

# CONDITIONAL REZONING CONCEPT PLAN

# 24/7 FITNESS CLUB

301 JONES STREET  
AND 108 PEARCES ROAD  
ZEBULON, NC 27597

NOVEMBER 1, 2023

**GENERAL NOTES:**

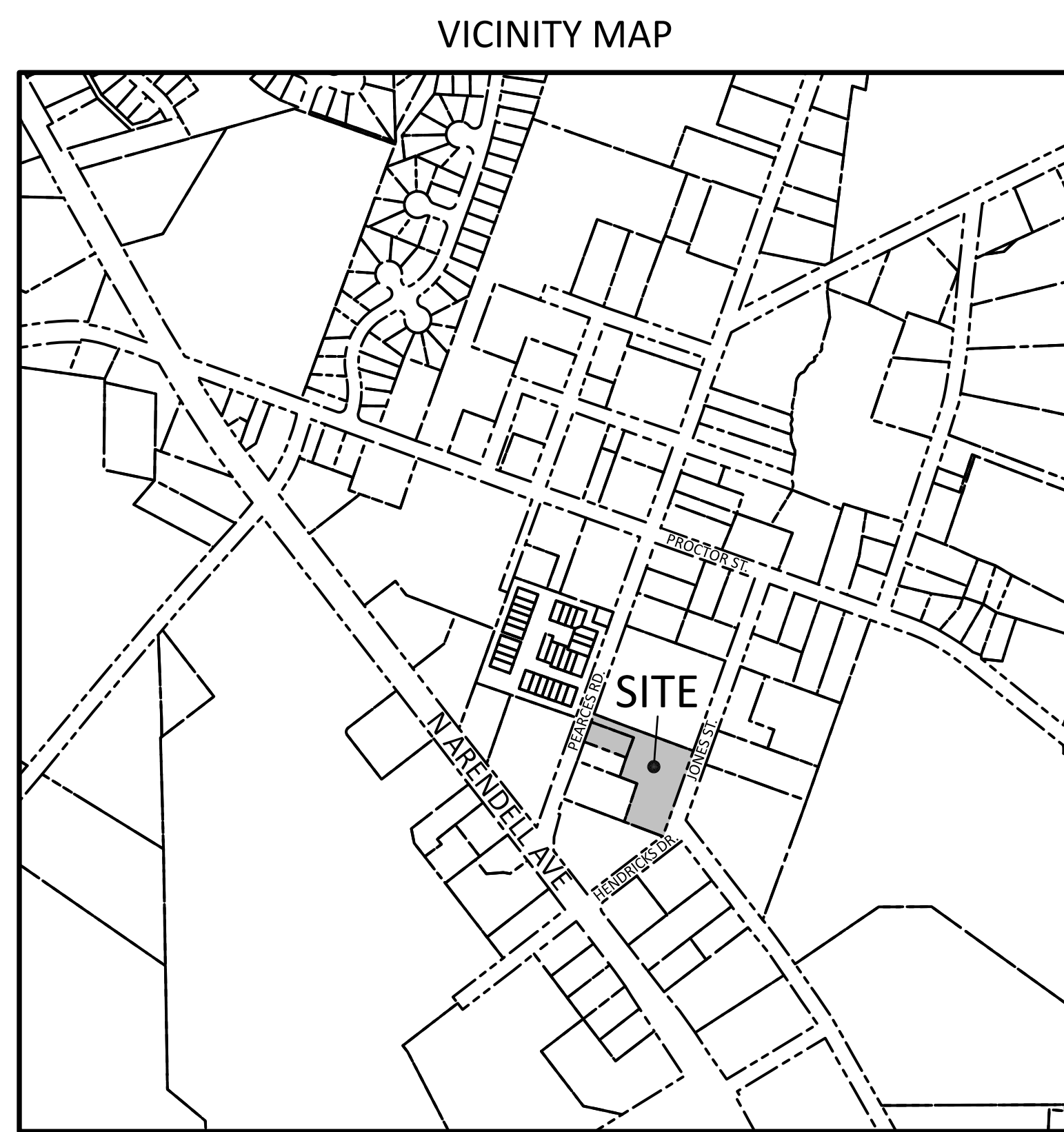
1. SITE PLAN APPROVAL FROM THE TOWN OF ZEBULON IS REQUIRED FOR THIS DEVELOPMENT.
2. ALL REQUIRED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF ZEBULON STREET AND STORM DRAINAGE STANDARDS AND SPECIFICATIONS MANUAL.
3. ALL DEVELOPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO) UNLESS EXPRESSLY STATED AS AN EXCEPTION.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS, EASEMENT, RIGHT-OF-WAY, AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
5. THE LAND SURVEYOR RESPONSIBLE FOR STAKING THE IMPROVEMENTS SHALL INDEPENDENTLY VERIFY THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT PRIOR TO CONSTRUCTION.
6. REFER TO ARCHITECTURAL AND STRUCTURAL DESIGN PLANS FOR THE BUILDING DETAILS AND DIMENSIONS.
7. ALL GRADES, SLOPES TO BUILDING ACCESS/EGRESS POINTS, HANDICAP RAMPS, STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH ADA REQUIREMENTS AND THE NORTH CAROLINA BUILDING CODE.

**DESIGN STANDARD NOTES:**

1. THIS PROJECT WILL CONNECT TO THE CITY OF RALEIGH PUBLIC WATER SYSTEM.
2. THIS PROJECT WILL CONNECT TO THE CITY OF RALEIGH PUBLIC SEWER SYSTEM.
3. THIS PROJECT LIES WITHIN THE TOWN OF ZEBULON'S PLANNING AND ZONING JURISDICTION AND IS SUBJECT TO THE REGULATIONS SET FORTH IN THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO).
4. THIS PROJECT WILL DISTURB MORE THAN 1 ACRE OF LAND AND WILL REQUIRE A LAND DISTURBANCE PERMIT FROM WAKE COUNTY.
5. THIS PROJECT IS WILL REQUIRE A STORMWATER PERMIT FROM WAKE COUNTY.

**ABBREVIATIONS:**

ADV - ADVANCE	MIN - MINIMUM
AFG - ABOVE FINISHED GRADE	MIN-S - MINIMUM SLOPE
APPR LOC - APPROXIMATE LOCATION	MJ - MECHANICAL JOINT
ASS'Y - ASSEMBLY	NIC - NOT IN CONTRACT
B/C - BACK OF CURB	NTS - NOT TO SCALE
B/L - BASE LINE	OHE - OVERHEAD ELECTRIC
B/W - BOTTOM OF WALL	OHP - OVERHEAD POWER
CB - CATCH BASIN	OHT - OVERHEAD TELEPHONE
CBR - CALIFORNIA BEARING RATIO	PB - PLAT BOOK
CG - CURB AND GUTTER	PC - POINT OF CURVATURE
CI - CURB INLET	PE - PEDESTAL
C/L - CENTERLINE	PG - PAGE
CL - CLASS	PH - PHASE
CM - CONCRETE MONUMENT	PI - POINT OF INTERSECTION
CMP - CORRUGATED METAL PIPE	PKG - PARKING
CO - CLEAN OUT	P/L - PROPERTY LINE
CONC - CONCRETE	PT - POINT OF TANGENT
CONN - CONNECTION	PP - POWER POLE
CP - CORRUGATED PLASTIC	PVC - POLYVINYL CHLORIDE
CY - CUBIC YARD	PVMT - PAVEMENT
DB - DEED BOOK	PWR - POWER
DI - DROP INLET	RI - RECORDED METES & BOUNDS
DIP - DUCTILE IRON PIPE	RD - ROOF DRAIN
D.M.P - DOUBLE MERIDIAN DISTANCES	RJ - RESTRAINED JOINT
DR - DRIVE	R/W - RIGHT-OF-WAY
DS - DOWNSPOUT	REQ'D - REQUIRED
E - ELECTRIC	RCP - REINFORCED CONCRETE PIPE
EA - EACH	S - SLOPE
E BOX - ELECTRICAL BOX	SAN - SANITARY SEWER
ELEC - ELECTRIC	SDWK - SIDEWALK
EP - EDGE OF PAVEMENT	SF - SILT FENCE
E/S - EDGE OF SHOULDER	SPT - SPOT GRADE
EX - EXISTING	SS - SANITARY SEWER CONNECTION
F/C - FACE OF CURB	STA - STATION
FDC - FIRE DEPARTMENT CONNECTION	STD - STANDARD
FF - FINISHED FLOOR	STM - STORM
FH - FIRE HYDRANT	STMH - STORM SEWER MANHOLE
F/L - FLOW LINE	T - TELEPHONE
FL - FIRE LANE	TBC - TOP BACK OF CURB
G - GAS	TCM - TELECOMMUNICATIONS MANHOLE
GI - GRATE INLET	T/C - TOP OF CURB
GND - GROUND	TEL - TELEPHONE
GTS - GAS TEST STATION	UGE - UNDERGROUND ELECTRIC
GV - GAS VALVE	UNK - UNKNOWN
HDP - HIGH DENSITY POLYETHYLENE	UP - UTILITY POLE
HORIZ - HORIZONTAL	VAR - VARIABLE
HVAC - HEATING, VENTILATION, & AIR CONDITIONING	VCP - VITRIFIED CLAY PIPE
INV - INVERT	VERT - VERTICAL
IPF - IRON PIPE FOUND	W/ - WITH
IPS - IRON PIPE SET	W/L - WATER LINE
IRF - IRON ROD FOUND	W - WATER
LF - LINEAR FEET	WUS - WATERS OF THE US
(M) - MEASURED METES & BOUNDS	X-ING - CROSSING
MECH - MECHANICAL	YI - YARD INLET
MH - MANHOLE	Ø - DIAMETER



SCALE: 1"=1000'

**DEVELOPER**  
CG ENTERPRISES OF NC LLC  
1609 WHISPERING MEADOWS DRIVE  
ZEBULON, NC 27597  
CONTACT: CURTIS GINGLES  
PHONE: 470-309-4479  
EMAIL: CUR\_GIN@MSN.COM

**LANDOWNER**  
CG ENTERPRISES OF NC LLC  
1609 WHISPERING MEADOWS DRIVE  
ZEBULON, NC 27597  
CONTACT: CURTIS GINGLES  
PHONE: 470-309-4479  
EMAIL: CUR\_GIN@MSN.COM

**CIVIL ENGINEER**  
O'KANE AND ASSOCIATES, PLLC  
107 UNION DRIVE, SUITE 202  
WASHINGTON, NC 27889  
CONTACT: BRIAN O'KANE, PE  
PHONE: 252-702-1910  
EMAIL: BRIAN@OKANEANDASSOCIATES.COM

SHEET INDEX		
DRAWING	TITLE	REVISION DATE
C-0.0	COVER SHEET	11/01/2023
C-1.0	EXISTING CONDITIONS PLAN	11/01/2023
SITE LAYOUT AND UTILITY		
C-2.0	CONCEPTUAL SITE PLAN	11/01/2023
ARCHITECTURAL ELEVATIONS (BY OTHERS PROVIDED FOR REFERENCE ONLY)		
A-201	ARCHITECTURAL ELEVATIONS	11/01/2023

TOTAL NUMBER OF DRAWINGS INCLUDED IN SET = 4

DEVELOPER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
LANDOWNER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
EXISTING PROPERTY DATA	
SITE ADDRESS	301 JONES STREET AND 108 PEARCES ROAD
PIN	2706-01-5099 & 2706-01-4224
PLANNING JURISDICTION	TOWN OF ZEBULON
PARCEL AREA	0.312 + 1.603 = 1.915 ACRES
EXISTING ZONING	R2
EXISTING LAND USE	VACANT
CURRENT DEED	DB 19356 PG 637
FEMA FLOOD INSURANCE MAP	3720270600K (07-19-2022)
FEMA FLOODZONE	ZONE "X"
RIVER BASIN	NEUSE
RECEIVING STREAM	UNNAMED TRIBUTARY TO LITTLE RIVER (TARPLEYS POND) STREAM INDEX - 27-57-(8.S) CLASSIFICATION - WS-V;NSW

SITE INFORMATION TABLE	
EXISTING ZONING	R2
PROPOSED ZONING	GC-C
EXISTING SITE AREA	1.915 ACRES
R/W DEDICATION	0.06± ACRES
OTHER DEDICATION	0 ACRES
PROPOSED NET SITE AREA	1.855 ACRES
PROPOSED USE	GYMNASIUM & RETAIL
DEVELOPMENT STANDARDS	
MAX. RESIDENTIAL DENSITY	7 UNITS / ACRE
PROPOSED RES. DENSITY	0 UNITS / ACRE
MIN. LOT AREA	6,000 SF
PROPOSED LOT AREA	80,803± SF
MIN. LOT WIDTH	50 LF
PROPOSED LOT WIDTH	111± LF
MAX. LOT COVERAGE	80%
PROPOSED LOT COVERAGE	14%
MIN. STREET SETBACK	30 FEET
MIN. SIDE SETBACK	5 FEET
MIN. REAR SETBACK	25 FEET
MAX. BUILDING HEIGHT	50 FEET
PROPOSED BUILDING HEIGHT	LESS THAN 50 FEET
REQUIRED OPEN SPACE	3.0%
REQUIRED OPEN SPACE	2,500 SF
PROVIDED OPEN SPACE	2,502 SF
REQUIRED PARKING	1 SPACE / 200 SF (FITNESS CENTER) 1 SPACE / 200 SF (RETAIL)
REQUIRED PARKING	20,506 SF FITNESS / 200 = 102 SPACES
REQUIRED PARKING	1,630 SF RETAIL / 200 8 SPACES
REQUIRED PARKING	108 SPACES
PROVIDED PARKING	80 SPACES
REQUIRED ADA PARKING	3 SPACES
PROVIDED ADA PARKING	3 SPACES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

PRELIMINARY DRAWING  
NOT RELEASED FOR CONSTRUCTION

REVISIONS	

**O'KANE & ASSOCIATES, PLLC**  
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PHONE: 252-702-1910  
FIRM NC LICENSE NUMBER: P-2529

CLIENT:  
CG ENTERPRISES OF NC LLC  
1609 WHISPERING MEADOWS DRIVE  
ZEBULON, NC 27597

CONDITIONAL REZONING CONCEPT PLAN

**COVER SHEET**  
24/7 FITNESS CLUB  
301 JONES STREET  
AND 108 PEARCES ROAD  
ZEBULON, NORTH CAROLINA

**811**  
Know what's below.  
Call before you dig.  
1-800-632-4849

PROFESSIONAL SEAL  
BRIAN O'KANE  
11/01/2023

HORIZONTAL SCALE:	N/A
VERTICAL SCALE:	N/A
DATE:	11/01/2023
SHEET NUMBER:	<b>C-0.0</b>



DEVELOPER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
LANDOWNER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
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FEMA FLOODZONE	ZONE "X"
RIVER BASIN	NEUSE
RECEIVING STREAM	UNNAMED TRIBUTARY TO LITTLE RIVER (TARPLEYS POND) STREAM INDEX - 27-57-(8.5) CLASSIFICATION - WS-V:NSW

- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS WITHIN PROPERTY BOUNDARY TAKEN FROM WAKE COUNTY GIS DATA AND SHOULD BE CONSIDERED APPROXIMATE.
  - ALL OTHER EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM WAKE COUNTY GIS AND ARE NOT THE RESULT OF A BOUNDARY OR TOPOGRAPHIC SURVEY UNLESS SPECIFICALLY STATED OTHERWISE.
  - LOCATION OF EXISTING TREELINE TAKEN FROM AERIAL PHOTOGRAPHY AND SHOULD BE CONSIDERED APPROXIMATE.
  - NO ENVIRONMENTAL INVESTIGATION OR DETERMINATIONS HAVE BEEN PERFORMED BY O'KANE AND ASSOCIATES ON THE SITE. ANY AND ALL ENVIRONMENTAL INFORMATION SHOWN IS PRELIMINARY AND HAS NOT BEEN VERIFIED BY THE GOVERNING AGENCIES. ALL ENVIRONMENTAL FEATURES SHALL BE CONFIRMED BY APPROPRIATE GOVERNING AGENCY AND SURVEYED PRIOR TO CONSTRUCTION.

- EXISTING NATURAL FEATURES:**
- THIS PROPERTY LIES WITHIN THE NEUSE RIVER BASIN.
  - THIS PROPERTY IS LOCATED IN ZONE X, AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD MAPS NUMBER 3720270600K, DATED 07/19/2022.
  - THIS PROPERTY DRAINS TO AN UNNAMED TRIBUTARY (UT) OF THE LITTLE RIVER (TARPLEYS POND) WHICH IS A NAMED TRIBUTARY OF THE LITTLE RIVER, WHICH IS A NAMED TRIBUTARY OF THE NEUSE RIVER.

- GIS SOILS INFORMATION:**
- SOILS INFO. FOR THE PROJECT WAS TAKEN FROM WAKE COUNTY GIS.
  - THE SOIL BOUNDARY SHOWN IS FROM GIS DATA AND IS APPROXIMATE.
  - THE SOIL TYPES ON THIS SITE ARE:  
Ur- URBAN LAND (HYDROLOGIC SOIL GROUP- B) (2.3% OF SITE AREA)  
WbS- WOODVEE- URBAN LAND COMPLEX, 2-6% SLOPES (HYDROLOGIC SOIL GROUP- B) (97.7% OF SITE AREA)

EXISTING ON-SITE LAND COVER TABULATION			
LAND COVER	AREA (SF)	AREA (AC)	% OF TOTAL
DRIVE/PARKING	0 SF	0.00 AC	0.00%
SIDEWALK/GRAVEL	0 SF	0.00 AC	0.00%
BUILDING	0 SF	0.00 AC	0.00%
TOTAL IMPERVIOUS AREA	0 SF	0.00 AC	0.00%
GRASS/LAWN	71,667 SF	1.645 AC	85.9%
WOODED	11,750 SF	0.270 AC	14.1%
TOTAL PERVIOUS AREA	83,417 SF	1.915 AC	100.0%
TOTAL AREA	83,417 SF	1.915 AC	100.0%

**EXISTING CONDITIONS LEGEND**

	EXISTING PROPERTY BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING GIS PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EX. CURB AND GUTTER
	EX. PAVEMENT EDGE
	EXISTING ROAD STRIPE
	EXISTING GRAVEL
	EXISTING FENCE
	EXISTING TREELINE
	EXISTING DITCH CENTERLINE
	EXISTING TOP OF BANK
	EXISTING OVERHEAD POWER
	14 - EXISTING MINOR CONTOUR
	15 - EXISTING MAJOR CONTOUR
	EXISTING GIS CONTOUR
	EXISTING STORM PIPE
	EXISTING EASEMENT
	EXISTING SANITARY SEWER
	BENCHMARK
	IRON ROD FOUND (IRF)
	CALCULATED POINT
	EXISTING SIGN OR MARKER
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING LIGHT POLE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING FIRE HYDRANT

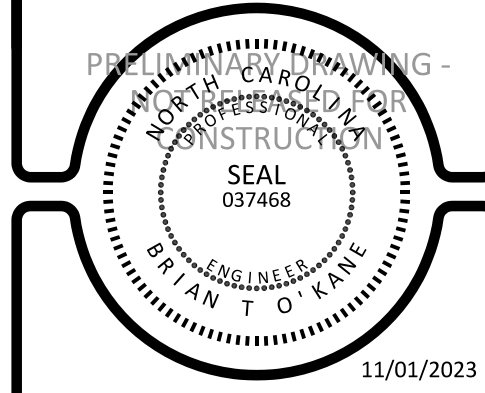
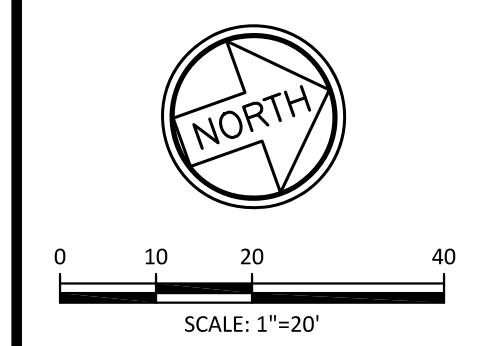
**REVISIONS**


**O'KANE & ASSOCIATES, PLLC**  
107 UNION DRIVE, SUITE 202  
WASHINGTON, NORTH CAROLINA  
PHONE: 252-702-1910  
FIRM NC LICENSE NUMBER P-2529

CLIENT:  
**CG ENTERPRISES OF NC LLC**  
1609 WHISPERING MEADOWS DRIVE  
ZEBULON, NC 27597

**CONDITIONAL REZONING CONCEPT PLAN**

**EXISTING CONDITIONS PLAN**  
**24/7 FITNESS CLUB**  
301 JONES STREET  
AND 108 PEARCES ROAD  
ZEBULON, NORTH CAROLINA



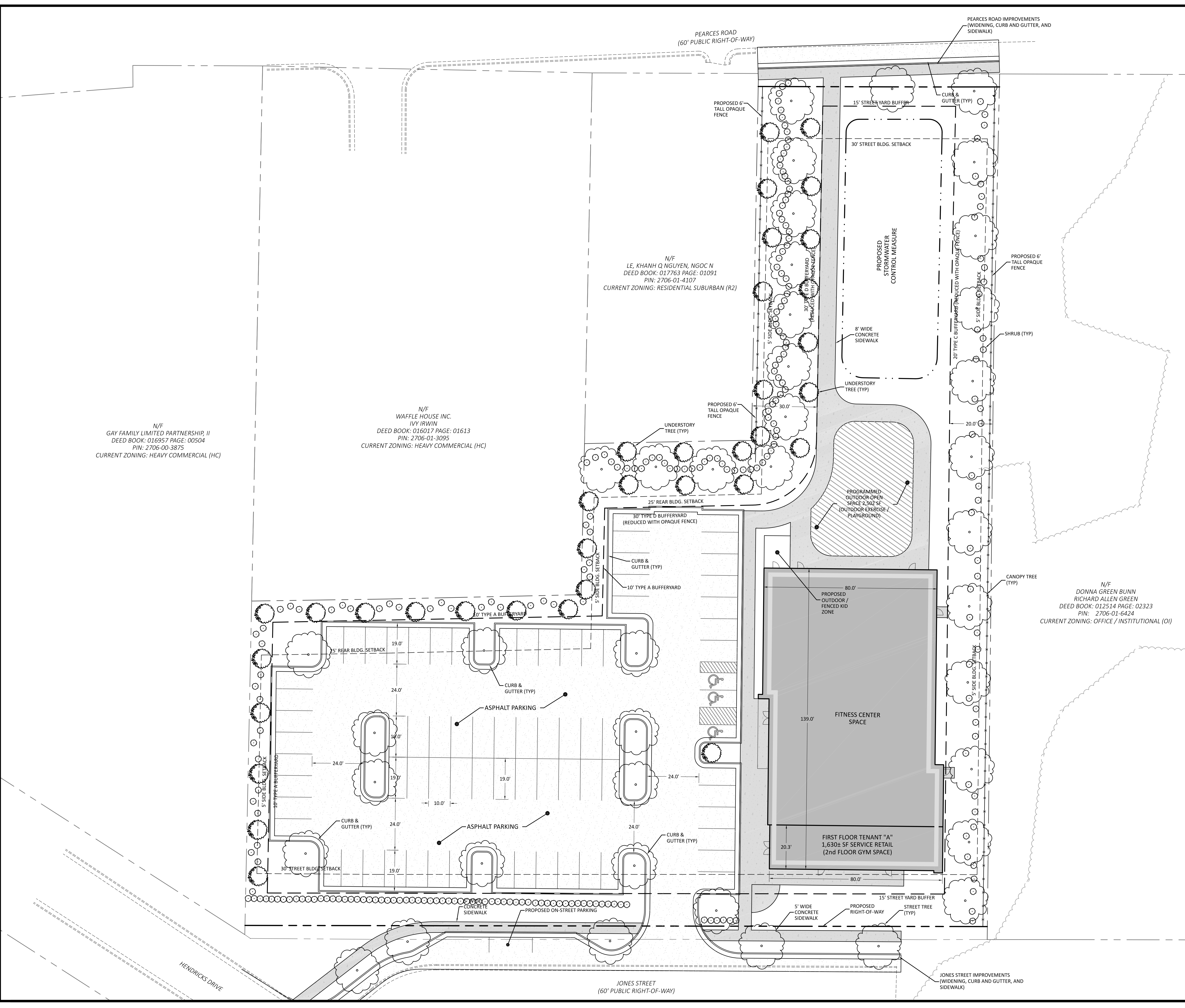
HORIZONTAL SCALE:  
1"=20'

VERTICAL SCALE:  
N/A

DATE:  
11/01/2023

SHEET NUMBER:  
**C-1.0**

PRELIMINARY DRAWING  
NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION TABLE	
EXISTING ZONING	R2
PROPOSED ZONING	GC-C
EXISTING SITE AREA	1.915 ACRES
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OTHER DEDICATION	0 ACRES
PROPOSED NET SITE AREA	1.855 ACRES
PROPOSED USE	GYMNASIUM & RETAIL
DEVELOPMENT STANDARDS	
MAX. RESIDENTIAL DENSITY	7 UNITS / ACRE
PROPOSED RES. DENSITY	0 UNITS / ACRE
MIN. LOT AREA	6,000 SF
PROPOSED LOT AREA	80,803± SF
MIN. LOT WIDTH	50 LF
PROPOSED LOT WIDTH	111± LF
MAX. LOT COVERAGE	80%
PROPOSED LOT COVERAGE	14±%
MIN. STREET SETBACK	30 FEET
MIN. SIDE SETBACK	5 FEET
MIN. REAR SETBACK	25 FEET
MAX. BUILDING HEIGHT	50 FEET
PROPOSED BUILDING HEIGHT	LESS THAN 50 FEET
REQUIRED OPEN SPACE	3.0%
REQUIRED OPEN SPACE	2,500 SF
PROVIDED OPEN SPACE	2,502 SF
REQUIRED PARKING	1 SPACE / 200 SF (FITNESS CENTER)
	1 SPACE / 200 SF (RETAIL)
REQUIRED PARKING	20,506 SF FITNESS / 200 =
	102 SPACES
	1,630 SF RETAIL / 200
	8 SPACES
REQUIRED PARKING	108 SPACES
PROVIDED PARKING	80 SPACES
REQUIRED ADA PARKING	3 SPACES
PROVIDED ADA PARKING	3 SPACES

- SITE PLAN NOTES:**
- CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION, BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
  - THE CONTRACTOR SHALL CONFIRM THAT ALL THE CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.

**SITE PLAN LEGEND**

	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED ROAD CENTERLINE
	BUILDING SETBACK / MBL
	BUFFERYARD
	PROPOSED CURB AND GUTTER
	PROPOSED EDGE OF PAVEMENT
	PROPOSED EDGE OF SIDEWALK
	PROPOSED BUILDING FACE
	PROPOSED PARKING STRIPE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED BUILDING
	FUTURE BUILDING
	PROPOSED GRAVEL

**REVISIONS**

NO.	DESCRIPTION

**KANE & ASSOCIATES, PLLC**  
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 PHONE: 252-702-1910  
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:  
**CG ENTERPRISES OF NC LLC**  
 1609 WHISPERING MEADOWS DRIVE  
 ZEBULON, NC 27597

**CONDITIONAL REZONING CONCEPT PLAN**

**SITE PLAN**  
**24/7 FITNESS CLUB**  
 301 JONES STREET  
 AND 108 PEARCES ROAD  
 ZEBULON, NORTH CAROLINA

SHEET TITLE:

0 10 20 40  
 SCALE: 1"=20'

11/01/2023

HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: N/A  
 DATE: 11/01/2023  
 SHEET NUMBER: **C-2.0**

PRELIMINARY DRAWING  
 NOT RELEASED FOR CONSTRUCTION



- CONCEPTUAL SITE PLAN NOTES:**
- PROPERTY BOUNDARY AND ON-SITE FEATURES TAKEN FROM WAKE COUNTY GIS AND SHOULD BE CONSIDERED APPROXIMATE.
  - TOPOGRAPHY FOR SITE TAKEN FROM WAKE COUNTY GIS AND SHOULD BE CONSIDERED APPROXIMATE.
  - A SURVEY OF THE EXISTING CONDITIONS, BOUNDARY, OR EASEMENTS WAS NOT PROVIDED TO O'KANE AND ASSOCIATES. ALL EXISTING DATA IS CONCEPTUAL IN NATURE AND SHOULD BE CONSIDERED APPROXIMATE.
  - THIS CONCEPTUAL PLAN WAS DEVELOPED UTILIZING THE CURRENT TOWN OF ZEBULON UDO AND MASTER PLANNING DOCUMENTS AT THE TIME OF THE PLAN PREPARATION.

**EXISTING SITE DATA**

PARCEL PIN	2706-01-3095 / 2706-01-4224
PARCEL NUMBER	0111188 / 0030564
PHYSICAL ADDRESS	301 JONES ST / 108 PEARCES RD
ZONING JURISDICTION	TOWN OF ZEBULON
EXISTING ZONING	R2 (RESIDENTIAL SUBURBAN)
PROPOSED ZONING	GC (GENERAL COMMERCIAL)
TOTAL PARCEL AREA	74,052± SF (1.70 ACRES)
RIVER BASIN	NEUSE

**PROPOSED BUILDING DATA**

NUMBER OF STORIES	1
MAX BUILDING HEIGHT	50 FEET
BUILDING HEIGHT	LESS THAN 50 FEET
BUILDING SQUARE FOOTAGE	20,000 ± SF

**PROPERTY AND DEVELOPMENT DATA**

DEVELOPER NAME	CURTIS GINGLES
PROPOSED USE	FITNESS CENTER
REQUIRED OPEN SPACE	3.0%
REQUIRED OPEN SPACE	0.05 ACRES
PROPOSED OPEN SPACE	0.60 ACRES
REQUIRED PARKING	1 SPACE / 200 SF (FITNESS CENTER)
	= 20,000 SF / 200 SF = 100 PARKING SPACES
PROPOSED PARKING	80 SPACES
REQUIRED ADA PARKING	3 ADA PARKING SPACES REQUIRED
PROPOSED ADA PARKING	3 ADA PARKING SPACES PROPOSED

**SETBACKS (GC ZONING)**

MINIMUM AREA	10,000 SF
MINIMUM FRONTAGE	50 FEET
STREET SETBACK	30 FEET
SIDE SETBACK	5' IF PROVIDED
REAR SETBACK	25 FEET

**ORDINANCE REFERENCE**

DIMENSION STANDARDS	UDO 3.4.3 GC DISTRICT
PARKING REQUIREMENTS	UDO 5.8.4
OPEN SPACE REQUIREMENT	UDO 5.7.4
PARKING LOT LANDSCAPING	UDO 5.6.9
PERIMETER BUFFERBARDS	UDO 5.6.10
STREET YARD BUFFERS	UDO 5.6.12
BUILDING SETBACKS	UDO 3.4.3 GC DISTRICT

**SITE PLAN LEGEND**

PROPERTY BOUNDARY	---
RIGHT-OF-WAY	---
PROPERTY LINE	---
EASEMENT	---
SETBACK	---
PROPERTY/LANDSCAPE BUFFER	---
ROAD CENTERLINE	---
CURB & GUTTER (ROAD)	---
CURB & GUTTER (PARKING)	---

**PROPOSED HATCH LEGEND**

PROPOSED BUILDING	[Yellow Hatch]
PROPOSED CONCRETE	[Brown Hatch]
PROPOSED GRAVEL	[Dotted Hatch]
PROPOSED ASPHALT	[Dark Grey Hatch]

**REFERENCES**  
 DB 002776, PG 00169  
 DB 016309, PG 01273

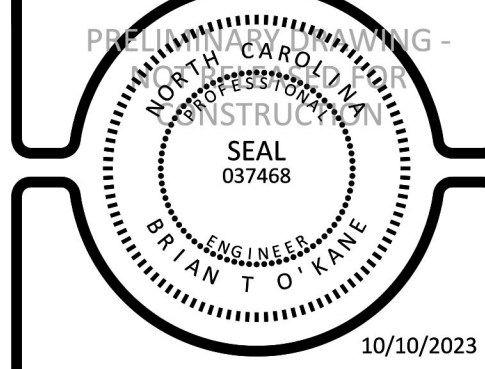
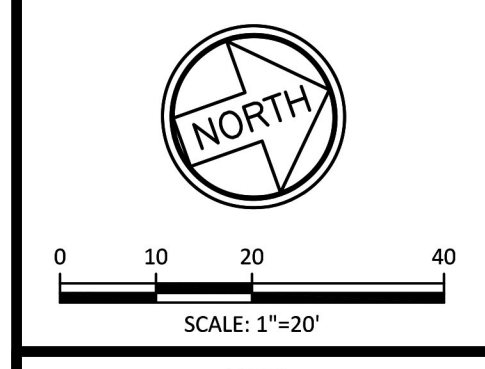
**REVISIONS**


**O'KANE & ASSOCIATES, PLLC**  
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 WASHINGTON, NORTH CAROLINA  
 PHONE: 252-702-1910  
 FIRM NC LICENSE NUMBER P-2529

CLIENT:  
**CURTIS GINGLES**

**SITE PLAN**

**CONCEPTUAL SITE PLAN**  
**24/7 FITNESS CLUB**  
 108 PEARCES ROAD  
 ZEBULON, NORTH CAROLINA



HORIZONTAL SCALE:  
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