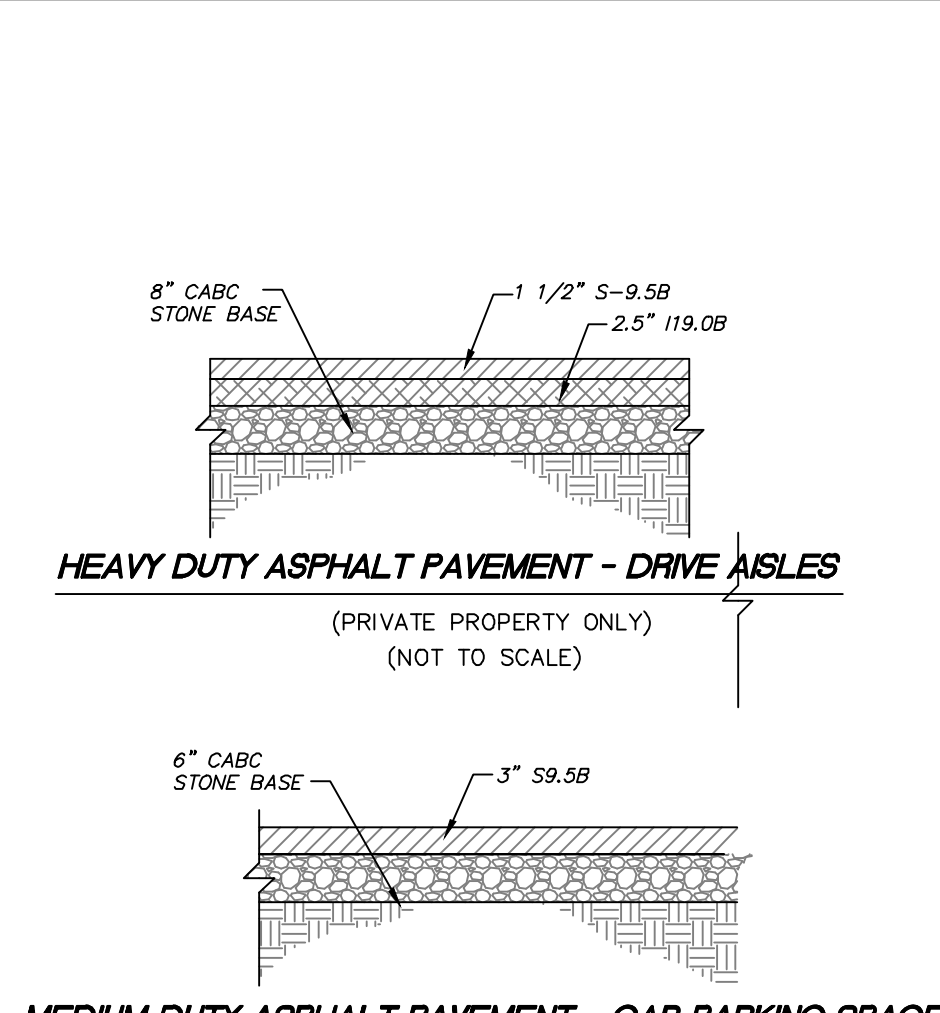
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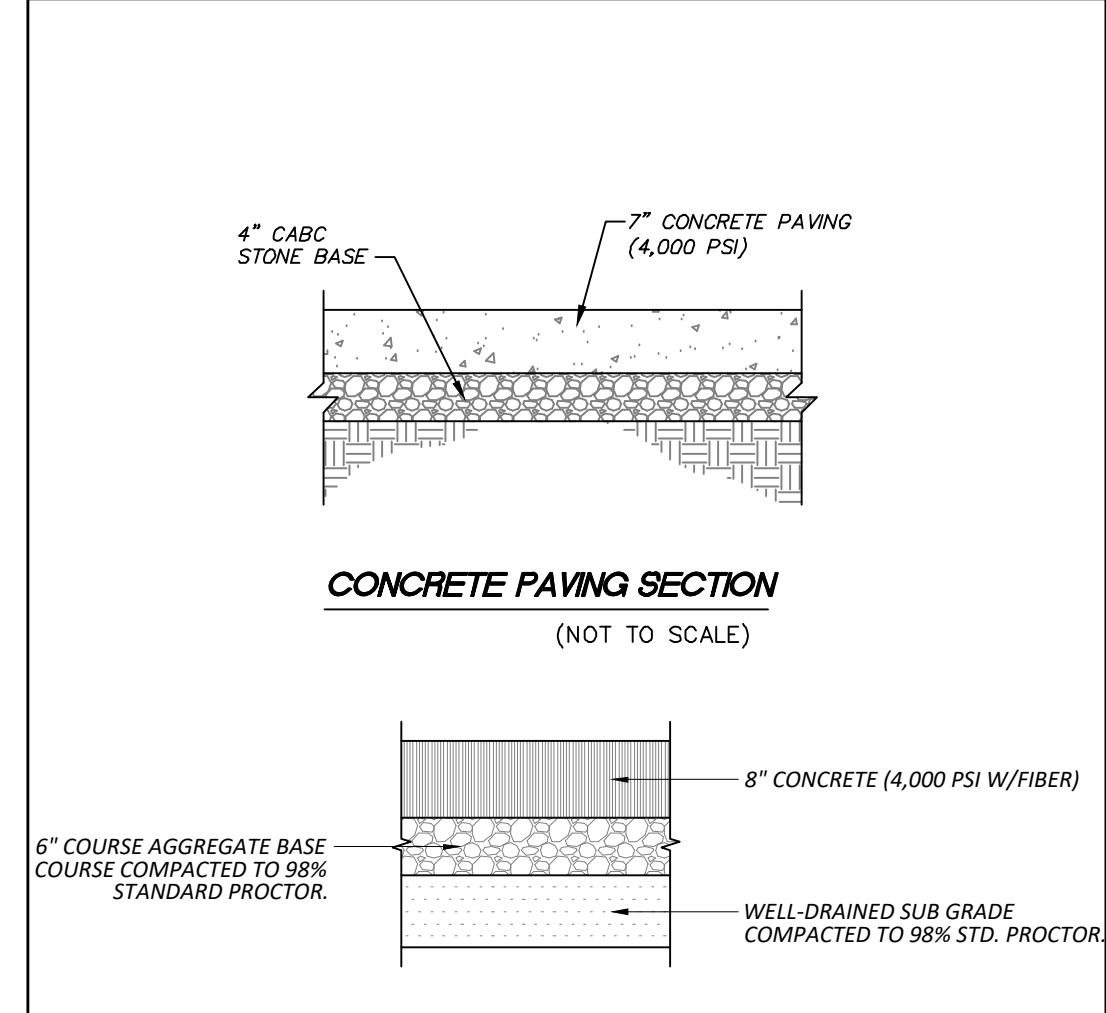
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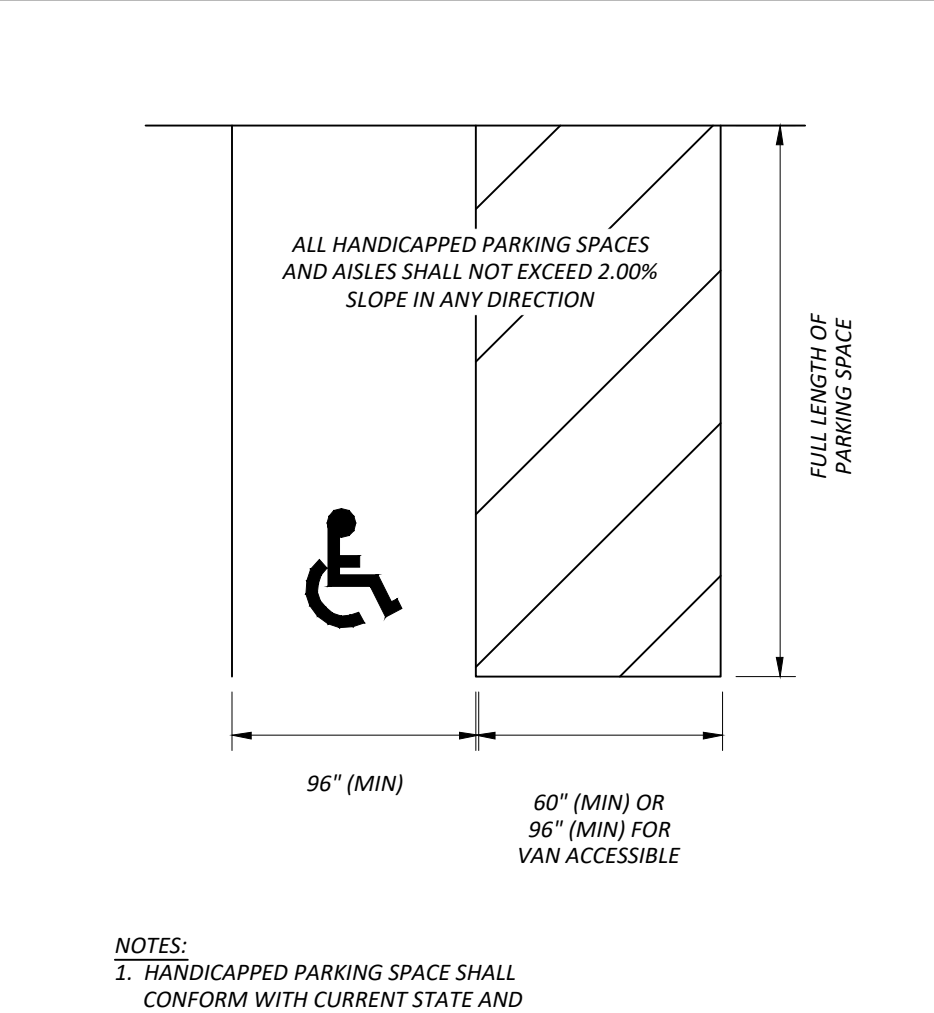
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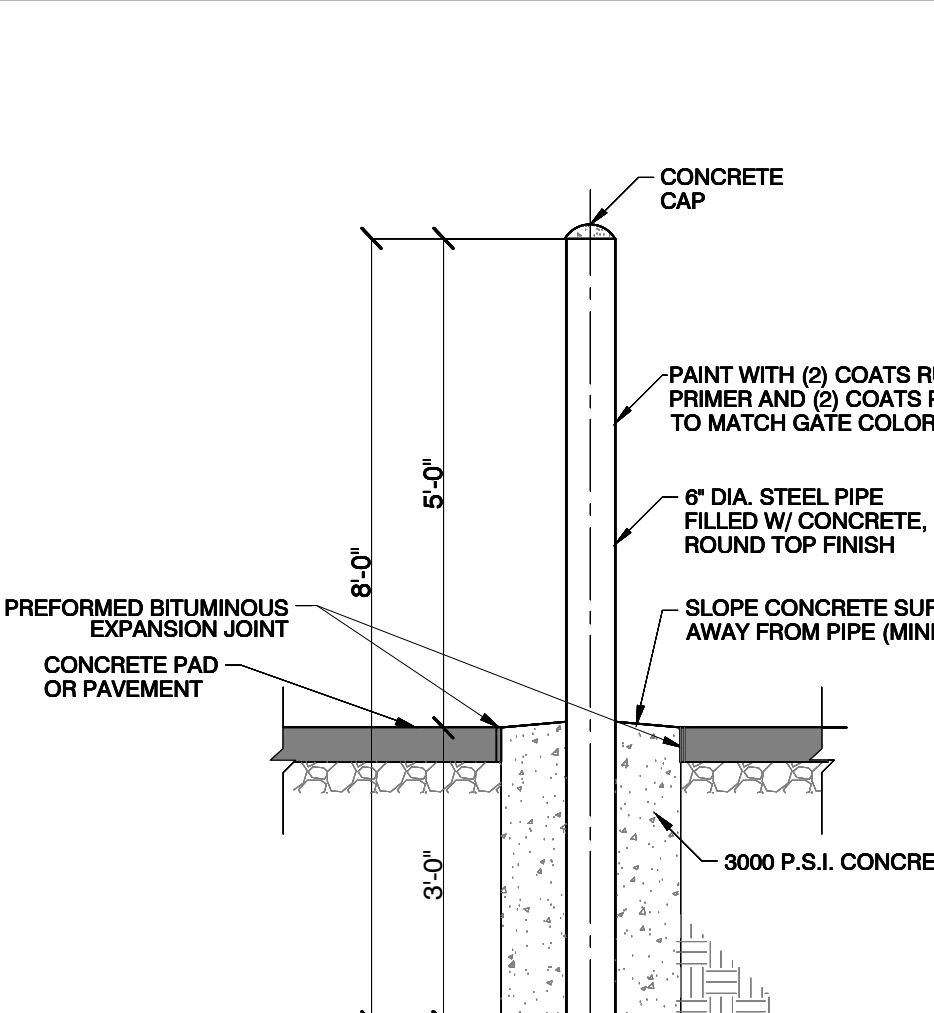
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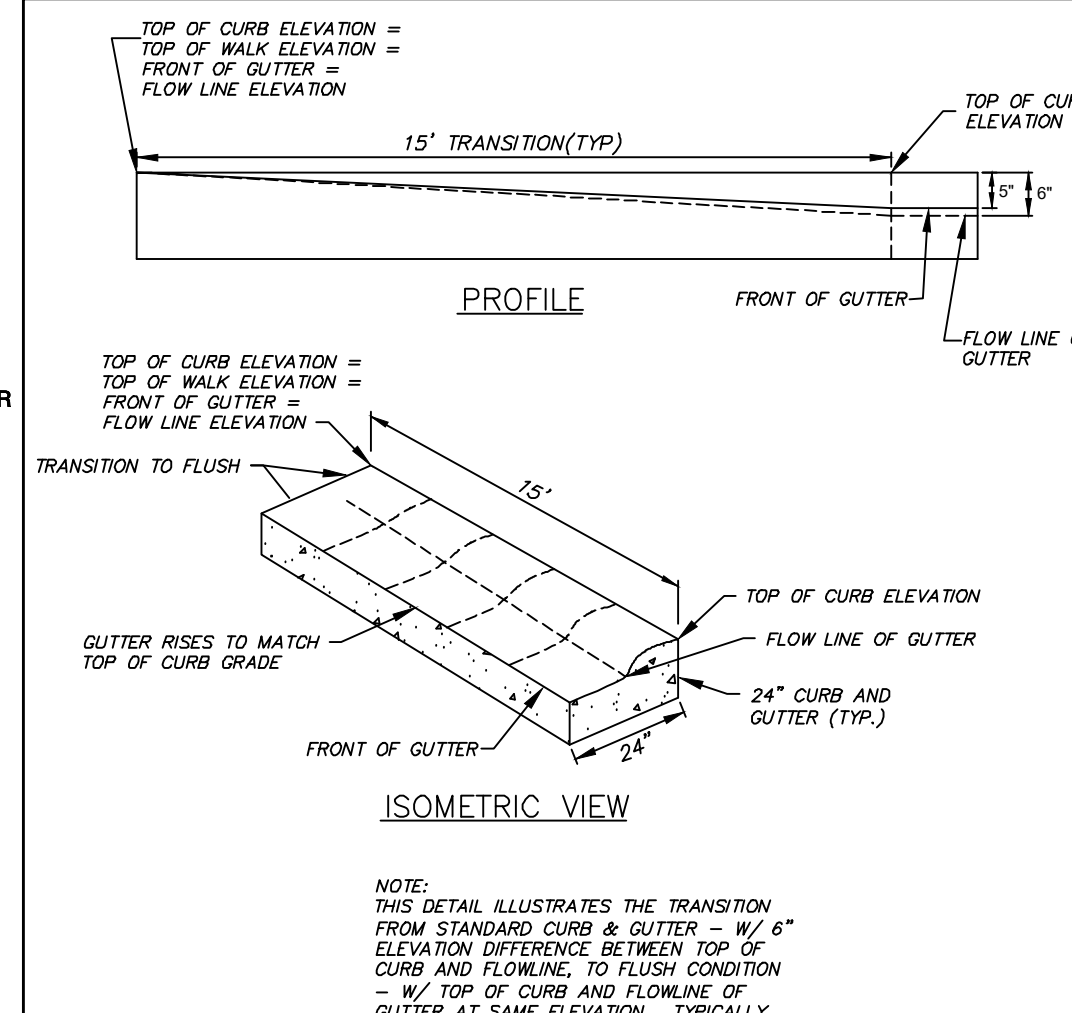
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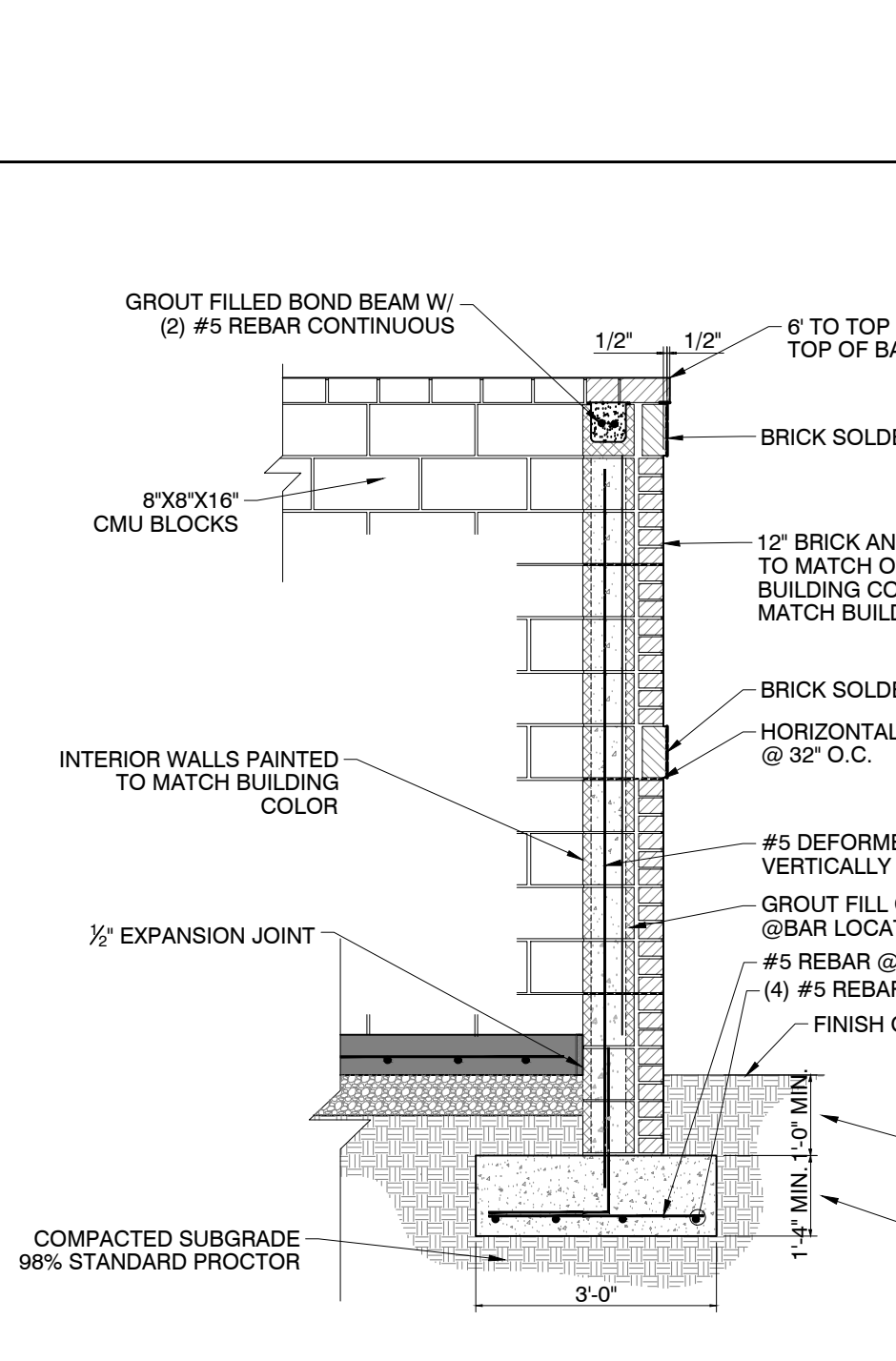
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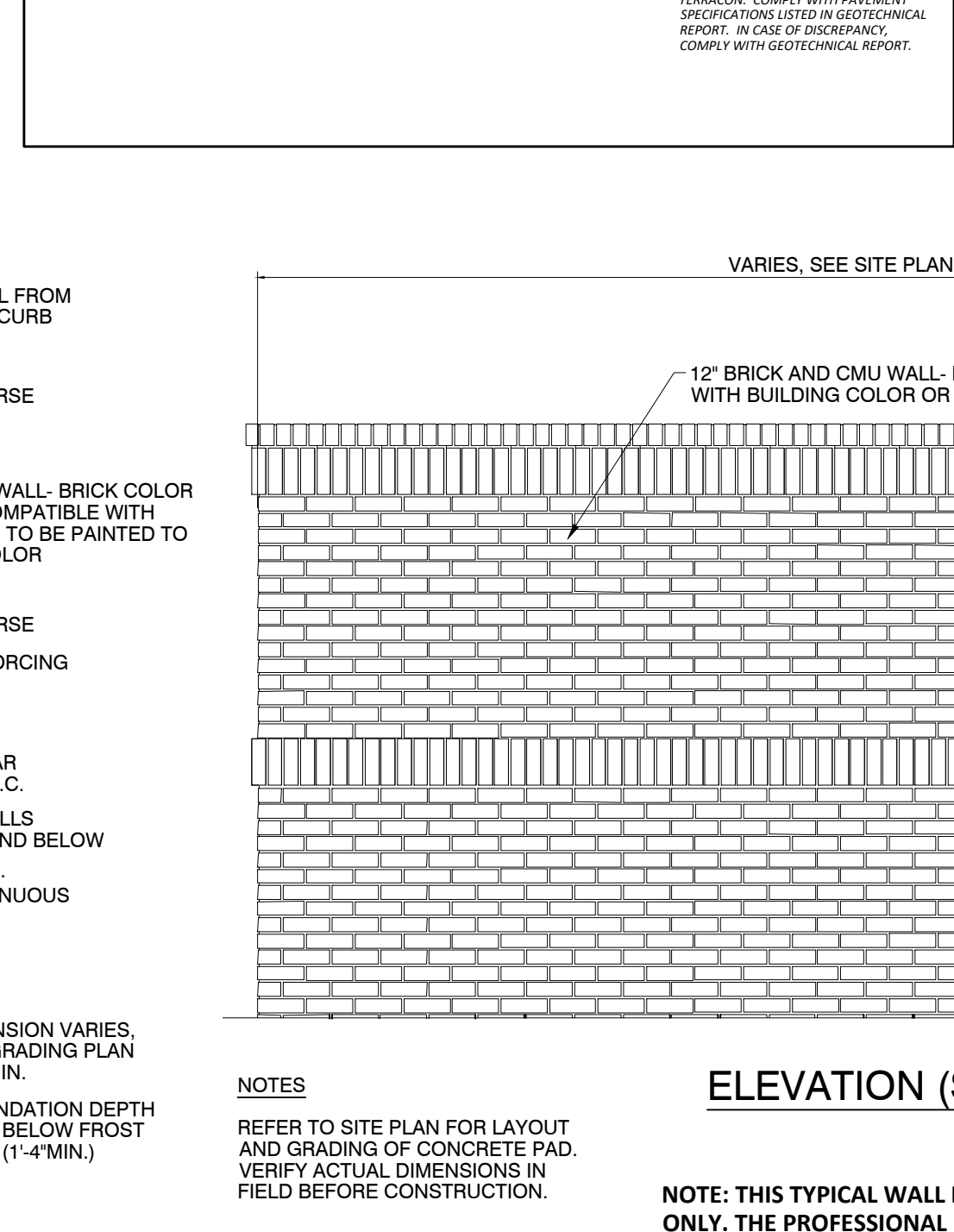
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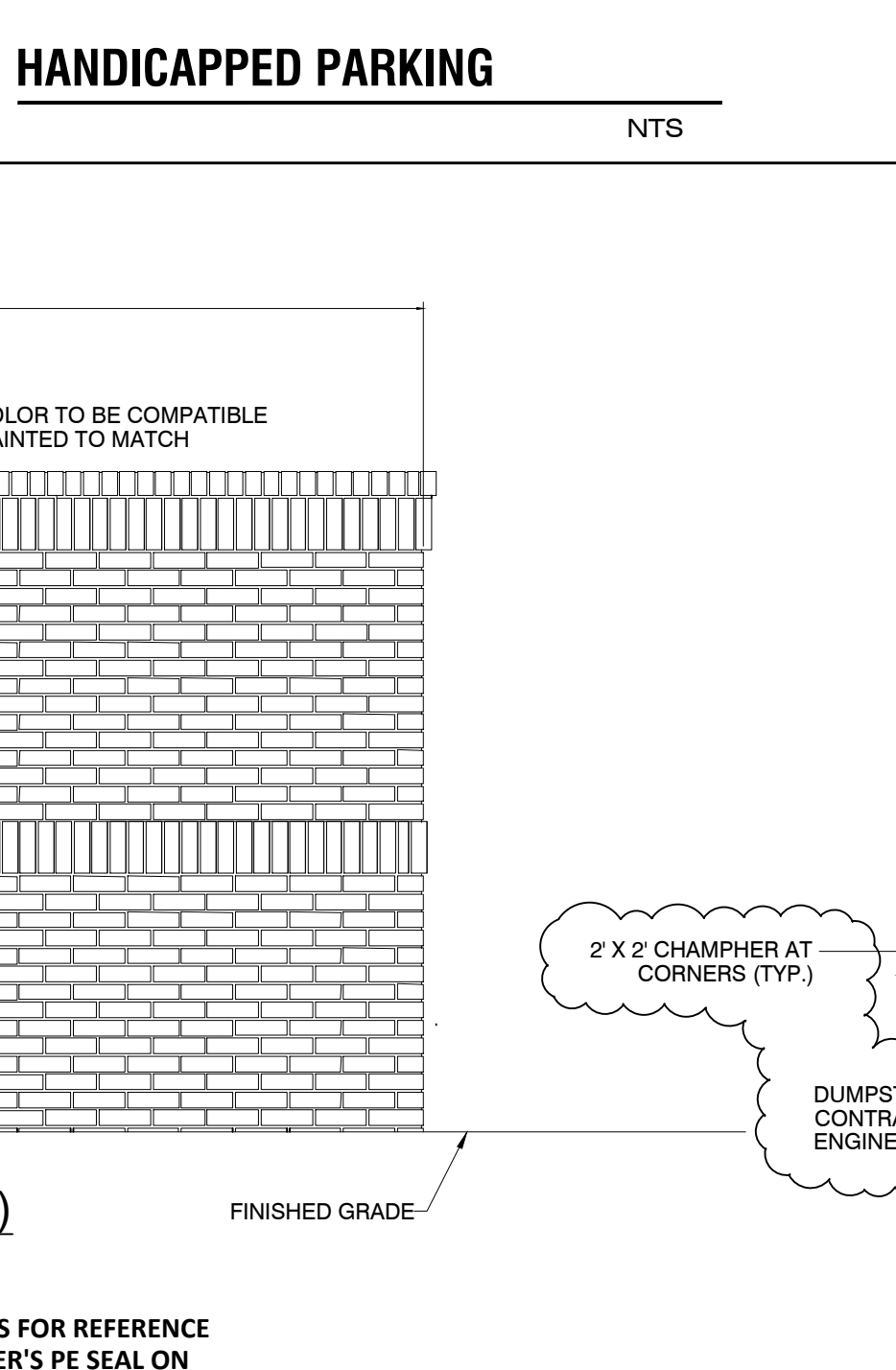
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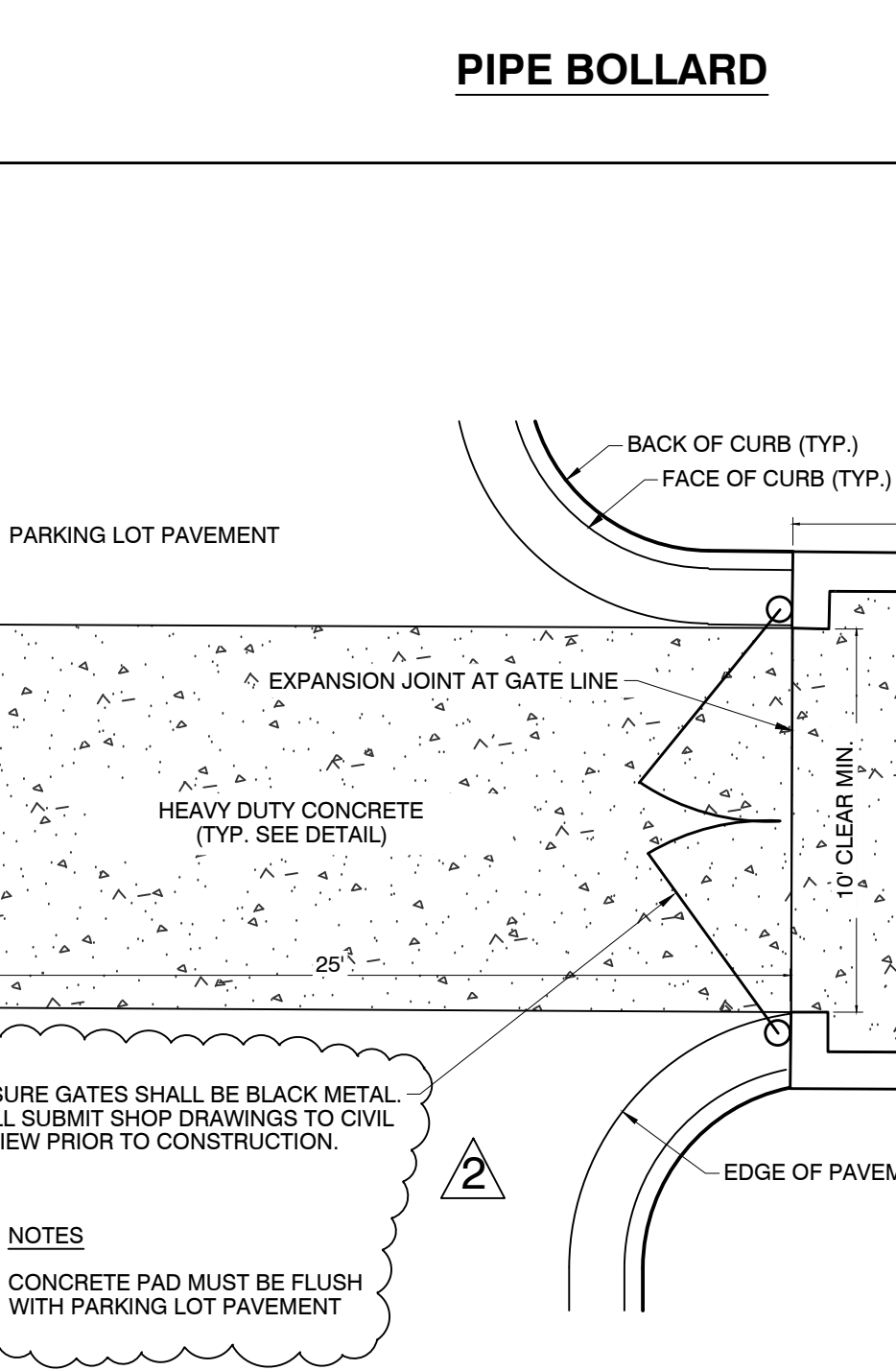
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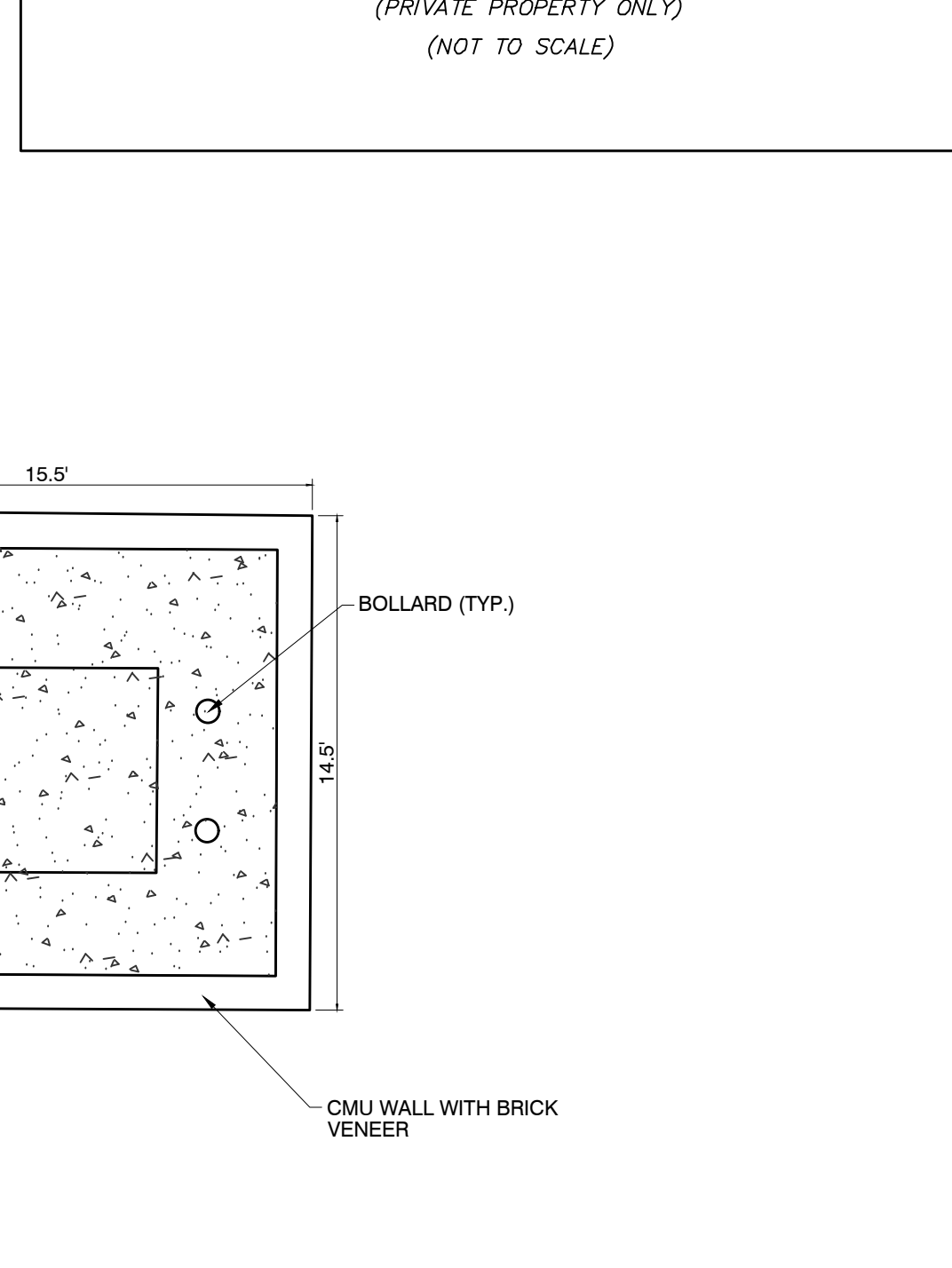
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 SHEET # 31
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PREMIUM SIGN INSTALLATION DETAIL
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TOWN OF ZEBULON
PREMIUM SIGN INSTALLATION DETAIL
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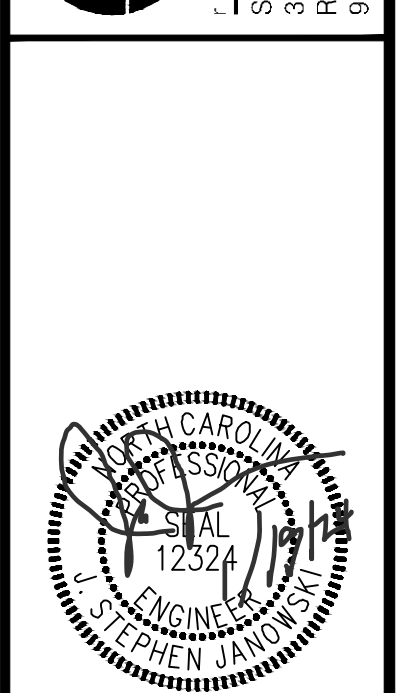


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PREMIUM SIGN INSTALLATION DETAIL
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 SHEET # 31
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TOWN OF ZEBULON
PREMIUM SIGN INSTALLATION DETAIL
 SCALE: NOT TO SCALE
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 ENGINEERS, ARCHITECTS & ASSOCIATES, INC.
 Since 1918
 Six Forks Place, III, Ste. 230
 Raleigh, NC 27609
 919.594.1626
 Landscape Architects

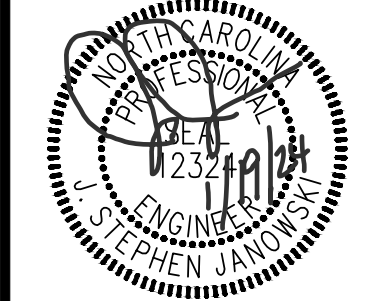


NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #3	07/19/24	
2	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
3	CLIENT REVIEW	11/21/23	
4	TRC REVIEW PLAN	11/07/23	
5	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON ~ WAKE COUNTY ~ NORTH CAROLINA
SITE DETAILS
 DATE: _____
 DESIGNED BY: MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C2.11**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPT., NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.





REVISIONS:

NO.	DATE	DESCRIPTION
1	07/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3
2	12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2
3	11/21/23	CLIENT REVIEW
4	11/07/23	TRC REVIEW PLAN
5	06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
UTILITIES PLAN

DATE:
 DESIGNED BY: JSJ/MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C3.01**

- CITY OF RALEIGH STANDARD UTILITY NOTES (as applicable):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, ON ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAIL W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MANHOLE & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BUILDING PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

- NOTES:**
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
 - PER FEMA FIRM MAP 372046600L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 - WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

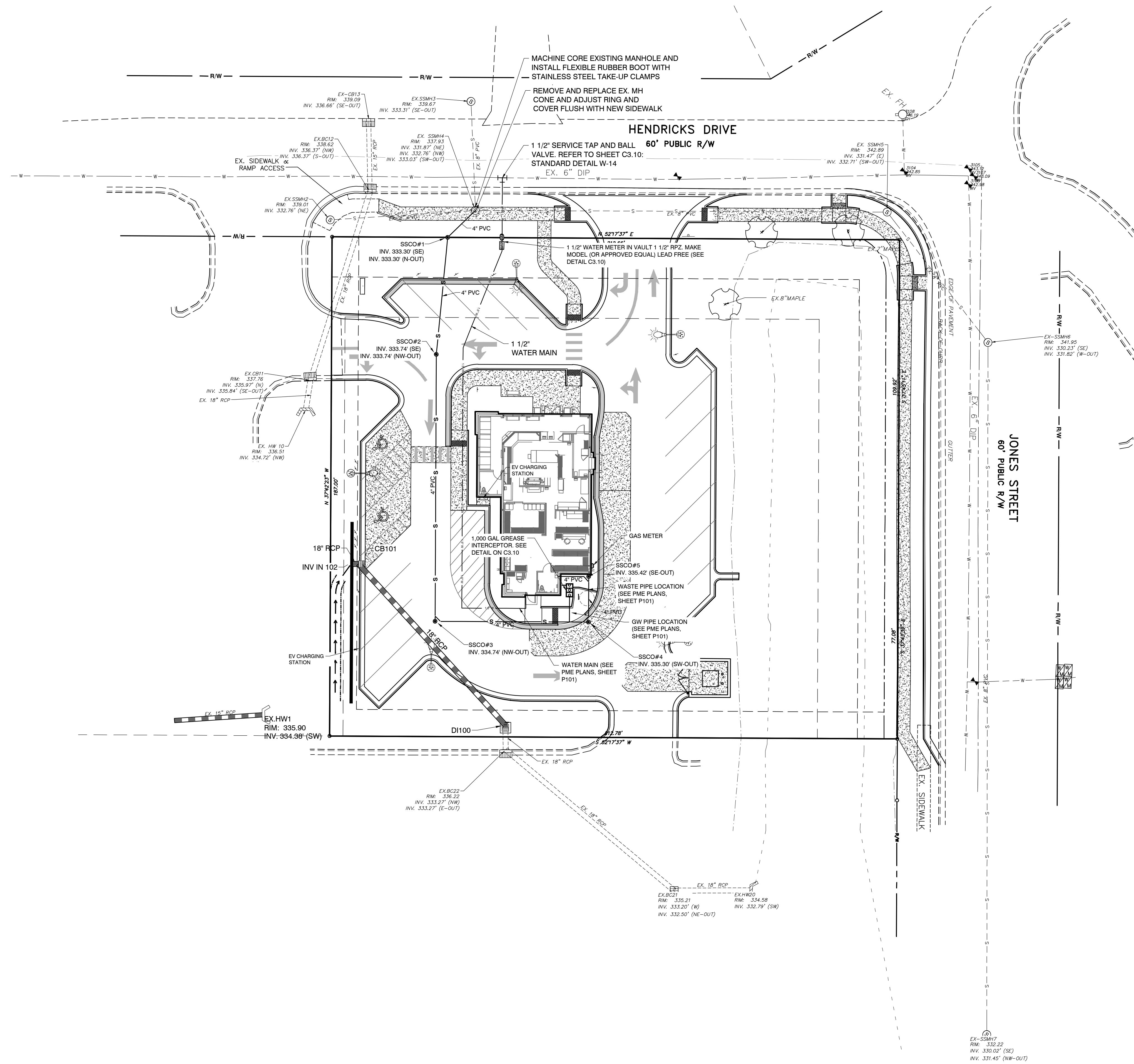
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

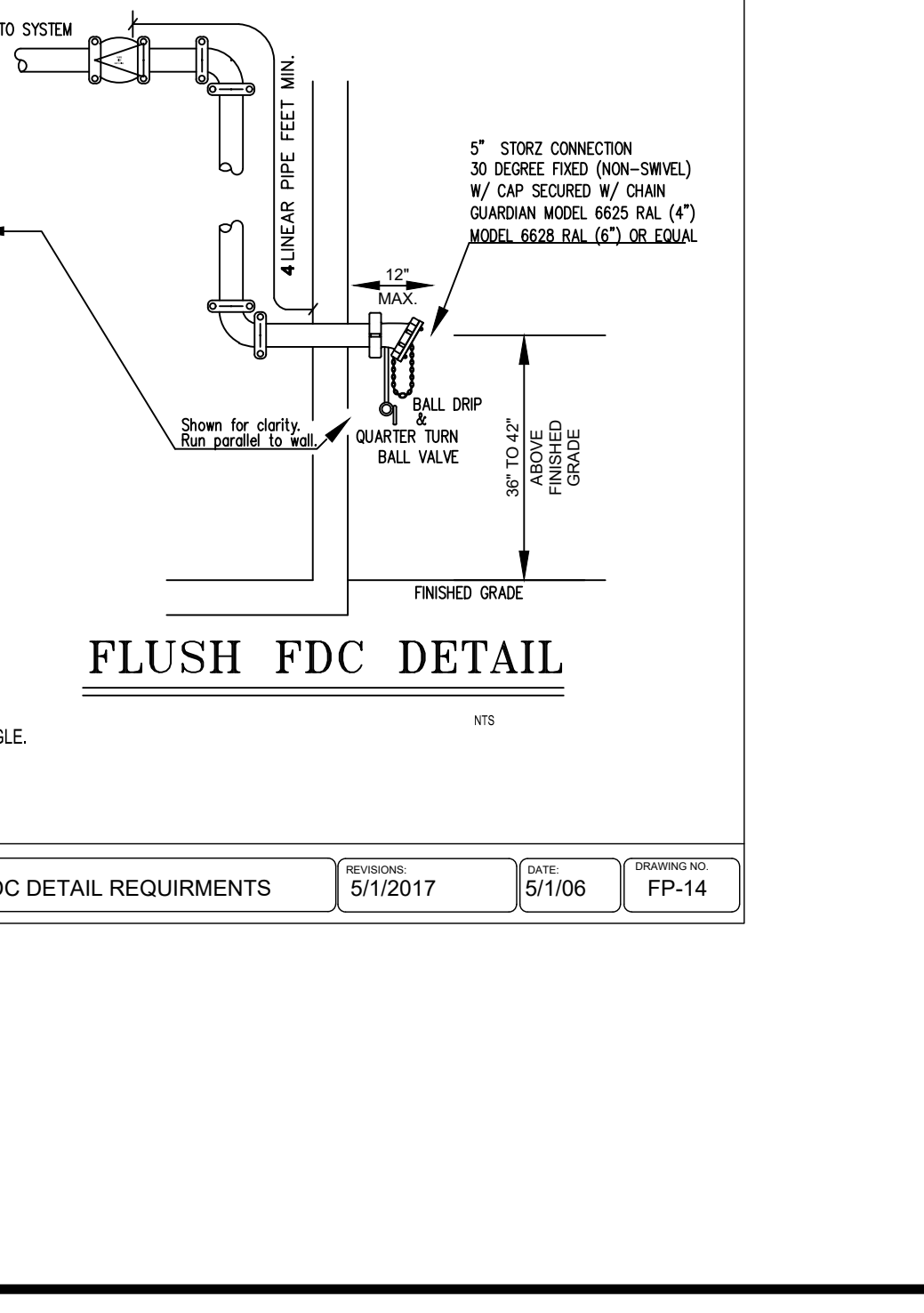
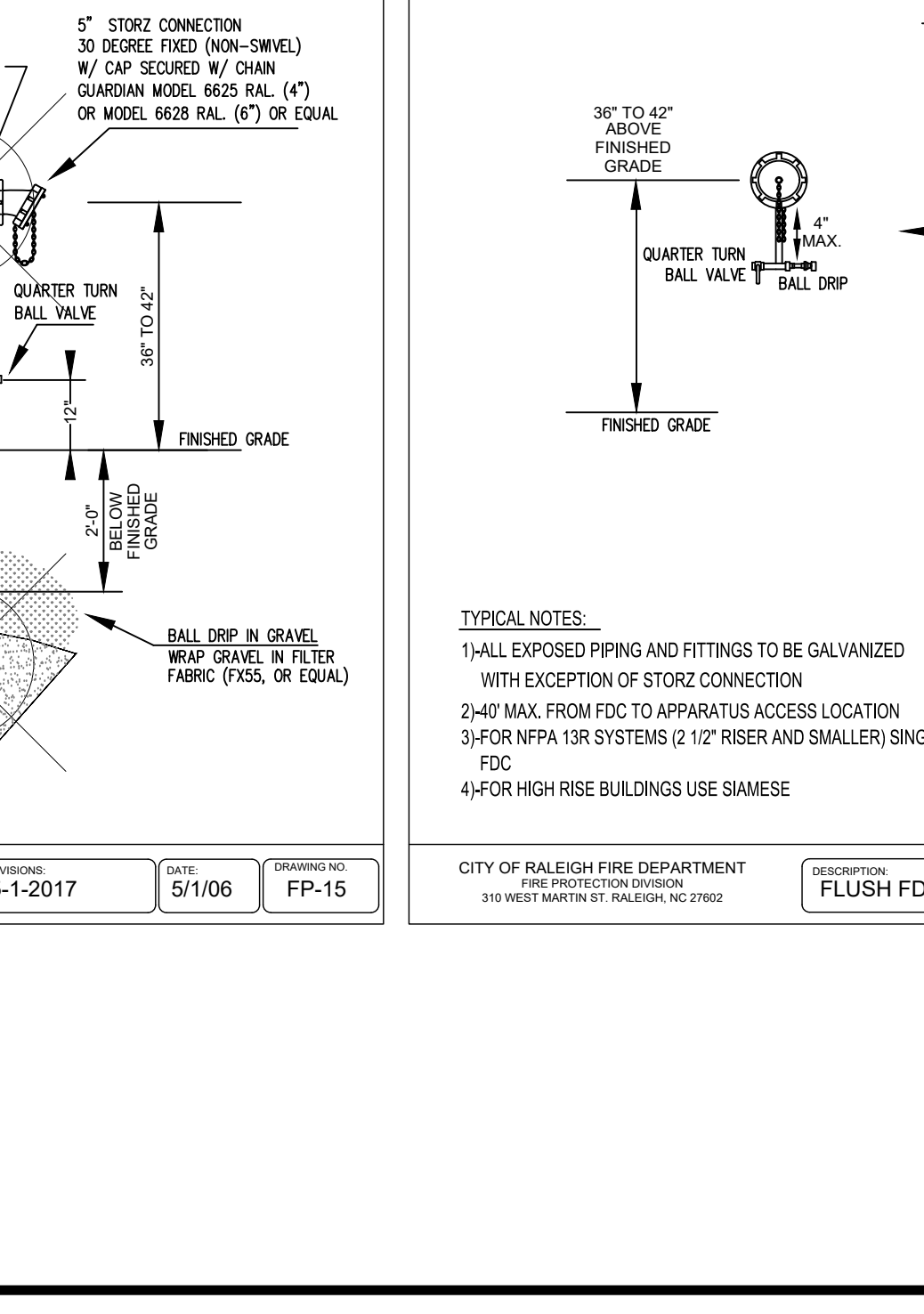
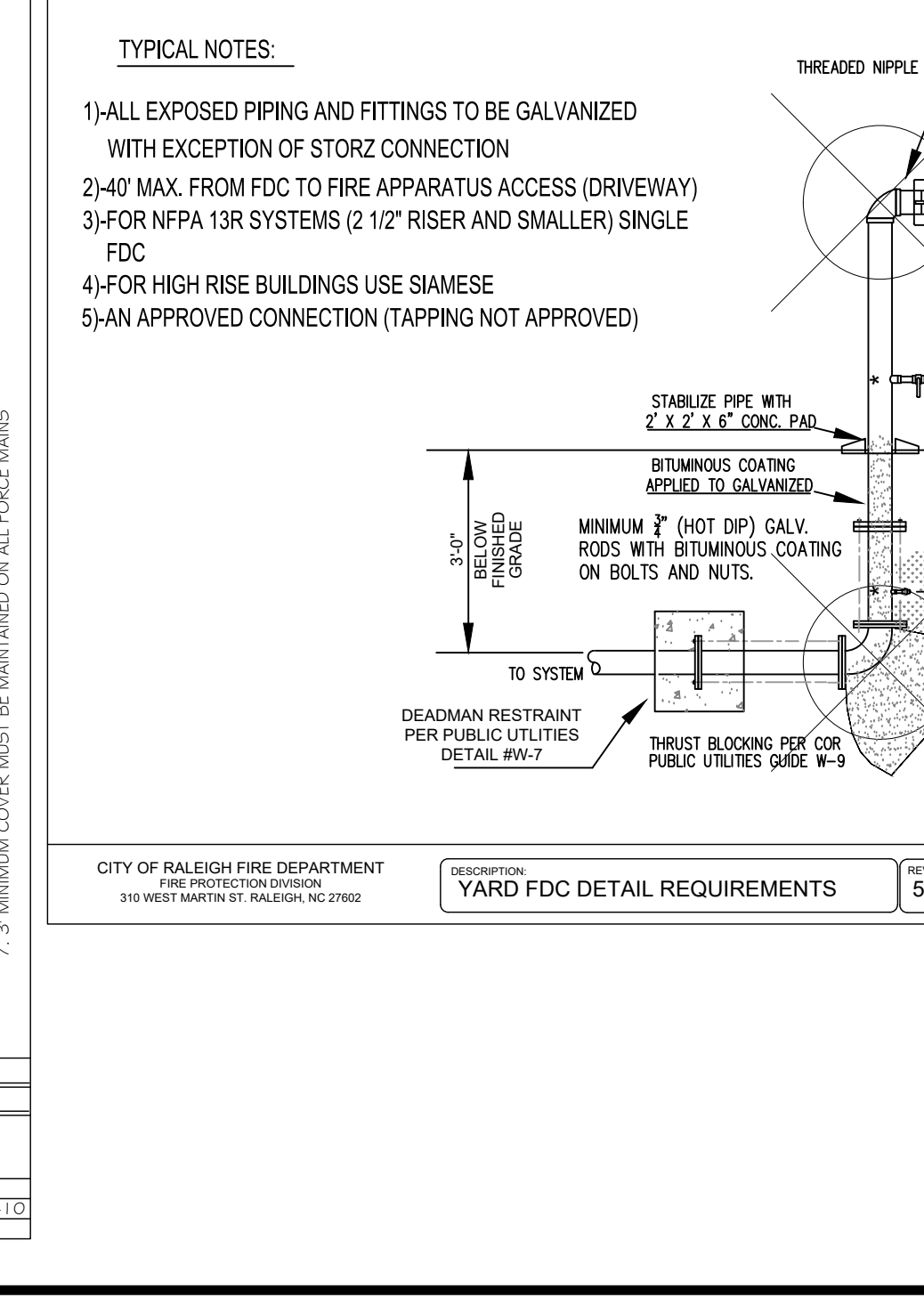
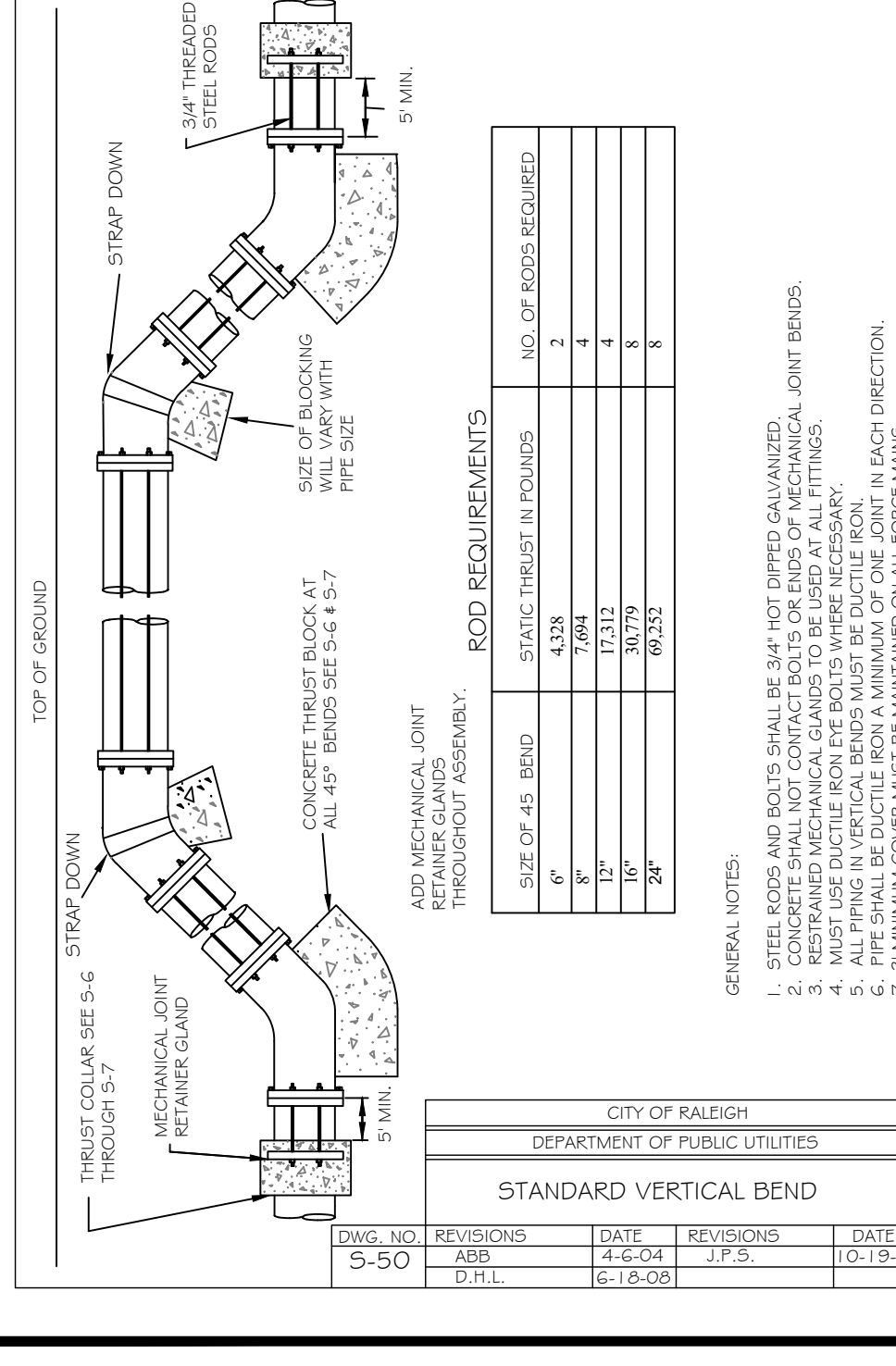
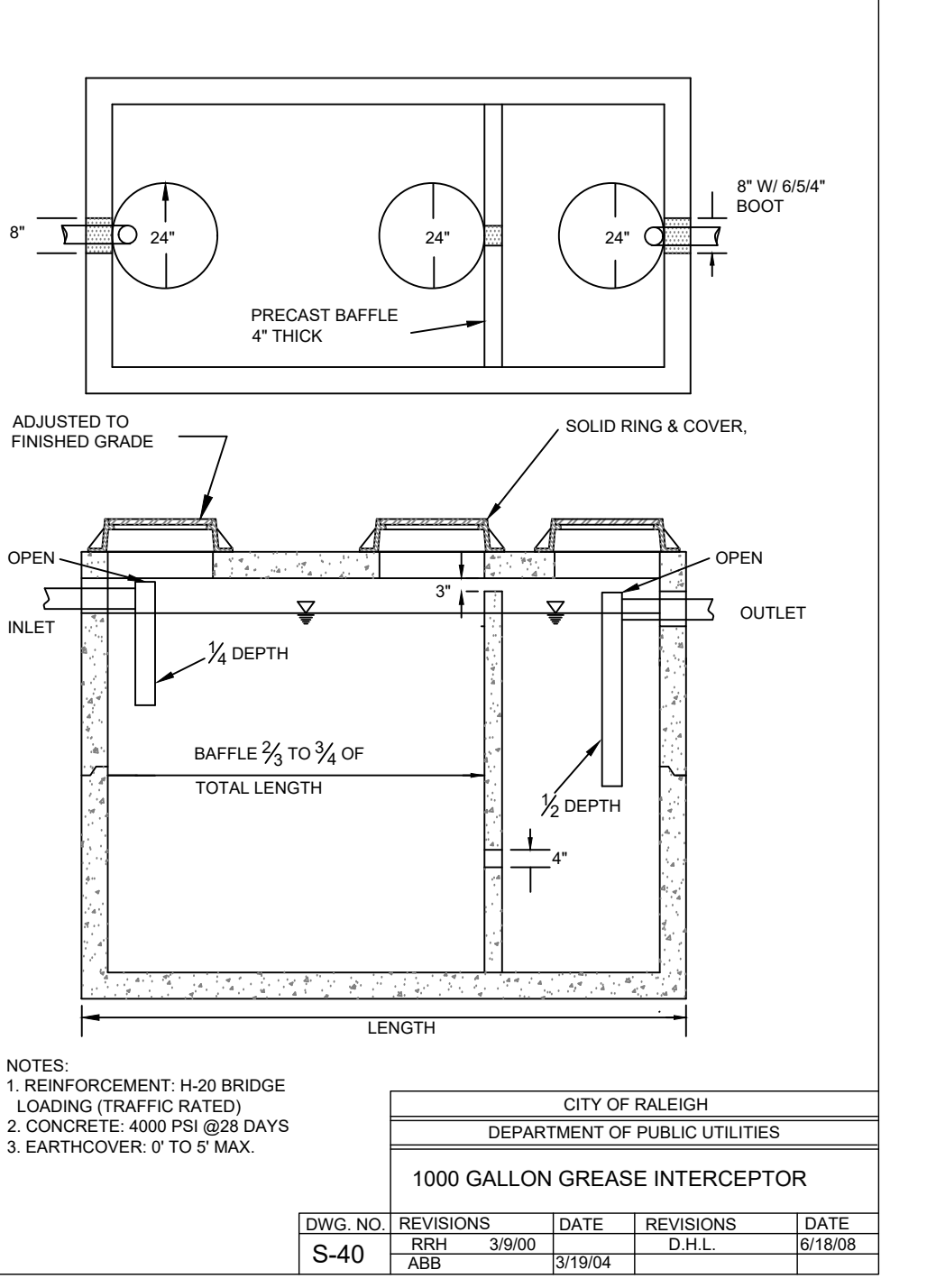
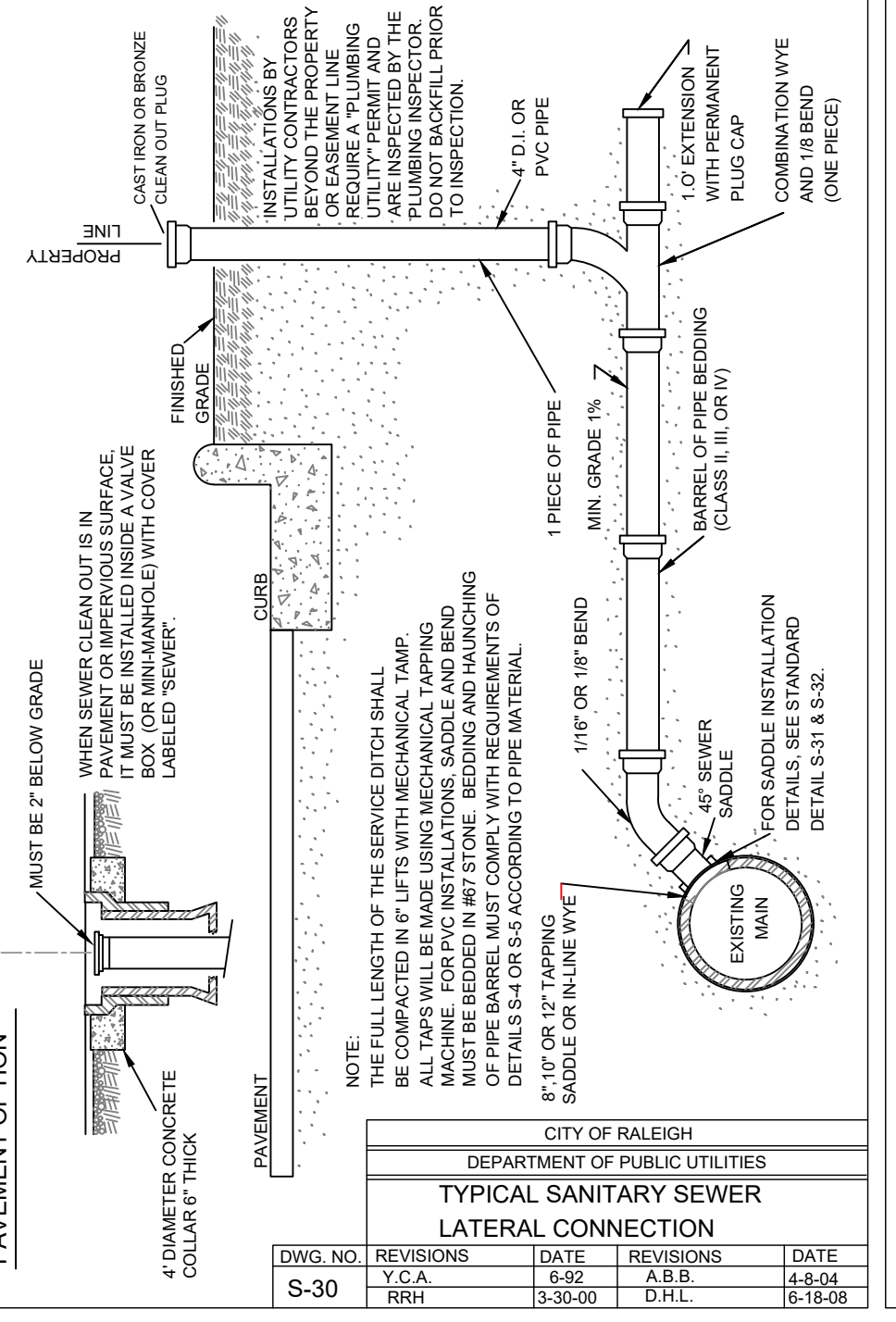
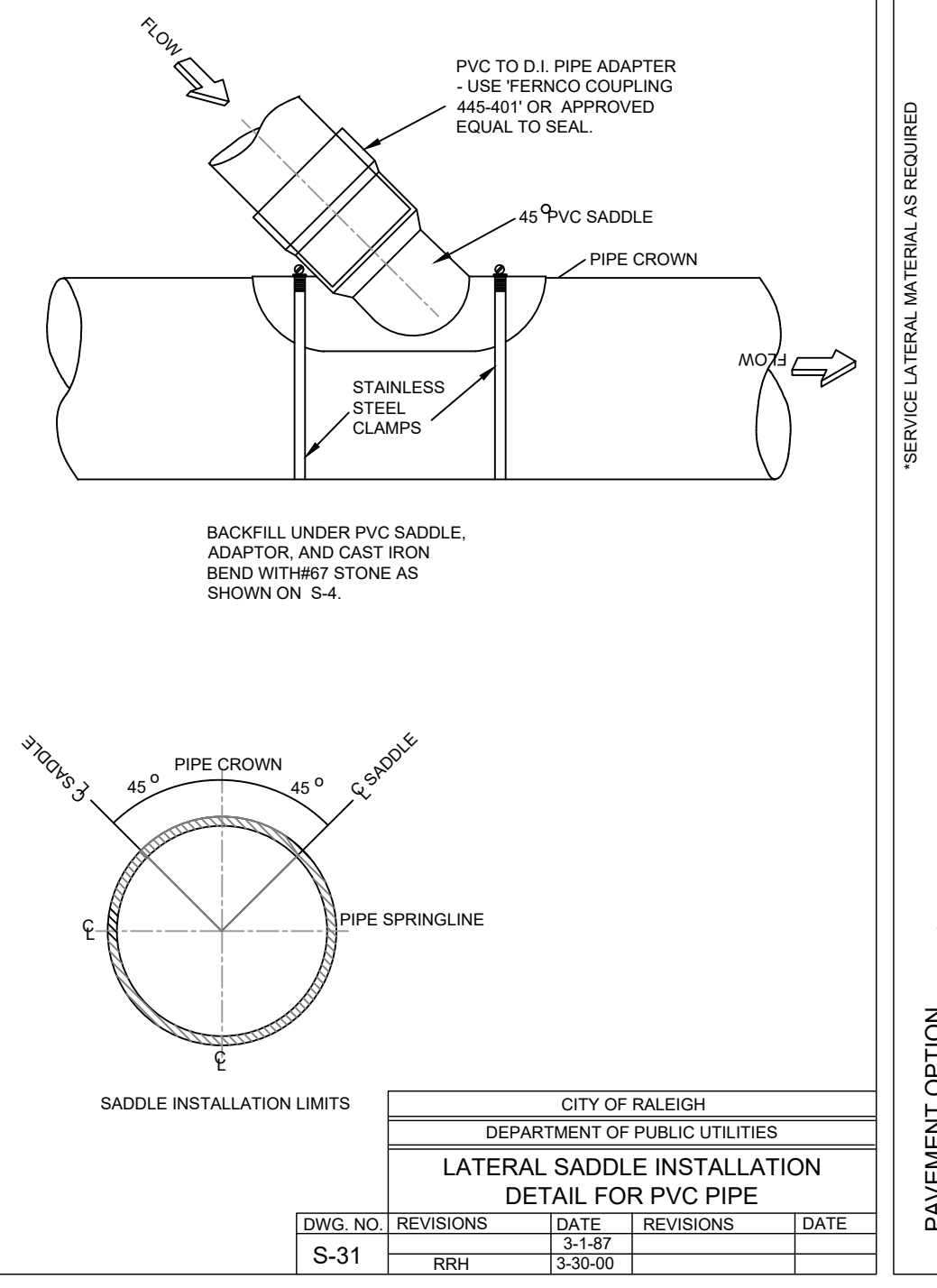
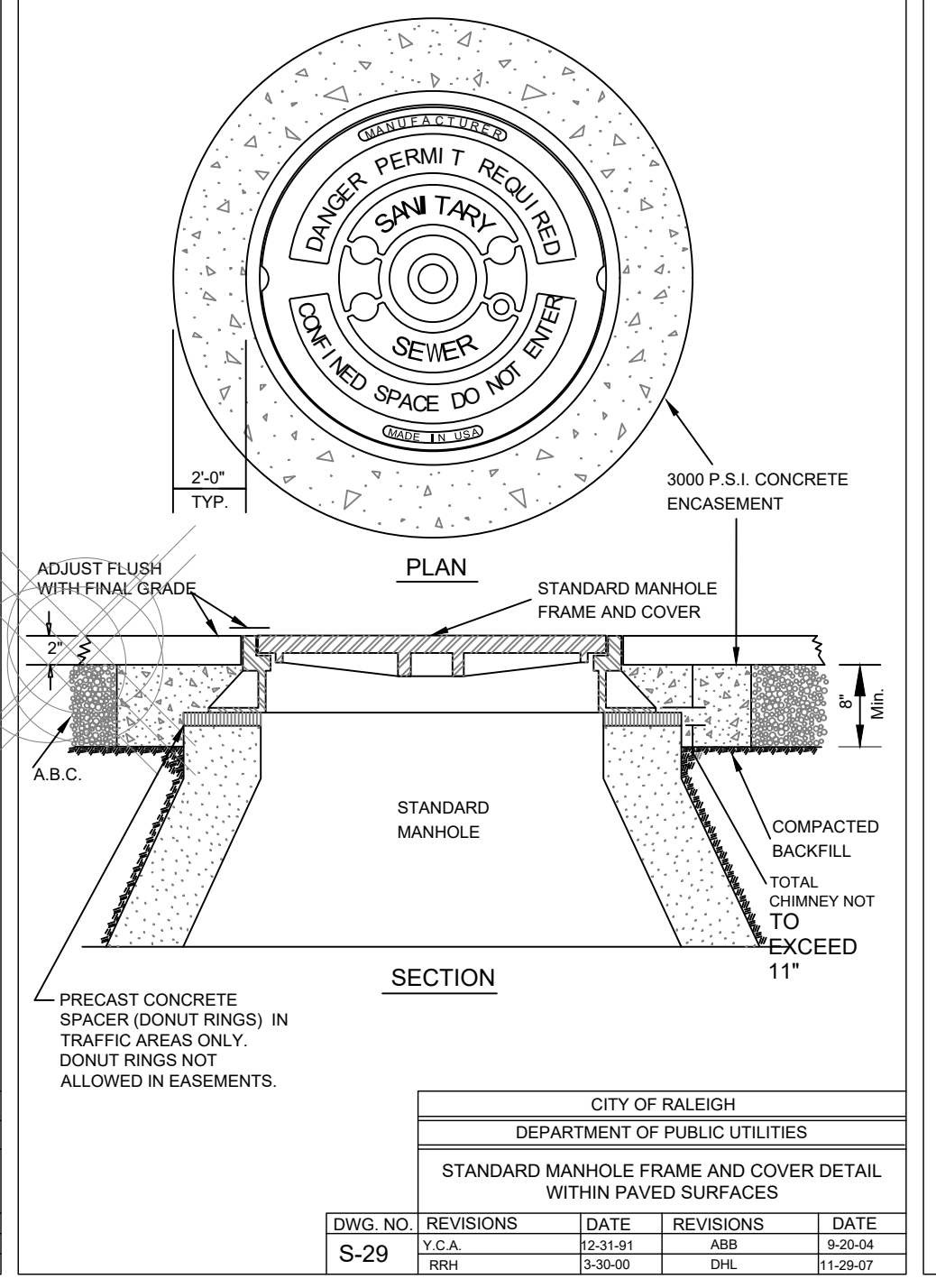
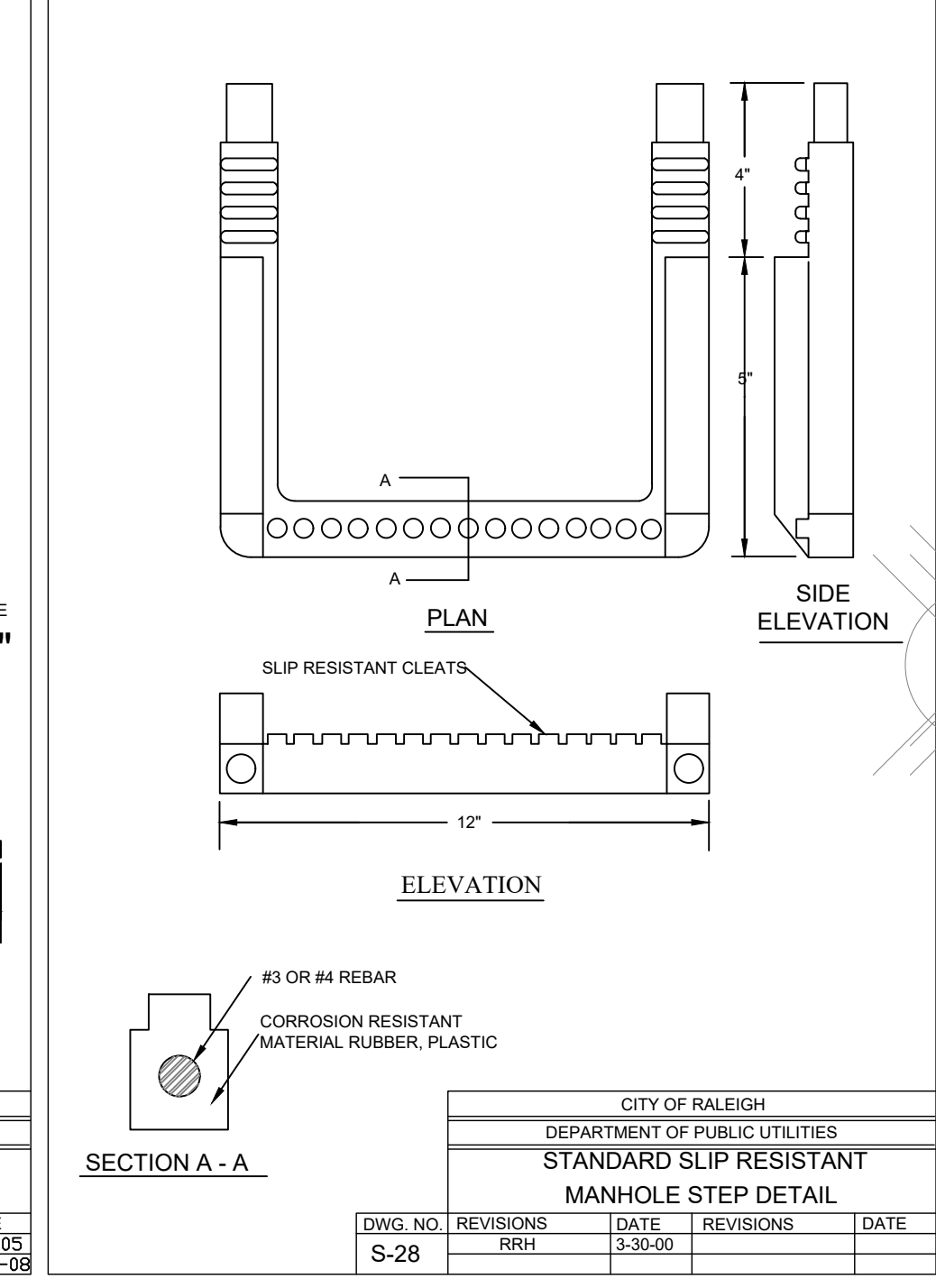
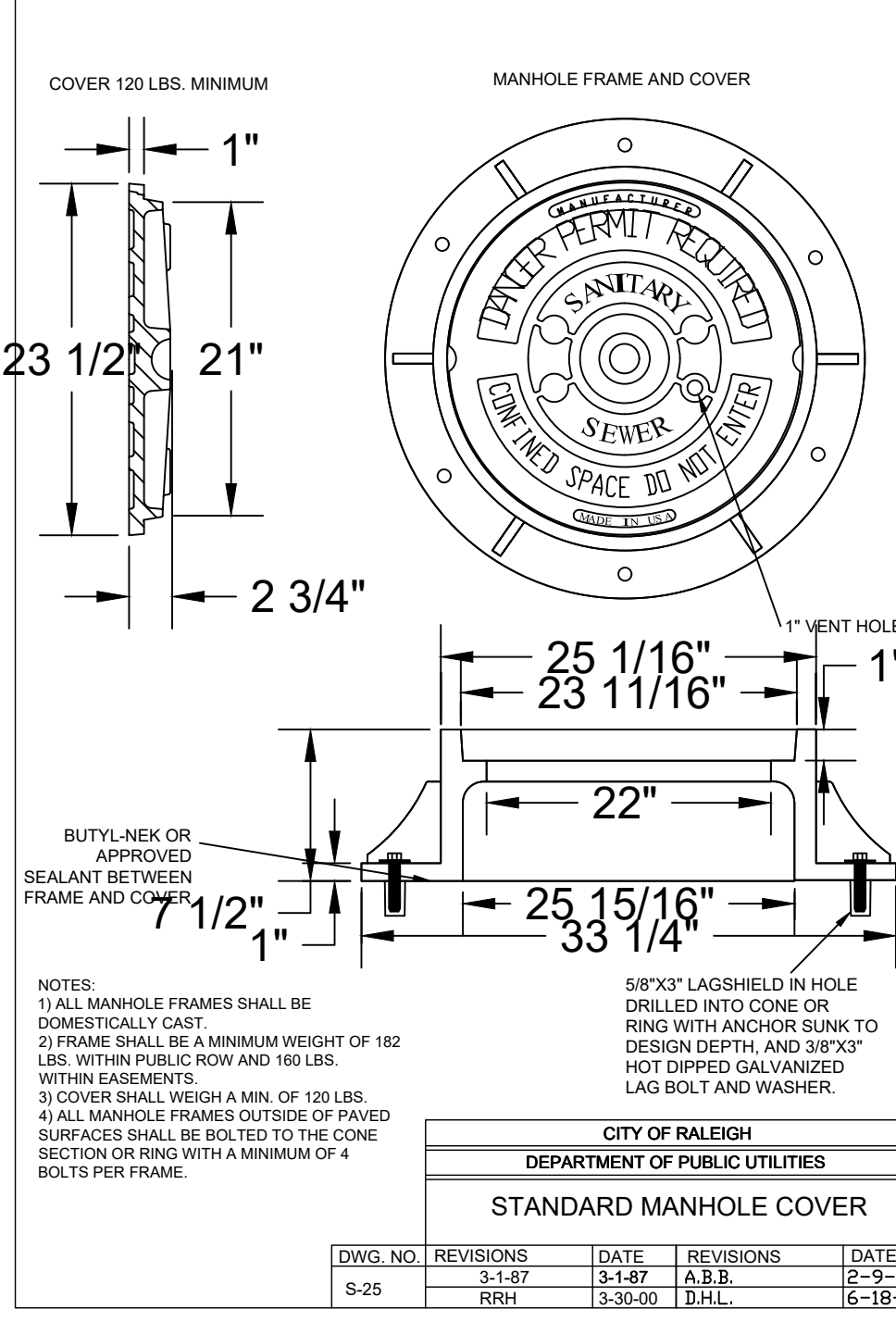
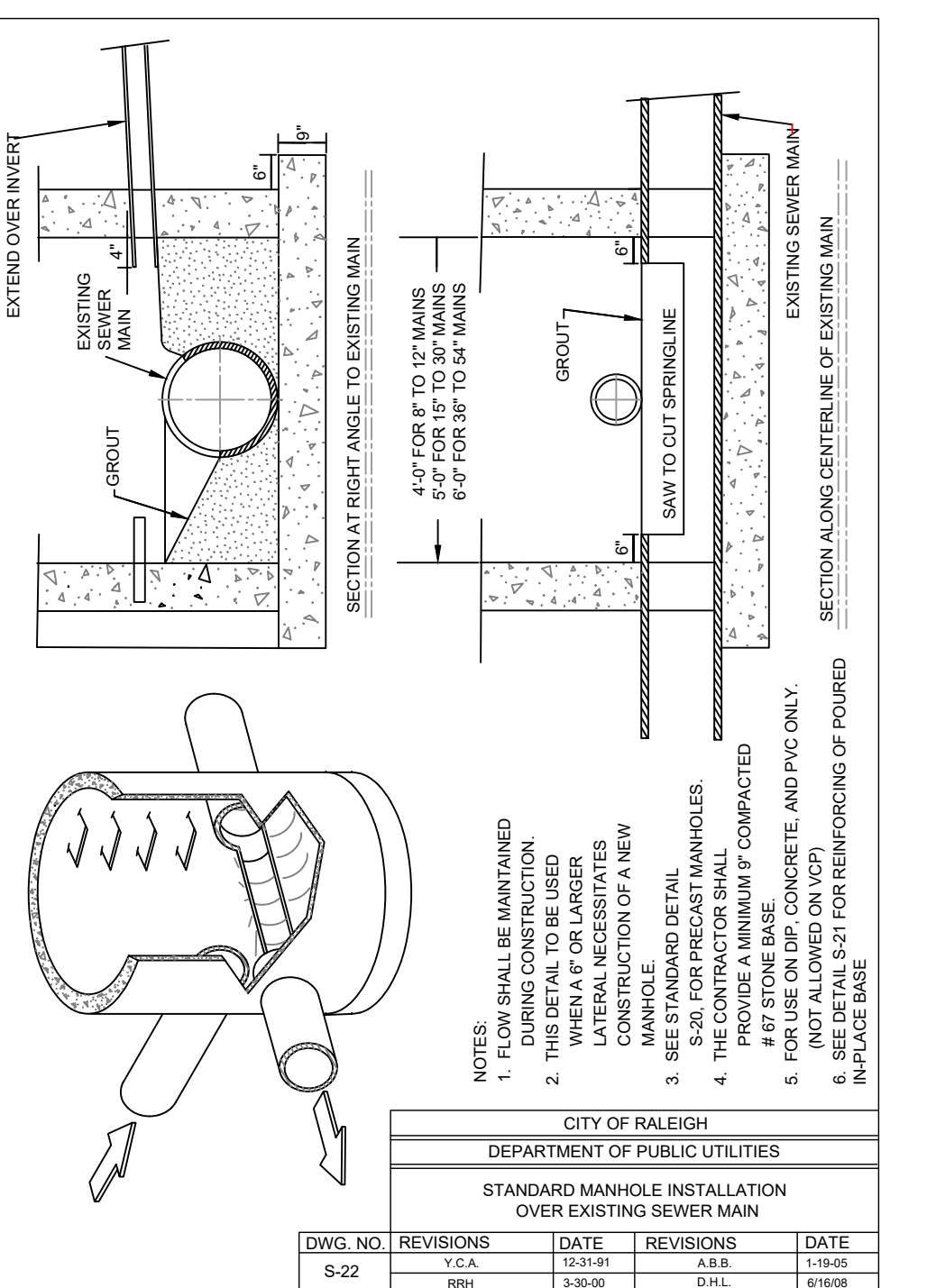
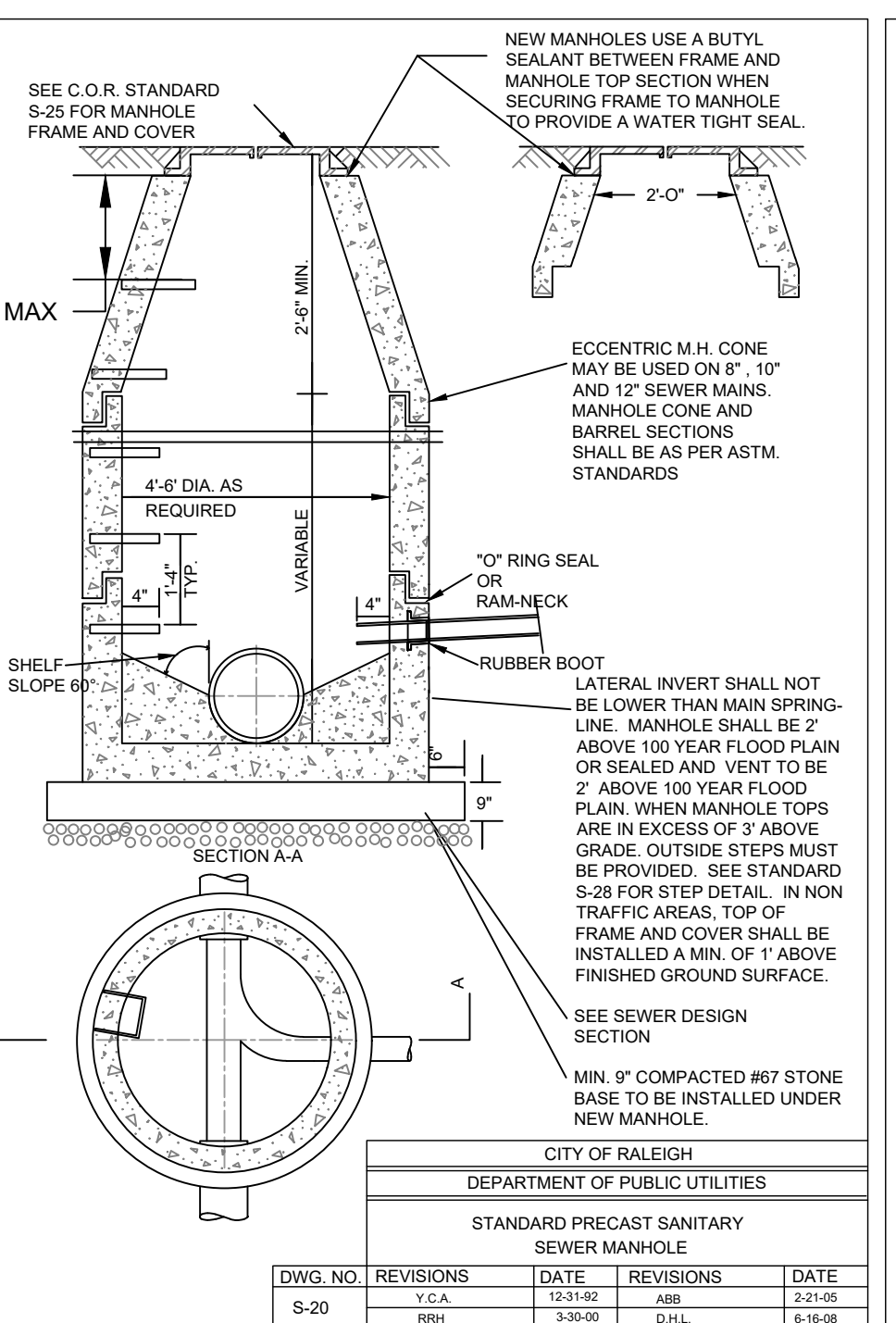
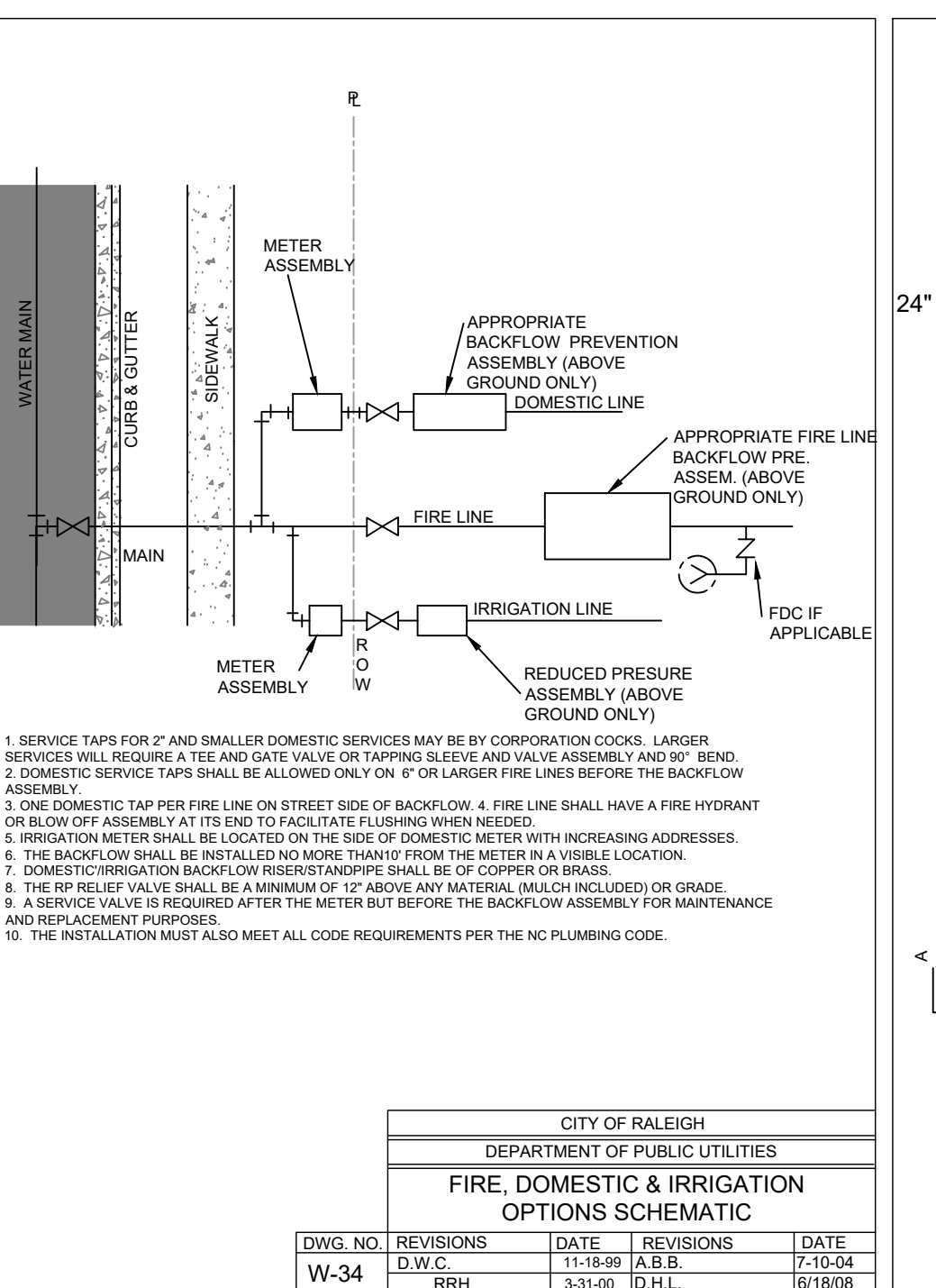
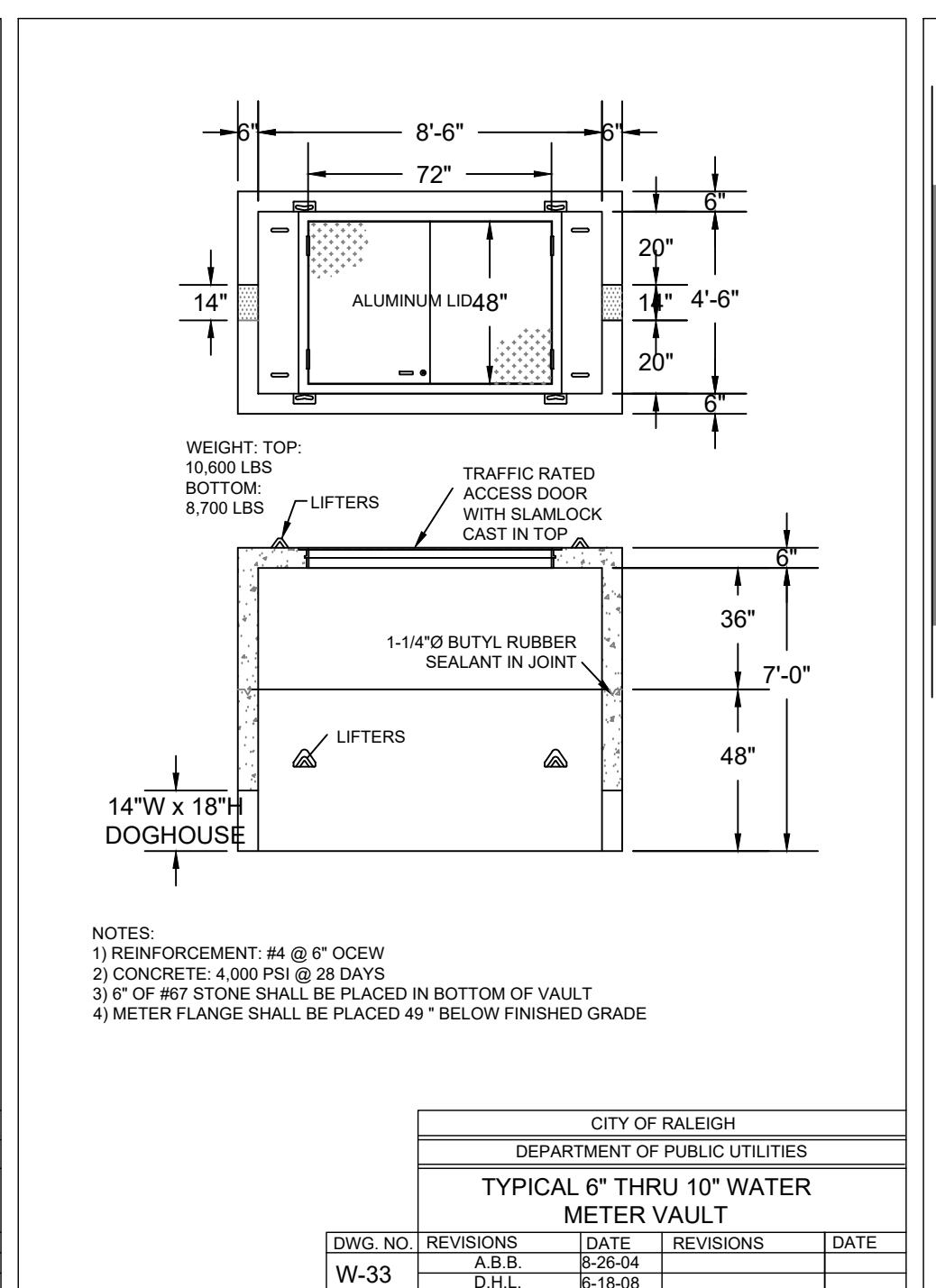
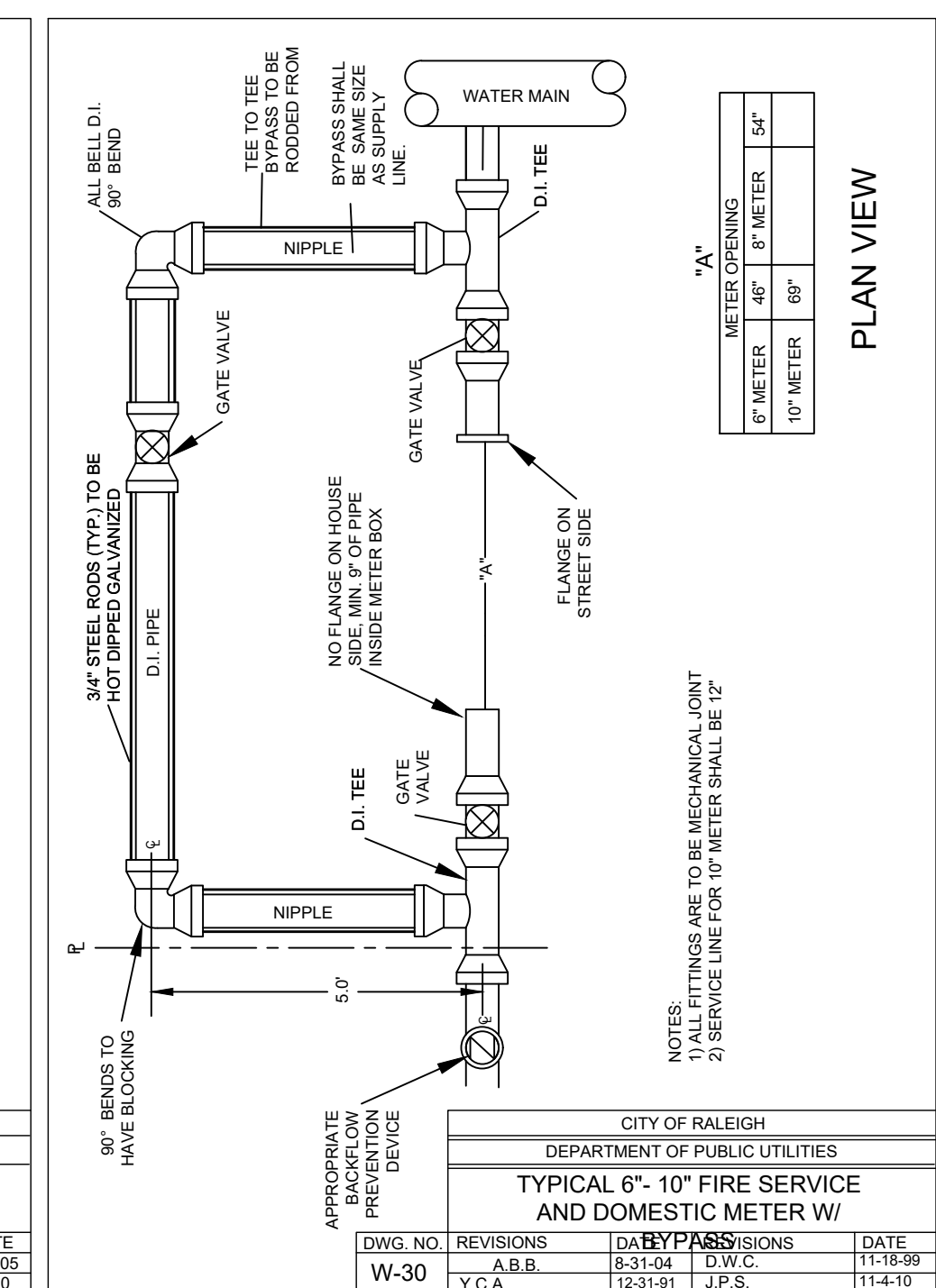
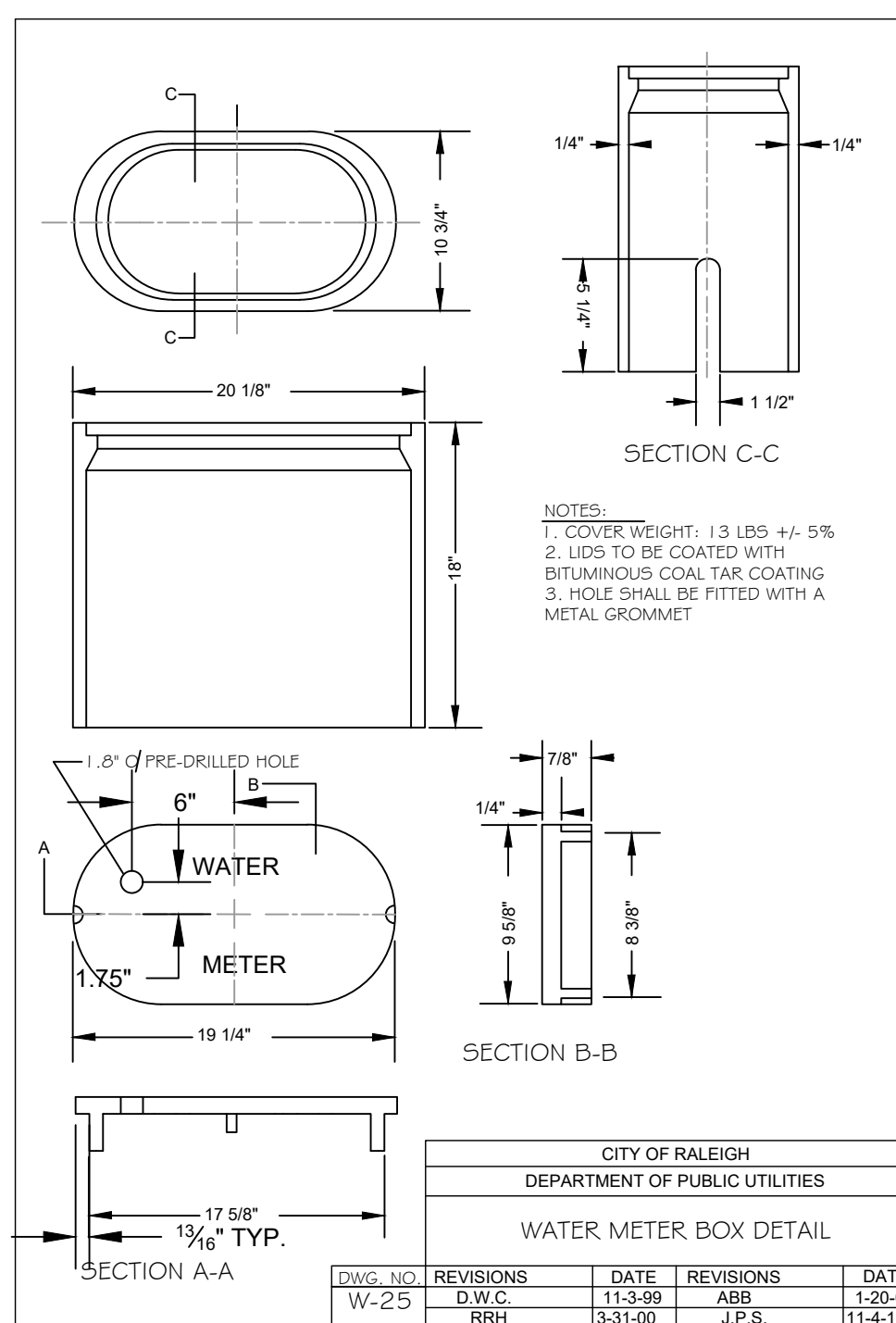
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

811
 CALL BEFORE YOU DIG!
 WWW.NC811.ORG
 N.C. ONE-CALL CENTER
 IT'S THE LAW!

SCALE 1 inch = 20 ft

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPT., NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.





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 RIVERS AND ASSOCIATES, INC.
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 363 E. Six Forks Road
 Raleigh, NC 27609
 919.594.1626

DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

UTILITIES DETAILS

CONSTRUCTION DRAWINGS

DESIGNED BY: MS
 DRAWN BY: MS
 CHECKED BY: MSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
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DATE: 5/1/06
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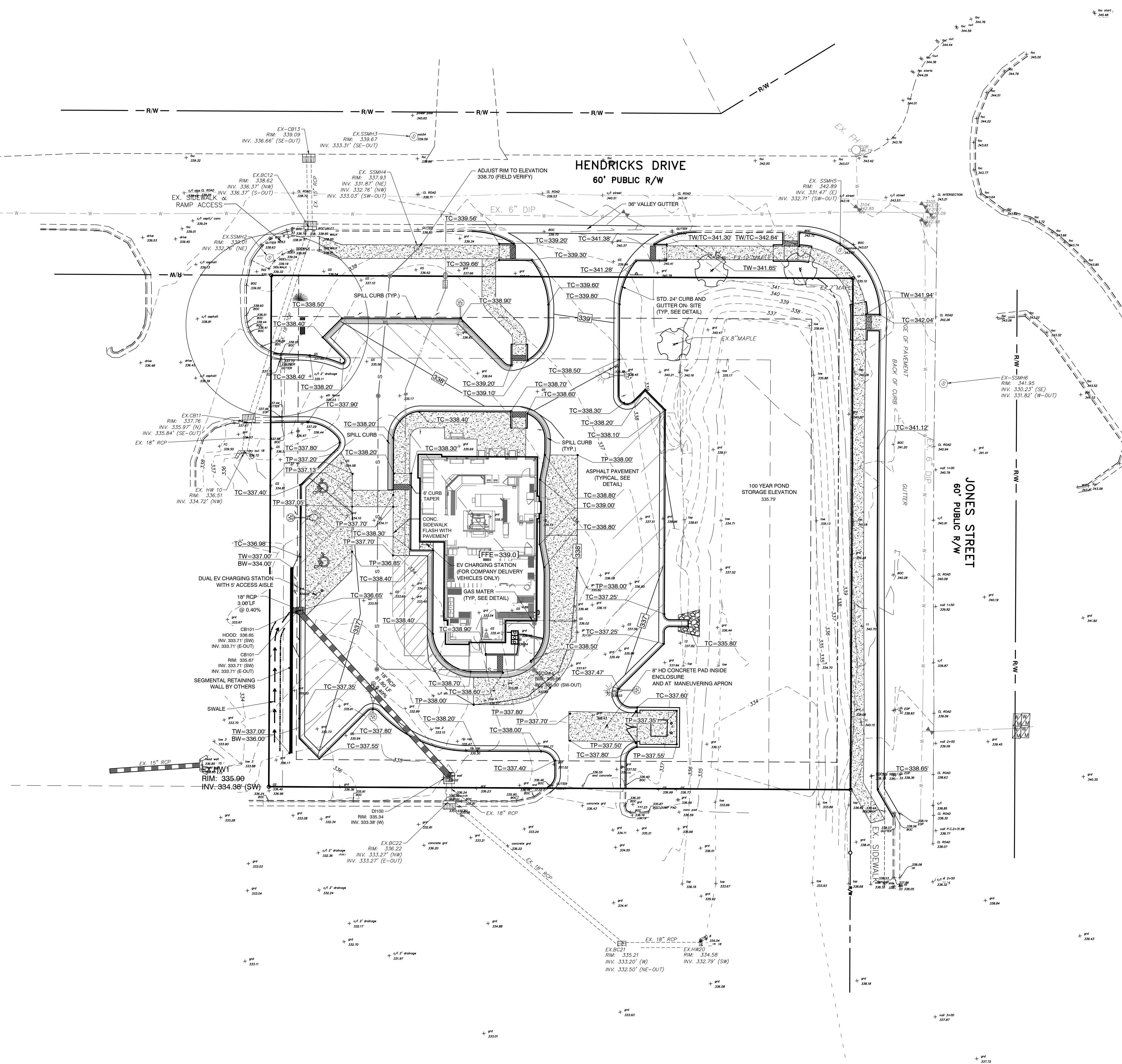
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1	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
2	CLIENT REVIEW	11/21/23	
3	TRC REVIEW PLAN	11/07/23	
4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

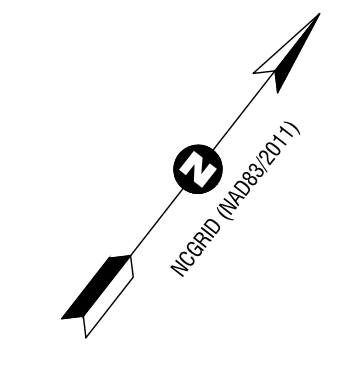
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C3.11

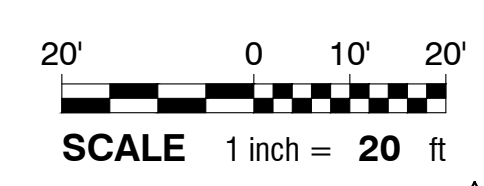
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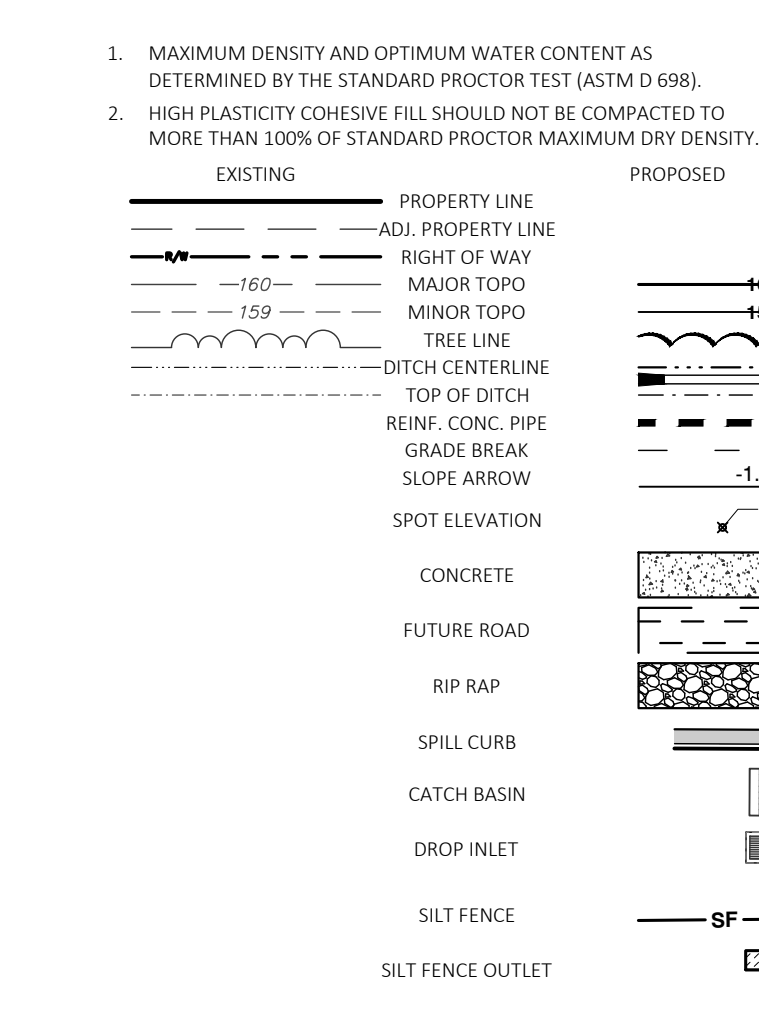
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



811 logo with text: CALL BEFORE YOU DIG! WWW.NC811.ORG N.C. ONE-CALL CENTER IT'S THE LAW!



- GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A CONSTRUCTION ACCESS ROAD A MINIMUM OF 20' WIDE FROM THE EXISTING PAVEMENT TO THE SITE ENTRANCE.
2. BASE BID SHALL INCLUDE TOTAL OF 3" OF STRIPPING AND UNDERCUT FROM EXISTING GRADE IN PREPARATION OF SITE.
3. PRIOR TO PLACING FILL, EXISTING VEGETATION AND ROOT MAT SHOULD BE REMOVED. AREA BELOW THE BASE BID LIMITS SHALL BE FIELD MEASURED AND IDENTIFIED AS UNDERCUT.
4. BASE BID SHALL INCLUDE STRIPPING DEPTHS UP TO 3 FEET TO REMOVE ORGANICS ASSOCIATED WITH THE CLEAR-CUT STUMPS. STUMP HOLES SHOULD BE ENLARGED, SOMEWHAT LEVELED UP AND BACKFILLED WITH COMPACTED FILL. AREAS MAY NEED TO HAVE A NON-WOVEN GEOSYNTHETIC FABRIC INSTALLED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER WHERE ADDITIONAL UNDERCUT AND BACKFILL WILL NOT BRIDGE THE EXCAVATION.
5. AFTER STRIPPING, UNDERCUTTING, INSTALLING NON-WOVEN GEOSYNTHETIC, AND PRIOR TO PLACING FILL, THE EXPOSED SUBGRADE SOILS IN THE PAVEMENT FOOTPRINTS SHOULD BE COMPACTED/DENSIFIED IN PLACE USING A MEDIUM WEIGHT VIBRATORY ROLLER. THE PURPOSE OF THE VIBRATORY ROLLING IS TO COMPACT/DENSIFY THE EXPOSED SUBGRADE SOILS FOR PAVEMENT SUPPORT. THE ROLLER SHOULD MAKE AT LEAST SIX PASSES ACROSS THE SITE AND PROPOSED DRIVE, WITH THE SECOND SET OF THREE PASSES PERPENDICULAR TO THE FIRST SET OF THREE PASSES ON THE SITE. IF WATER IS BROUGHT TO THE SURFACE BY THE VIBRATORY ROLLING, THE OPERATION SHOULD BE DISCONTINUED UNTIL THE WATER SUBSIDES. VIBRATORY ROLLING SHOULD BE COMPLETED DURING DRY WEATHER. AFTER THE VIBRATORY ROLLING, PORE PRESSURES SHOULD BE ALLOWED TO DISSIPATE FOR A MINIMUM OF 16 HOURS.
6. AFTER THE WAITING PERIOD, PROOFROLLING SHOULD BE PERFORMED ON THE EXPOSED SUBGRADE SOILS IN AREAS TO RECEIVE FILL OR AT THE DESIGN GRADE WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK OR SIMILAR RUBBER-TIRED CONSTRUCTION EQUIPMENT (20-TON MINIMUM). PROOFROLLING IS RECOMMENDED AS A MEANS OF DETECTING AREAS OF SOFT OR UNSTABLE SUBGRADE SOILS. THE PROOFROLLING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER TO AVOID DEGRADING AN OTHERWISE SUITABLE SUBGRADE.
7. A NON-WOVEN GEOSYNTHETIC IS TO BE USED AT THIS SITE. AFTER INSTALLING THE GEOSYNTHETIC, LOOSE FILL SHOULD BE DUMPED DIRECTLY ON THE GEOSYNTHETIC AND SPREAD WITH TRACK LOW GROUND PRESSURE EQUIPMENT THAT WILL NOT DAMAGE THE NON-WOVEN GEOSYNTHETIC. NO WHEEL OR TRACK TRAFFIC SHOULD OPERATE DIRECTLY ON THE GEOSYNTHETIC. THE INITIAL LIFT SHOULD BE LOOSE AND 10 TO 12 INCHES THICK. CONSTRUCTION TRAFFIC MAY OPERATE ON TOP OF THE FILL LAYER. THE NON-WOVEN GEOSYNTHETIC SHALL HAVE A TENSILE STRENGTH OF 180 LBS AND AN ELONGATION AT THE BREAK OF 50%. IT SHALL HAVE A MULLEN BURST OF 300 PSI AND HAVE A PERMEABILITY OF 1.4 SEC/FT.
8. IT IS IMPORTANT TO NOTE THAT THE USE OF RUBBER-TIRED TRAFFIC, SUCH AS LULUS, MAY IMPACT THE PREPARED SUBGRADE SOILS LEADING TO REQUIRED RE-GRADING. WE RECOMMEND THAT THE USE OF RUBBER-TIRED TRAFFIC BE LIMITED TO THE PREPARED SUBGRADES OR THAT THE STABILIZED AREA BE PREPARED FOR SUCH TRAFFIC.



- 1. MAXIMUM DENSITY AND OPTIMUM WATER CONTENT AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
2. HIGH PLASTICITY COHESIVE FILL SHOULD NOT BE COMPACTED TO MORE THAN 100% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.

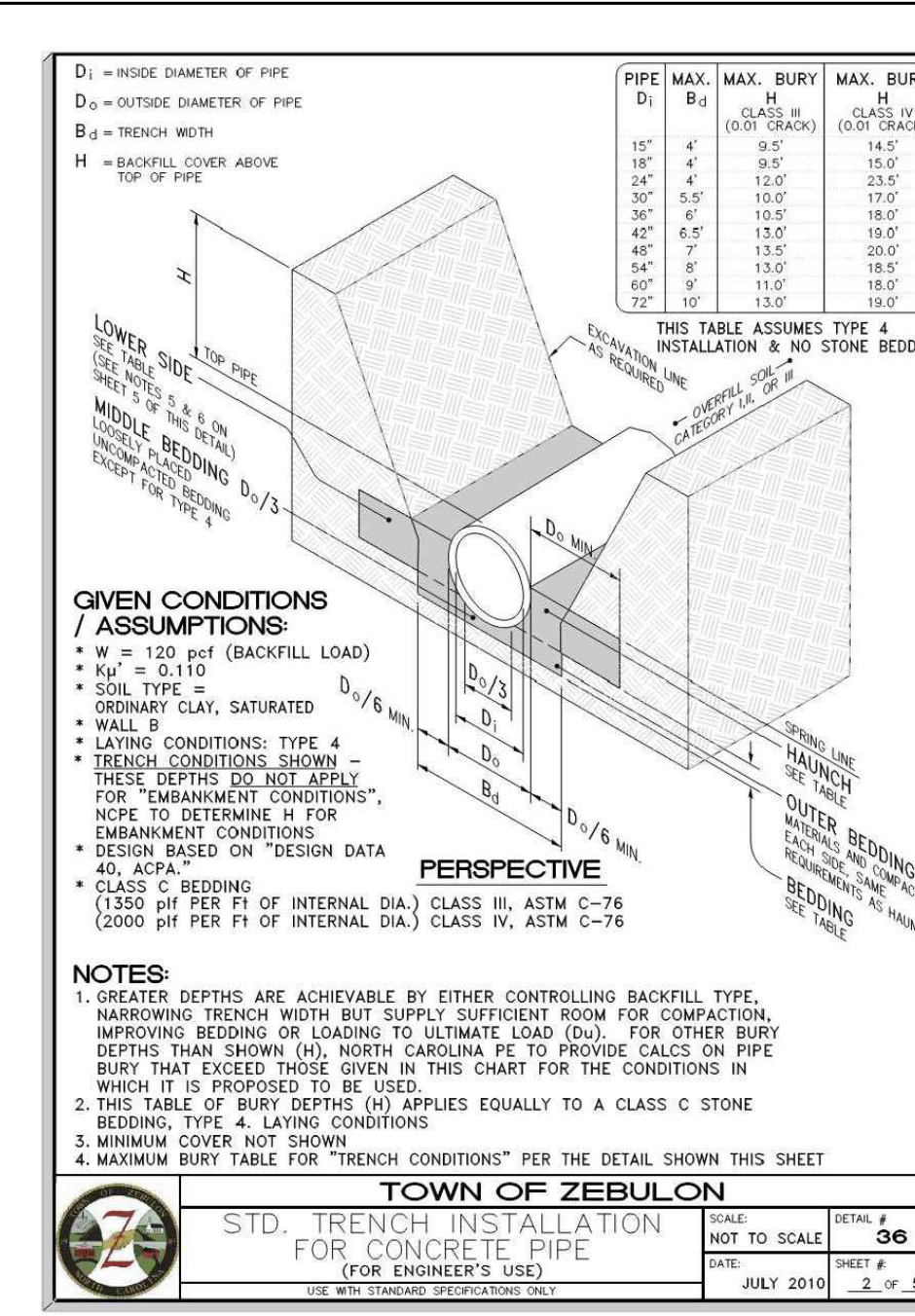
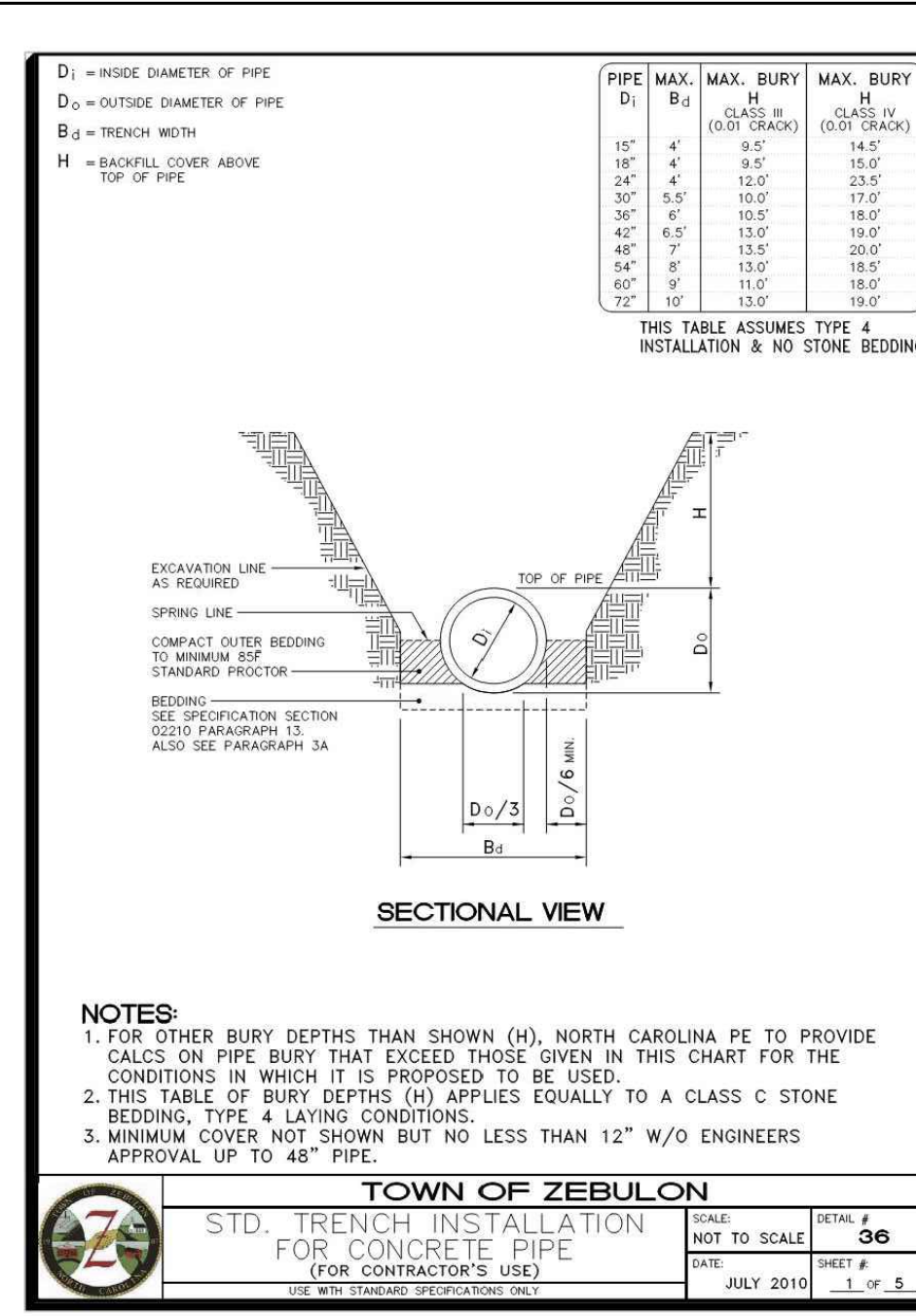
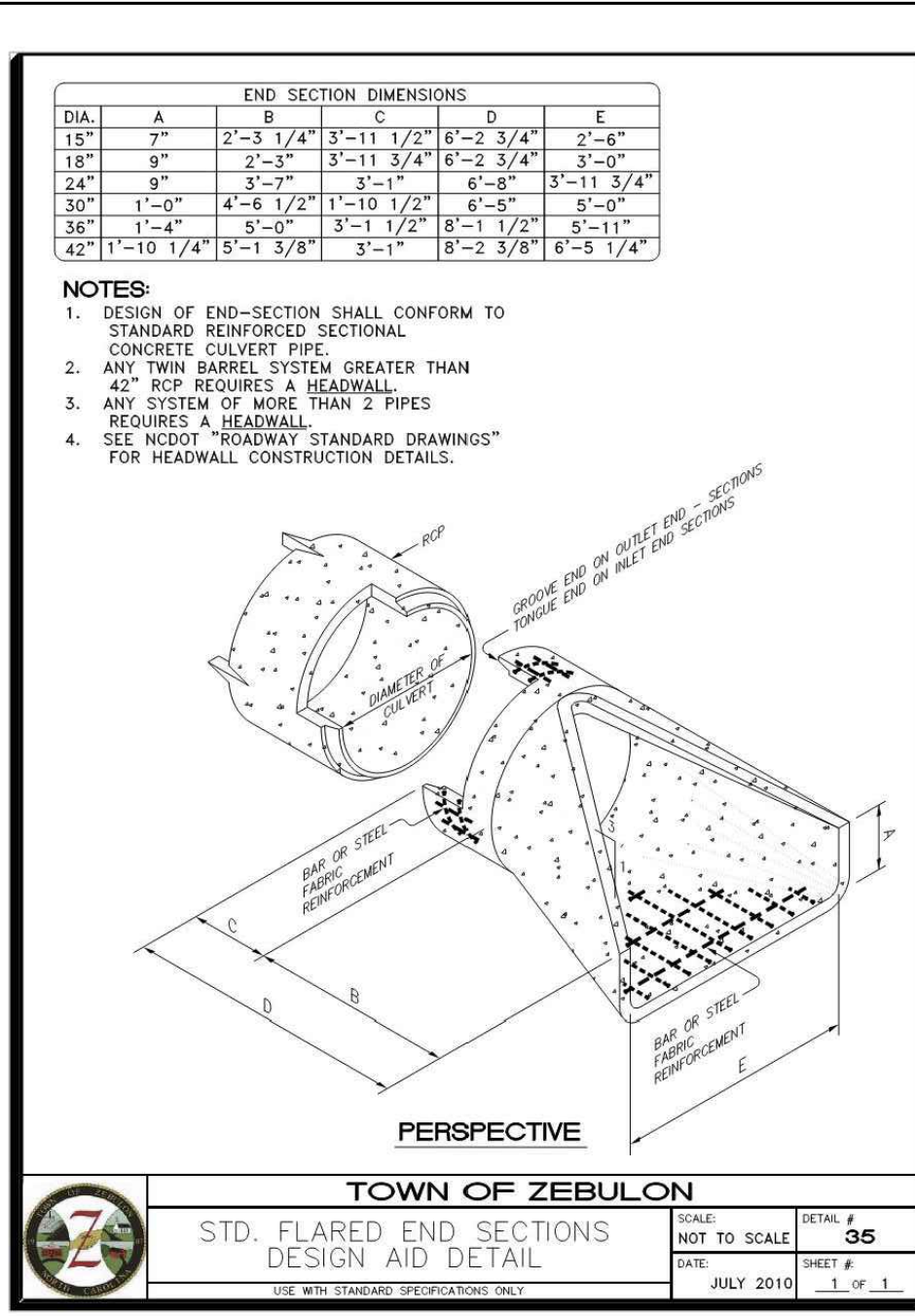
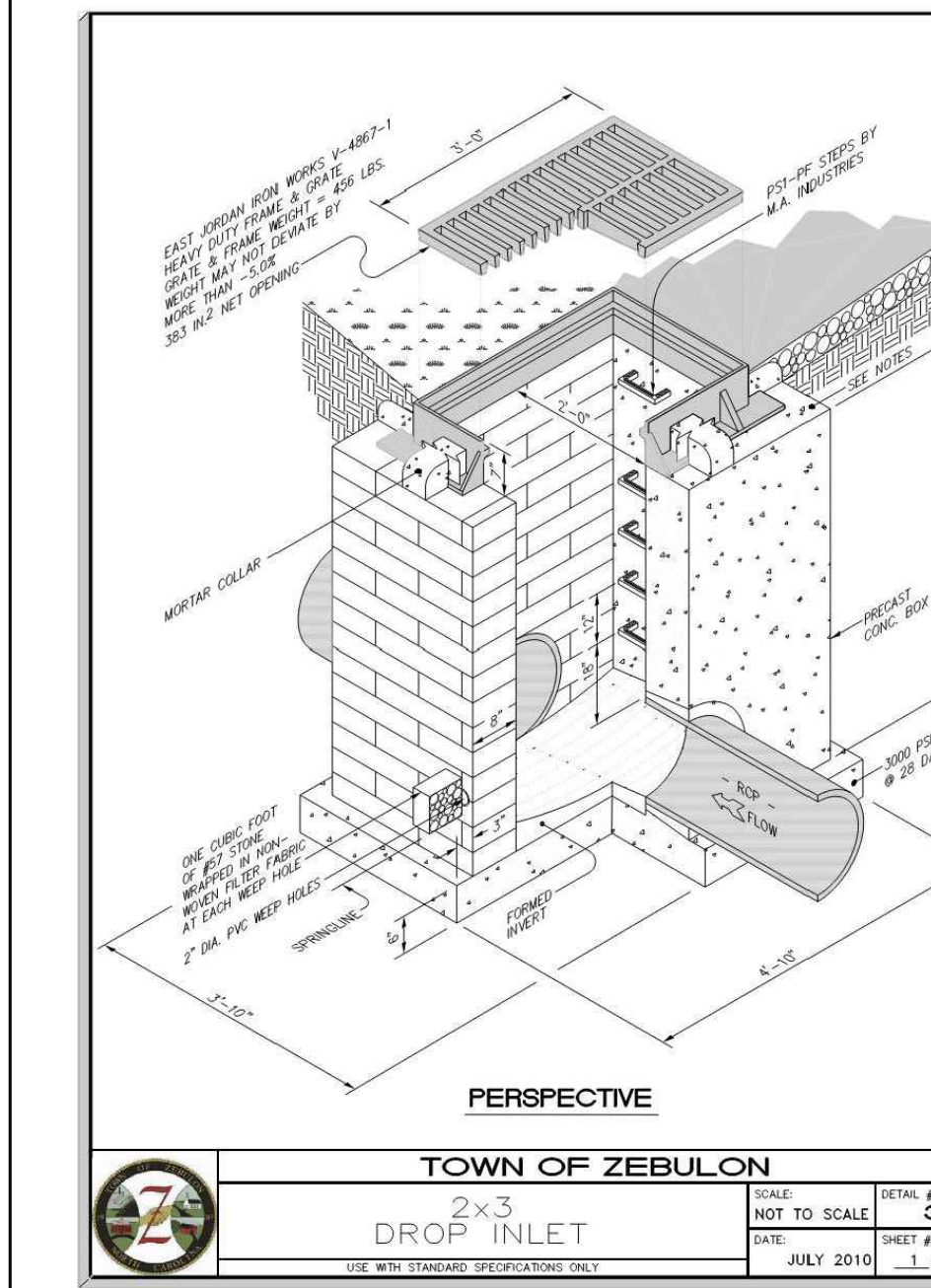
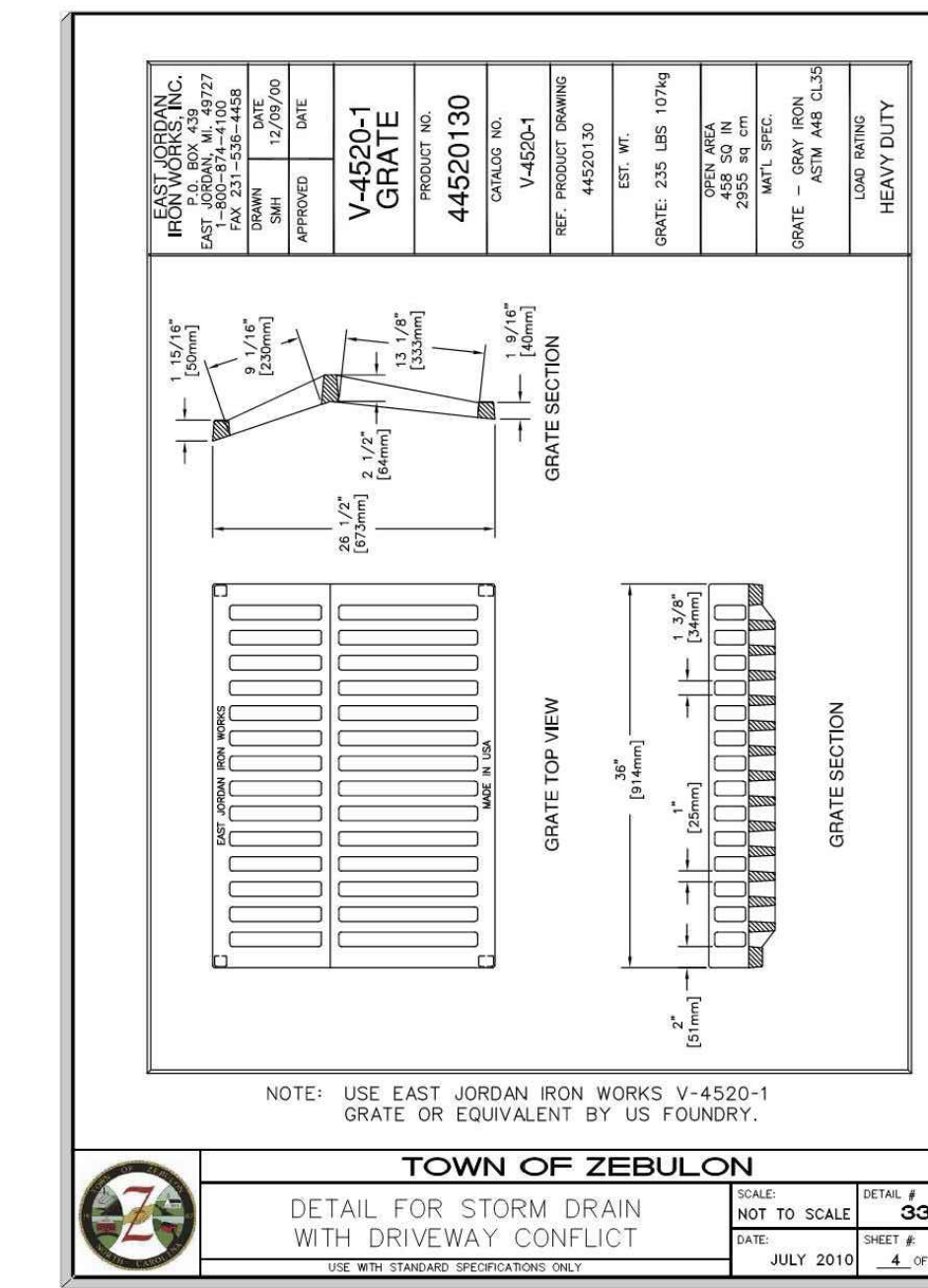
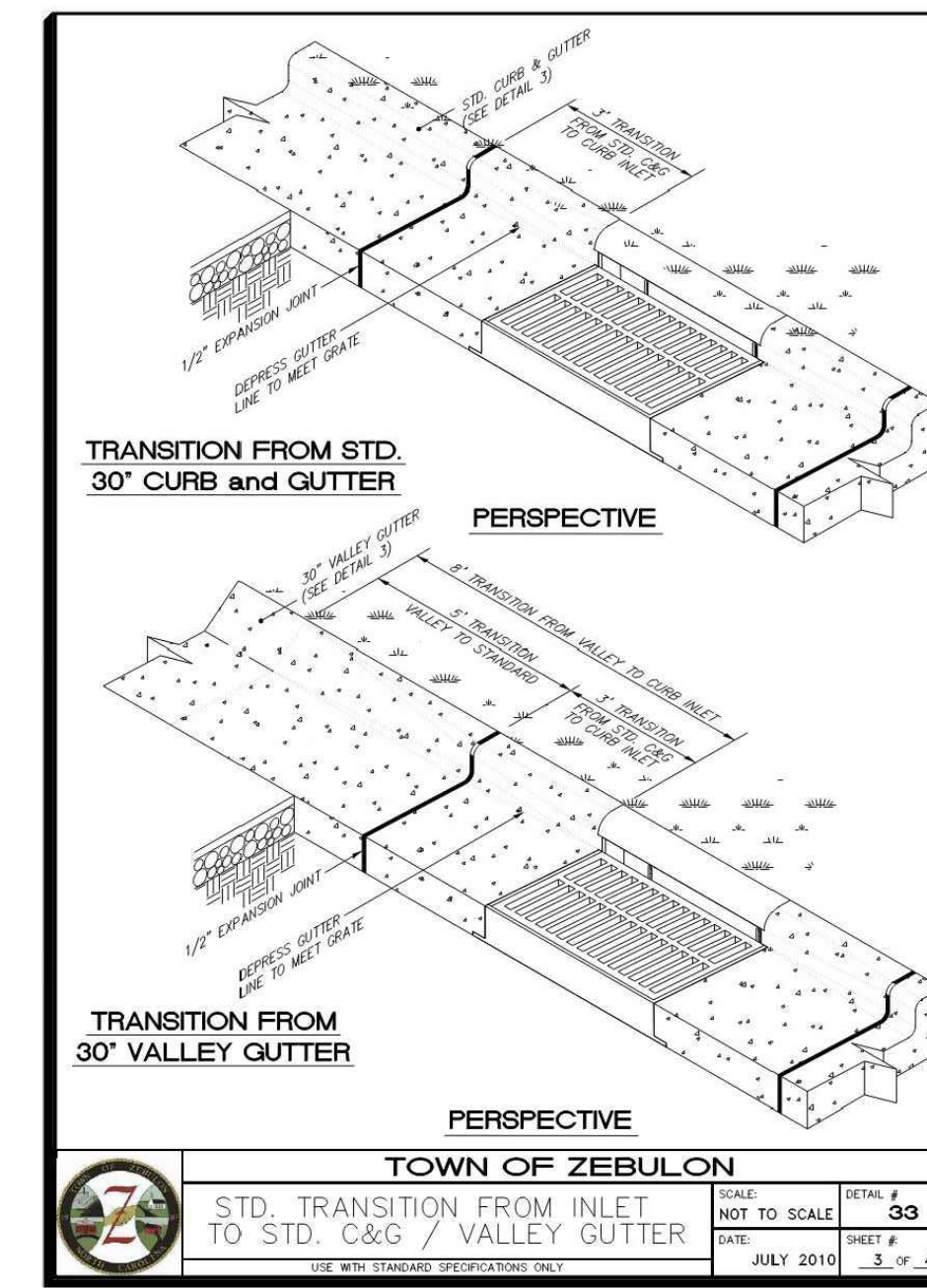
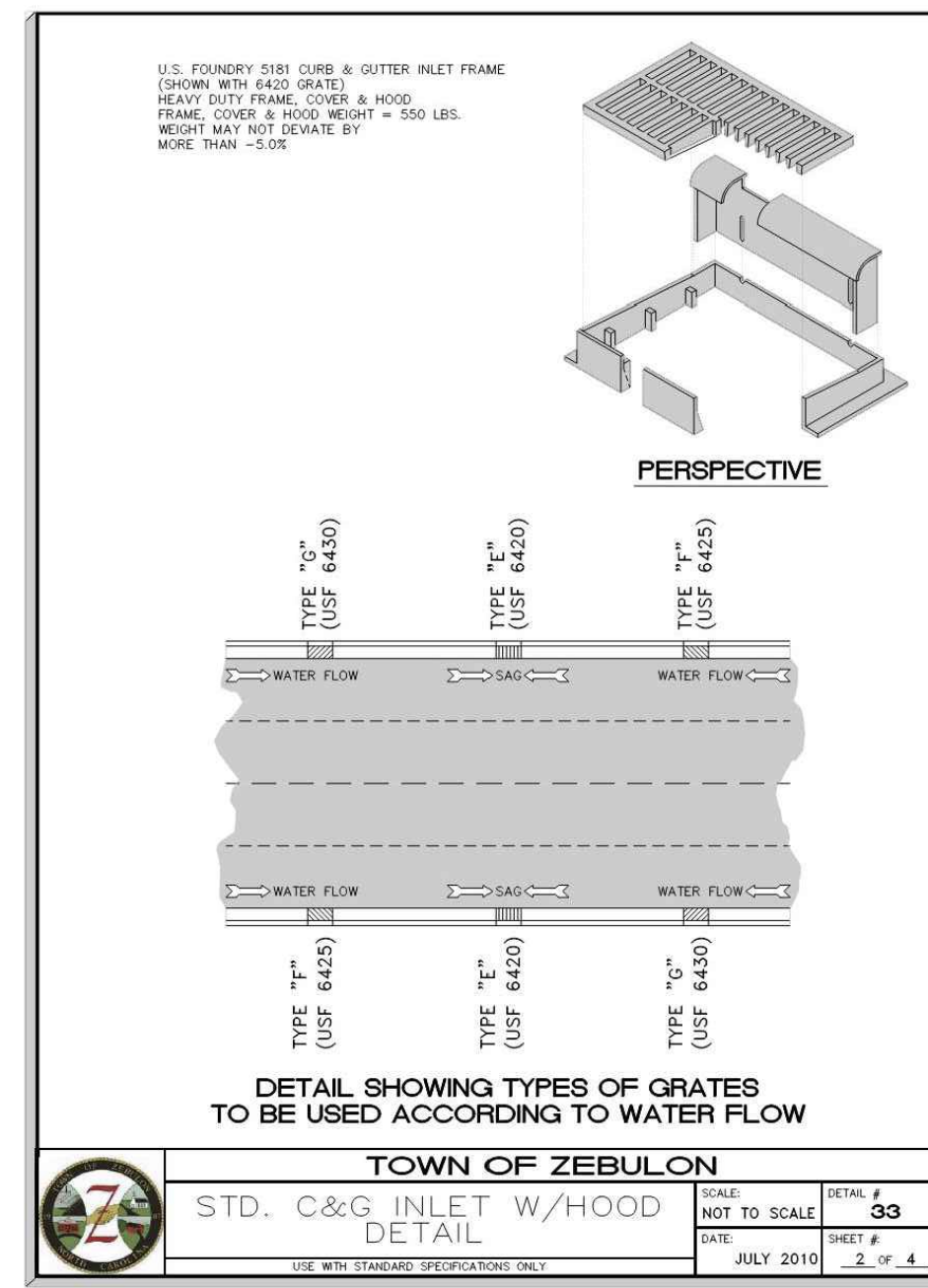
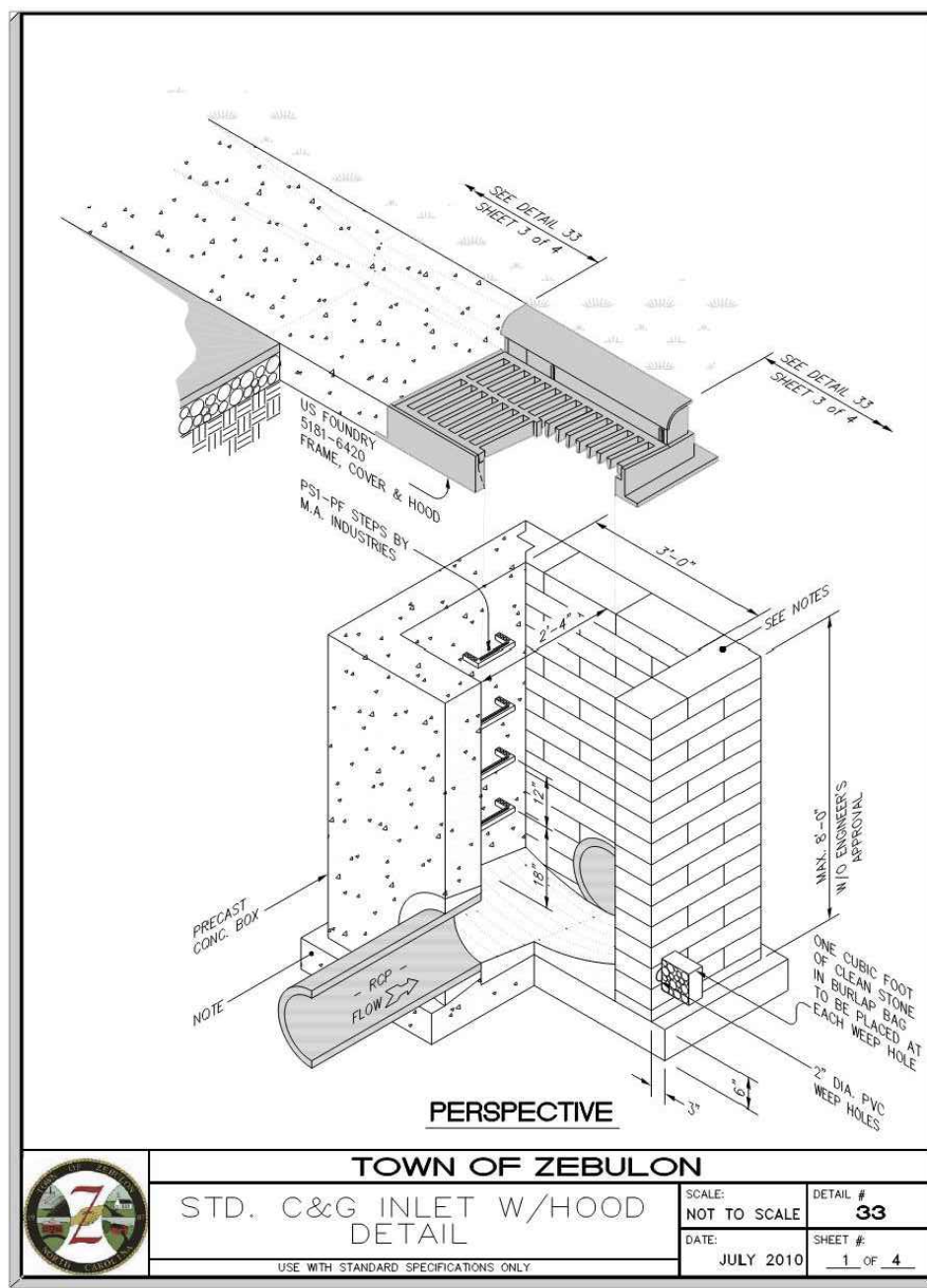
Rivers & Associates, Inc. logo and contact information: Six Forks Place, III, Ste. 230, 353 E. Six Forks Road, Raleigh, NC 27609, 919.594.1626



REVISIONS table with columns for NO., DATE, and DESCRIPTION. Includes entries for CONSTRUCTION DRAWINGS SUBMITTAL #2, CLIENT REVIEW, TRC REVIEW PLAN, and CONSTRUCTION DRAWINGS SUBMITTAL #1.

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
STORMWATER AND GRADING PLAN

DATE:
DESIGNED BY: JSJ/MS
DRAWN BY: MS
CHECKED BY: JSJ
PROJECT No. 2023018
DRAWING No. W-4081
SCALE: AS SHOWN
SHEET No. C4.01



TOWN OF ZEBULON
STD. TRENCH INSTALLATION
(TRENCH CONDITION SHOWN)

SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 36
DETAIL # 36
3 OF 5

Soil Symbol	Representative Soil Types		Percent Compaction	
	USCS	AASHTO	Standard Proctor	Modified Proctor
Gravelly Sand (Category 1)	SM, SP, SW, GP	A1, A1.5	100	95
			85	80
			80	75
Sandy (Category 2)	SM, SP, ML, SW, GP, SC	A2.5, A4	100	95
			85	80
			80	75
Silty (Category 3)	CL, ML, SC, SC	A5, A6	100	90
			85	80
			80	75
OH			100	90
			85	80
			80	75

TOWN OF ZEBULON
STD. TRENCH INSTALLATION
(TRENCH CONDITION SHOWN)

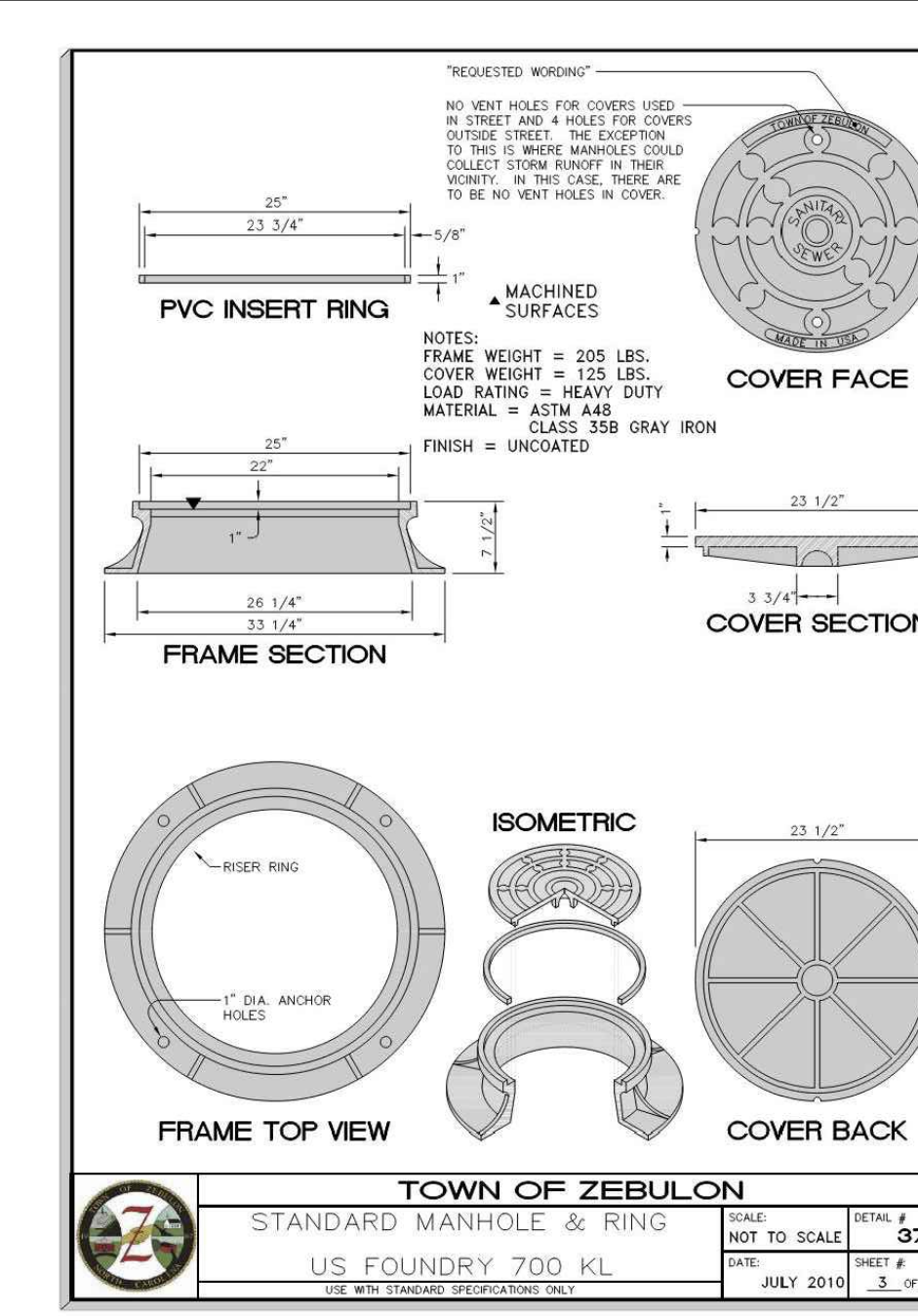
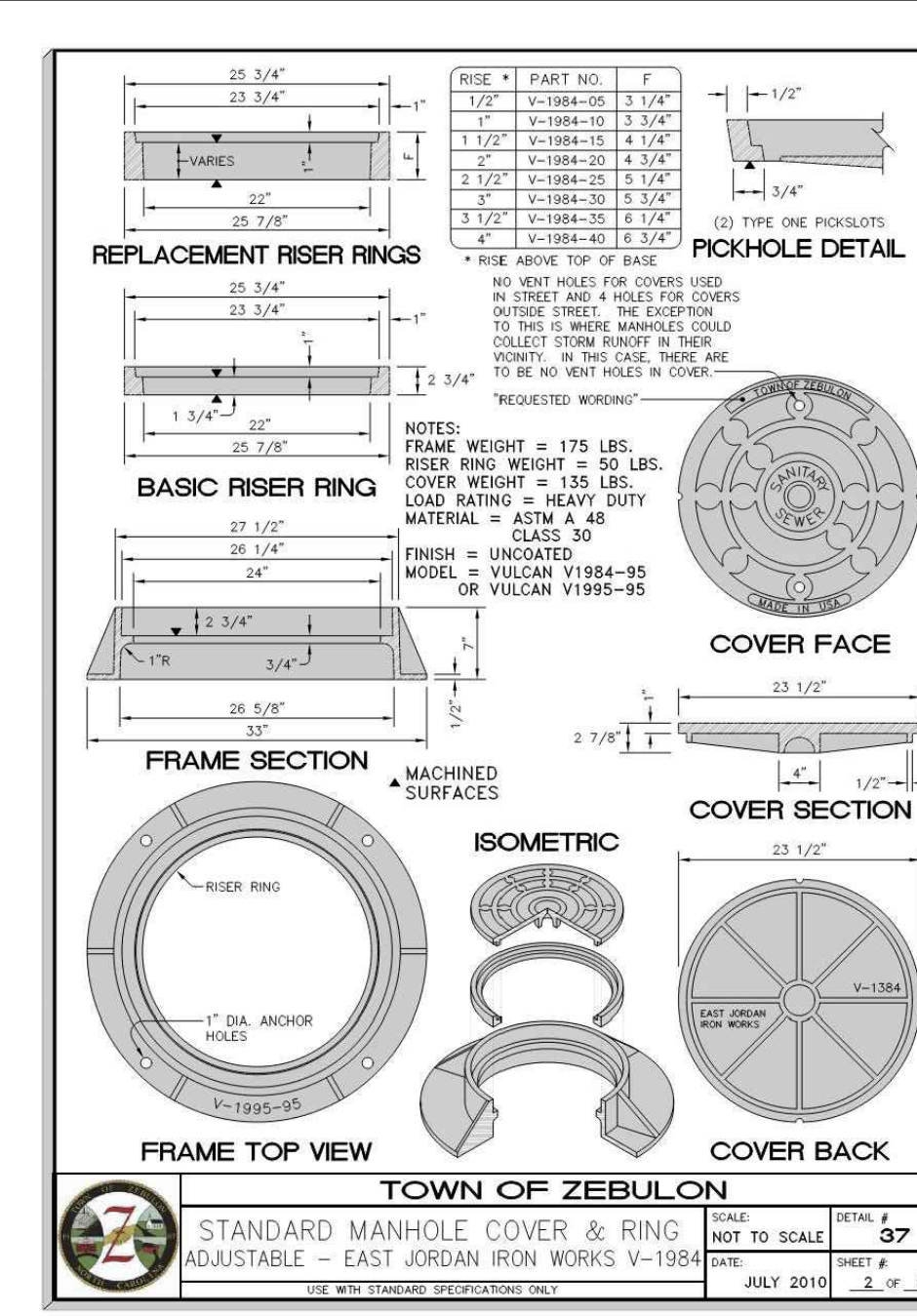
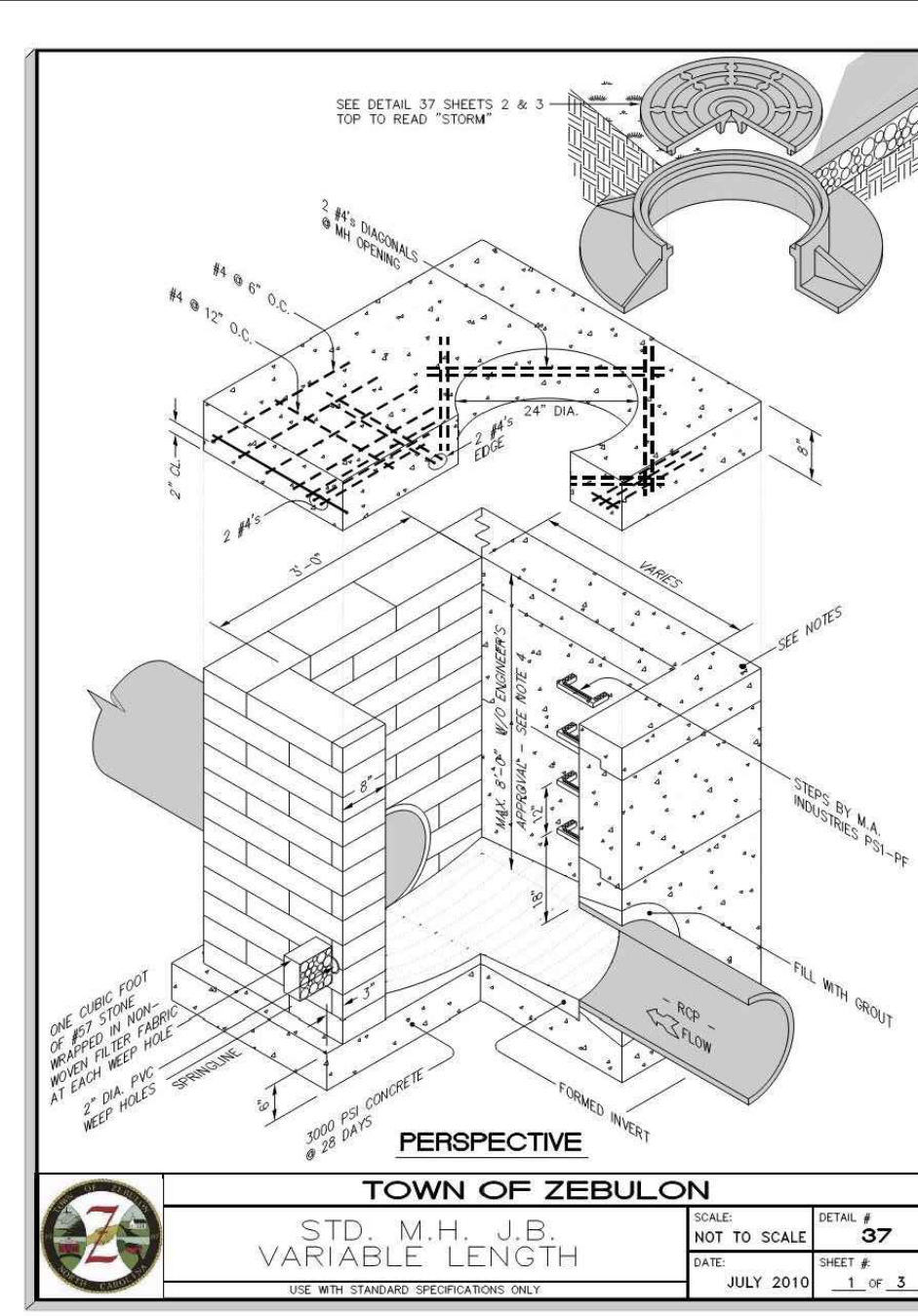
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 36
DETAIL # 36
4 OF 5

Installation Type	Standard Embankment Installation Soils and Minimum Compaction Requirements	
	Backfill	Haunch and Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 98% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 98% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	No compaction required, except if Category I use 98% Category II

TOWN OF ZEBULON
STD. TRENCH INSTALLATION
(TRENCH CONDITION SHOWN)

SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 36
DETAIL # 36
5 OF 5

Installation Type	Standard Trench Installations Soils and Minimum Compaction Requirements	
	Backfill	Haunch and Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 98% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	98% Category I 98% Category II 98% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	No compaction required, except if Category I use 98% Category II



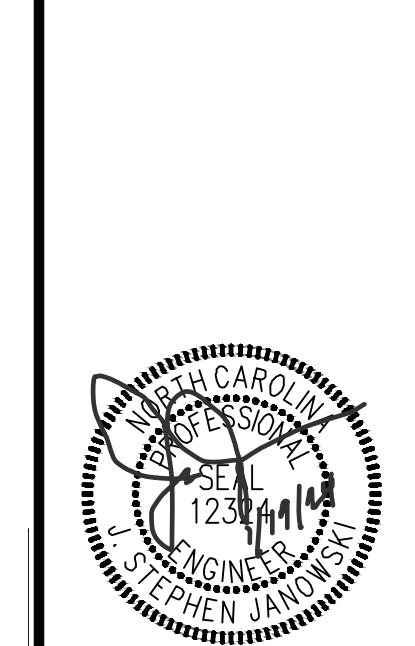
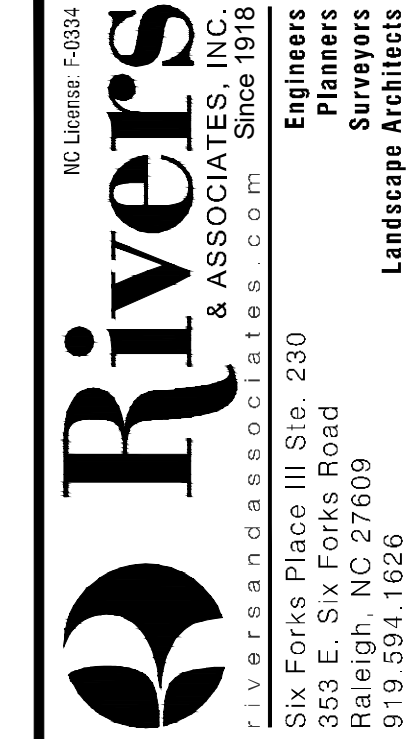
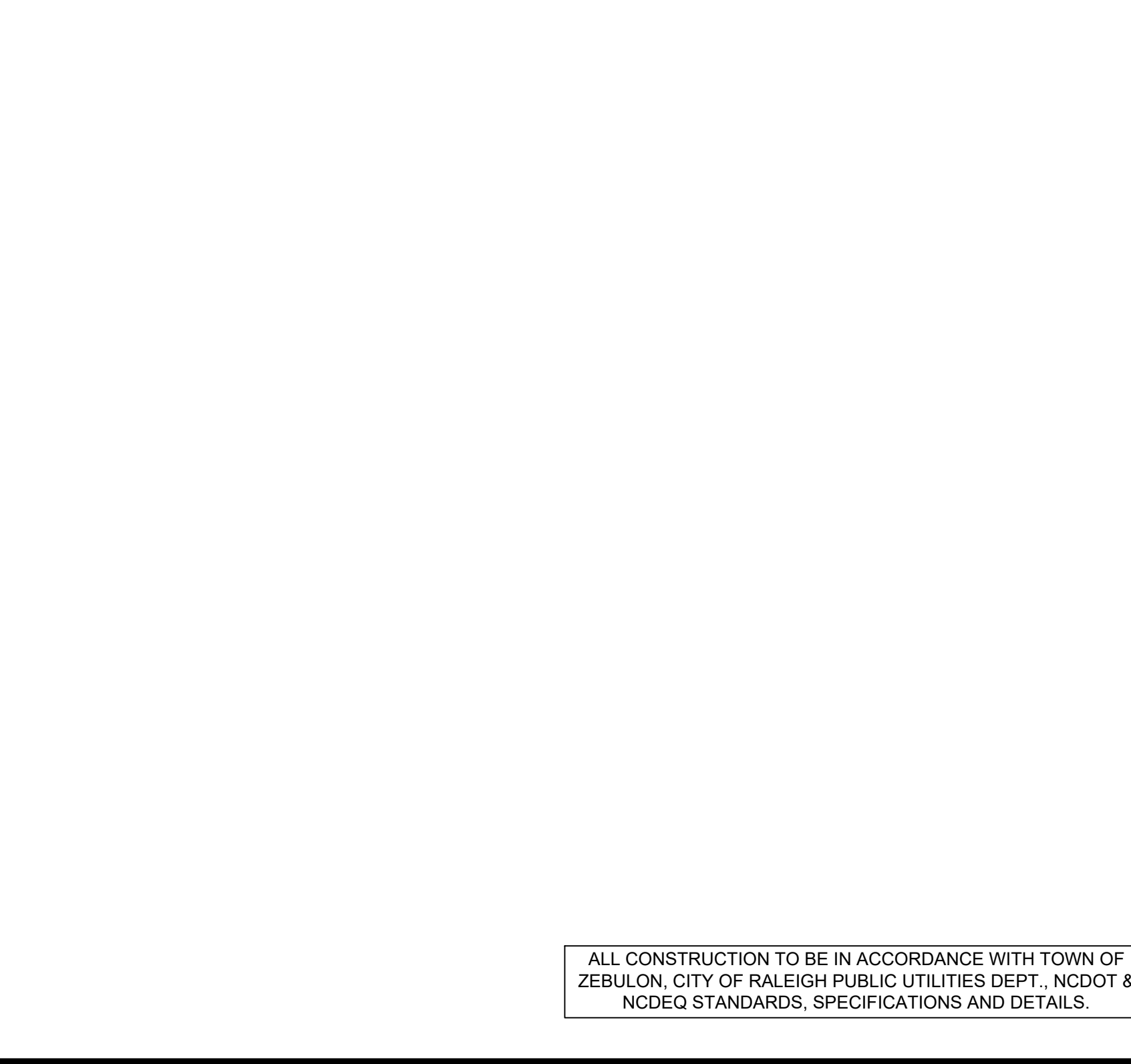
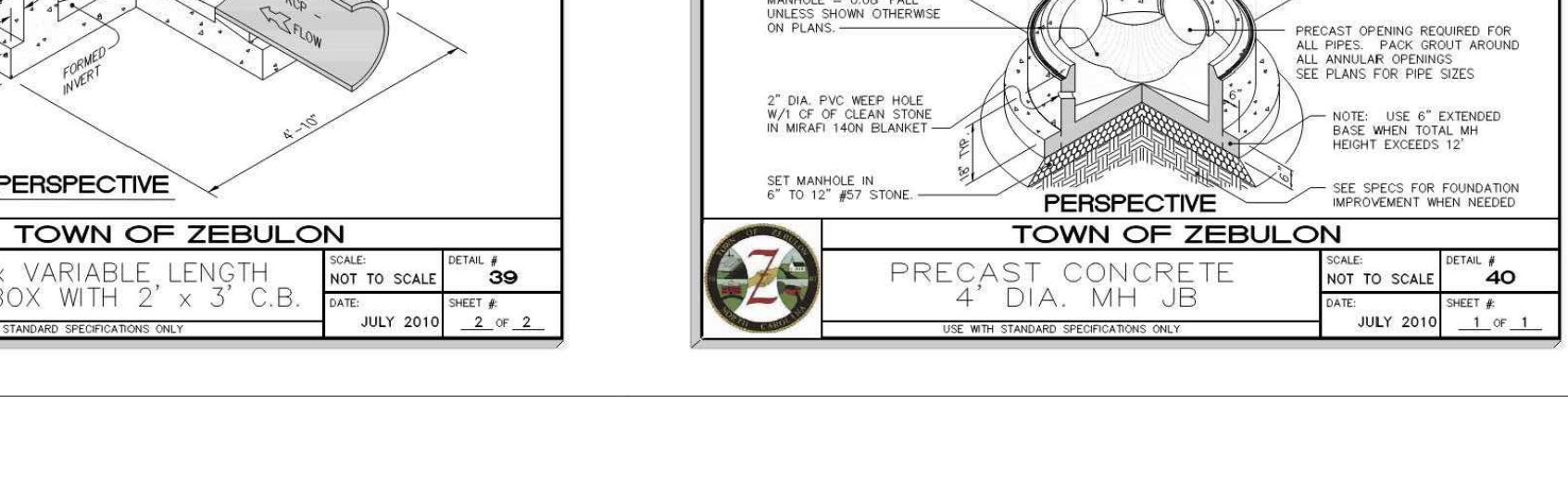
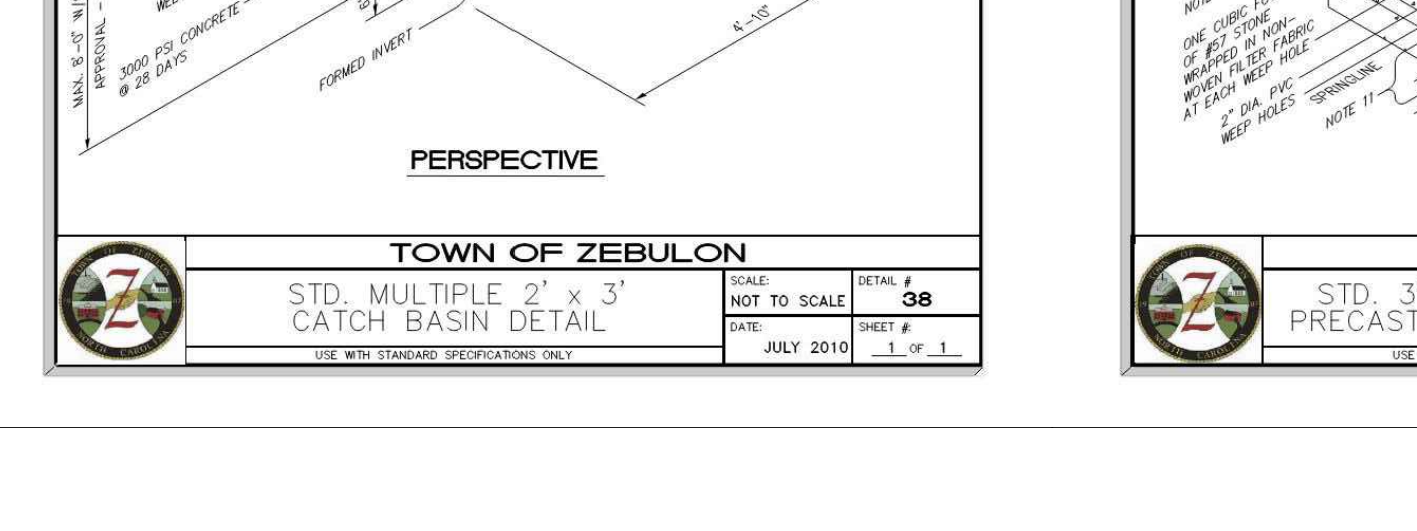
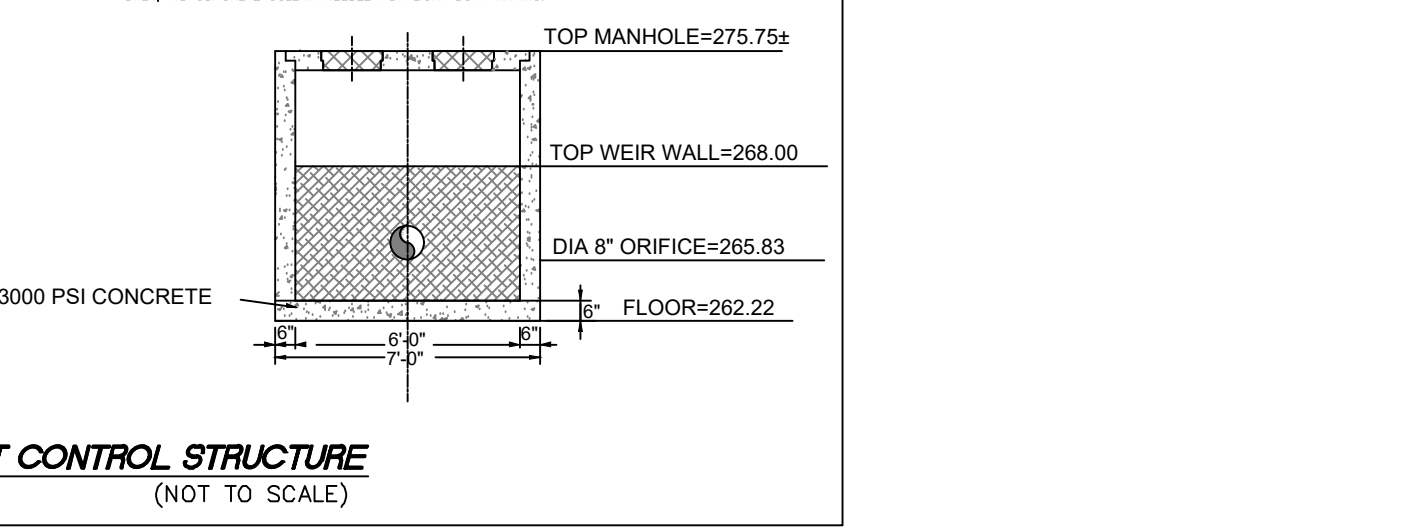
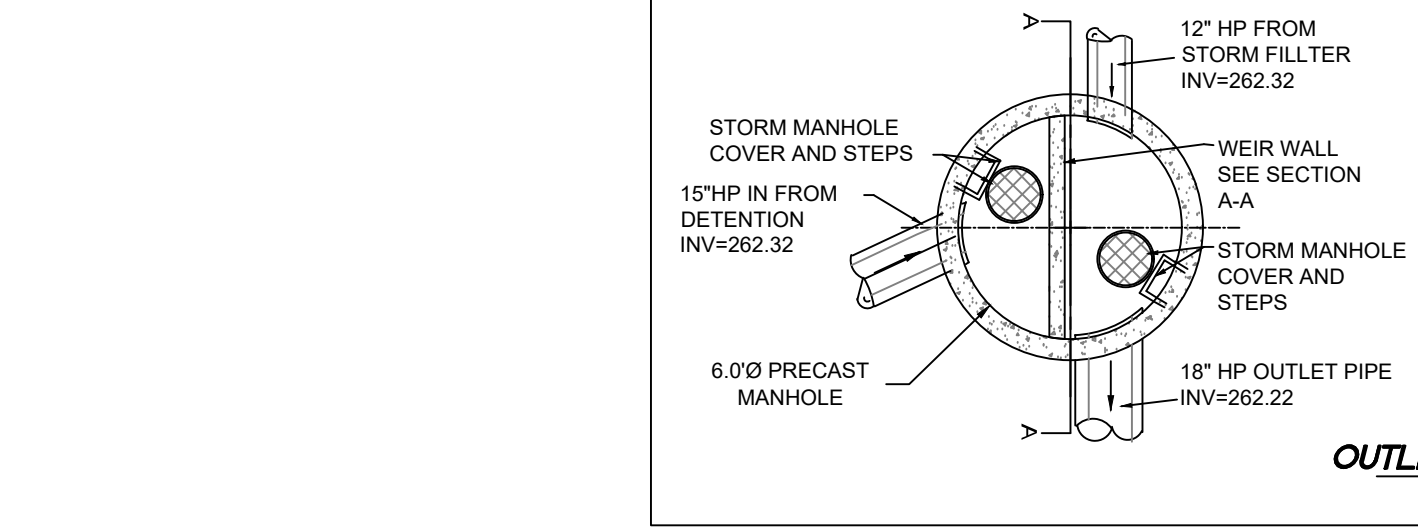
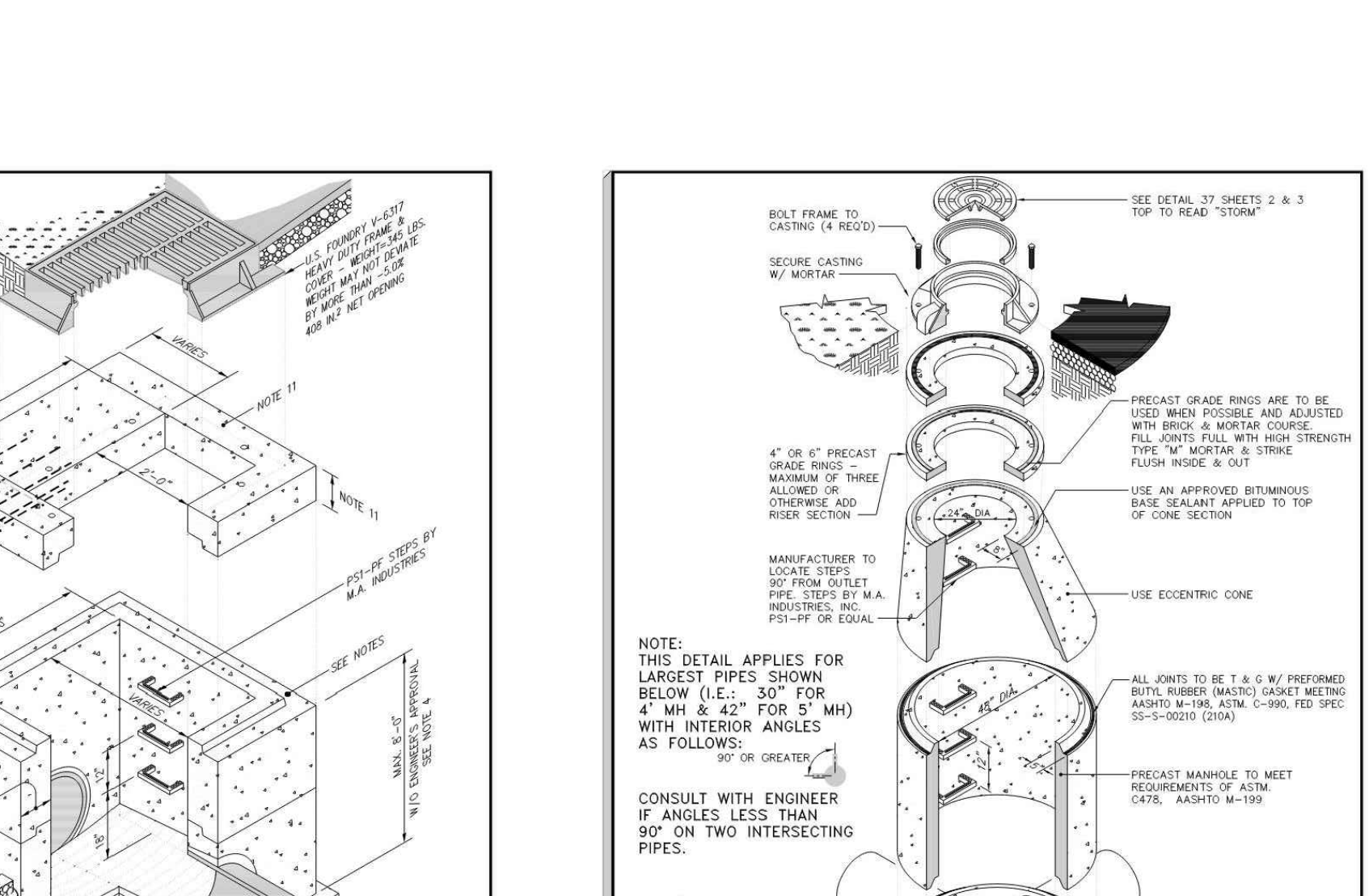
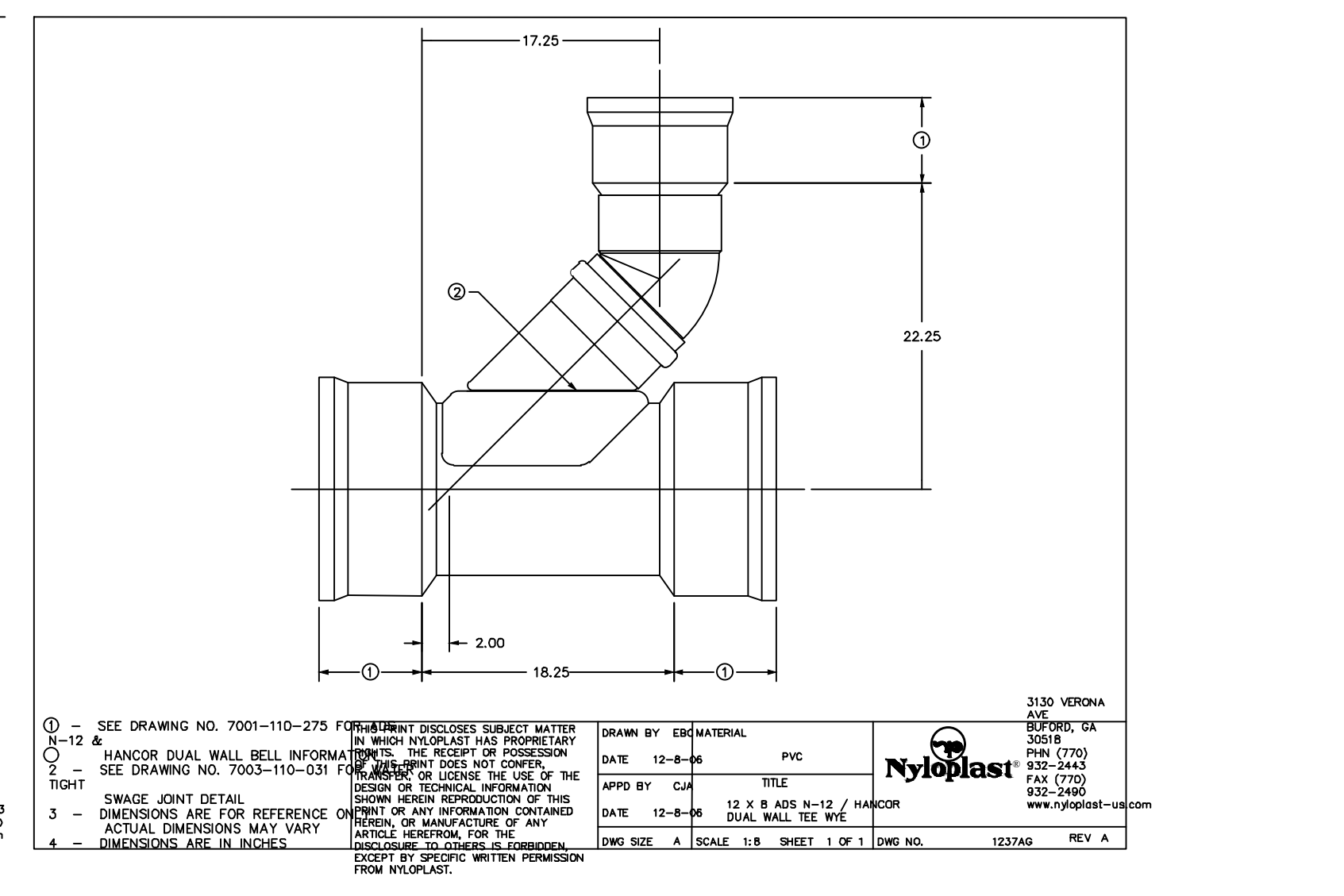
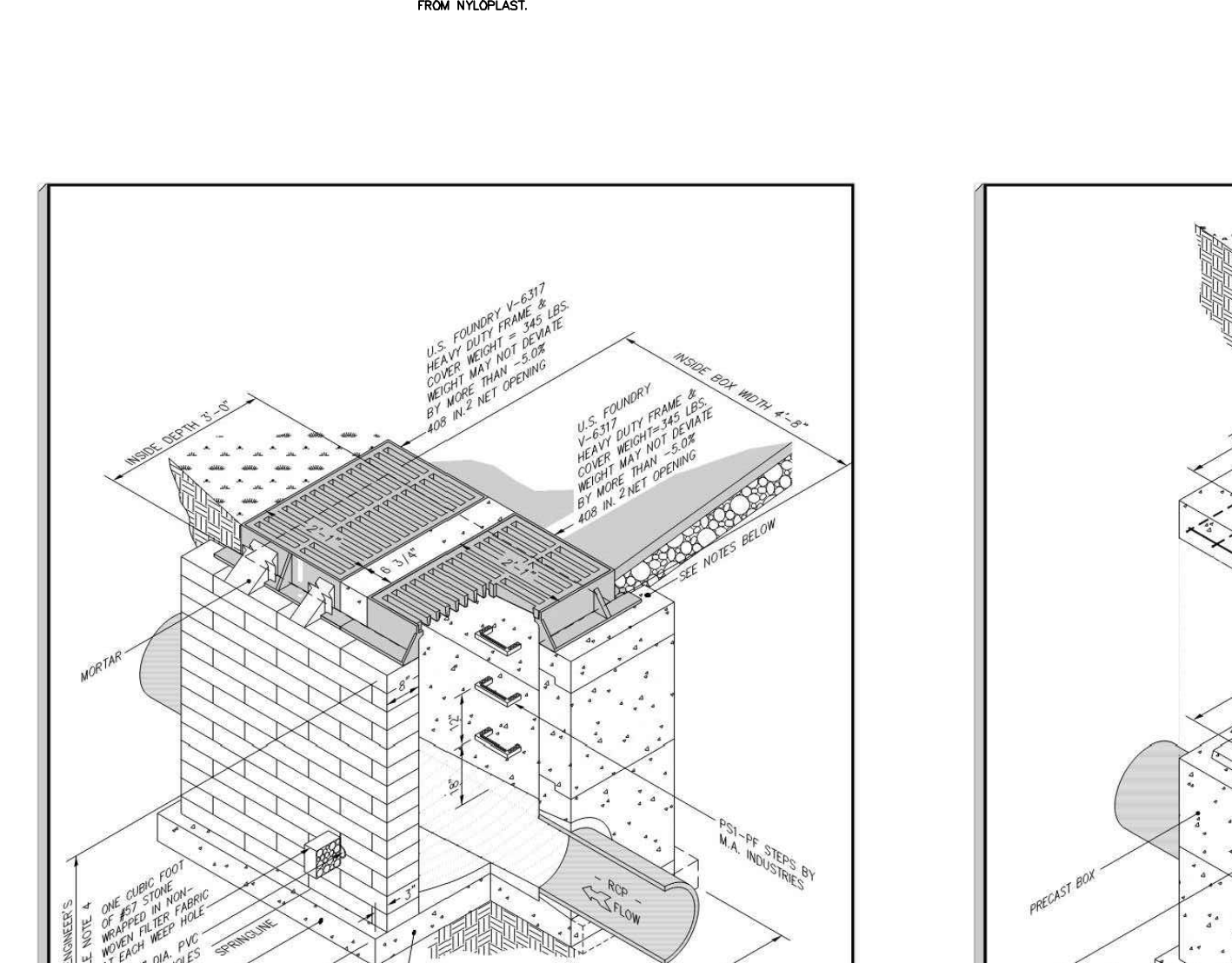
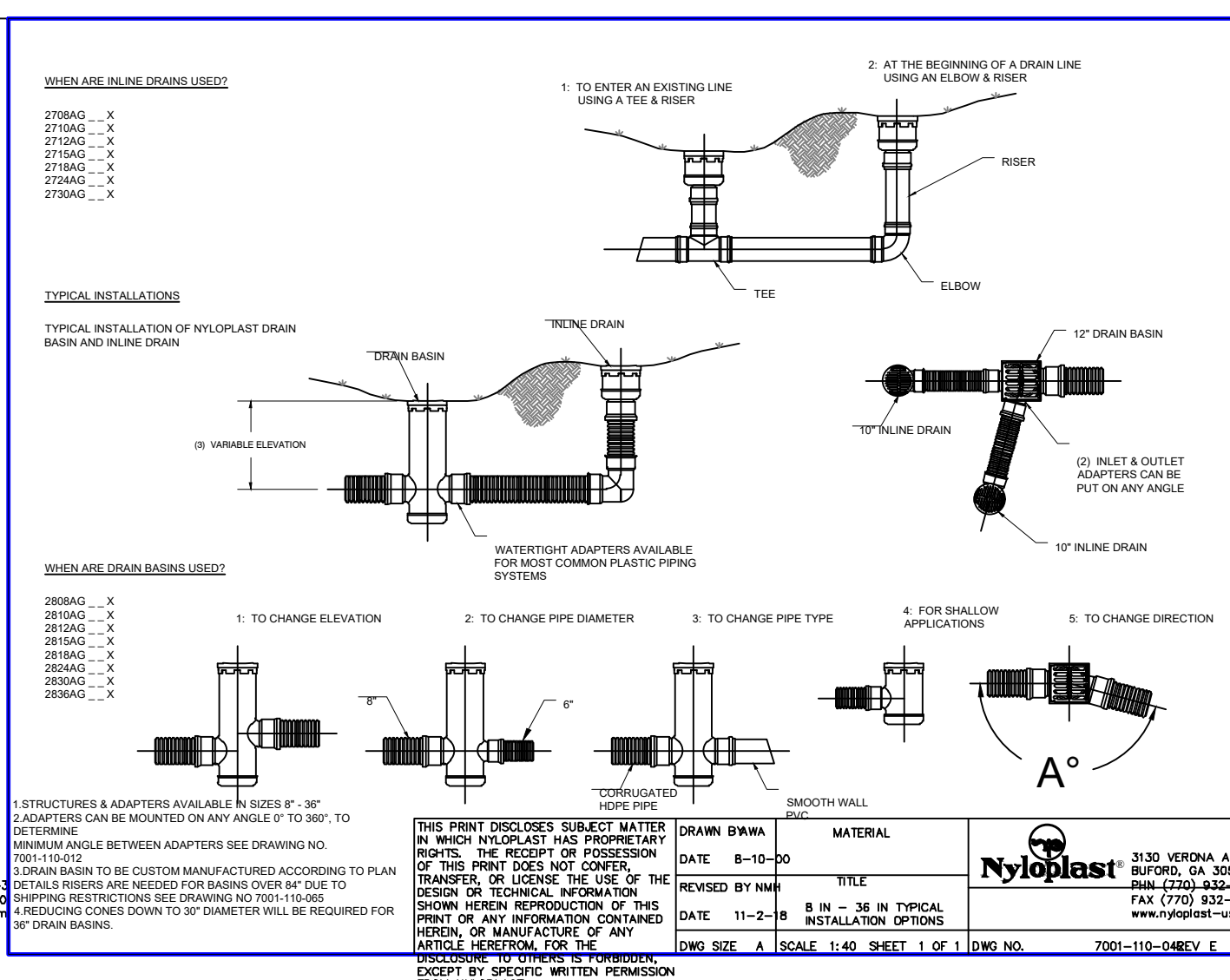
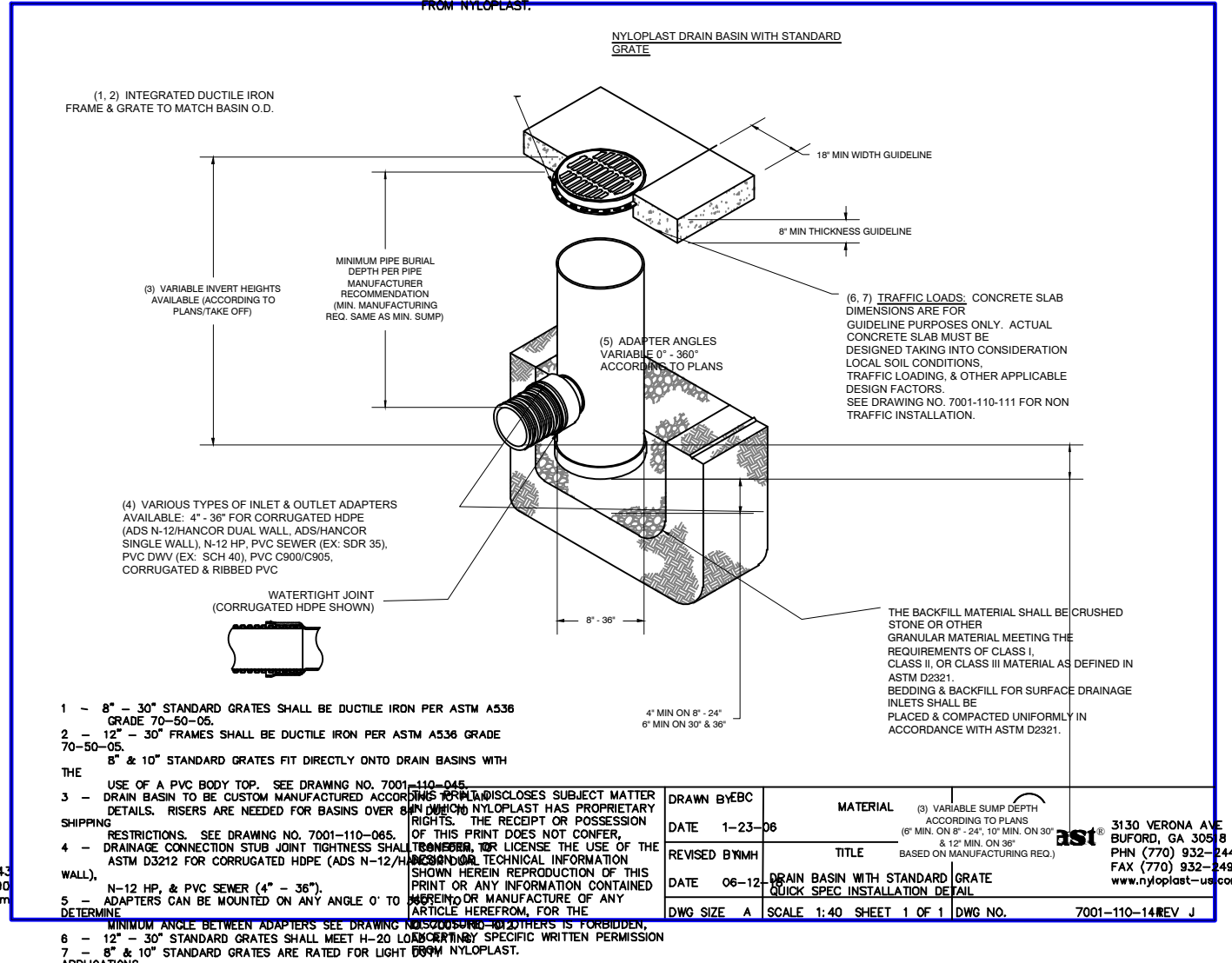
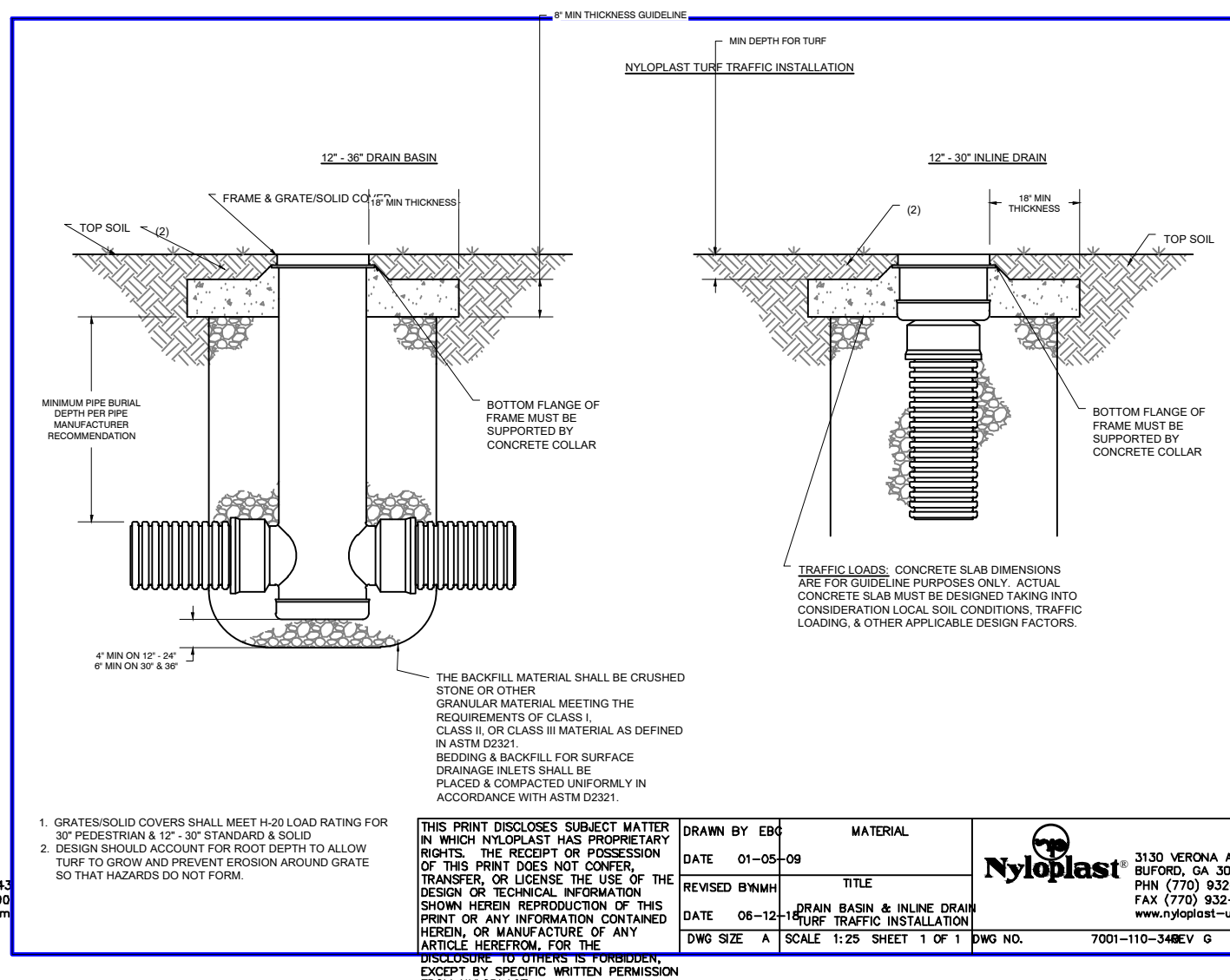
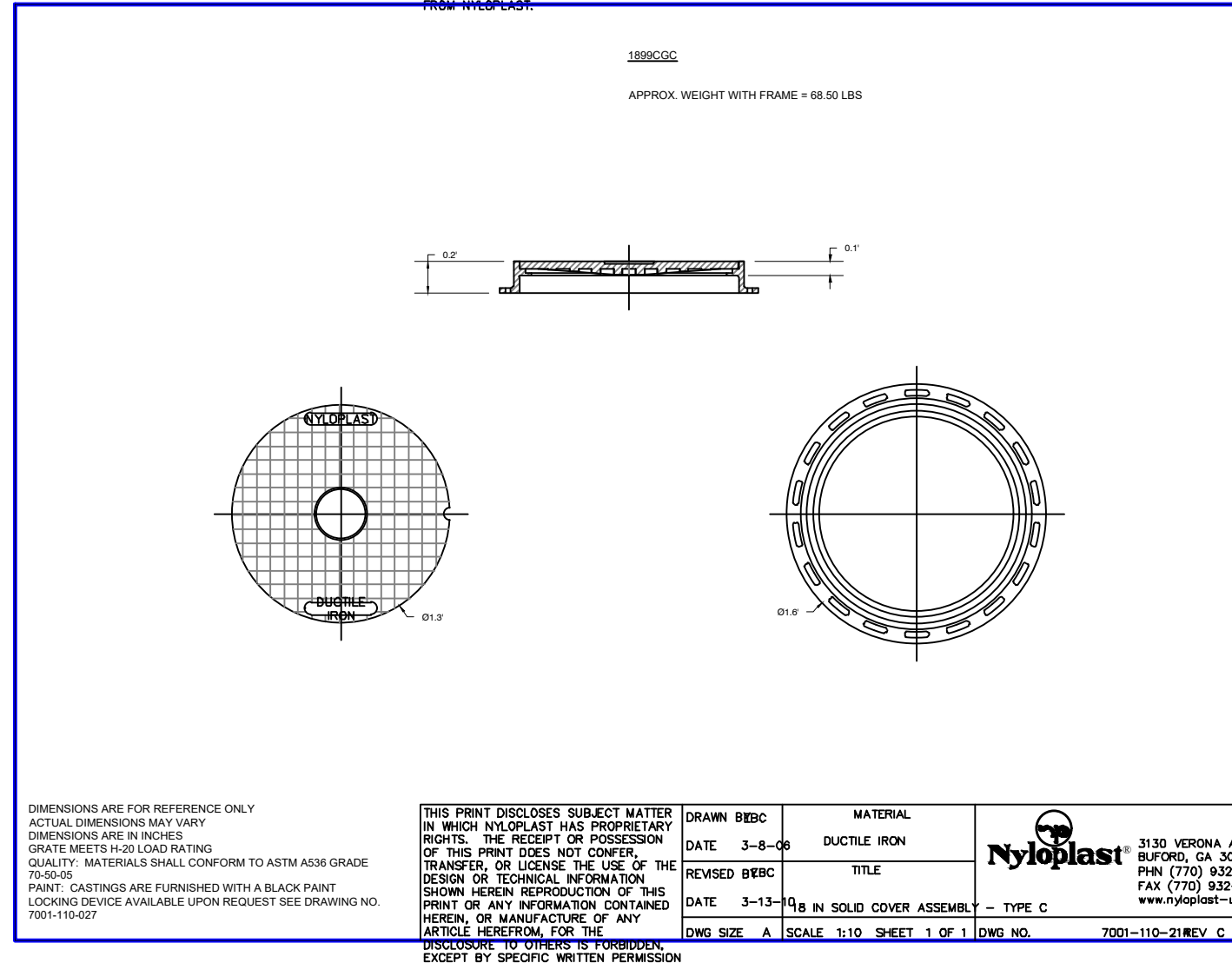
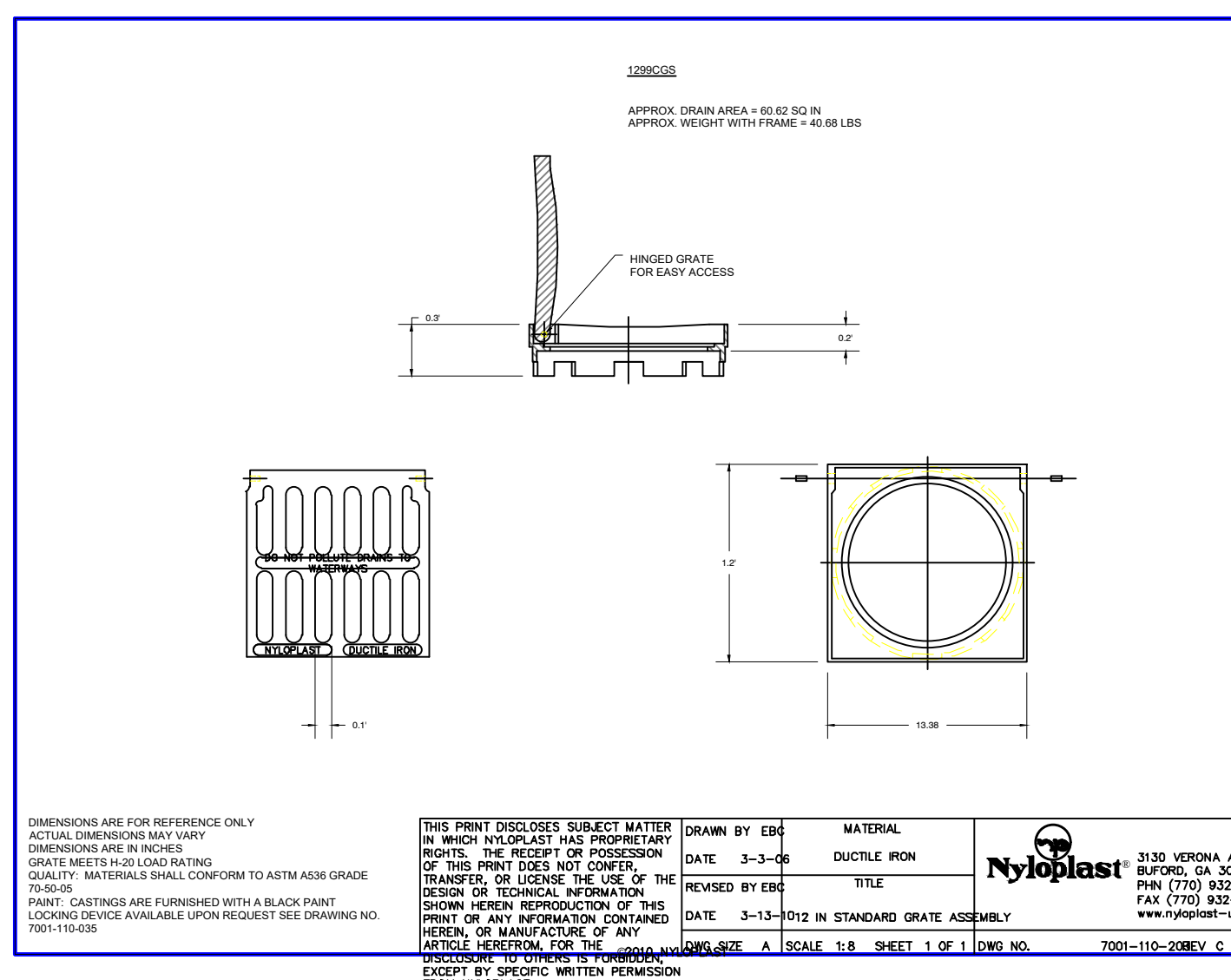
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
2	CLIENT REVIEW	11/21/23	
3	TRC REVIEW PLAN	11/07/23	
4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

DATE: _____

DESIGNED BY: MS
DRAWN BY: MS
CHECKED BY: JSJ
PROJECT NO. 2023018
DRAWING NO. W-4081
SCALE: AS SHOWN
SHEET NO. _____

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDCE STANDARDS, SPECIFICATIONS AND DETAILS.



NO.	DESCRIPTION	DATE	BY
01/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3		
12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2		
11/21/23	CLIENT REVIEW		
11/07/23	TRC REVIEW PLAN		
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1		

CONSTRUCTION DRAWINGS

DOMINO'S ZEBULON
TOWN OF ZEBULON ~ WAKE COUNTY ~ NORTH CAROLINA

STORM DETAILS

DATE: _____

DESIGNED BY: JSJ/MS

DRAWN BY: MS

CHECKED BY: JSJ

PROJECT No. 2023018

DRAWING No. W-4081

SCALE: AS SHOWN

SHEET No. **C4.32**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPT., NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.

TOTAL DISTURBED AREA: 38,005 SF = 1.0 AC

EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE
- SILT FENCE
- SILT FENCE/TREE PROTECTION FENCE
- SILT FENCE OUTLET
- TREE PROTECTION FENCE
- DIVERSION DITCH
- TEMP. WATTLE
- TEMPORARY GRAVEL CONSTRUCTION EXIT
- CONCRETE WASHOUT
- TEMPORARY STOCKPILE

Design Criteria

- a. A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (erosion control measures surrounding the stockpile shall be shown at the outer limit of this easement).
- b. Stockpile footprints shall be setback a minimum of 25' from adjacent property lines.
- c. A note shall be provided on the approved plan that stockpile height shall not exceed 35 feet.
- d. Stockpile slopes shall be 2:1 or flatter.
- e. Approved BMPs shall be shown on a plan to control any potential sediment loss from a stockpile.
- f. Stockpiling materials adjacent to a ditch, drainage way, watercourse, wetland, stream buffer, or other body of water shall be avoided unless an alternative location is demonstrated to be unavailable.
- g. Any concentrated flow likely to affect the stockpile shall be diverted to an approved BMP.
- h. Off-site spoil or borrow areas must be in compliance with Wake County UDO and State Regulations. All spoil areas over an acre are required to have an approved sediment control plan. Developer/Contractor shall notify Wake County of any offsite disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).

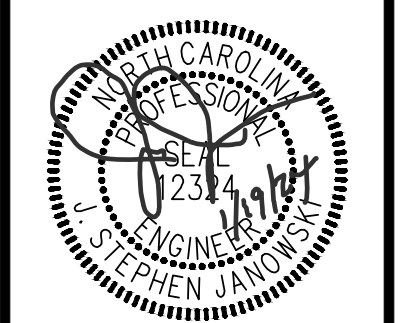
Maintenance Requirements to be Noted on the Plan

- i. Seeding or covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic.
- j. If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
- k. The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
- l. Establish and maintain a vegetative buffer at the toe of the slope (where practical).

EROSION CONTROL SEQUENCE - STAGE 1

- STAGE 1 EROSION CONTROL SEQUENCE:**
1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WAKE COUNTY ENVIRONMENTAL CONSULTANT.
 2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE, TEMPORARY ROCK DAM WITH SKIMMER, SILT FENCE AND ANY OTHER MEASURES SHOWN ON THE STAGE 1 EROSION CONTROL PLAN.
 3. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
 4. BEGIN CLEARING AND GRUBBING, MAINTAIN DEVICES AS NEEDED, ROUGH GRADE SITE.
 5. UPON COMPLETION OF ANY PHASE OF GRADING, THE DISTURBED AREAS SHALL BE PROMPTLY SEEDED AND STABILIZED. REFER TO THE REQUIRED STABILIZATION TIME FRAMES SHOWN ON THE NPDES DETAILS SHEET.
 6. UPON COMPLETION, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH GRASS, MULCH, ETC. AFTER ALL AREAS ARE STABILIZED AND A DENSE STAND OF GRASS IS ESTABLISHED, THEN CONTACT THE EROSION CONTROL INSPECTOR AND OBTAIN APPROVAL. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED. REFER TO STAGE 2 EROSION CONTROL PLANS DEPICTING ADDITIONAL MEASURES FOR CONSTRUCTION.

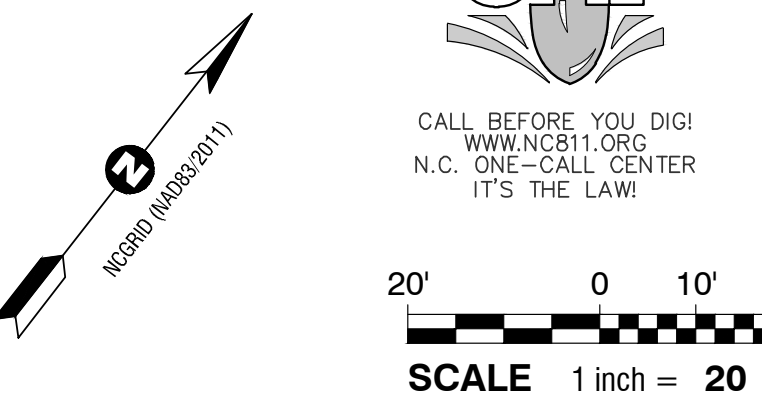
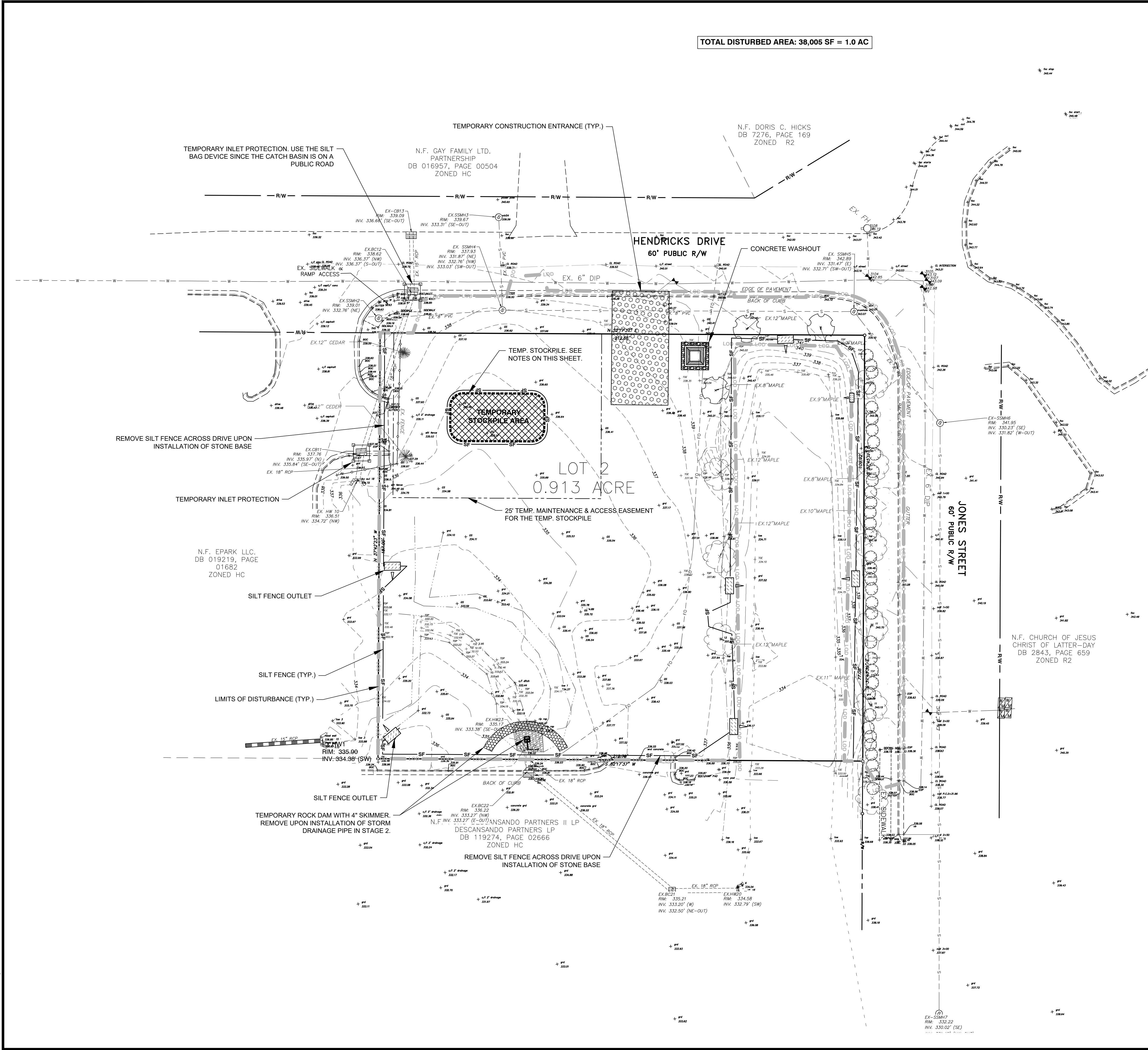
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.



REVISIONS:		NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #3	01/19/24			
2	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23			
3	CHEF REVIEW	11/16/23			
4	PRE-REVIEW PLAN	11/09/23			
5	CONSTRUCTION DRAWINGS SUBMITTAL #1	08/01/23			

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL - STAGE 1

DATE: _____
 DESIGNED BY: JSJ/MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C5.01**



N:\PROJECTS\DOMINO'S ZEBULON - WAKE COUNTY - NORTH CAROLINA\CONSTRUCTION DRAWINGS\SET 1\EROSION CONTROL PLAN_STAGE 1.dwg (2023) P:\ALM\ALM



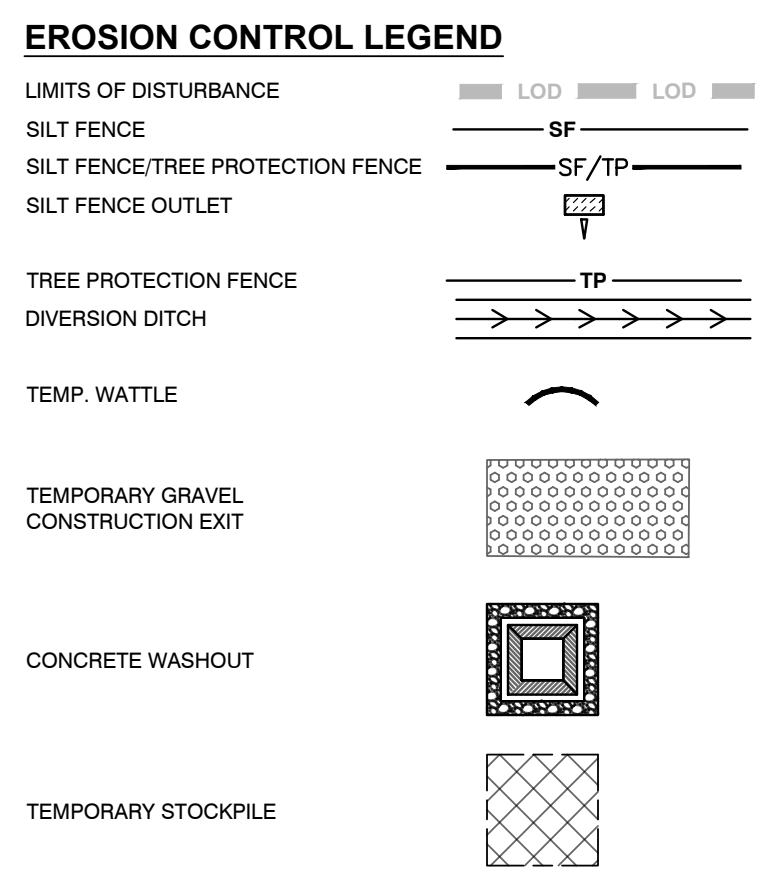
REVISIONS:

NO.	DATE	DESCRIPTION
1	01/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3
2	12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2
3	11/21/23	CLIENT REVIEW
4	11/09/23	PRE-REVIEW PLAN
5	08/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON ~ WAKE COUNTY ~ NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL PLAN - STAGE 2

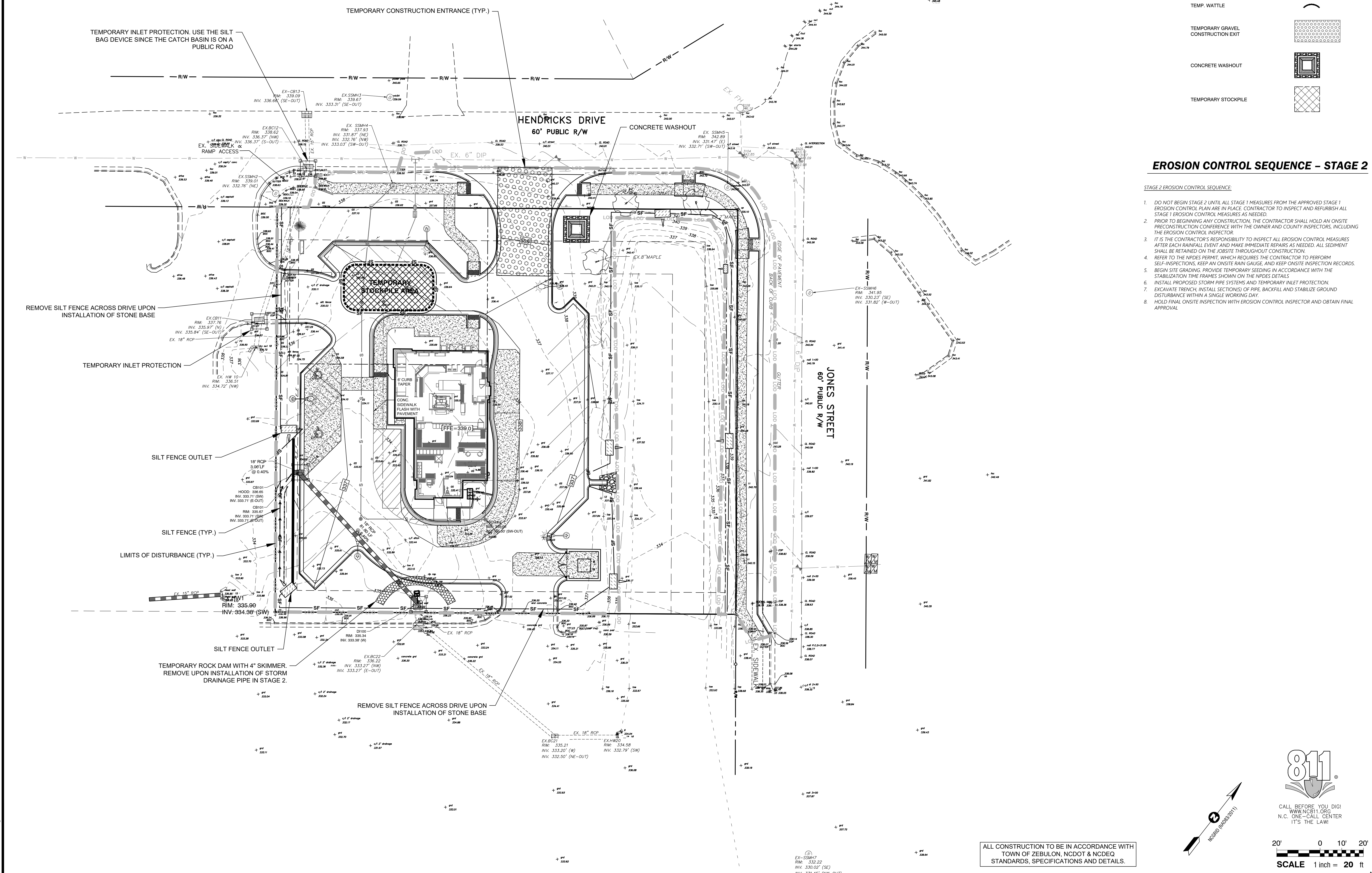
DATE:

DESIGNED BY:	JSJ/MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.	2023018
DRAWING No.	W-4081
SCALE:	AS SHOWN
SHEET No.	C5.02

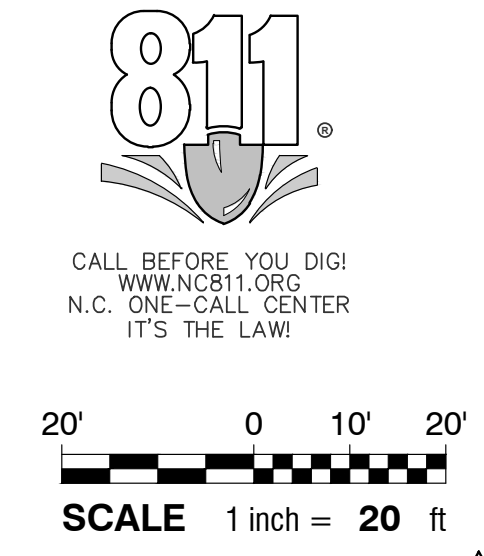
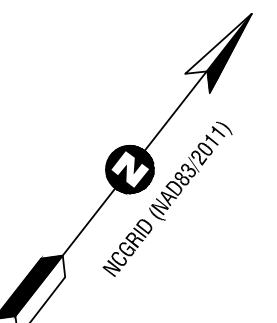


EROSION CONTROL SEQUENCE - STAGE 2

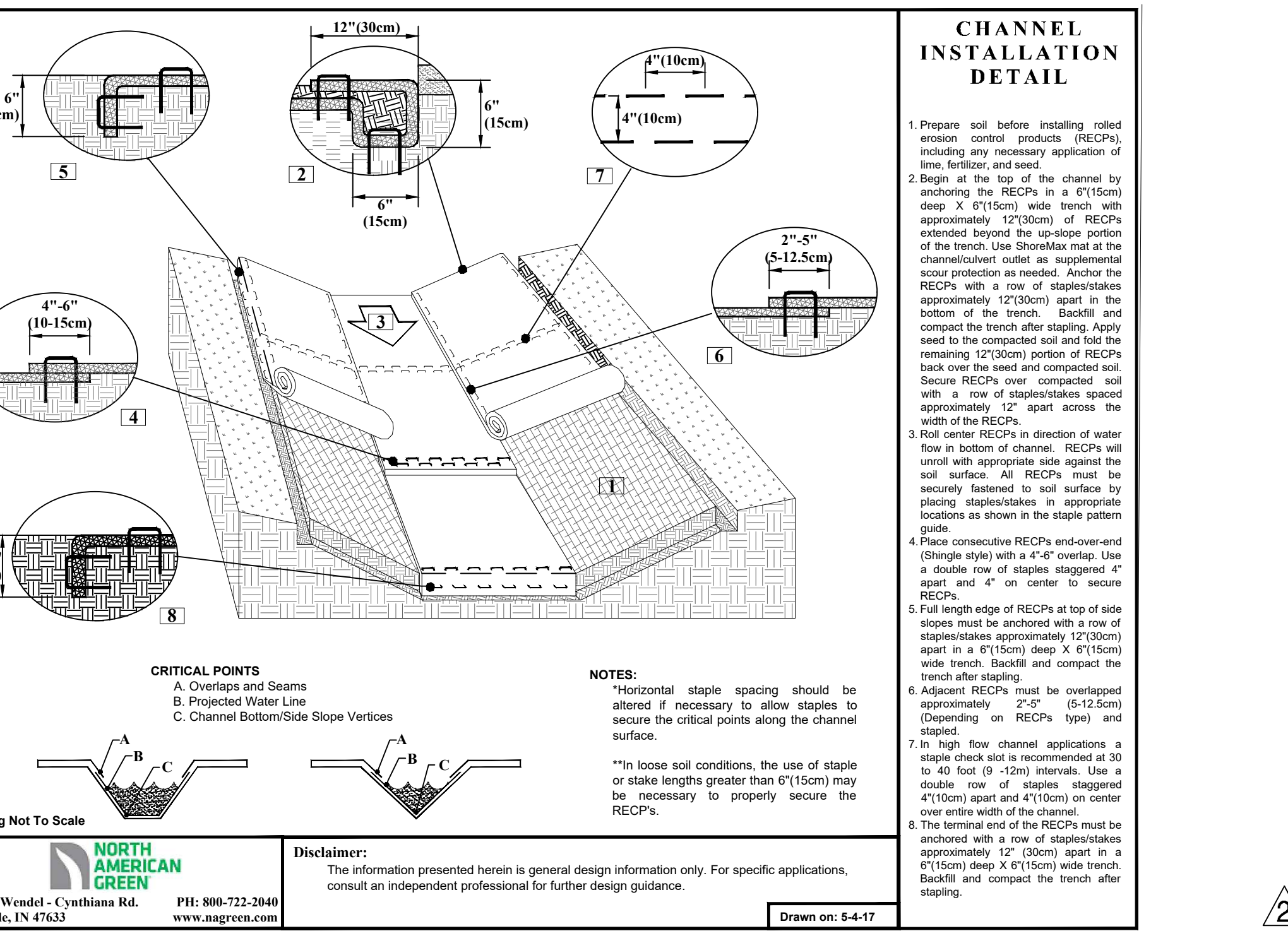
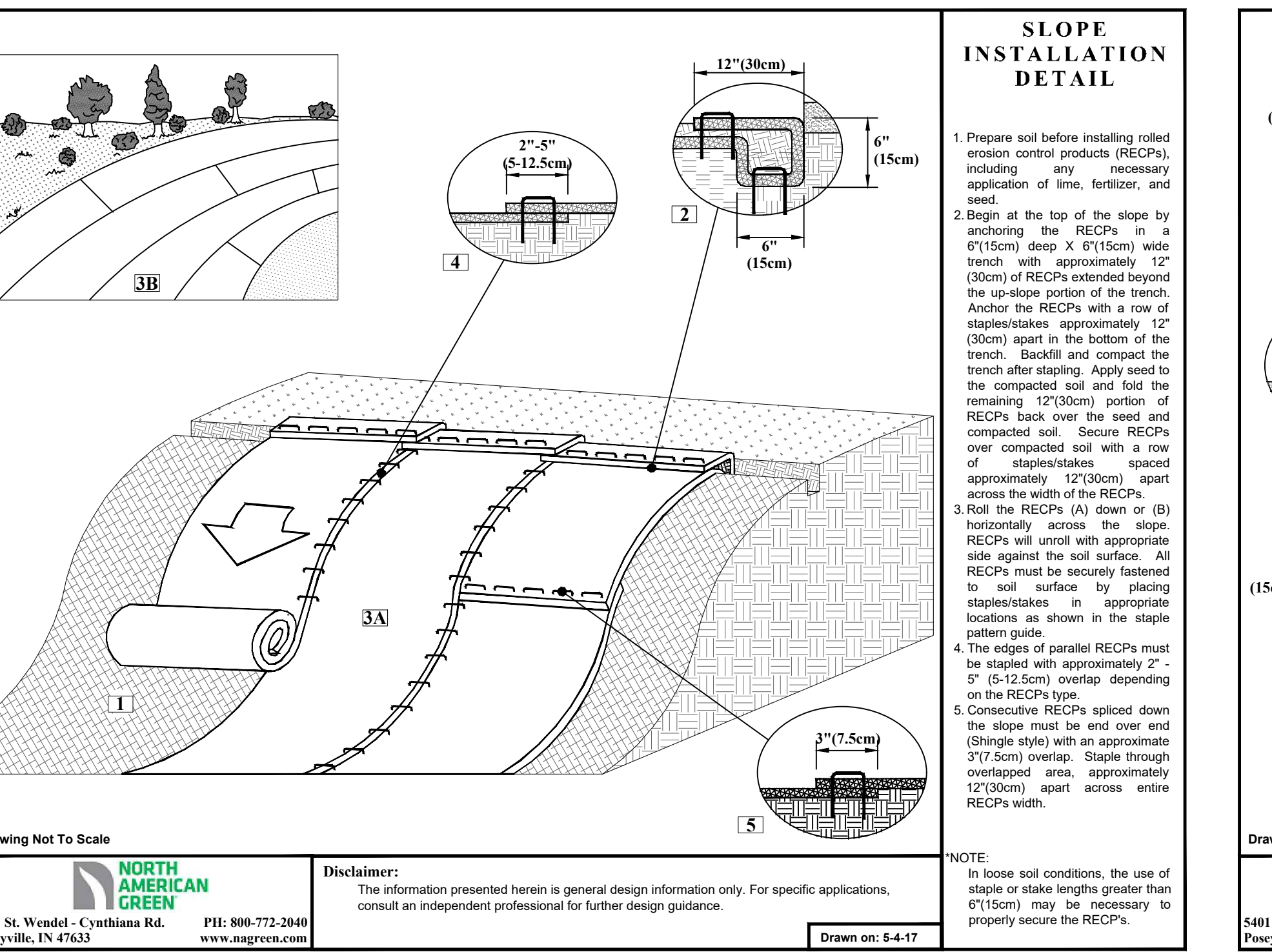
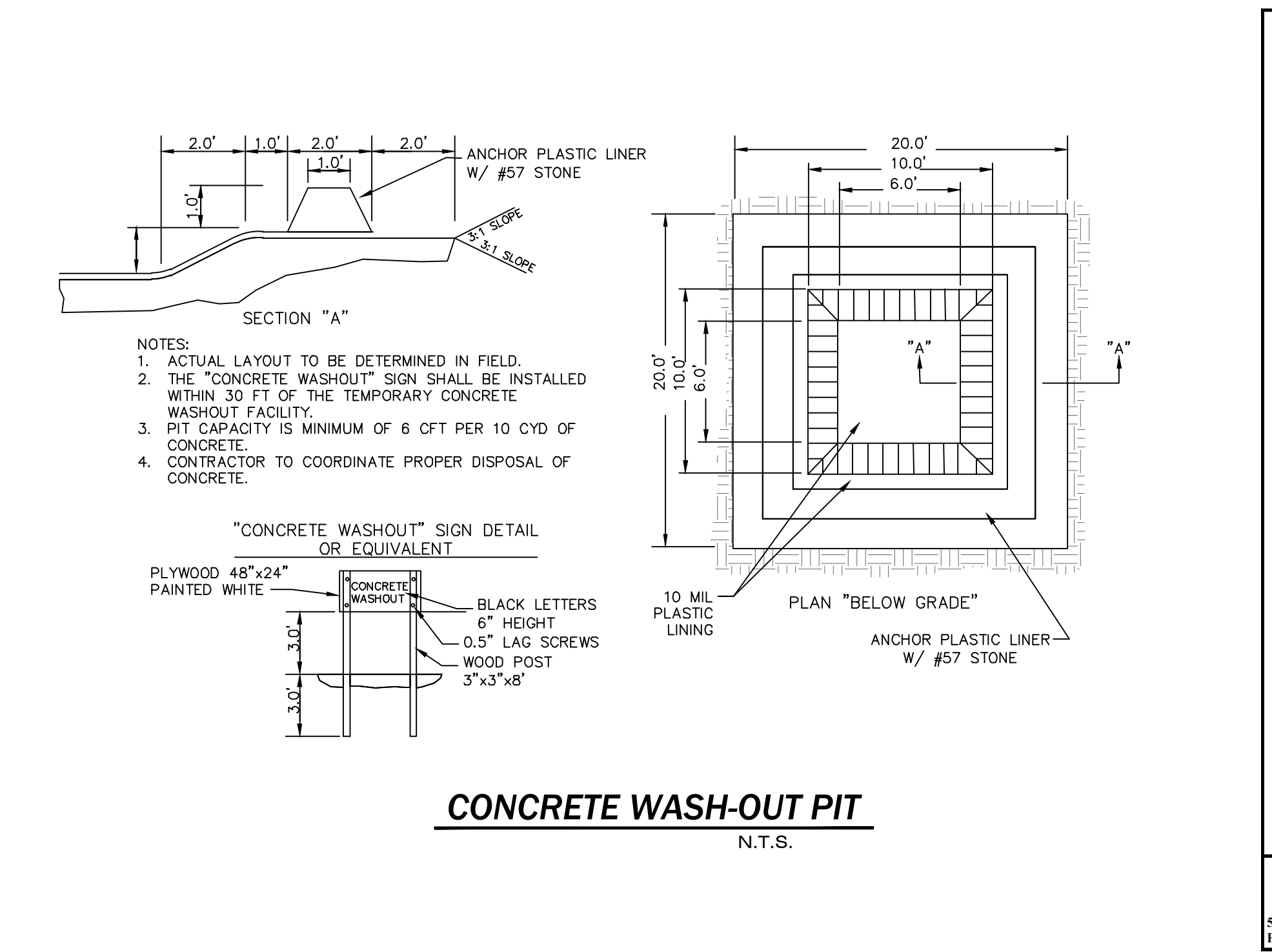
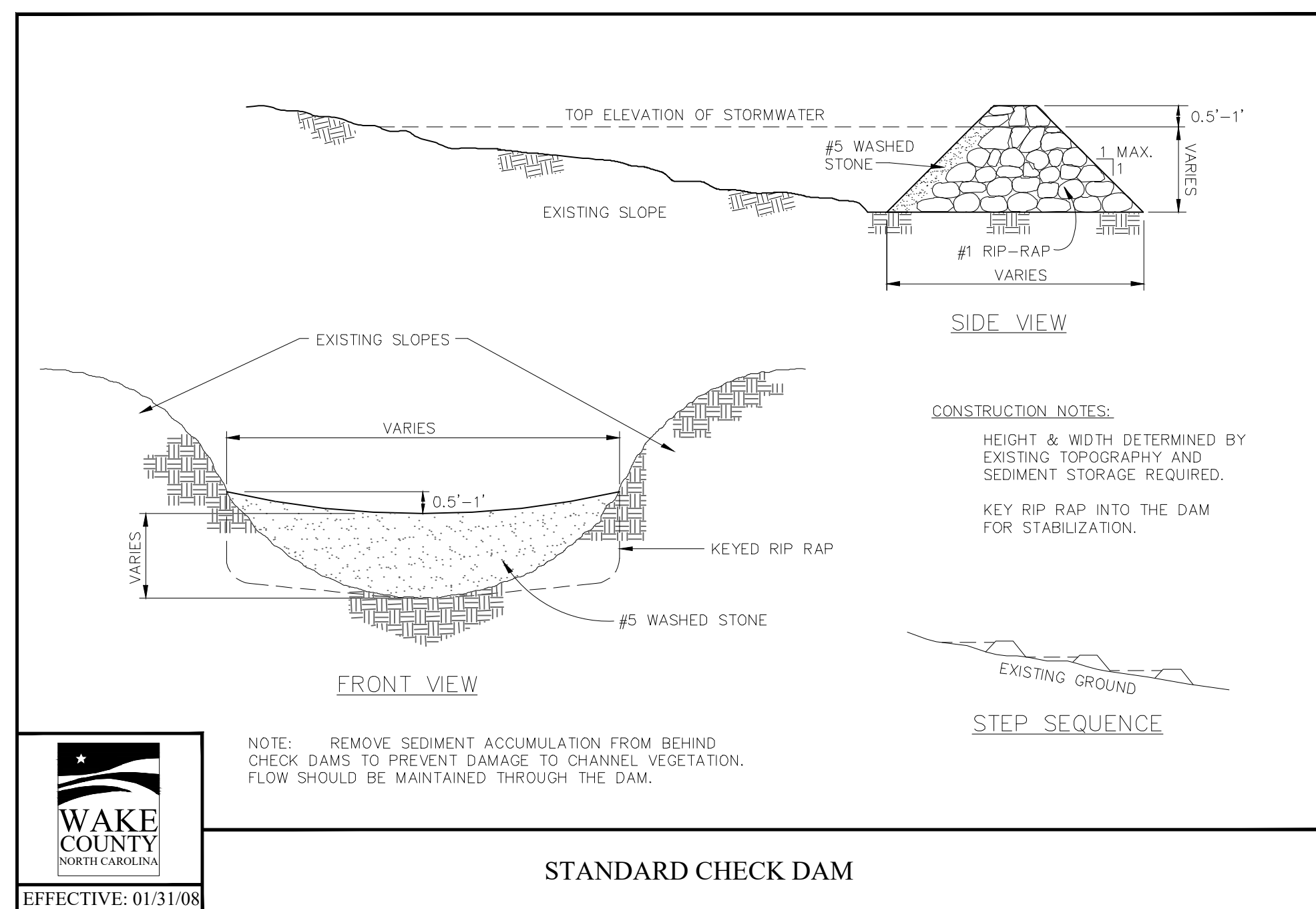
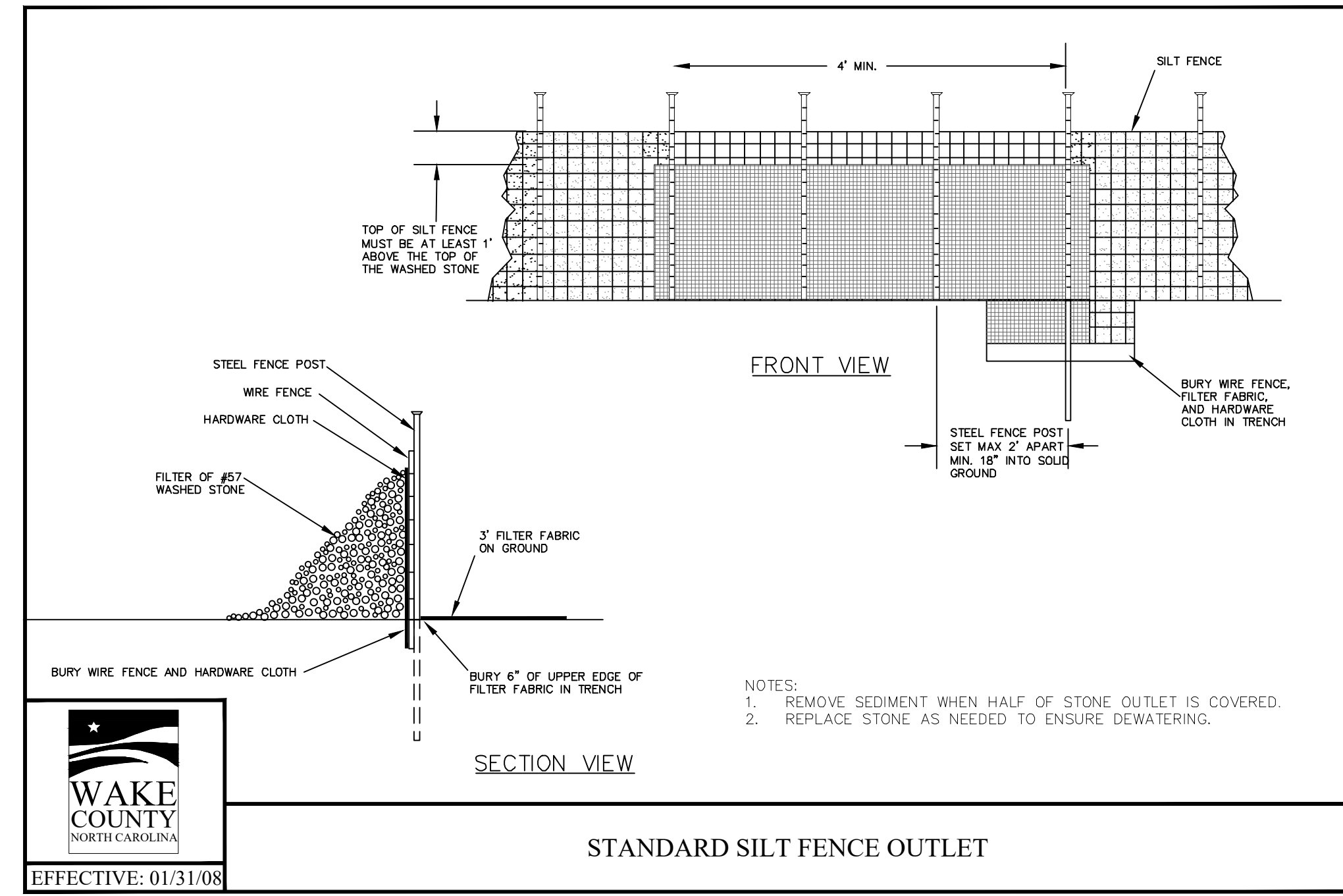
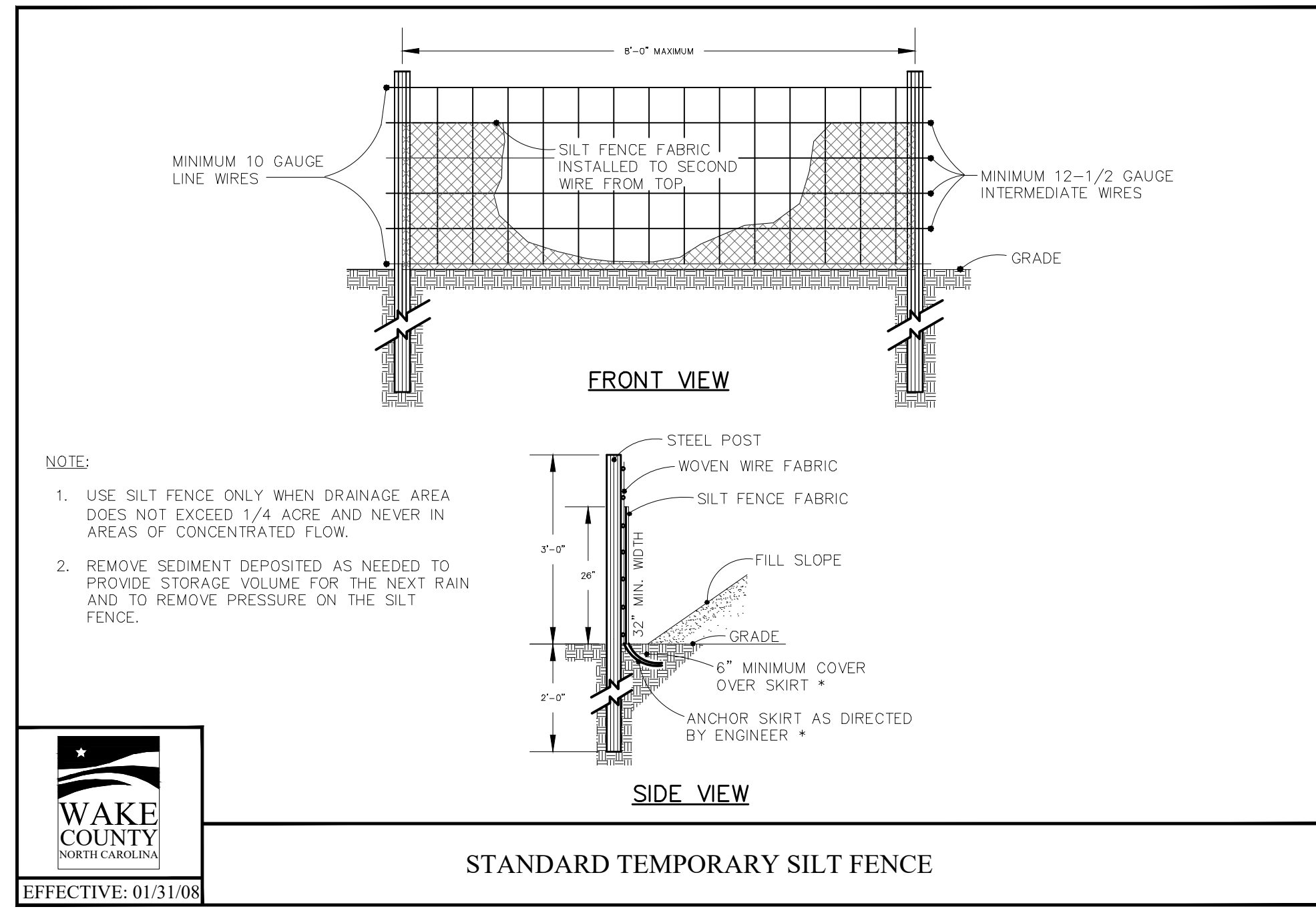
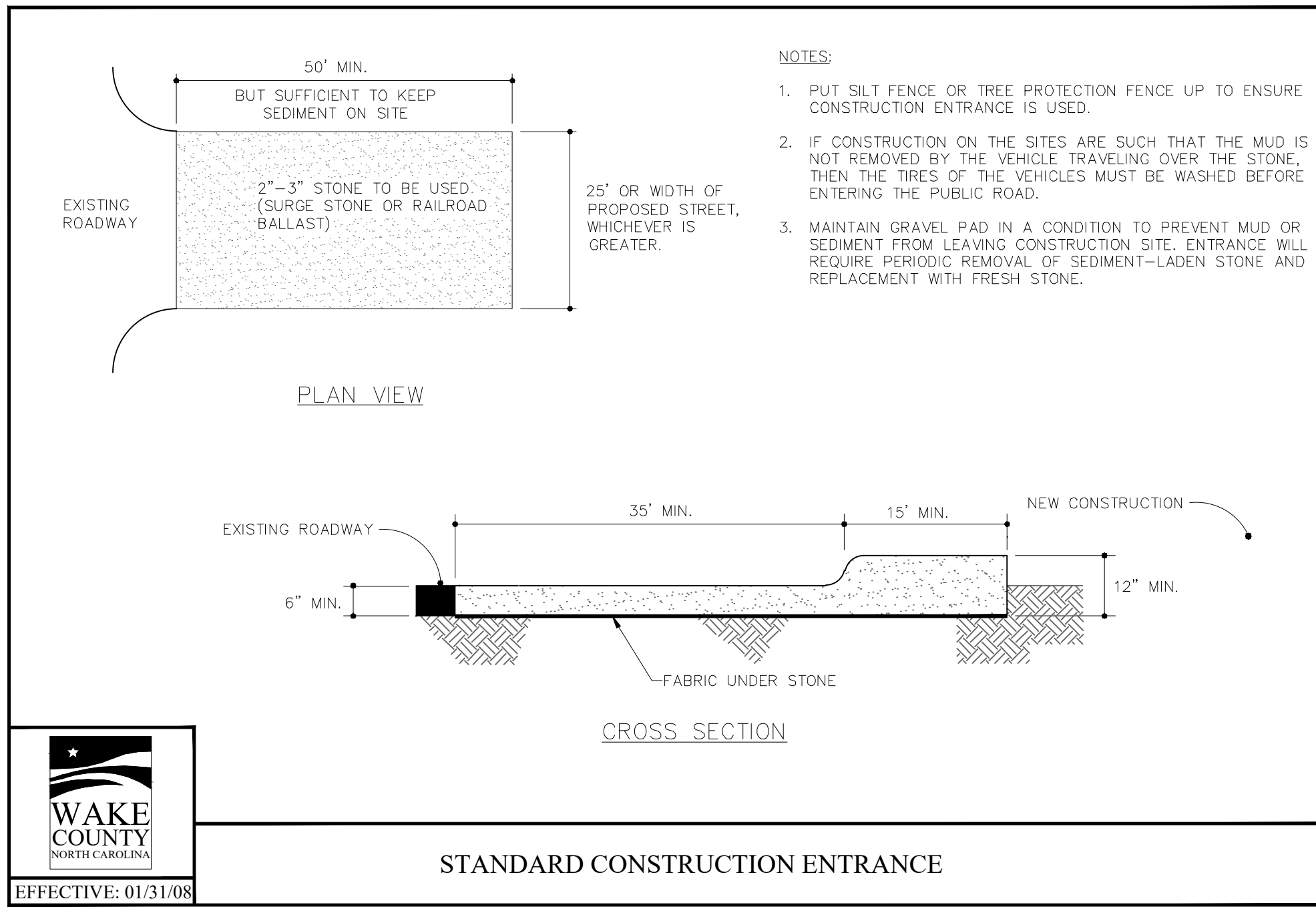
- STAGE 2 EROSION CONTROL SEQUENCE:
- DO NOT BEGIN STAGE 2 UNTIL ALL STAGE 1 MEASURES FROM THE APPROVED STAGE 1 EROSION CONTROL PLAN ARE IN PLACE. CONTRACTOR TO INSPECT AND REPAIR/REPLACE ALL STAGE 1 EROSION CONTROL MEASURES AS NEEDED.
 - PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL HOLD AN ONSITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER AND COUNTY INSPECTORS, INCLUDING THE EROSION CONTROL INSPECTOR.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL EVENT AND MAKE IMMEDIATE REPAIRS AS NEEDED. ALL SEDIMENT SHALL BE RETAINED ON THE JOBSITE THROUGHOUT CONSTRUCTION.
 - REFER TO THE NPDES PERMIT, WHICH REQUIRES THE CONTRACTOR TO PERFORM SELF-INSPECTIONS, KEEP AN ONSITE RAIN GAUGE, AND KEEP ONSITE INSPECTION RECORDS.
 - BEGIN SITE GRADING. PROVIDE TEMPORARY SEEDING IN ACCORDANCE WITH THE STABILIZATION TIME FRAMES SHOWN ON THE NPDES DETAILS.
 - INSTALL PROPOSED STORM PIPE SYSTEMS AND TEMPORARY INLET PROTECTION.
 - EXCAVATE TRENCH, INSTALL SECTIONS OF PIPE, BACKFILL AND STABILIZE GROUND DISTURBANCE WITHIN A SINGLE WORKING DAY.
 - HOLD FINAL ONSITE INSPECTION WITH EROSION CONTROL INSPECTOR AND OBTAIN FINAL APPROVAL.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



PLANNING AND DESIGN: DOMINO'S ZEBULON, 2023.01.18. CONSTRUCTION DRAWINGS: DOMINO'S ZEBULON, 2023.01.18. DATE: 01/19/24. DRAWN BY: MS. CHECKED BY: JSJ. PROJECT NO: 2023018. DRAWING NO: W-4081. SHEET NO: C5.02.



Rivers & Associates, Inc.
 Since 1918
 363 E. Six Forks Road
 Raleigh, NC 27609
 919.594.1826

Engineers
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 Surveyors
 Landscape Architects

REVISIONS:

NO.	DESCRIPTION	DATE	BY
01/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3		
12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2		
11/21/23	CLIENT REVIEW		
11/07/23	PRE-REVIEW PLAN		
08/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1		

CONSTRUCTION DRAWINGS

DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

SEDIMENTATION & EROSION CONTROL DETAILS

DATE: _____

DESIGNED BY: JSJ/MS

DRAWN BY: MS

CHECKED BY: JSJ

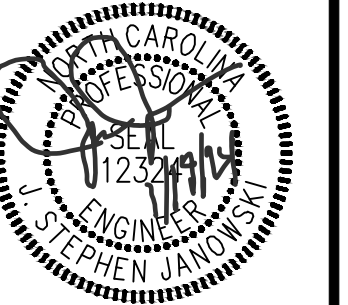
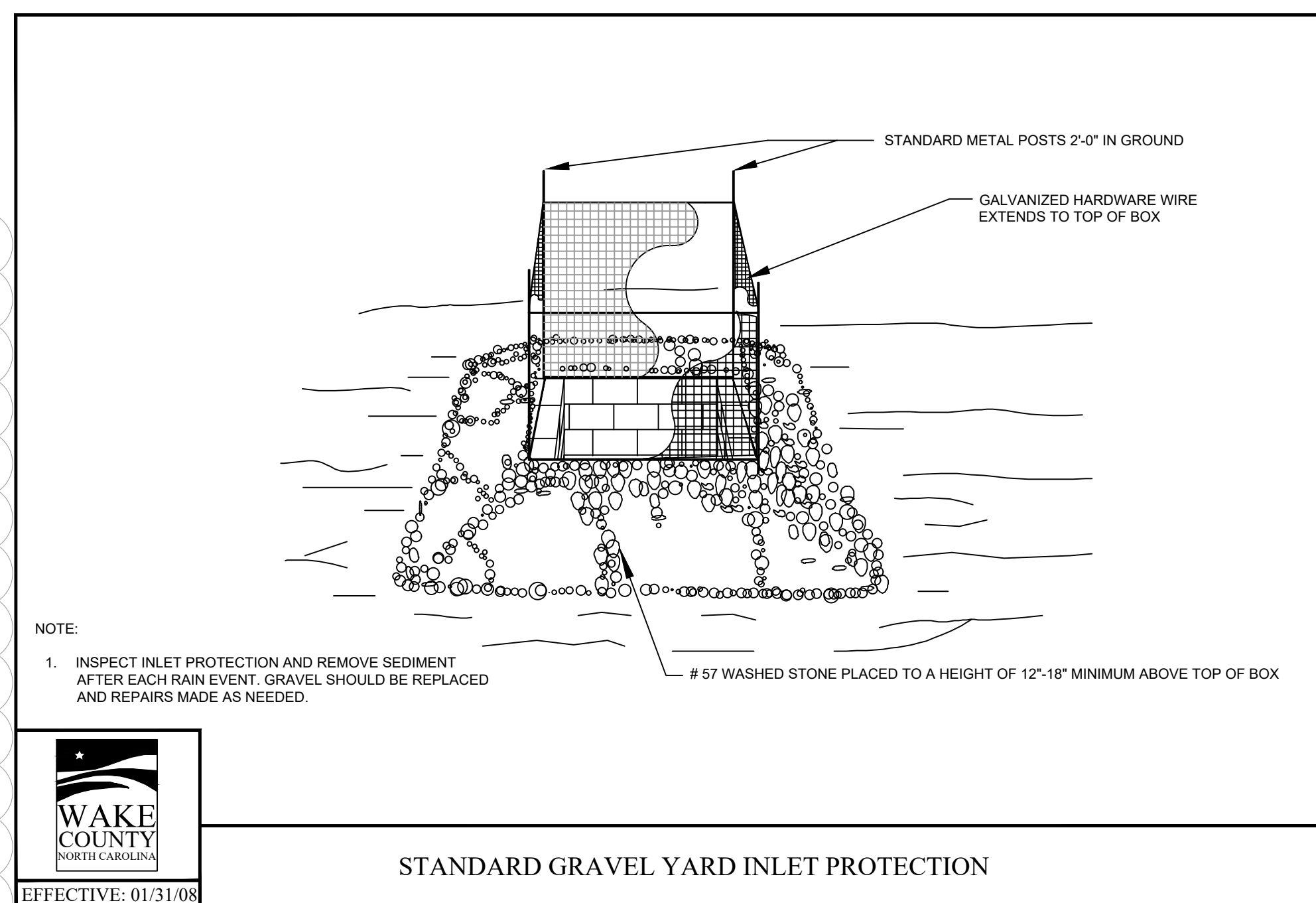
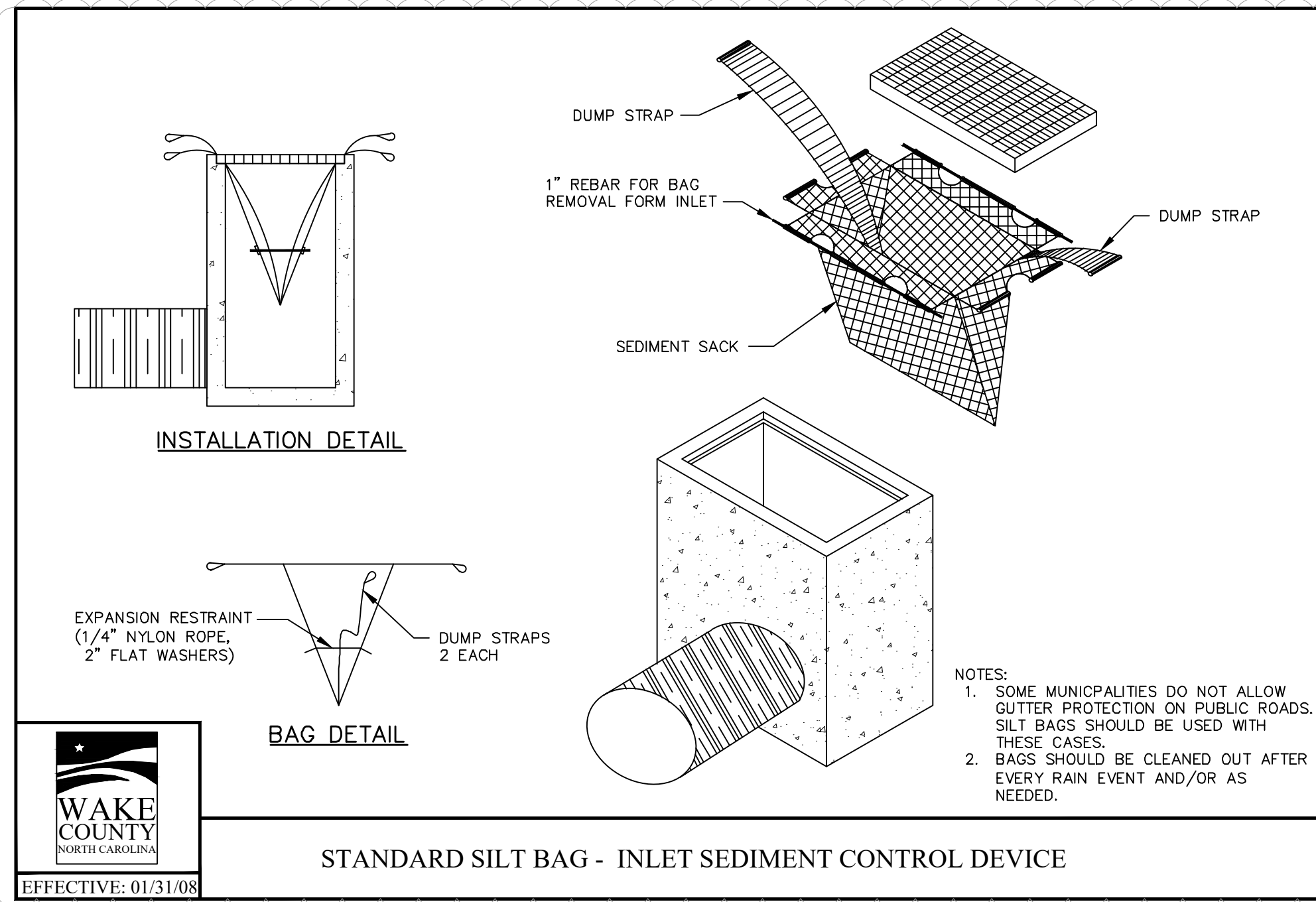
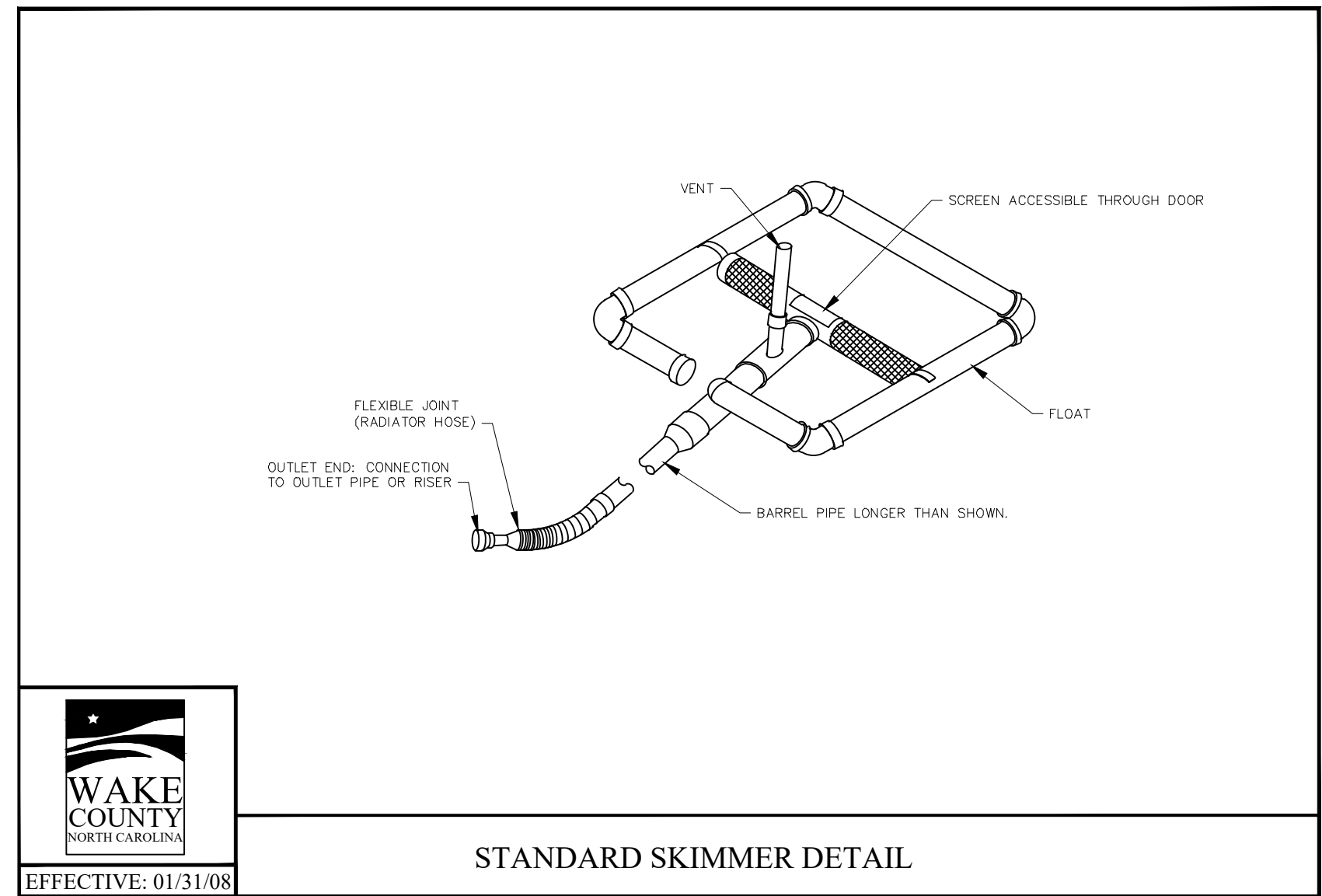
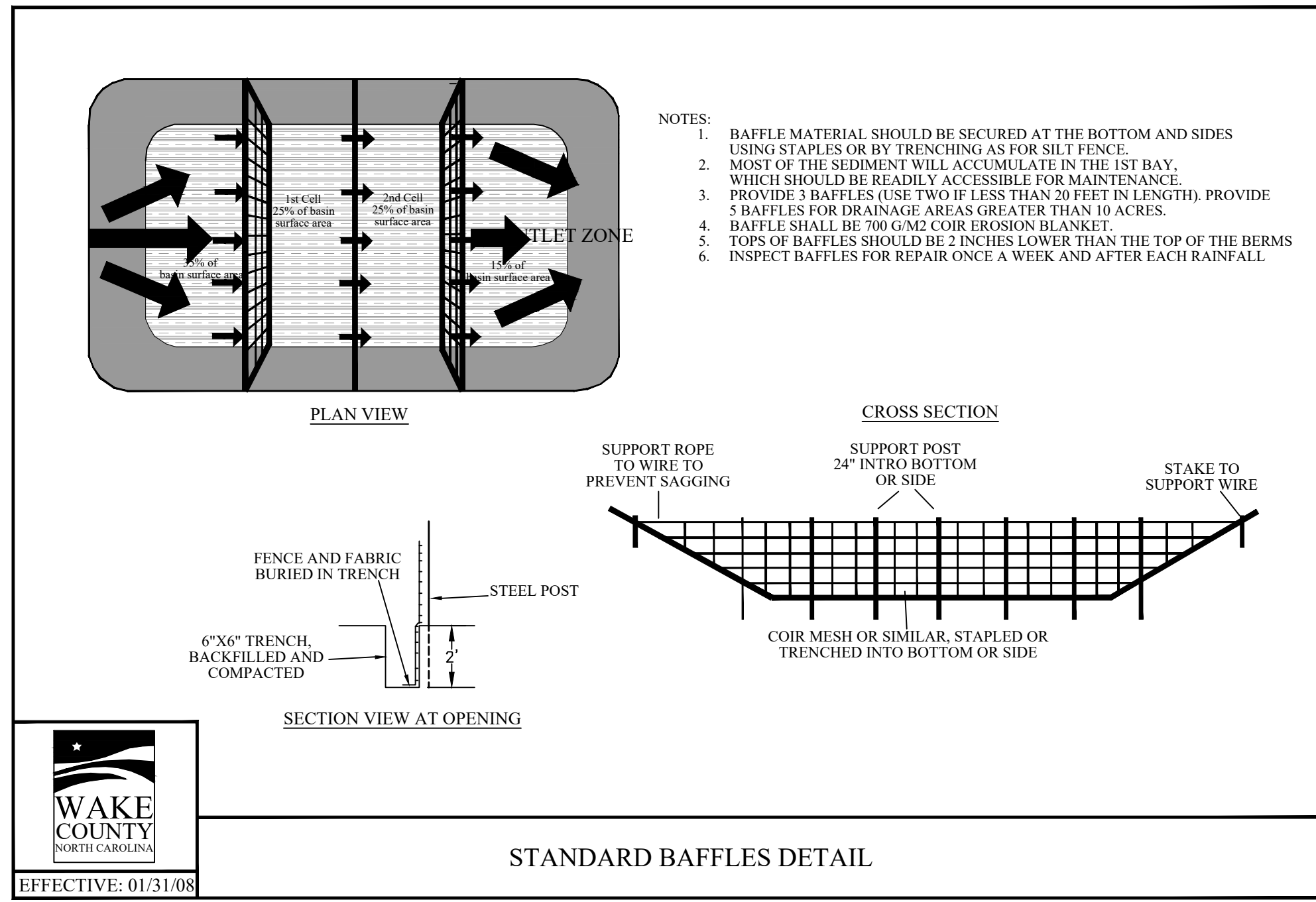
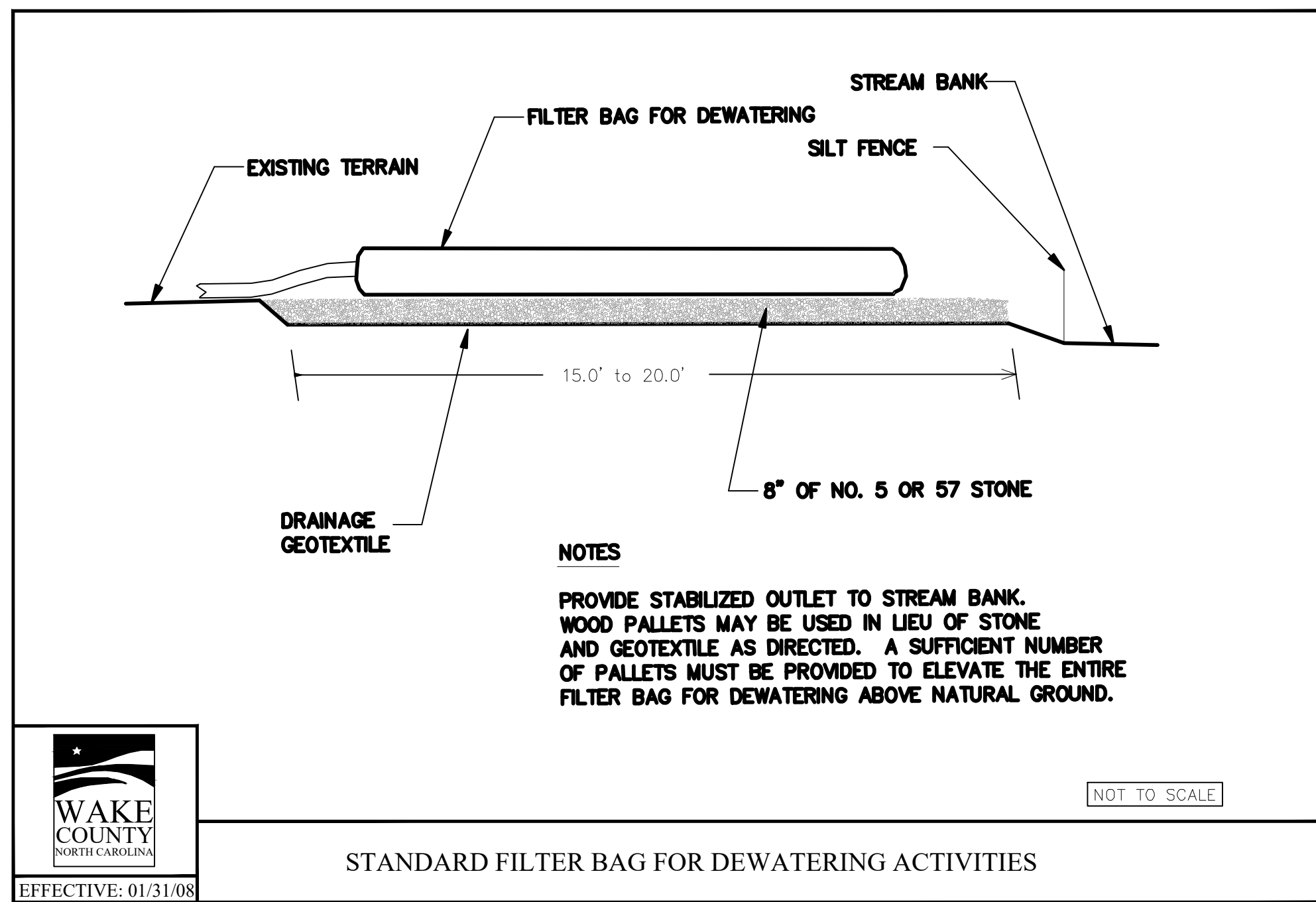
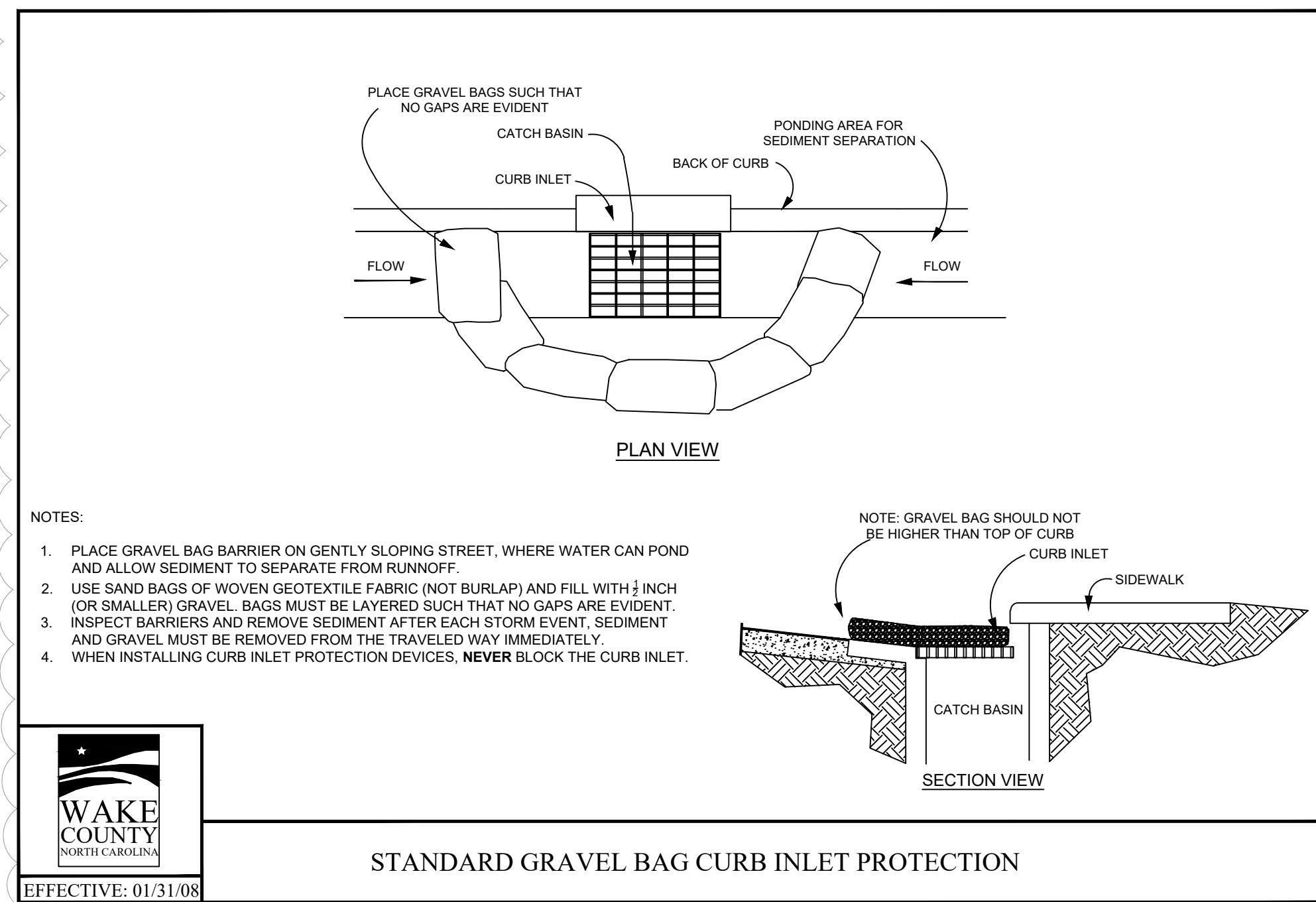
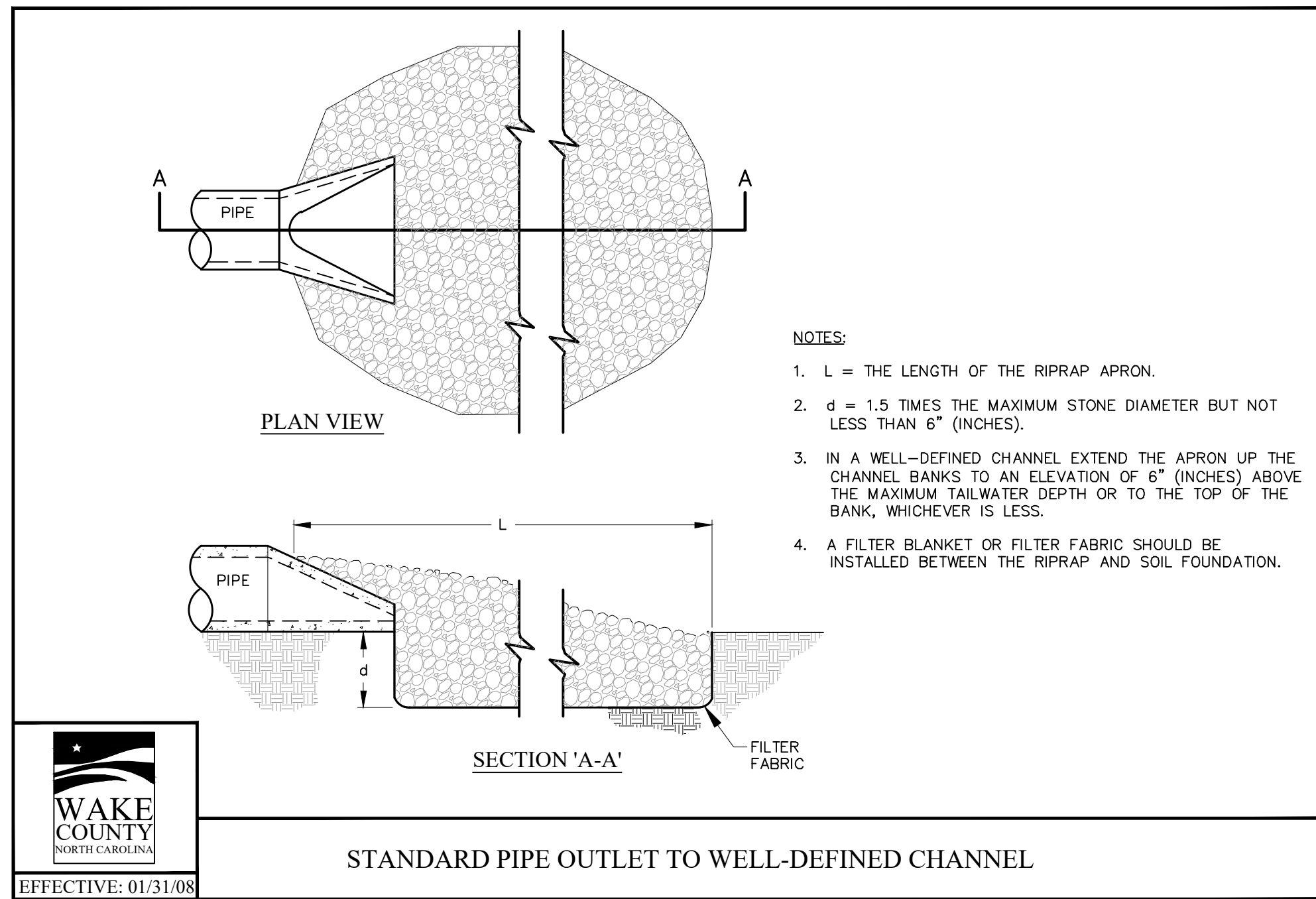
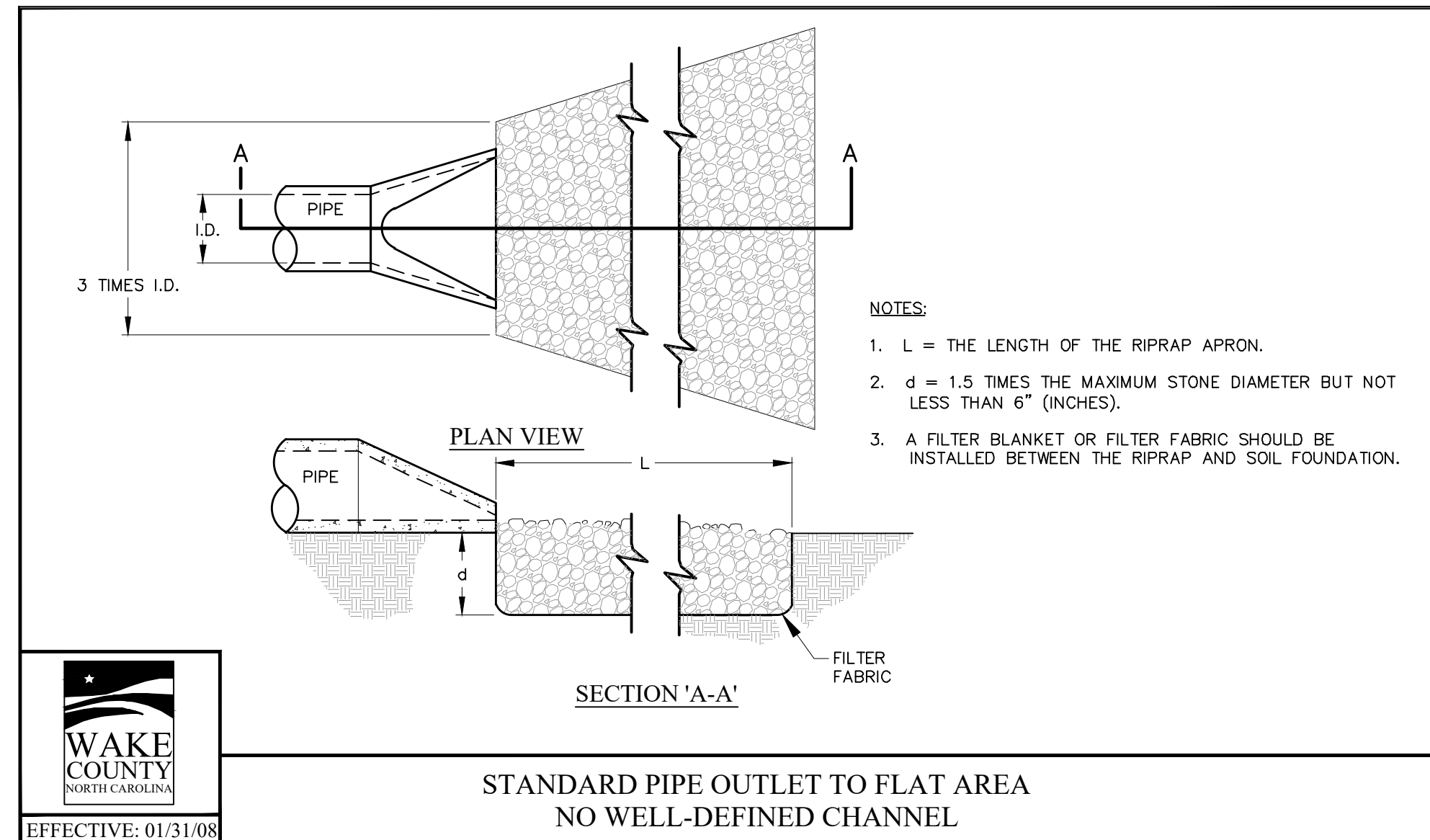
PROJECT No. 2023018

DRAWING No. W-4081

SCALE: AS SHOWN

SHEET No. **C5.21**

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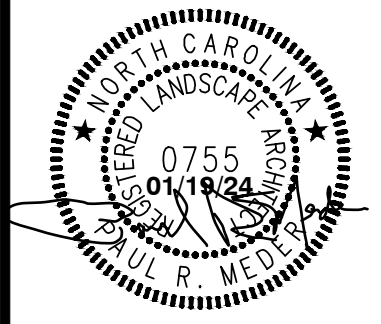


REVISIONS:

NO.	DESCRIPTION	DATE	BY
01/19/24	CONSTRUCTION DRAWINGS SUBMITTAL #3		
12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2		
11/21/23	CLIENT REVIEW		
11/07/23	PRE-REVIEW PLAN		
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1		

DATE:

DESIGNED BY:	JSJ/MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.:	2023018
DRAWING No.:	W-4081
SCALE:	AS SHOWN
SHEET No.:	



LANDSCAPE CALCULATIONS

PARKING LOT:
 SHADE TREES - REQUIRED - 1 CANOPY TREE / 12 OFF-STREET PARKING SPACES
 17 PARKING SPACES = 2 CANOPY TREES REQUIRED
 PROPOSED - 2 CANOPY TREES, ALL PARKING SPACES WITHIN 50' OF A CANOPY TREE TRUNK LOCATION

INTERIOR PLANTINGS -
 REQUIRED - 3 SHRUBS / PARKING LOT ISLAND WHERE CANOPY TREE IS NOT PROVIDED.
 PROPOSED - N/A

PERIMETER PLANTINGS -
 REQUIRED - SINGLE CONTINUOUS ROW OF EVERGREEN SHRUBS (MAX. 3' O.C.) ADJACENT TO PARKING LOT PERIMETER, WITHIN 5' OF PARKING LOT EDGE. PERIMETER PLANTINGS NOT REQUIRED ALONG COMMON BOUNDARY BETWEEN PARKING LOTS.
 PROPOSED - EVERGREEN SHRUB ROW PROVIDED AT PARKING ALONG HENDRICKS DR WITH STREETScape BUFFER. SCREENING PROVIDED BY STREETScape BUFFER FOR JONES STREET.

PERIMETER BUFFERS: REQUIRED - PERIMETER BUFFER PLANTINGS ALONG ADJACENT LOTS. SITE ZONING = HC
 REAR LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (188 LF WITHOUT DRIVEWAY WIDTH)
 NO CANOPY TREES REQUIRED
 1 UNDERSTORY TREE / 100 LF, 188 LF = 8 TREES REQUIRED
 15 SHRUBS / 100 LF, 188 LF = 29 SHRUBS REQUIRED
 PROPOSED - REAR LOT - TYPE 'A' BUFFER
 8 UNDERSTORY TREES PROVIDED, 29 SHRUBS PROVIDED
 SIDE LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (162 LF WITHOUT DRIVEWAY WIDTH)
 NO CANOPY TREES REQUIRED
 1 UNDERSTORY TREE / 100 LF, 162 LF = 7 TREES REQUIRED
 15 SHRUBS / 100 LF, 162 LF = 25 SHRUBS REQUIRED
 PROPOSED - SIDE LOT - TYPE 'A' BUFFER
 7 UNDERSTORY TREES PROVIDED, 25 SHRUBS PROVIDED.

FOUNDATION: REQUIRED - EVERGREEN SHRUBS OR DECORATIVE GRASSES (MIN. 18") LOCATED WITHIN 10' OF BUILDING FOUNDATION WALL VISIBLE FROM PUBLIC STREET, @ 3' O.C.
 PROPOSED - 56 EVERGREEN SHRUBS PROVIDED AT FOUNDATION OF PROPOSED BUILDING WHERE PLANTING IS VIABLE.

SITE LANDSCAPING: REQUIRED - 1 CANOPY TREE / 2,000 SF OF LOT AREA FOR FIRST 20,000 SF OF LOT, 0.91 AC = +/- 39,640 SF, 10 TREES REQUIRED.
 PROPOSED - 11 CANOPY TREES PROVIDED (10 NEW, 1 EXISTING)

STREETScape BUFFERS: REQUIRED - 15' STREETScape BUFFER AT HENDRICKS & JONES ST
 3 CANOPY TREES @ 33' O.C. / 100' REQUIRED
 6 UNDERSTORY TREES @ 16' O.C. / 100' REQUIRED
 20 CANOPY TREES @ 5' O.C. / 100' REQUIRED
 HENDRICKS DR: 213 LF - 37' DRIVEWAY - 52' POND BANK = 124 LF
 3 X 1.24 = 4 CANOPY TREES REQUIRED
 4 NEW CANOPY TREES PROVIDED
 6 X 1.24 = 8 UNDERSTORY TREES REQUIRED
 8 NEW UNDERSTORY TREES PROVIDED
 20 X 1.24 = 25 SHRUBS REQUIRED
 25 NEW SHRUBS PROVIDED
 JONES ST: 187 LF
 3 X 1.87 = 6 CANOPY TREES REQUIRED
 5 NEW, 1 EXISTING CANOPY TREES PROVIDED
 6 X 1.87 = 11 UNDERSTORY TREES REQUIRED
 11 NEW UNDERSTORY TREES PROVIDED
 20 X 1.87 = 38 SHRUBS REQUIRED
 38 NEW SHRUBS PROVIDED

STREET TREES: REQUIRED - ALL TOWN-MAINTAINED STREETS SHALL INCLUDE STREET TREES ALONG BOTH SIDES OF THE STREET WITHIN TREE PITS OR MIN. 5' PLANTING STRIPS. CANOPY TREES SHALL BE PLANTED 45-50' ON CENTER.
 PROVIDED - HENDRICKS DRIVE: 2 NEW CANOPY TREES, 2 EXISTING CANOPY TREES.
 JONES STREET: 5 NEW CANOPY TREES IN NEW PLANTING STRIP.

NATIVE TREES FOR UTILITY ALLOCATION CREDIT:
 PROVIDED - 4 WILLOW OAKS, 6 RED MAPLES (10 TOTAL)

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #3	01/19/24	
2	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
	CLIENT REVIEW	11/21/23	
	TRC REVIEW PLAN	11/07/23	
	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE PLAN

DATE: _____

DESIGNED BY: **SBF**

DRAWN BY: **SBF**

CHECKED BY: **PRM**

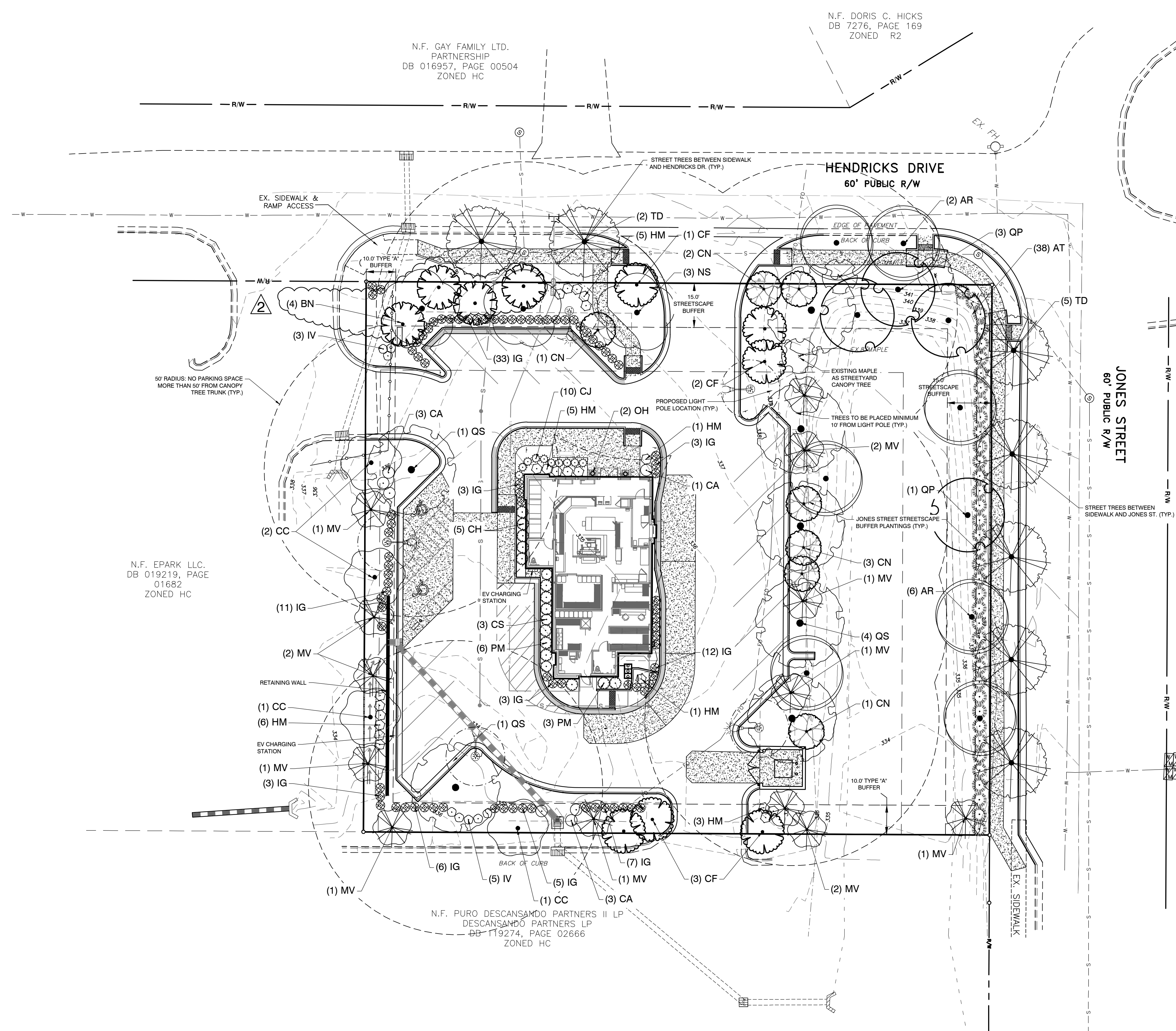
PROJECT No. **2023018**

DRAWING No. **W-4081**

SCALE: **AS SHOWN**

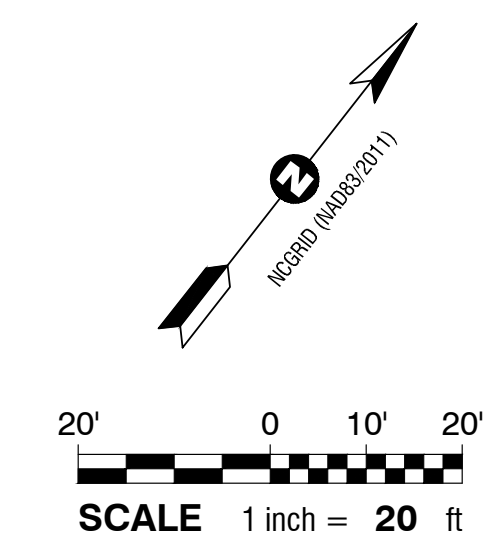
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L1.01



PLANT CODE KEY

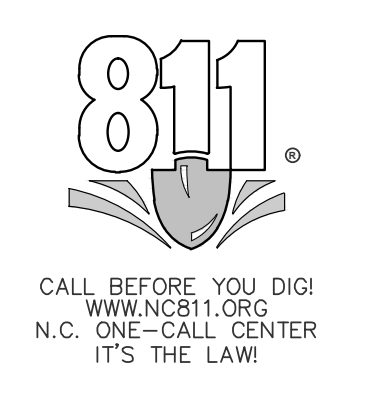
CANOPY TREES	UNDERSTORY TREES	SHRUBS
AR- Acer rubrum 'Autumn Flame' / Red Maple	BN- Betula nigra / River Birch	CS- Camellia sasanqua 'Yuletide' / Sasanqua Camellia
NS- Nyssa sylvatica / Black Gum	CC- Carpinus caroliniana / American Hornbeam	CA- Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet
QP- Quercus phellos / Willow Oak	CN- Cercis canadensis 'Flame Thrower' / 'Flame Thrower' Eastern Redbud	HM- Hydrangea macrophylla 'All Summer Beauty' / Bigleaf Hydrangea
QS- Quercus shumardii / Shumard Oak	CF- Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	IG- Ilex glabra 'Gem Box' / Inkberry Holly 'Gem Box'
TD- Taxodium distichum / Bald Cypress	MV- Magnolia virginiana / Sweet Bay	



NOTES:

1. ALL UNPAVED AREAS OF THE SITE WILL BE COVERED WITH HYBRID TURF TYPE TALL FESCUE SOD OR AGED TRIPLE SHREDDED HARDWOOD MULCH (3" MAX. DEPTH) IN A TYPICAL FASHION FOR THIS TYPE OF PROJECT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



11/19/2023 10:40 AM: DOMINO'S ZEBULON - WAKE COUNTY - NORTH CAROLINA - LANDSCAPE PLAN - L1.01 - LANDSCAPE PLAN - FINAL REVIEW

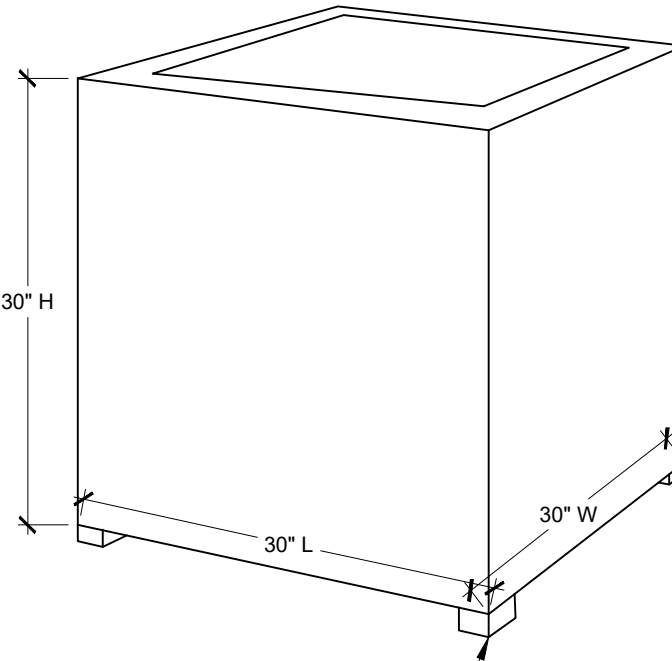
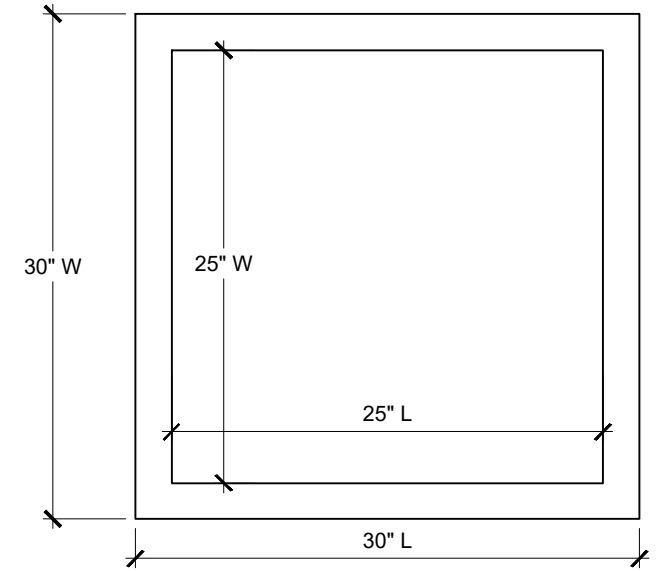
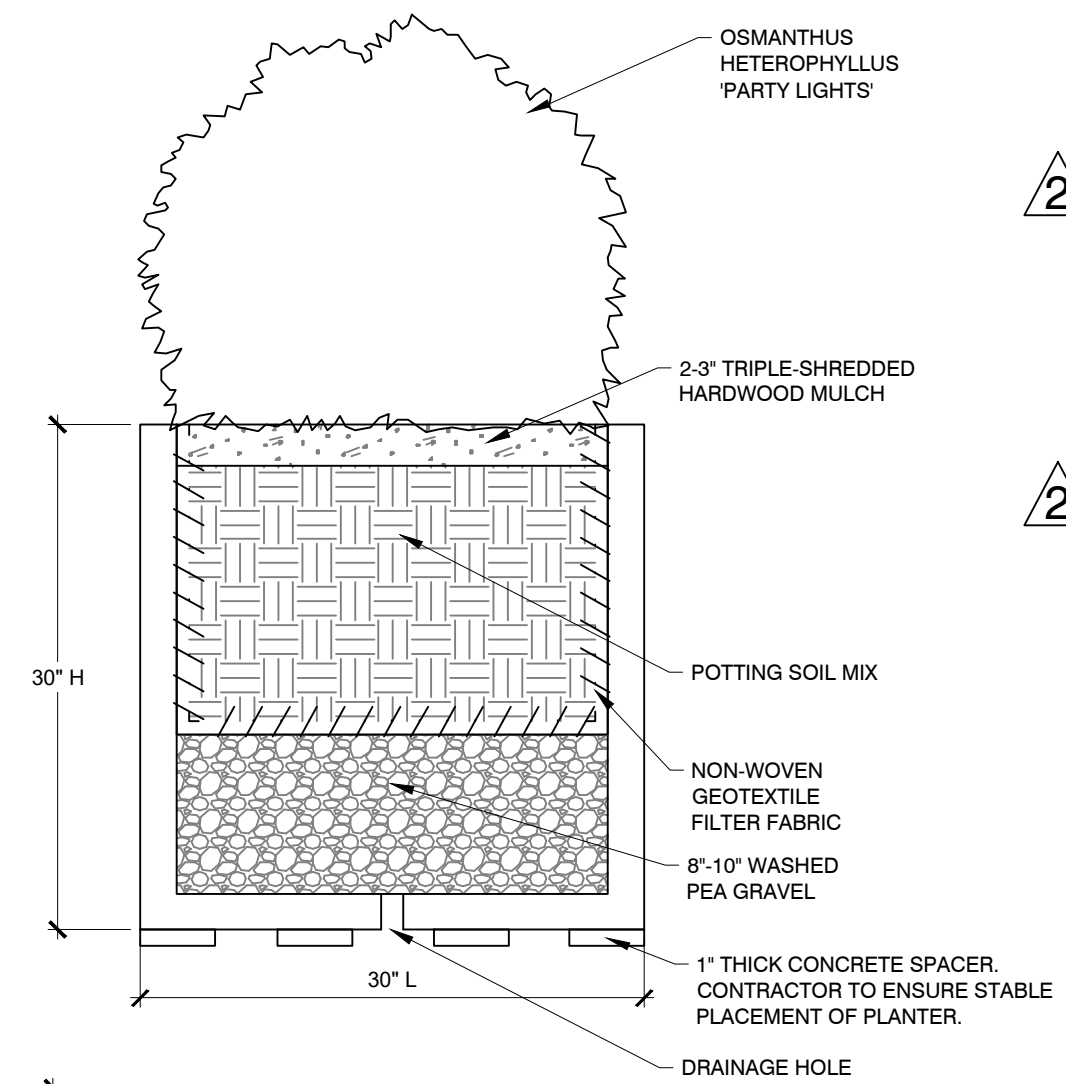
N.F. EPARK LLC.
 DB 019219, PAGE 01682
 ZONED HC

N.F. GAY FAMILY LTD.
 PARTNERSHIP
 DB 016957, PAGE 00504
 ZONED HC

N.F. DORIS C. HICKS
 DB 7276, PAGE 169
 ZONED R2

N.F. CHURCH OF JESUS
 CHRIST OF LATTER-DAY
 DB 2843, PAGE 659
 ZONED R2

N.F. PURO DESCANSANDO PARTNERS II LP
 DESCANSANDO PARTNERS LP
 DB-119274, PAGE 02666
 ZONED HC



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Metropolis Cube 3030 Planter

SKU: GRC-0702



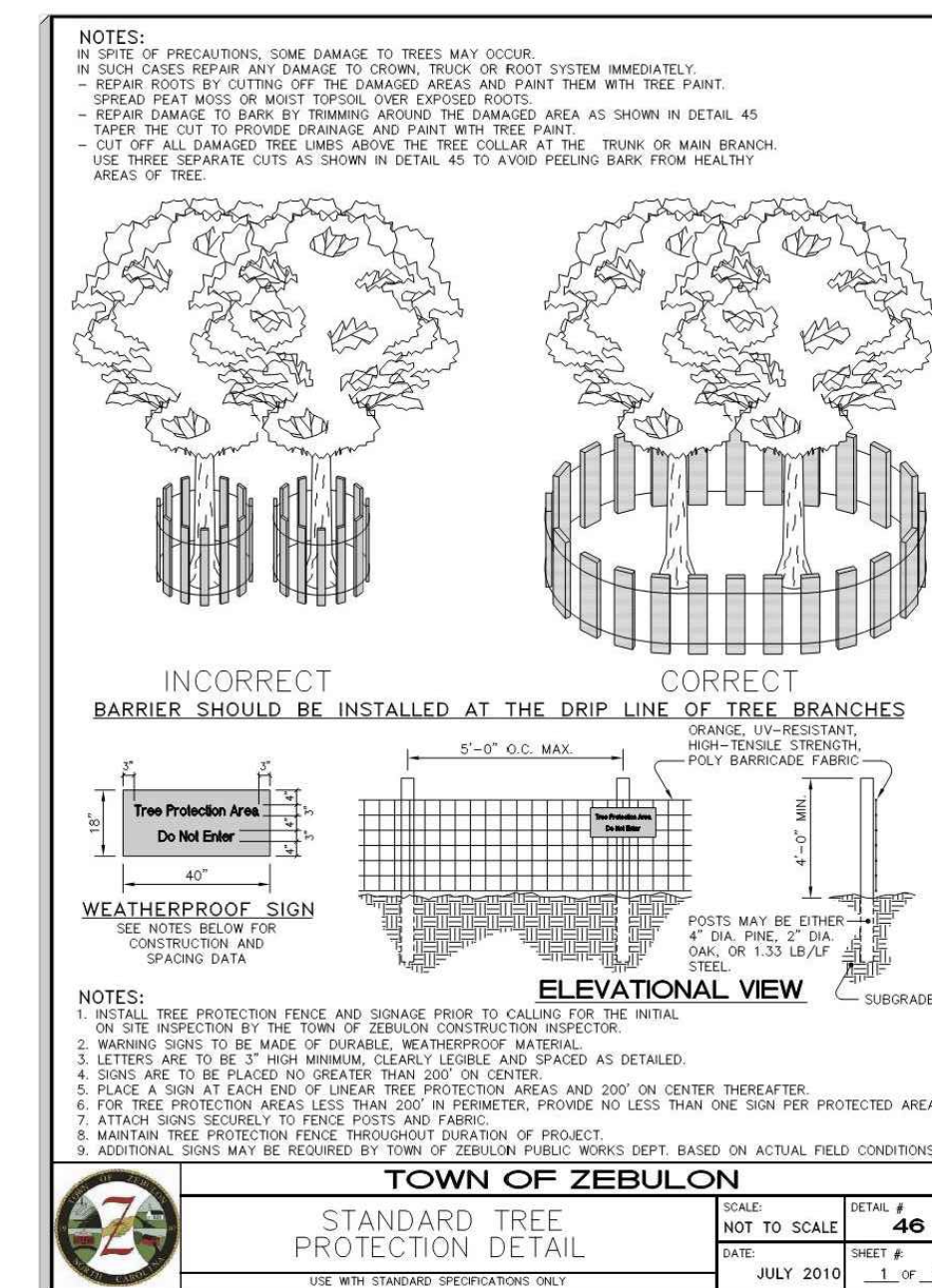
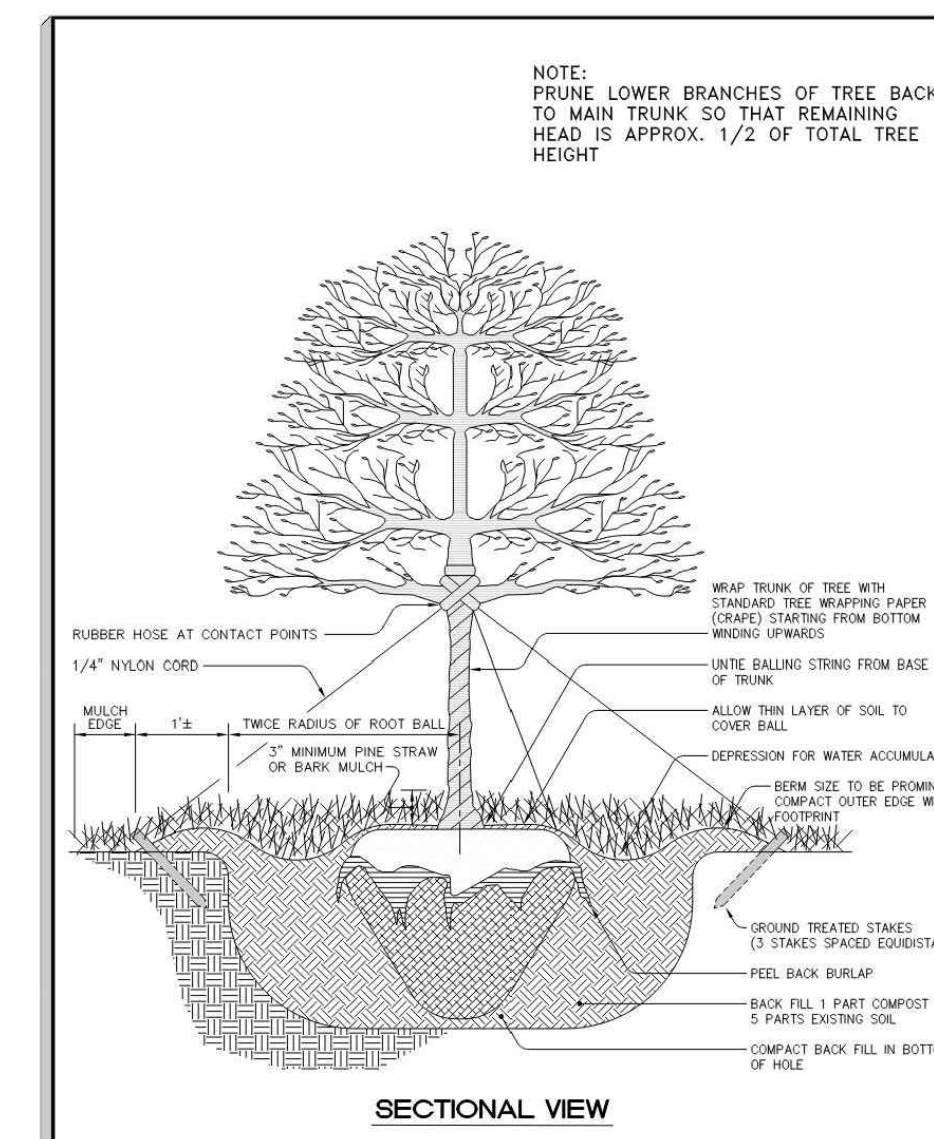
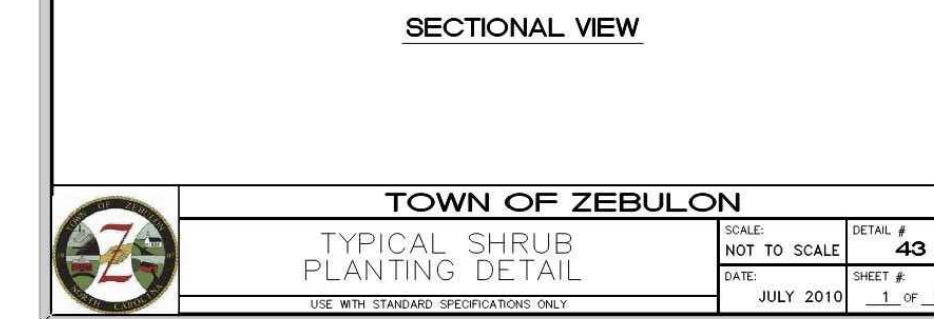
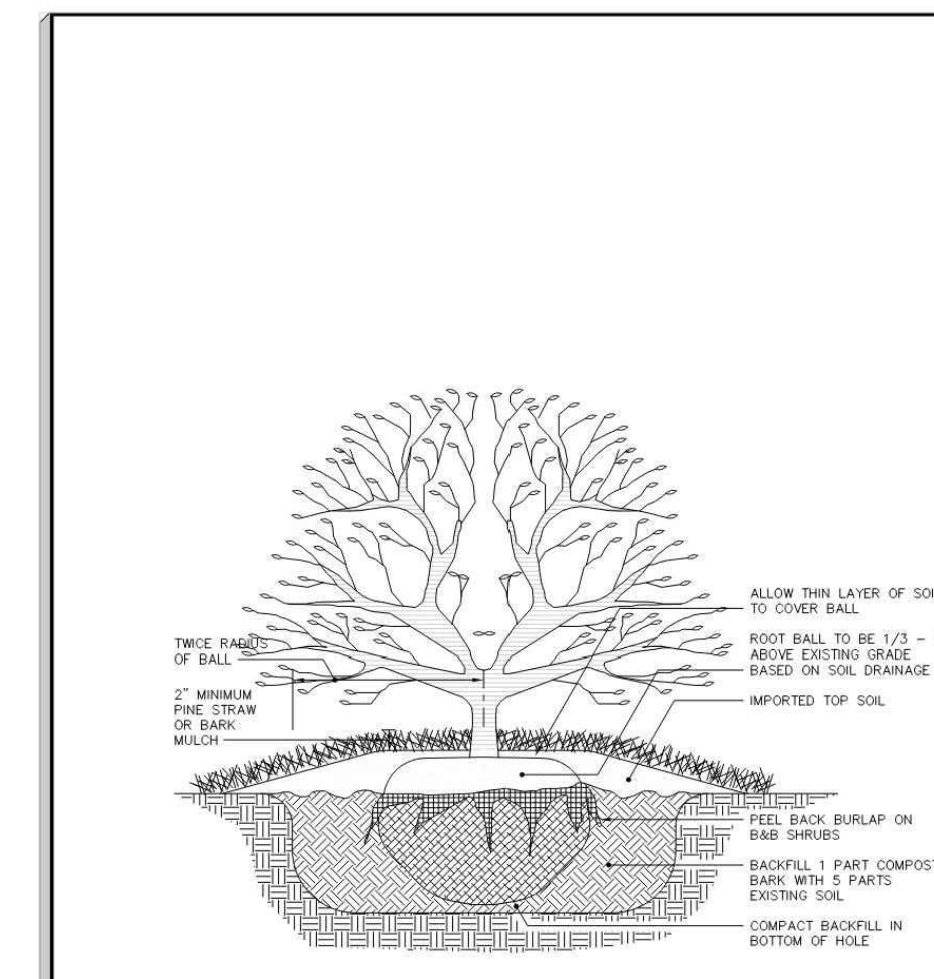
SPECIFICATIONS

- Dimensions: 30\"/>
- Weight: 155 lbs.
- Shown in Alpine Stone (AS)
- Makes a beautiful focal point for your garden setting, either filled with beautiful blooms or greens, or left empty as a wonderful accent piece
- Suitable for Indoor/Outdoor Use
- Available in your choice of classic and distinct finishes
- Finish/Stain is hand applied by trained artisans
- Made of Glass Fiber Reinforced Concrete (GFRC) that mimics the look and feel of cast stone but is significantly lighter
- Features unique designer detail and superior craftsmanship
- Weathers naturally outdoors
- Made in the USA
- Due to the nature of materials used, natural variations can occur in size weight and color

CONCRETE PLANTER

N.T.S.

PLANT_SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY
CANOPY TREES						
AR		Acer rubrum 'Autumn Flame' / 'Autumn Flame' Red Maple	B & B	3\"/>		
NS		Nyssa sylvatica / Black Gum	B & B	3\"/>		
QP		Quercus phellos / Willow Oak	B & B	3\"/>		
QS		Quercus shumardii / Shumard Oak	B & B	3\"/>		
TD		Taxodium distichum / Bald Cypress	B & B	3\"/>		
UNDERSTORY TREES						
BN		Betula nigra / River Birch	B & B	2\"/>		
CC		Carpinus caroliniana / American Hornbeam	B & B	2\"/>		
CN		Cercis canadensis 'Flame Thrower' / 'Flame Thrower' Eastern Redbud	B & B	2\"/>		
CF		Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	B & B	2\"/>		
MV		Magnolia virginiana / Sweet Bay	B & B	2\"/>		
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE	QTY
SHRUBS						
CS		Camellia sasanqua 'Yuletide' / Sasanqua Camellia	7 gal	SEE PLAN	36\"/>	
CA		Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet	3 gal	SEE PLAN	36\"/>	
HM		Hydrangea macrophylla 'All Summer Beauty' / Bigleaf Hydrangea	3 gal	SEE PLAN	36\"/>	
IG		Ilex glabra 'Gem Box' / Inkberry Holly 'Gem Box'	3 gal	3' O.C.	36\"/>	
IV		Itea virginica / Virginia Sweetspire	3 gal	3' O.C.	36\"/>	
PM		Podocarpus macrophyllus var. 'Maki' / Shrubby Podocarpus	5 gal	SEE PLAN	36\"/>	
AT		Rhododendron 'Conleq' / 'Autumn Twist' Azalea	5 gal	5' O.C.	36\"/>	
CJ		Cryptomeria Japonica 'Globosa Nana' / Dwarf Cryptomeria	3 gal	3' O.C.	36\"/>	
OH		Osmanthus heterophyllus 'Party Lights' / 'Party Lights' Osmanthus	5 gal	Located in Concrete Planter	24\"/>	



PLANTING NOTES:

- ALL PLANTINGS SHALL COMPLY WITH CURRENT LOCAL ORDINANCES AND GUIDELINES.
- THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER SCHEDULE. HOWEVER, CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR SHALL CONTACT OWNER AND LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
- REFER TO PLANTING DETAILS FOR ADDITIONAL PLANTING INFORMATION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT WATERING AND MAINTENANCE, INCLUDING SHRUBS AND GROUND COVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION, THROUGHOUT GUARANTEE PERIOD.
- CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN.
- ALL SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE ADJUSTED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- PLANTING SIZE DETERMINATION:
 - TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 1\"/>
 - ALL PLANTS SHALL BE FRESHLY DUG OR IN GROW POTS, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL BE WELL ROOTED.
- FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPEDE DRAINAGE AWAY FROM BUILDINGS. IF SIGNIFICANT RELOCATIONS ARE REQUIRED, CONTRACTOR SHALL CONTACT THE OWNER AND LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER AND LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY FOR PLANT MATERIALS AND STORMWATER DAMAGE.
- FIELD LOCATE AND VERIFY UNDERGROUND UTILITIES LOCATIONS PRIOR TO PLANTING. FINAL TREE LOCATIONS TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES, LIGHTING AND DRIVEWAY LOCATIONS WHERE POSSIBLE. CONTACT LANDSCAPE ARCHITECT FOR A COORDINATED SOLUTION FOR ANY UTILITY CONFLICTS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- TREES SHALL BE STAKED WITH AN AT GRADE TREE STAKING SYSTEM. STAKING MUST BE REMOVED AS SOON AS POSSIBLE OR WITHIN ONE (1) YEAR OF PLANTING. MULCH SHALL BE APPLIED IN AN EVEN THREE INCH (3\") TO FOUR INCH (4\") LAYER AROUND THE TREE PIT IN ACCORDANCE WITH ACCEPTED PRACTICES IN THE LANDSCAPE INDUSTRY.
- CONTRACTOR SHALL NOT PLACE MULCH IN CONTACT WITH THE TRUNKS OF TREES OR SHRUBS.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- THE ROOT CROWN SHALL BE TWO INCHES (2\") TO FOUR INCHES (4\") ABOVE FINISHED GRADE (AFTER SETTLING) FOR SHRUBS AND ONE QUARTER (1/4) TO ONE HALF (1/2) THE BALL DEPTH ABOVE FINISH GRADE (AFTER SETTLING) FOR TREES.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND THE LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED.
- THE PROPERTY OWNER AND/OR LESSEE SHALL, UPON COMPLETION OF THE GUARANTEE PERIOD AND FINAL ACCEPTANCE OF THE LANDSCAPE MATERIALS, MAINTAIN ALL LANDSCAPE MATERIALS AND LANDSCAPE AREAS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MOWING, FERTILIZING, TREATING PESTS, MULCHING, PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS. MAINTENANCE SHALL BE PERFORMED ON A REGULAR BASIS IN ORDER TO MAINTAIN PLANT VIGOR AND STABILITY AND TO PRESENT A NEAT AND WELL-KEPT APPEARANCE AT ALL TIMES.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT AT LEAST TO WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- ALL TREES AND SHRUBS SHALL MEET THE NORMAL REQUIREMENTS FOR THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMAN (AAN) OR AMERICANHORT, ANSI Z601.
- MULCH SHALL BE FREE OF DEBRIS AND WOOD CHIPS. IT SHALL CONSIST OF AGED TRIPLE-SHREDDED HARDWOOD MULCH, FREE OF EXCESS TANIC ACID OR OTHER MULCH AS SPECIFIED ON THE PLANS. SAMPLES OF MULCH SHALL BE PROVIDED FOR THE THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO DELIVERING THE MULCH. THE OWNER RESERVES THE RIGHT TO REJECT ANY MULCH WHICH IS CONSIDERED TO BE UNSUITABLE. ALL MULCHES SHALL BE FREE OF ANY FOREIGN MATERIALS, PIECES LARGER THAN 6 INCHES, AND/OR GREEN WOOD.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL. REMOVE ALL SYNTHETIC MATERIALS: BURLAP, STRAPPING, CORDAGE, ETC. PRIOR TO BACKFILLING ALL PLANT MATERIALS.
- NO PLANTING IDENTIFIED AS REACHING A MATURE HEIGHT OF MORE THAN TWENTY FEET (20') SHALL BE PLACED WITHIN A TRANSMISSION POWER LINE RIGHT-OF-WAY OR WITHIN TEN FEET (10') OF AN OVERHEAD UTILITY LINE.
- TREES WHICH OVERHANG THE PEDESTRIAN CIRCULATION ROUTES AT THE STREETS, SIDEWALKS OR WITHIN OPEN SPACE AREAS SHALL NOT EXTEND GREATER THAN FOUR INCHES INTO THE CIRCULATION ROUTE AT A HEIGHT LESS THAN 80 INCHES ABOVE THE ADJACENT GRADE. ALL TREES SHALL BE LIMBED TO PROVIDE 80 INCHES OF CLEARANCE AT WALKWAYS TO MEET A.D.A AND ANSI Z601. REQUIREMENTS.

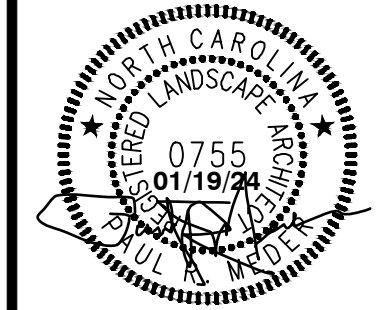
NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND MATERIAL OF EXISTING SITE AND VICINITY FEATURES AND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND BETWEEN THE EXISTING FIELD CONDITIONS AND THE SITE PLANS OR CONSTRUCTION DRAWINGS, WHENEVER THEY ARE FOUND, DURING ALL PHASES OF SITE WORK.
- THE PRUNING OF SCREENING SHRUBS SHALL ALLOW FOR LATERAL GROWTH OF BRANCHES SO AS TO FORM A HEDGE.
- ALL LANDSCAPE ISLANDS, BEDS AND LAWNS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- CONTRACTOR SHALL PLANT TREES AND SHRUBS 5 FEET FROM BACK OF CURB WHEN PLANTED PERPENDICULAR FROM PARKING SPACES.
- WHEEL STOPS ARE REQUIRED IF LANDSCAPING CANNOT BE SET BACK 5 FEET.
- CONTRACTOR SHALL INSTALL ALL SHRUBS IN MULCHED BEDS.
- CONTRACTOR SHALL INSTALL ALL TREES IN MINIMUM 4-6\"/>
- WHERE TREES AND SHRUBS ARE LOCATED TOGETHER IN LANDSCAPE BUFFERS, THE CONTRACTOR SHALL MULCH THE FULL WIDTH AND LENGTH OF THE BUFFER.
- ALL UN-MULCHED AREAS OF THE SITE SHALL BE SEEDED WITH LAWN GRASS. GRASS SEED SELECTION SHALL BE SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASE AND INSTALLATION.



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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.



REVISIONS:

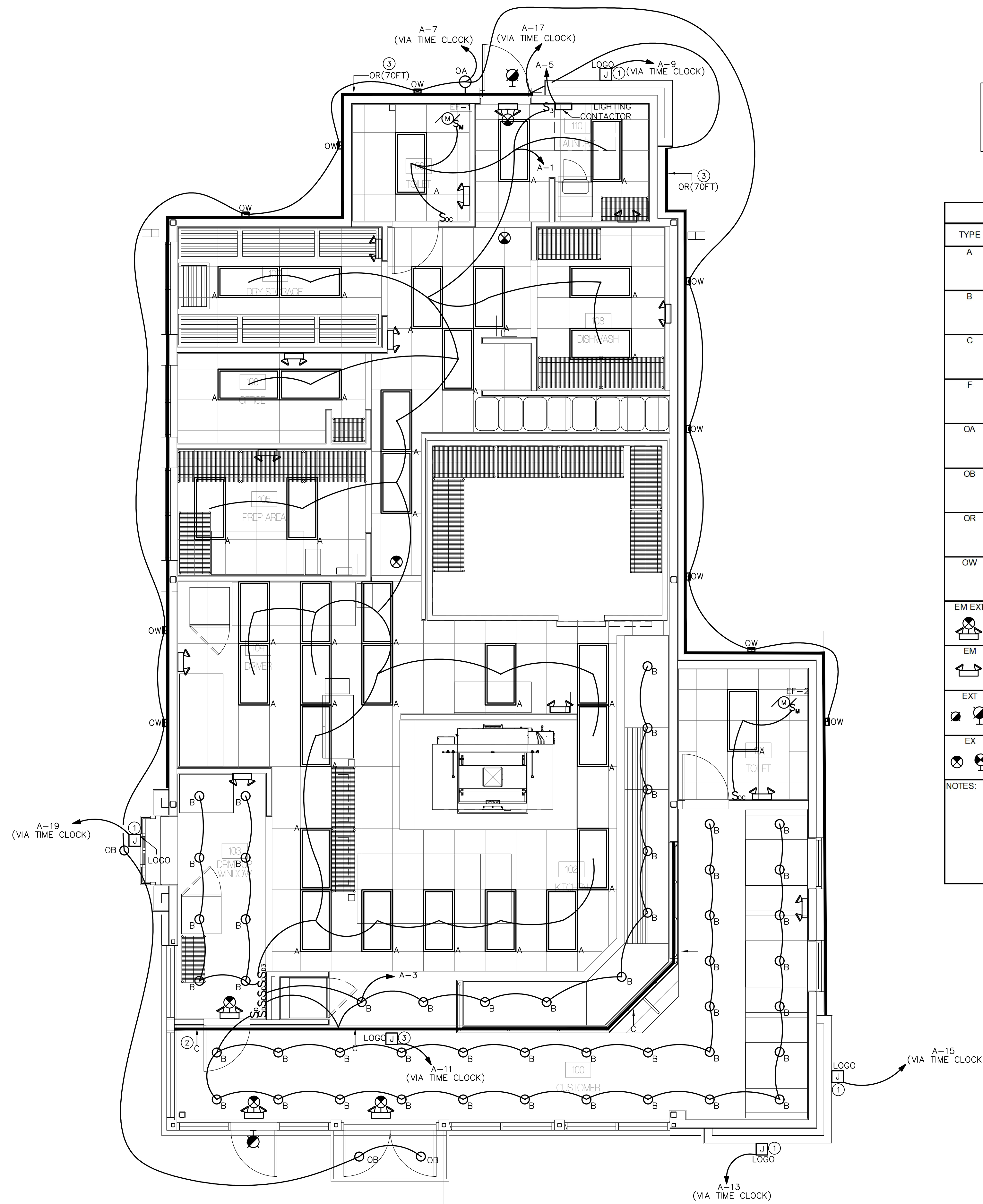
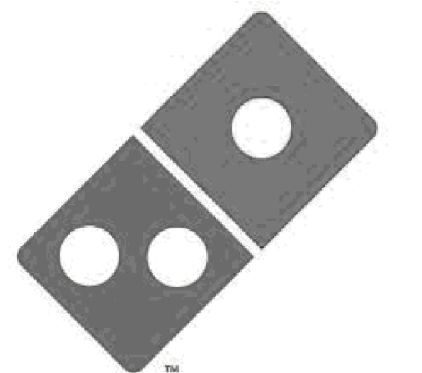
NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #3	07/19/24	
2	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
3	CLIENT REVIEW	11/21/23	
4	TRG REVIEW PLAN	11/07/23	
5	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

DOMINO'S ZEBULON

CONSTRUCTION DRAWINGS
TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE NOTES, PLANT SCHEDULE, & DETAILS

DATE:
DESIGNED BY: SBF
DRAWN BY: SBF
CHECKED BY: PRM, JSJ
PROJECT No. 2023018
DRAWING No. W-4081
SCALE: AS SHOWN
SHEET No.

L1.02



1 FLOOR PLAN - LIGHTING
E101 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- ALL EMERGENCY/EXIT LIGHTS CONNECTED TO LOCAL CIRCUIT AHEAD OF ALL CONTROLS.
 - REFER TO E101/2 FOR TIME CLOCK CONTROLS
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT HEIGHTS OF LOGO SIGNS PRIOR TO ROUGH-IN.
 - INSTALL OUTSIDE LIGHTING AND LOGOS CONTROLS ABOVE PANEL A.

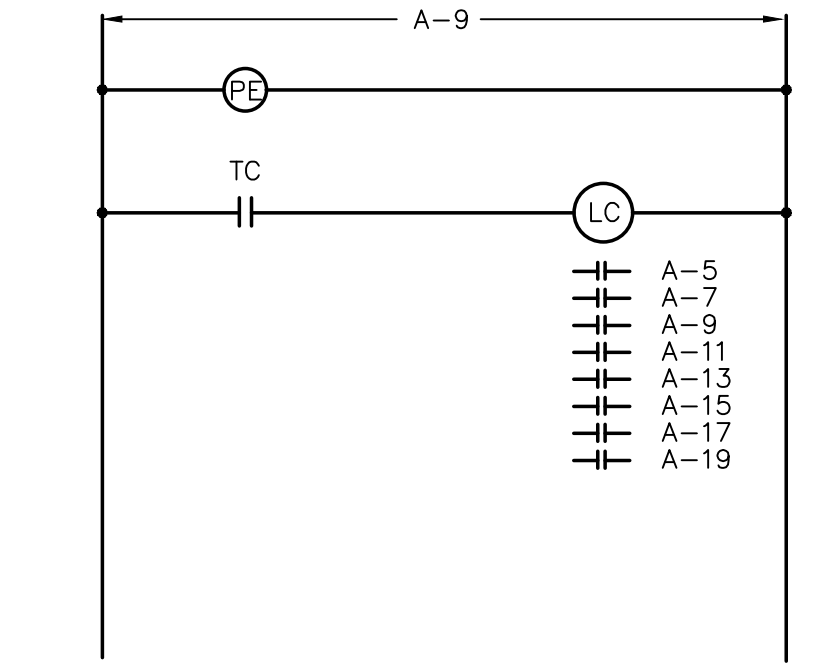
KEY NOTES:

- COORDINATE WITH ARCHITECTURAL DRAWINGS (A-201 & A-202) ON EXACT HEIGHT AND LOCATION OF ALL DOMINOS LOGO SIGNS ON IDENTIFIED SIDE OF BUILDING. PROVIDE ONE 4"x4" J-BOX BEHIND EACH LETTER AND LOGO, AND CONNECT TO SINGLE J-BOX 6" ABOVE LAY-IN CEILING.
- INSTALL TYPE "C" TAPE LIGHT IN SOFFIT ABOVE ORDER CASHIER AND ORDER STATIONS.
- INSTALL TYPE "OR" ROPE LIGHT ABOVE THE PRE-FORMED CLADIFY ACCENT BAND. COORDINATE WITH ARCHITECT TO VERIFY LOCATION PRIOR TO ROUGH-IN.

AUTOMATIC CONTROLS ARE NOT RECOMMENDED IN KITCHEN AND PREP AREAS PER IECC C405.2.2 & C405.2.1.1 EXEMPTIONS, AS A CONCERN FOR OCCUPANT HEALTH AND SAFETY REASONS.

LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	BALLAST / DRIVER	LAMPS / LUMENS	VOLTS	WATTS
A	METALUX	24GR-LD5-48-F1-UNV-L835-CD1	RECESSED 2X4 ACRYLIC LAY-IN LED FIXTURE. WHITE BAKED ENAMEL FINISH.	ELECTRONIC	LED 3500K 4800 LUMENS	120/277	37.4
B	HALO	PF620ED010-PDM6A835-61VC	6" APERTURE RECESSED LED DOWNLIGHT	ELECTRONIC	LED 3500K 1500 LUMENS	120/277	20.8
C	WAC LIGHTING	LED-T-5-WT	LED TAPE LIGHT (5FT LONG SEGMENTS)	ELECTRONIC	LED 3500K 90 LUMENS/FT	120V	2/FT
F	PRENTALUX	PRLX-413-FR-120-XX-GHL-TFIN-DS-XX	SUSPENDED PENDANT LED CYLINDER. FINISHES SELECTED BY OWNER, SUSPEND AT 7' ABOVE FINISHED FLOOR.	ELECTRONIC	LED 3500K 800 LUMENS (A-19 LED BULD)	120/277	15
OA	LUMARK	LDWP-FC-6B-ED-7040	LED WALL PACK, DIE CAST ALLUMNUM HOUSING, BRONZE FINISH, BOROSILICATE PRISMATIC GLASS, WET LOCATION LABEL.	ELECTRONIC	LED 4000K 3137 LUMENS	120/277	46
OB	HALO	SMD6R-12-9S-WH	6" DIA SURFACE MOUNTED LED DOWNLIGHT WET LOCATION LABEL AIR TIGHT FIXTURE	ELECTRONIC	LED 4000K 1200 LUMENS	120/277	18
OR	OWNER SPECIFIED	TBD	WEATHER PROOF LED ROPE LIGHT. COORDINATE WITH OWNER ON TYPE AND COLOR NEEDED.	ELECTRONIC		120	8W PER FT MAX
OW	KIM LIGHTING	CY1-15-4K7-1-SP-UNV-XX-R	WEATHER PROOF, EXTERIOR WALL WASH, WALL MOUNTED SPOT LIGHT. COORDINATE WITH OWNER ON FIXTURE FINISH.	ELECTRONIC	LED 4000K 1796 LUMENS	120	17.32
EM EXT	SURE-LITES	LPXC25-SD-DLVP	WALL MOUNTED COMBO EMERGENCY/EXIT LED LIGHT WITH POLYCARBONATE HOUSING WITH SELF CONTAINED POWERPACK FOR 90 MIN. OPERATION. LEAD CALCIUM BATTERY. WHITE HOUSING. RED LETTERS.	ELECTRONIC	LED FOR FACE, DOUBLE LED HEADS	120	2.2
EM	SURE-LITES	SEL25SD	WALL MOUNTED LED EMERGENCY LIGHT. SELF CONTAINED POWERPACK FOR 90 MIN OPERATION. WHITE HOUSING. RED LETTERING.	ELECTRONIC	DOUBLE LED	120	0.6
EXT	SURE-LITES	SELWT-29-WH-SD	WET LOCATION WALL MOUNTED LED EMERGENCY LIGHT. SELF CONTAINED POWER PACK WITH SELF-DIAGNOSTICS	ELECTRONIC	LED	120	2
EX	SURE-LITES	LXP-7-SD	UNIVERSAL MOUNTED LED DIRECTIONAL EXIT SIGN	ELECTRONIC	LED	120	1.2

- NOTES:**
- SUBSTITUTIONS MUST BE EQUAL IN CONSTRUCTION, FINISH, ENERGY USAGE AND PHOTOMETRY. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER, WITH CUTSHEETS AND PHOTOMETRY. THE ENGINEER MUST RECEIVE THESE WITH TIME ALLOWED TO REVIEW AND ISSUE A WRITTEN APPROVAL BACK TO THE SUBMITTING PARTY TEN(10) DAYS PRIOR TO BID. SUBSTITUTE FIXTURES SHALL BE LISTED SEPARATELY AND UNIT PRICED AT TIME OF BID, SO THAT THE ENGINEER AND OWNER CAN MAKE AN INFORMED DECISION. NO SUBSTITUTIONS WILL BE CONSIDERED AFTER THE 10 DAY PRIOR BID PROCESS ENDED.
 - SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS.
 - SUSPEND FOUR CORNERS WITH WIRE TO STRUCTURE. DO NOT ALLOW GRID ALONE TO SUPPORT FIXTURE.
 - FIXTURE FLANGES AND TRIMS SHALL MATCH CEILING TYPES.

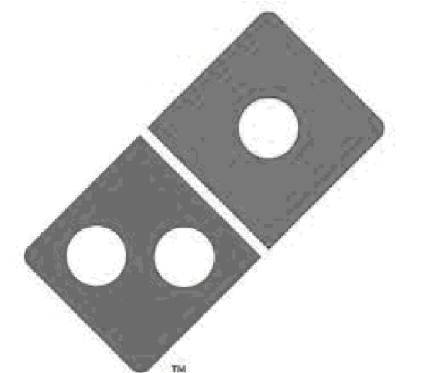


2 LIGHTING CONTROL SCHEMATIC
E101 NO SCALE

- LC LIGHTING CONTACTOR, 8-POLE, 30A CONTACTS NEMA 1 ENCLOSURE.
- PE PHOTOCELL IN NEMA 3R ENCLOSURE MOUNTED ON ROOF FACING NORTH.
- TC TIME CLOCK MOUNTED NEXT TO LIGHTING CONTACTOR

4. MOUNT LOGO SIGN ON FACE OF SOFFIT.

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ZEBULON, NORTH CAROLINA

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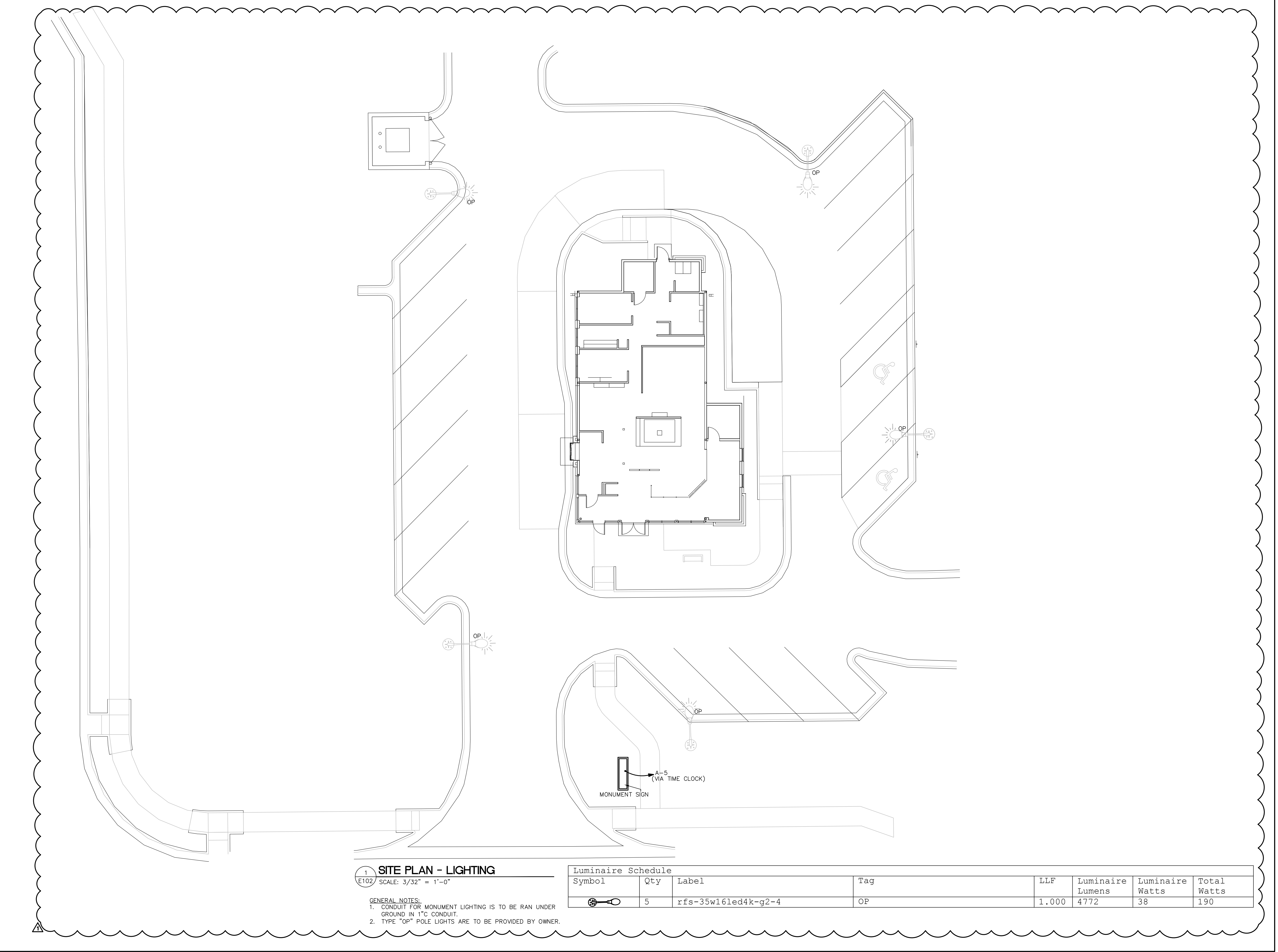
Issue Dates:

No. Date: Description:

1 01-17-2024 Code Comment

SITELIGHTING PLAN

E102



1 SITE PLAN - LIGHTING
E102 SCALE: 3/32" = 1'-0"

- GENERAL NOTES:**
- CONDUIT FOR MONUMENT LIGHTING IS TO BE RAN UNDER GROUND IN 1" CONDUIT.
 - TYPE "OP" POLE LIGHTS ARE TO BE PROVIDED BY OWNER.

Luminaire Schedule							
Symbol	Qty	Label	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	5	rfs-35w16led4k-g2-4	OP	1.000	4772	38	190

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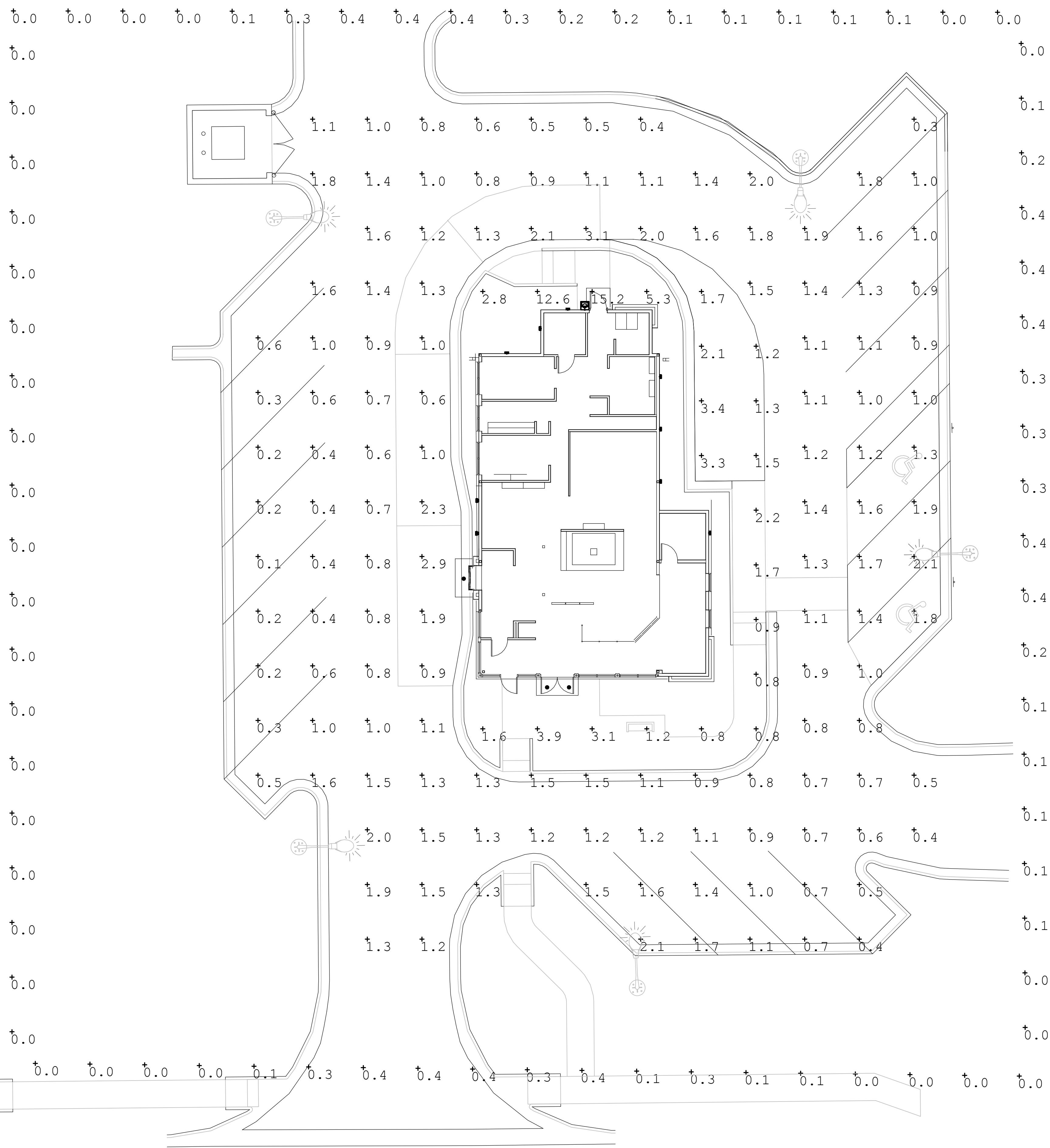
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 ▲ 01-17-2024 Code Comment

SITE PHOTOMETRIC PLAN

NEW DRAWING ▲

E103



1 SITE PLAN - PHOTOMETRICS
E103 SCALE: 3/32" = 1'-0"

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	
BUILDING EXTERIOR	Illuminance	Fc	3.21	15.2	0.8	
PARKING LOT	Illuminance	Fc	1.12	3.1	0.1	
PROPERTY LINE	Illuminance	Fc	0.13	0.4	0.0	

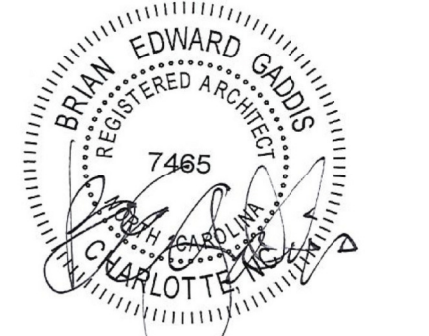


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06.07.23
10.05.23

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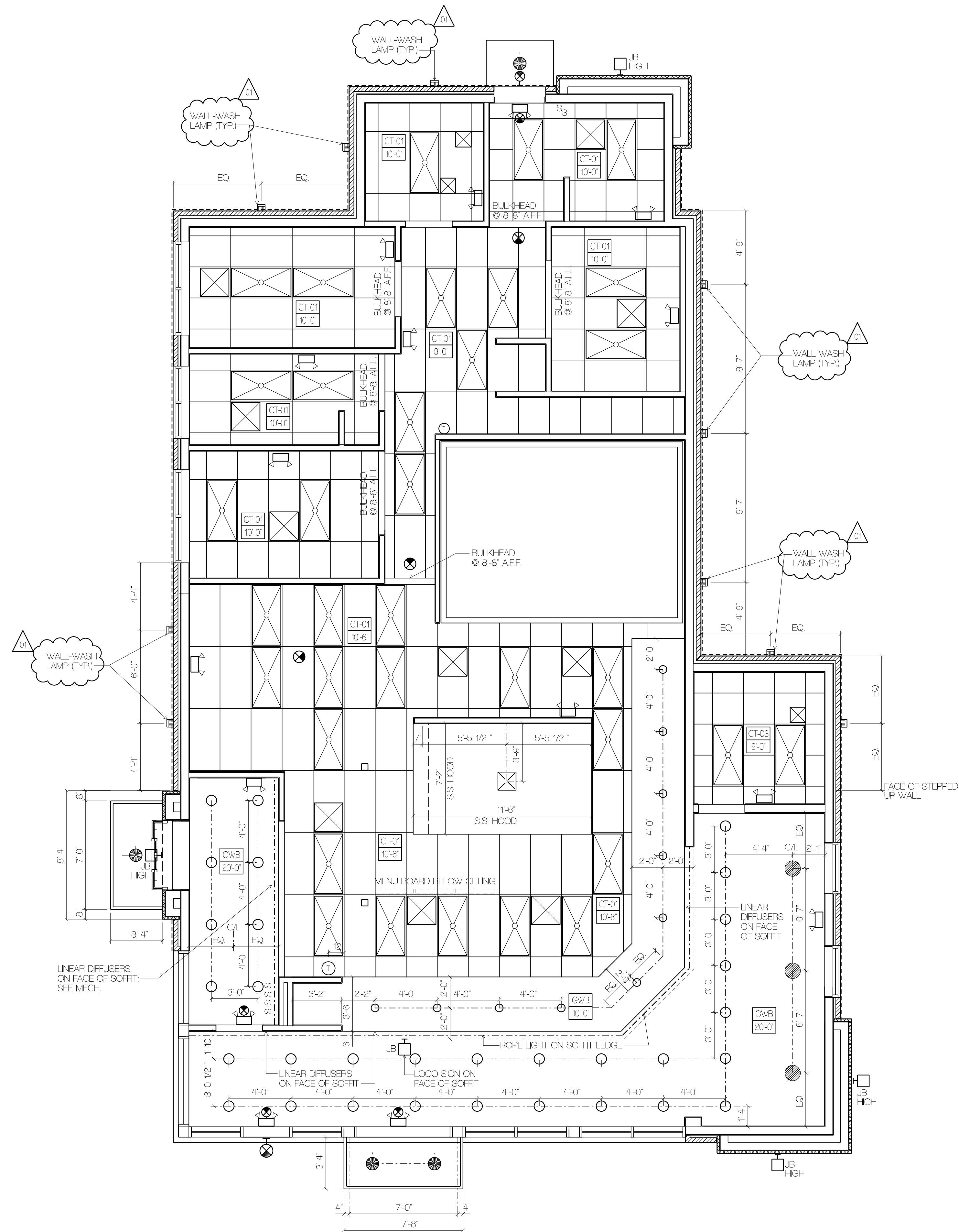
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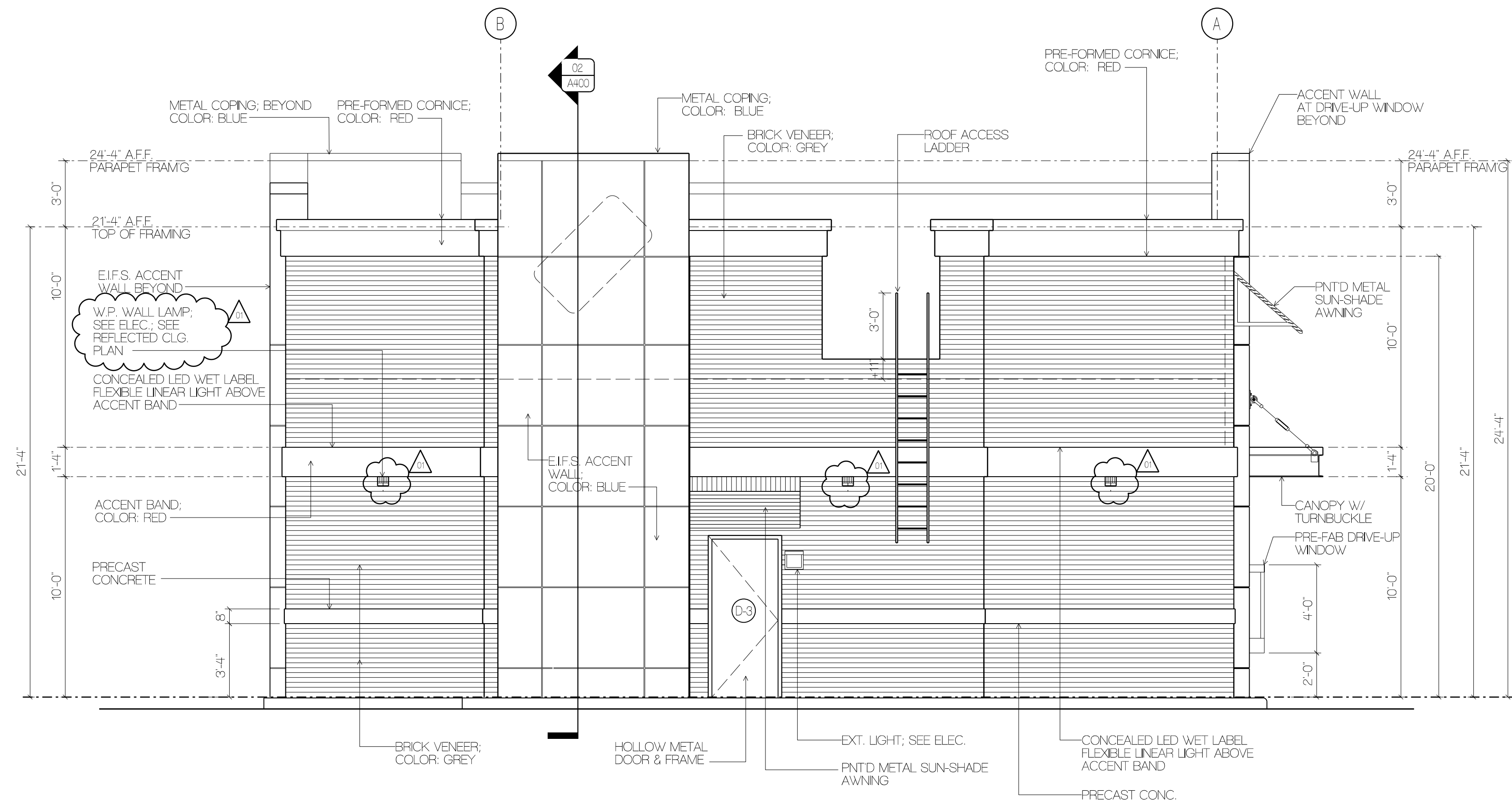
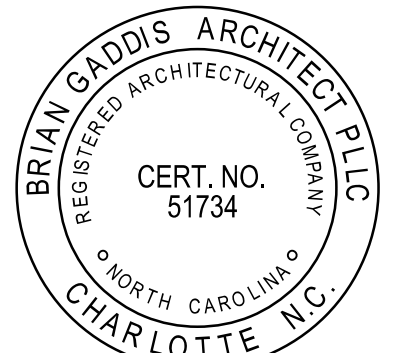
REFLECTED CEILING PLAN
AND
LIGHTING SCHEDULE

REFLECTED CEILING LEGEND	
	RECESSED LED CAN LIGHT FIXTURES MOUNTED IN GWB @ 20'-0" A.F.F.
	SUSPENDED PENDANT FIXTURES OVER BOOTH SEATING @ 7'-0" A.F.F. (LOWER WATTAGE)
	2X4 RECESSED LAY-IN LED FIXTURE
	ROPE LIGHT ABOVE SOFFIT LEDGE (CONT.); HOLD 1" FROM BACK OF WALL
	LED WATERPROOF FLEXIBLE LINEAR STRIP LIGHT CONCEALED ABOVE ACCENT BAND ON EXTERIOR ELEVATIONS
	LED DIRECTIONAL EXIT SIGN
	WALL-MOUNTED SELF-CONTAINED LED EMERGENCY LIGHT
	WALL-MOUNTED LED EXIT SIGN AND SELF-CONTAINED EMERGENCY LIGHT COMBINATION
	EXTERIOR EMERGENCY LIGHT FIXTURE
	RECESSED LED WITH WET LABEL UNDERSIDE OF CANOPY
	WATERPROOF LED OUTDOOR SPOTLIGHT WALL-WASH LAMP MOUNTED 10'-0" A.F.F.
	JUNCTION BOX FOR ILLUMINATED LOGO SIGN; COORDINATE LOCATION WITH SIGN VENDOR

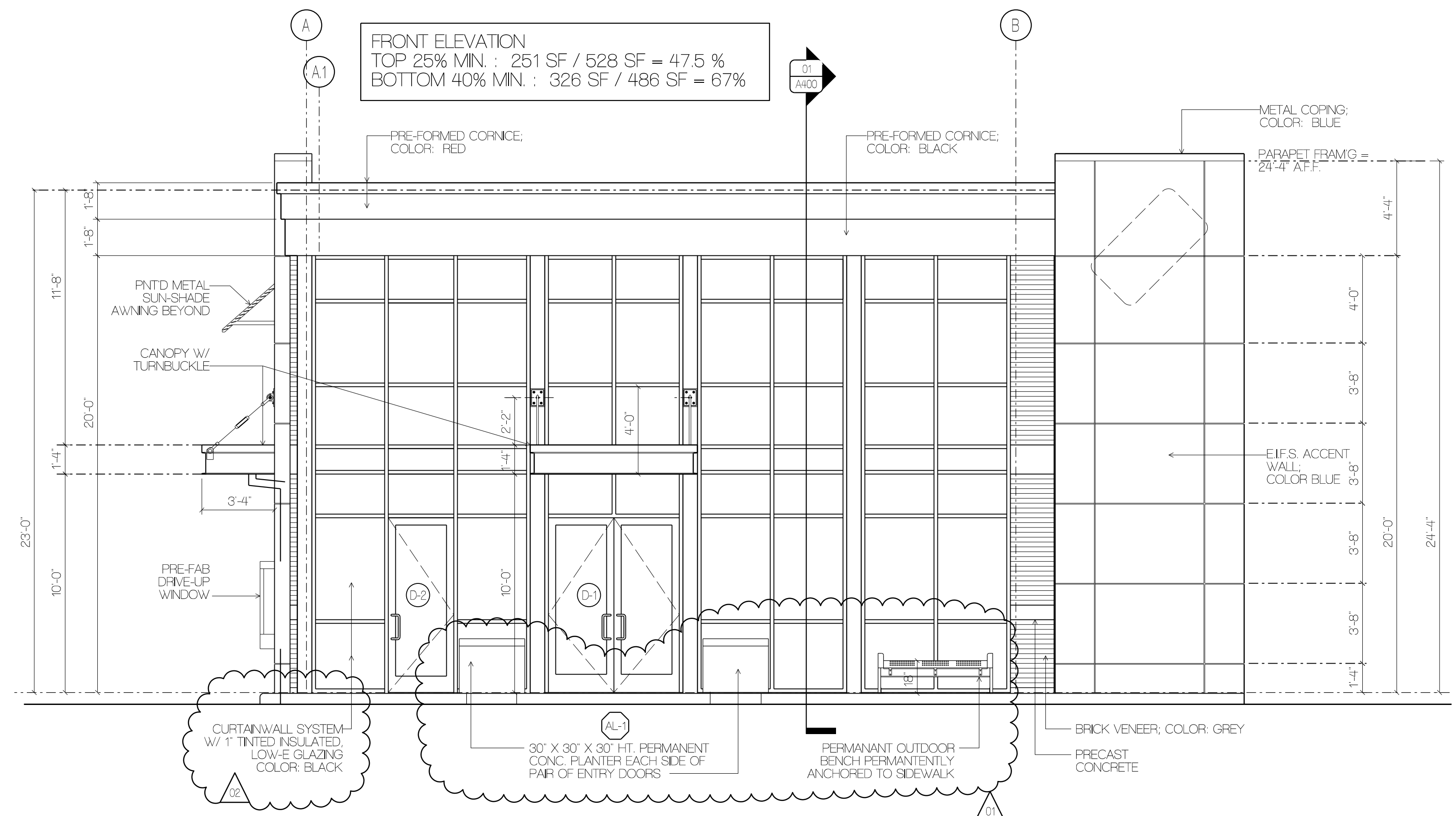
NOTE: SEE ELECTRICAL DRAWING FOR MORE INFORMATION ON FIXTURES.
NOTE: CEILING TILE IN KITCHEN AND BACK OF HOUSE TO BE 2' X 4' GRID. SEE FINISH SCHEDULE FOR "CT-01" SPECIFICATION OF CEILING TILE AND GRID.
NOTE: ALL EXTERIOR LIGHTS AND SIGNAGE TO BE ON A 1-HOUR TIMER.
NOTE: SEE INTERIOR ELEVATION 01/AS00 AND MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF LINEAR MECHANICAL DIFFUSERS IN CUSTOMER AREA. LOCATED ON FACE OF UPPER SOFFIT WALL.



01 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

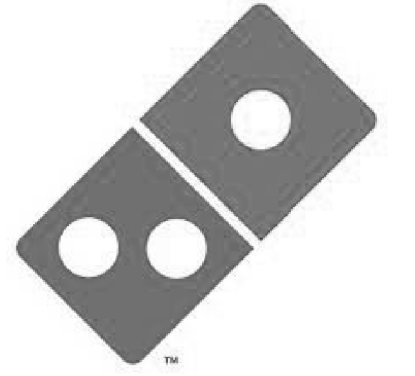


02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



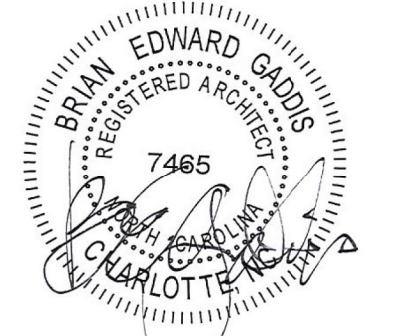
01 FRONT (HENDRICKS DRIVE) ELEVATION
SCALE: 1/4" = 1'-0"

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10.05.23
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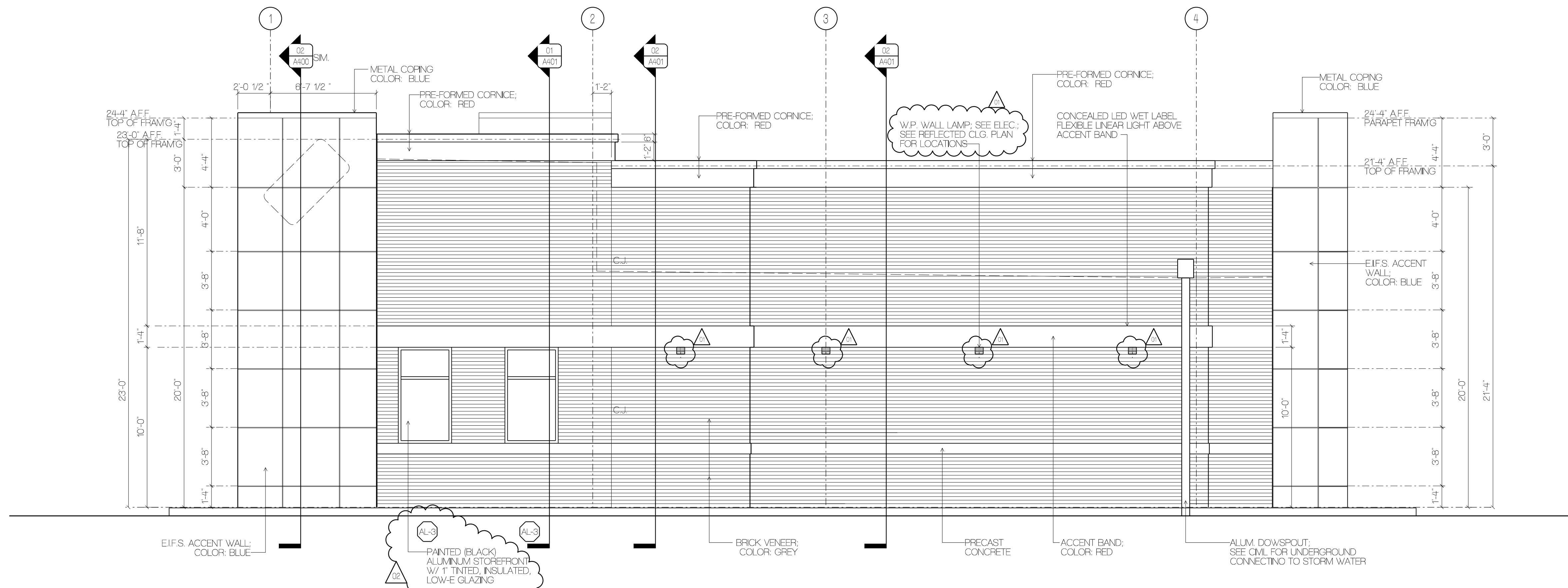
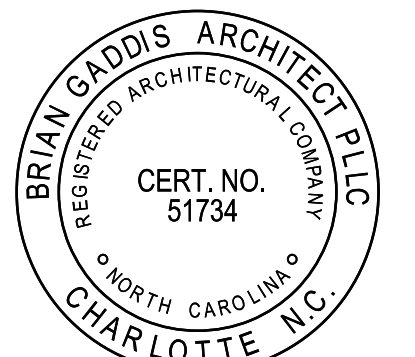
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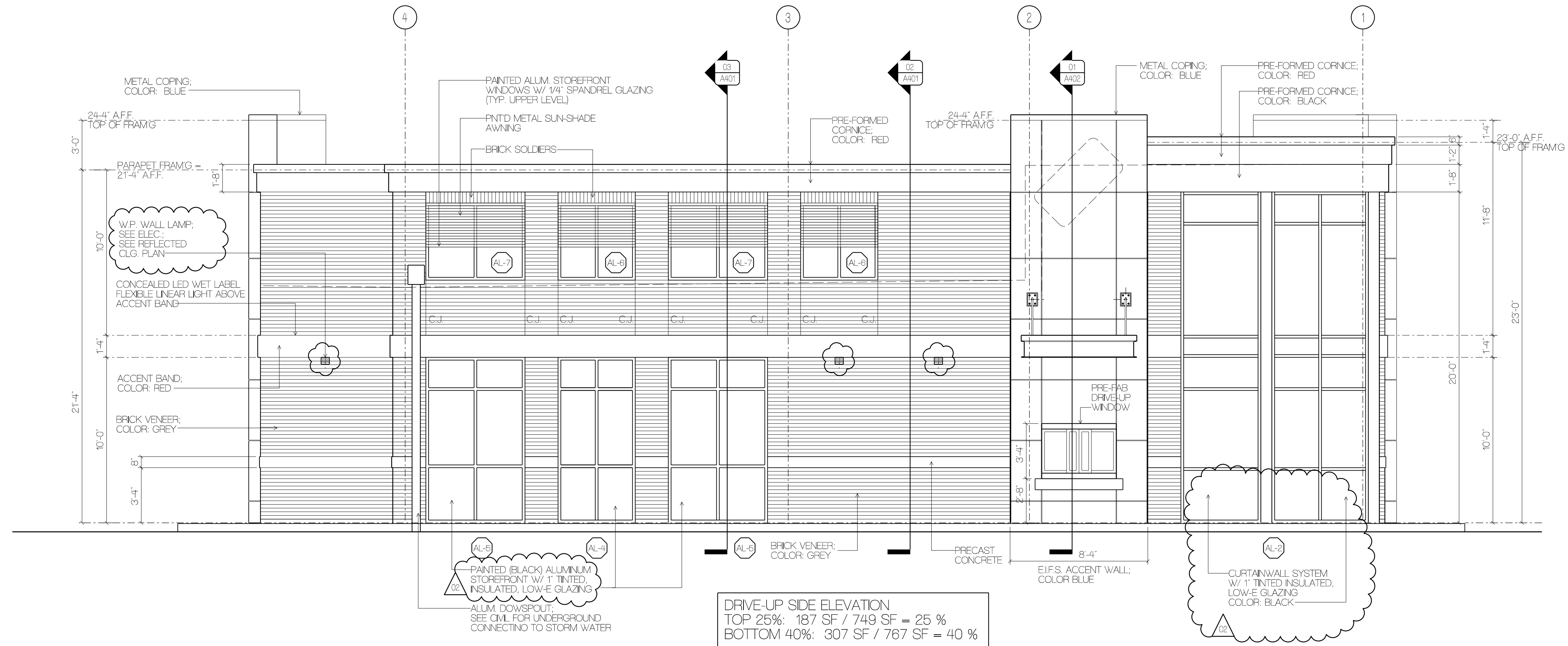
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EXTERIOR ELEVATIONS



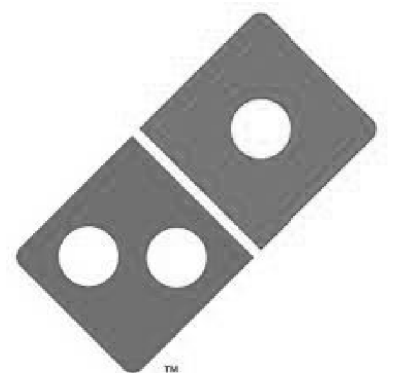
02 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



DRIVE-UP SIDE ELEVATION
TOP 25%: 187 SF / 749 SF = 25 %
BOTTOM 40%: 307 SF / 767 SF = 40 %

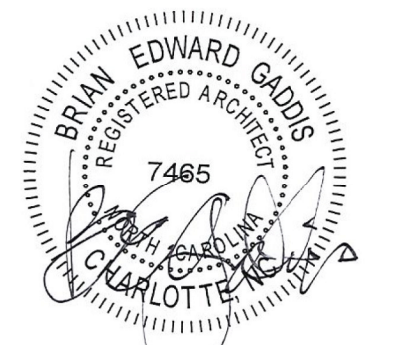
01 LEFT (DRIVE-UP) ELEVATION
SCALE: 1/4" = 1'-0"

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10.09.23
10.03.23
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EXTERIOR ELEVATIONS