

CONDITIONAL REZONING CONCEPT PLAN

24/7 FITNESS CLUB

301 JONES STREET
AND 108 PEARCES ROAD
ZEBULON, NC 27597

~~NOVEMBER 1, 2023~~
REVISED JANUARY 18, 2024

GENERAL NOTES:

- SITE PLAN APPROVAL FROM THE TOWN OF ZEBULON IS REQUIRED FOR THIS DEVELOPMENT.
- ALL REQUIRED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF ZEBULON STREET AND STORM DRAINAGE STANDARDS AND SPECIFICATIONS MANUAL.
- ALL DEVELOPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO) UNLESS EXPRESSLY STATED AS AN EXCEPTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS, EASEMENT, RIGHT-OF-WAY, AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
- THE LAND SURVEYOR RESPONSIBLE FOR STAKING THE IMPROVEMENTS SHALL INDEPENDENTLY VERIFY THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- REFER TO ARCHITECTURAL AND STRUCTURAL DESIGN PLANS FOR THE BUILDING DETAILS AND DIMENSIONS.
- ALL GRADES, SLOPES TO BUILDING ACCESS/EGRESS POINTS, HANDICAP RAMPS, STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH ADA REQUIREMENTS AND THE NORTH CAROLINA BUILDING CODE.

DESIGN STANDARD NOTES:

- THIS PROJECT WILL CONNECT TO THE CITY OF RALEIGH PUBLIC WATER SYSTEM.
- THIS PROJECT WILL CONNECT TO THE CITY OF RALEIGH PUBLIC SEWER SYSTEM.
- THIS PROJECT LIES WITHIN THE TOWN OF ZEBULON'S PLANNING AND ZONING JURISDICTION AND IS SUBJECT TO THE REGULATIONS SET FORTH IN THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE (UDO).
- THIS PROJECT WILL DISTURB MORE THAN 1 ACRE OF LAND AND WILL REQUIRE A LAND DISTURBANCE PERMIT FROM WAKE COUNTY.
- THIS PROJECT WILL REQUIRE A STORMWATER PERMIT FROM WAKE COUNTY.
- ANY WORK PERFORMED WITHIN THE NCDOT RIGHT-OF-WAY WILL REQUIRE THE APPROVAL OF AN ENCROACHMENT AGREEMENT PRIOR TO CONSTRUCTION.

UTILITY ALLOCATION POLICY COMPLIANCE:

BASE POINTS:

SINGLE USE RETAIL- 40 POINTS
- REFER TO SHEET C-2.0

BONUS POINTS:

CATEGORY 2-
SECTION 2B- PARKING
PROVISIONS OF ON-STREET PUBLIC PARKING- 3 STALLS- 3 POINTS
- INSTALLATION OF 3 ON-STREET PARKING STALLS
- REFER TO SHEET C-2.0

SECTION 2C- STORMWATER SCMS
STORMWATER- BIORETENTION- 5 POINTS
- INSTALLATION OF BIORETENTION FOR STORMWATER CONTROL
- REFER TO SHEET C-2.0

SECTION 2D- BUILDING / SITE DESIGN
PEDESTRIAN ORIENTED AND WALKABLE SITE DESIGN- 5 POINTS
- INSTALLATION OF SIDEWALK FROM JONES STREET TO PEARCES ROAD
- REFER TO SHEET C-2.0

SECTION 3A- OUTDOOR ENHANCEMENT
INSTALLATION OF NATIVE SHADE TREE SPECIES- 10 POINTS
- A MINIMUM OF 30 SHADE TREES SHALL BE NATIVE IN SPECIES
- REFER TO SHEET C-3.0

TOTAL POINTS = 40 + 3 + 5 + 10 = 63 POINTS

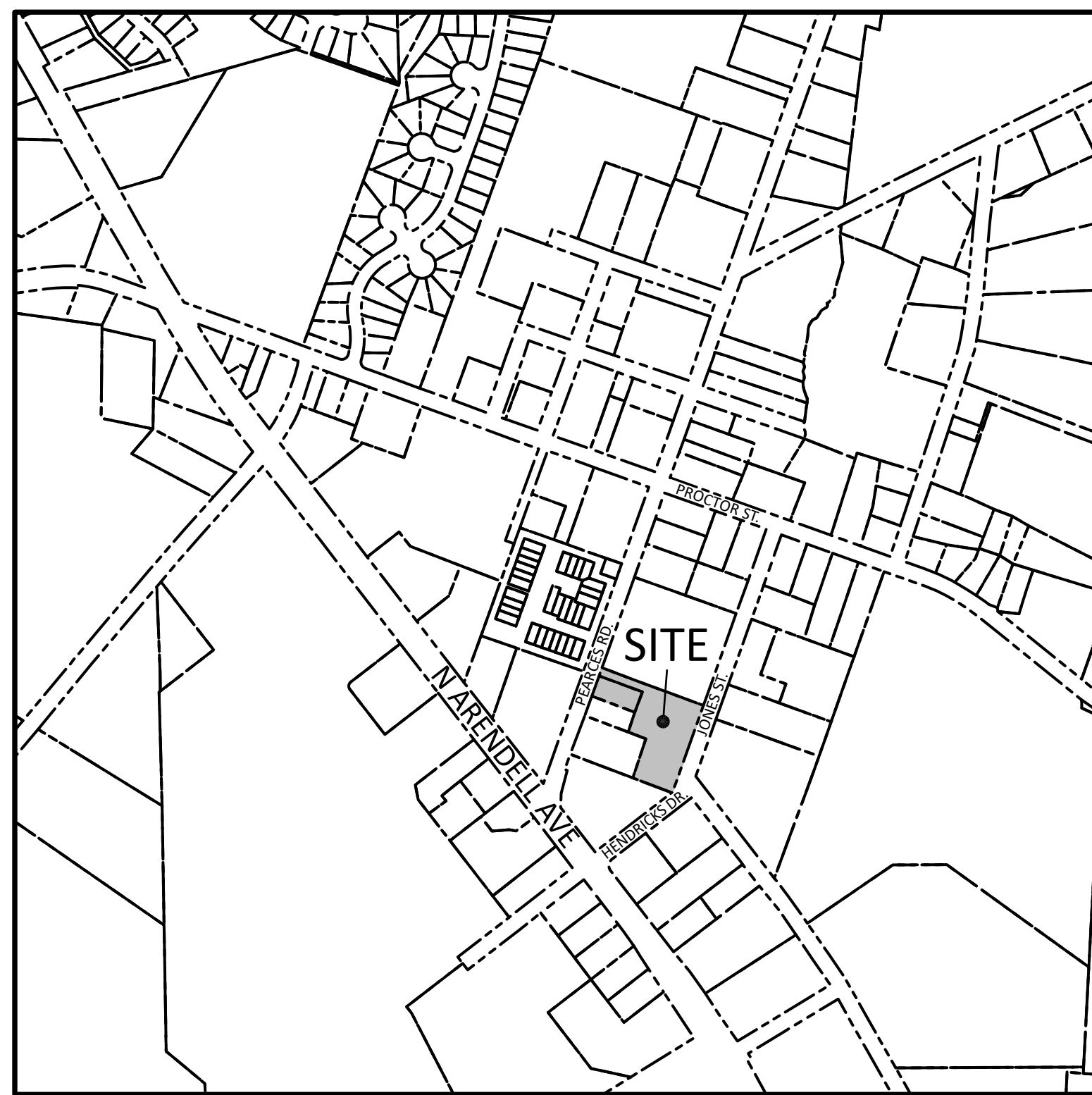
REZONING CONDITIONS:

- THE STEM LENGTH OF THE PARKING LOT CONNECTION TO JONES STREET WILL BE AS SHOWN ON CONDITIONAL REZONING SITE PLAN (SHEET C-2.0) AND DOES NOT MEET THE 75' MINIMUM LENGTH SET FORTH IN UDO SECTION 5.1.6.F.
- THE TOTAL NUMBER OF PARKING SPACES PROVIDED FOR THE PROJECT IS 79 WHICH IS LESS THAN THE REQUIRED NUMBER OF SPACES REQUIRED IN TABLE 5.8.4.H OF THE UDO.

ABBREVIATIONS:

ADV - ADVANCE	MIN - MINIMUM
AFG - ABOVE FINISHED GRADE	MIN S - MINIMUM SLOPE
APPR LOC - APPROXIMATE LOCATION	MJ - MECHANICAL JOINT
ASSY - ASSEMBLY	NIC - NOT IN CONTRACT
B/C - BACK OF CURB	NTS - NOT TO SCALE
B/L - BASE LINE	OHE - OVERHEAD ELECTRIC
B/W - BOTTOM OF WALL	OHP - OVERHEAD POWER
CB - CATCH BASIN	OHT - OVERHEAD TELEPHONE
CBR - CALIFORNIA BEARING RATIO	PB - PLAT BOOK
CG - CURB AND GUTTER	PC - POINT OF CURVATURE
CI - CURB INLET	PED - PEDESTAL
C/L - CENTERLINE	PG - PAGE
CL - CLASS	PH - PHASE
CM - CONCRETE MONUMENT	PI - POINT OF INTERSECTION
CMP - CORRUGATED METAL PIPE	PKG - PARKING
CO - CLEAN OUT	P/L - PROPERTY LINE
CONC - CONCRETE	PT - POINT OF TANGENT
CONV - CONNECTION	PP - POWER POLE
CP - CORRUGATED PLASTIC	PVC - POLYVINYL CHLORIDE
CY - CUBIC YARD	PVMT - PAVEMENT
DB - DEED BOOK	PWR - POWER
DI - DROP INLET	(R) - RECORDED METES & BOUNDS
DIP - DUCTILE IRON PIPE	RD - ROOF DRAIN
D.M.P - DOUBLE MERIDIAN DISTANCES	RJ - RESTRAINED JOINT
DR - DRIVE	R/W - RIGHT-OF-WAY
DS - DOWNSPOUT	REQD - REQUIRED
E - ELECTRIC	RCP - REINFORCED CONCRETE PIPE
EA - EACH	S - SLOPE
E BOX - ELECTRICAL BOX	SAN - SANITARY SEWER
ELEC - ELECTRIC	SDWK - SIDEWALK
EP - EDGE OF PAVEMENT	SF - SILT FENCE
E/S - EDGE OF SHOULDER	SPT - SPOT GRADE
EX - EXISTING	SS - SANITARY SEWER CONNECTION
F/C - FACE OF CURB	STA - STATION
FDC - FIRE DEPARTMENT CONNECTION	STD - STANDARD
FF - FINISHED FLOOR	STM - STORM
FH - FIRE HYDRANT	STMH - STORM SEWER MANHOLE
F/L - FLOW LINE	T - TELEPHONE
FL - FIRE LANE	TBC - TOP BACK OF CURB
G - GAS	TCM - TELECOMMUNICATIONS MANHOLE
GI - GRATE INLET	T/C - TOP OF CURB
GND - GROUND	TEL - TELEPHONE
GTS - GAS TEST STATION	UGE - UNDERGROUND ELECTRIC
GV - GAS VALVE	UNK - UNKNOWN
HOPE - HIGH DENSITY POLYETHYLENE	UP - UTILITY POLE
HORIZ - HORIZONTAL	VAR - VARIABLE
HVAC - HEATING, VENTILATION, & AIR CONDITIONING	VCP - VITRIFIED CLAY PIPE
INV - INVERT	VERT - VERTICAL
IPF - IRON PIPE FOUND	W/ - WITH
IPS - IRON PIPE SET	W/L - WATER LINE
IRF - IRON ROD FOUND	W - WATER
LF - LINEAR FEET	WUS - WATERS OF THE US
(M) - MEASURED METES & BOUNDS	X-ING - CROSSING
MECH - MECHANICAL	YI - YARD INLET
MH - MANHOLE	Ø - DIAMETER

VICINITY MAP



SCALE: 1"=500'

SHEET INDEX		
DRAWING	TITLE	REVISION DATE
C-0.0	COVER SHEET	01/18/2024
C-1.0	EXISTING CONDITIONS PLAN	01/18/2024
SITE LAYOUT AND UTILITY		
C-2.0	CONCEPTUAL SITE PLAN	01/18/2024
C-3.0	CONCEPTUAL LANDSCAPE PLAN	01/18/2024
ARCHITECTURAL ELEVATIONS (BY OTHERS PROVIDED FOR REFERENCE ONLY)		
A-201	ARCHITECTURAL ELEVATIONS	01/09/2024

TOTAL NUMBER OF DRAWINGS INCLUDED IN SET = 5

DEVELOPER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
LANDOWNER	
CG ENTERPRISES OF NC LLC 1609 WHISPERING MEADOWS DRIVE ZEBULON, NC 27597	
EXISTING PROPERTY DATA	
SITE ADDRESS	301 JONES STREET AND 108 PEARCES ROAD
PIN	2706-01-5099 & 2706-01-4224
PLANNING JURISDICTION	TOWN OF ZEBULON
PARCEL AREA	0.312 + 1.603 = 1.915 ACRES
EXISTING ZONING	R2
EXISTING LAND USE	VACANT
CURRENT DEED	DB 19356 PG 637
FEMA FLOOD INSURANCE MAP	3720270600K (07-19-2022)
FEMA FLOODZONE	ZONE "X"
RIVER BASIN	NEUSE
RECEIVING STREAM	UNNAMED TRIBUTARY TO LITTLE RIVER (TARPLEYS POND) STREAM INDEX - 27-57-(8.5) CLASSIFICATION - WS-V;NSW

SITE INFORMATION TABLE	
EXISTING ZONING	R2
PROPOSED ZONING	GC-C
EXISTING SITE AREA	1.915 ACRES
R/W DEDICATION	0.06± ACRES
OTHER DEDICATION	0 ACRES
PROPOSED NET SITE AREA	1.855 ACRES
PROPOSED USE	GYMNASIUM & RETAIL
DEVELOPMENT STANDARDS	
MAX. RESIDENTIAL DENSITY	7 UNITS / ACRE
PROPOSED RES. DENSITY	0 UNITS / ACRE
MIN. LOT AREA	6,000 SF
PROPOSED LOT AREA	80,803± SF
MIN. LOT WIDTH	50 LF
PROPOSED LOT WIDTH	111± LF
MAX. LOT COVERAGE	80%
PROPOSED LOT COVERAGE	14%
MIN. STREET SETBACK	30 FEET
MIN. SIDE SETBACK	5 FEET
MIN. REAR SETBACK	25 FEET
MAX. BUILDING HEIGHT	50 FEET
PROPOSED BUILDING HEIGHT	LESS THAN 50 FEET
REQUIRED OPEN SPACE	3.0%
REQUIRED OPEN SPACE	2,500 SF
PROVIDED OPEN SPACE	2,502 SF
REQUIRED PARKING	1 SPACE / 200 SF (FITNESS CENTER) 1 SPACE / 200 SF (RETAIL)
REQUIRED PARKING	17,823 NET SF FITNESS / 200 = 89 SPACES
	3,762 NET SF RETAIL / 200 = 18 SPACES
REQUIRED PARKING	99 SPACES
PROVIDED PARKING	79 SPACES
REQUIRED ADA PARKING	3 SPACES
PROVIDED ADA PARKING	3 SPACES
BICYCLE PARKING REQUIRED	108 SPACES / 20 = 6 SPACES
BICYCLE PARKING PROVIDED	6 SPACES

DEVELOPER
CG ENTERPRISES OF NC LLC
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ZEBULON, NC 27597
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CIVIL ENGINEER

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WASHINGTON, NC 27889
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PHONE: 252-702-1910
EMAIL: BRIAN@OKANEANDASSOCIATES.COM

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION

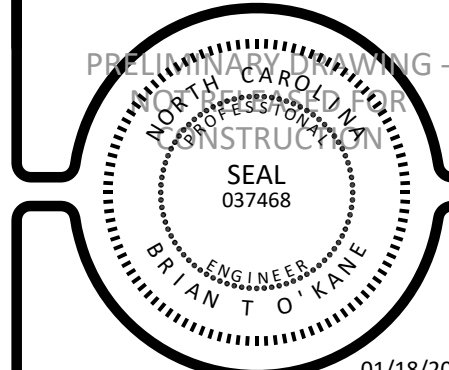
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1	REVISED PER TOWN OF ZEBULON 01-18-2024



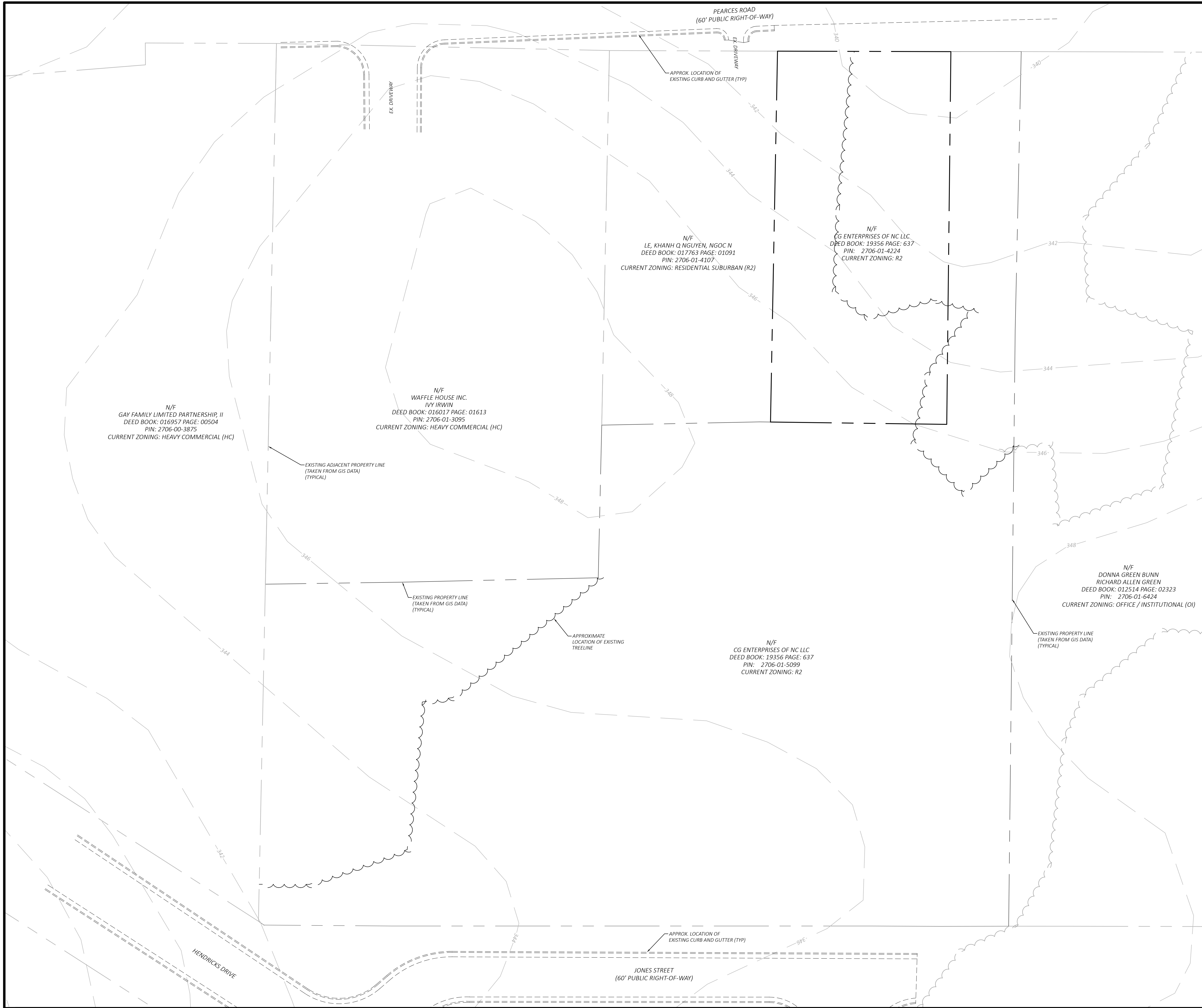
CLIENT:
CG ENTERPRISES OF NC LLC
1609 WHISPERING MEADOWS DRIVE
ZEBULON, NC 27597

CONDITIONAL REZONING CONCEPT PLAN

COVER SHEET
24/7 FITNESS CLUB
301 JONES STREET
AND 108 PEARCES ROAD
ZEBULON, NORTH CAROLINA



HORIZONTAL SCALE:	N/A
VERTICAL SCALE:	N/A
DATE:	01-18-2024
SHEET NUMBER:	C-0.0



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RIVER BASIN	NEUSE
RECEIVING STREAM	UNNAMED TRIBUTARY TO LITTLE RIVER (TARPLEYS POND) STREAM INDEX - 27-57-(8.5) CLASSIFICATION - WS-V;NSW

- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS WITHIN PROPERTY BOUNDARY TAKEN FROM WAKE COUNTY GIS DATA AND SHOULD BE CONSIDERED APPROXIMATE.
 - ALL OTHER EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM WAKE COUNTY GIS AND ARE NOT THE RESULT OF A BOUNDARY OR TOPOGRAPHIC SURVEY UNLESS SPECIFICALLY STATED OTHERWISE.
 - LOCATION OF EXISTING TREELINE TAKEN FROM AERIAL PHOTOGRAPHY AND SHOULD BE CONSIDERED APPROXIMATE.
 - NO ENVIRONMENTAL INVESTIGATION OR DETERMINATIONS HAVE BEEN PERFORMED BY O'KANE AND ASSOCIATES ON THE SITE. ANY AND ALL ENVIRONMENTAL INFORMATION SHOWN IS PRELIMINARY AND HAS NOT BEEN VERIFIED BY THE GOVERNING AGENCIES. ALL ENVIRONMENTAL FEATURES SHALL BE CONFIRMED BY APPROPRIATE GOVERNING AGENCY AND SURVEYED PRIOR TO CONSTRUCTION.

- EXISTING NATURAL FEATURES:**
- THIS PROPERTY LIES WITHIN THE NEUSE RIVER BASIN.
 - THIS PROPERTY IS LOCATED IN ZONE X, AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD MAPS NUMBER 3720270600K, DATED 07/19/2022.
 - THIS PROPERTY DRAINS TO AN UNNAMED TRIBUTARY (UT) OF THE LITTLE RIVER (TARPLEYS POND) WHICH IS A NAMED TRIBUTARY OF THE LITTLE RIVER, WHICH IS A NAMED TRIBUTARY OF THE NEUSE RIVER.

- GIS SOILS INFORMATION:**
- SOILS INFO. FOR THE PROJECT WAS TAKEN FROM WAKE COUNTY GIS.
 - THE SOIL BOUNDARY SHOWN IS FROM GIS DATA AND IS APPROXIMATE.
 - THE SOIL TYPES ON THIS SITE ARE:
Ur- URBAN LAND (HYDROLOGIC SOIL GROUP- B) (2.3% OF SITE AREA)
WbS- WOODWEE- URBAN LAND COMPLEX, 2-6% SLOPES (HYDROLOGIC SOIL GROUP- B) (97.7% OF SITE AREA)

EXISTING ON-SITE LAND COVER TABULATION			
LAND COVER	AREA (SF)	AREA (AC)	% OF TOTAL
DRIVE/PARKING	0 SF	0.00 AC	0.00%
SIDEWALK/GRAVEL	0 SF	0.00 AC	0.00%
BUILDING	0 SF	0.00 AC	0.00%
TOTAL IMPERVIOUS AREA	0 SF	0.00 AC	0.00%
GRASS/LAWN	71,667 SF	1.645 AC	85.9%
WOODED	11,750 SF	0.270 AC	14.1%
TOTAL PERVIOUS AREA	83,417 SF	1.915 AC	100.0%
TOTAL AREA	83,417 SF	1.915 AC	100.0%

EXISTING CONDITIONS LEGEND

	EXISTING PROPERTY BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING GIS PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EX. CURB AND GUTTER
	EX. PAVEMENT EDGE
	EXISTING ROAD STRIPE
	EXISTING GRAVEL
	EXISTING FENCE
	EXISTING TREELINE
	EXISTING DITCH CENTERLINE
	EXISTING TOP OF BANK
	EXISTING OVERHEAD POWER
	14 - EXISTING MINOR CONTOUR
	15 - EXISTING MAJOR CONTOUR
	EXISTING GIS CONTOUR
	EXISTING STORM PIPE
	EXISTING EASEMENT
	EXISTING SANITARY SEWER
	BENCHMARK
	IRON ROD FOUND (IRF)
	CALCULATED POINT
	EXISTING SIGN OR MARKER
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING LIGHT POLE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING FIRE HYDRANT

REVISIONS

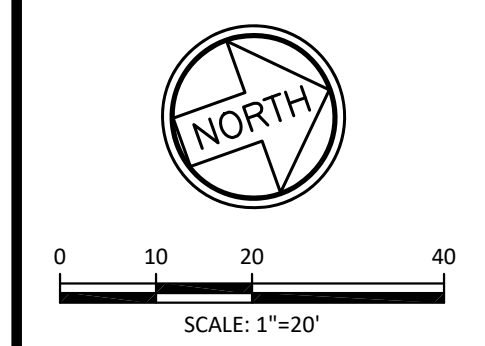
1	REVISED PER TOWN OF ZEBULON 01-18-2024
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WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM NC LICENSE NUMBER P-2529

CLIENT:
CG ENTERPRISES OF NC LLC
1609 WHISPERING MEADOWS DRIVE
ZEBULON, NC 27597

CONDITIONAL REZONING CONCEPT PLAN

EXISTING CONDITIONS PLAN
24/7 FITNESS CLUB
301 JONES STREET
AND 108 PEARCES ROAD
ZEBULON, NORTH CAROLINA



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

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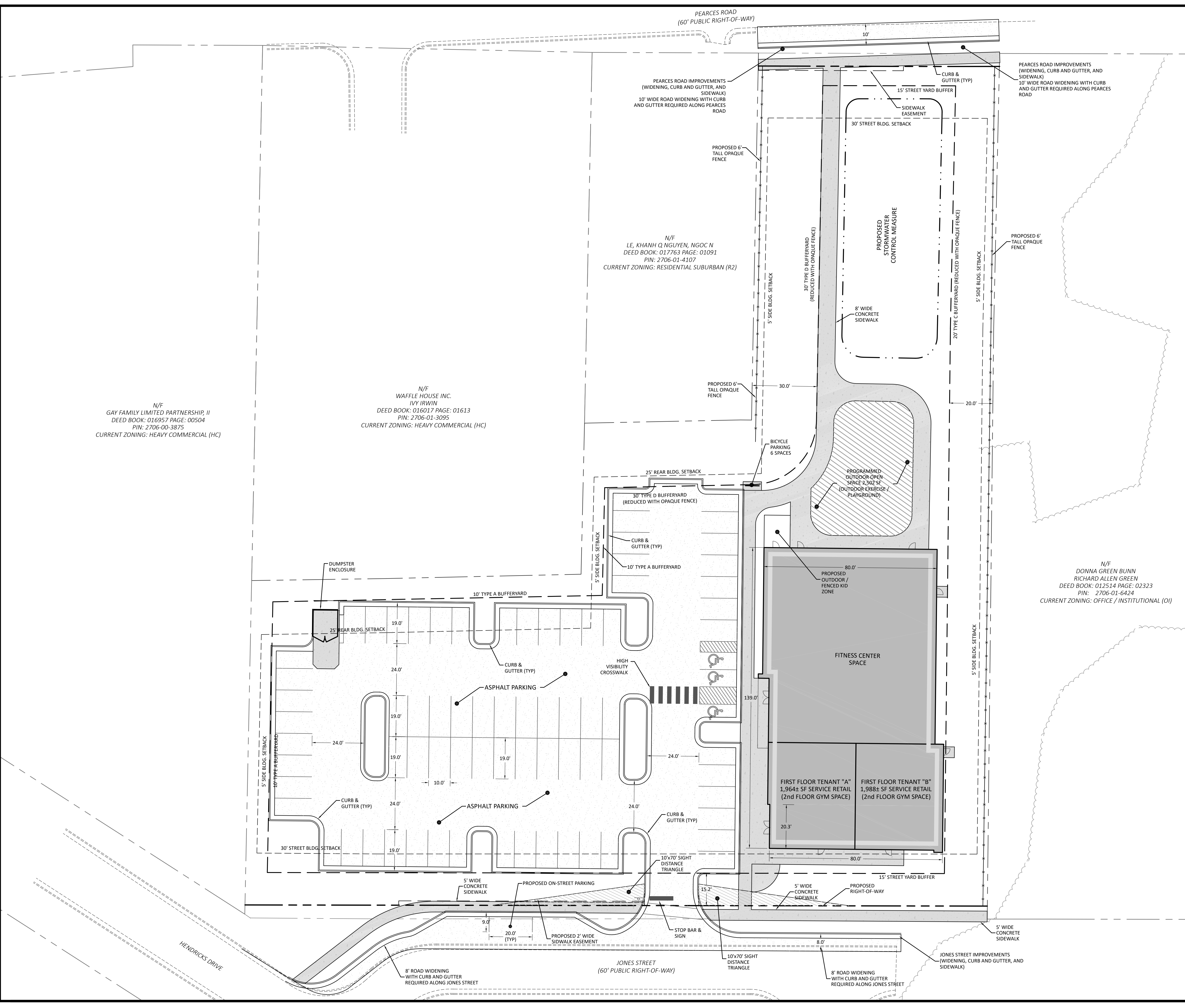
HORIZONTAL SCALE: 1"=20'

VERTICAL SCALE: N/A

DATE: 01-18-2024

SHEET NUMBER: **C-1.0**

PRELIMINARY DRAWING
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SITE INFORMATION TABLE	
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PROPOSED ZONING	GC-C
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PROPOSED RES. DENSITY	0 UNITS / ACRE
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BICYCLE PARKING REQUIRED	108 SPACES / 20 = 6 SPACES
BICYCLE PARKING PROVIDED	6 SPACES

- SITE PLAN NOTES:**
- CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
 - THE CONTRACTOR SHALL CONFIRM THAT ALL THE CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.

SITE PLAN LEGEND

	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED ROAD CENTERLINE
	BUILDING SETBACK / MBL
	BUFFERYARD
	PROPOSED CURB AND GUTTER
	PROPOSED EDGE OF PAVEMENT
	PROPOSED EDGE OF SIDEWALK
	PROPOSED BUILDING FACE
	PROPOSED PARKING STRIPE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED BUILDING
	FUTURE BUILDING
	PROPOSED GRAVEL

REVISIONS	
1	REVISED PER TOWN OF ZEBULON 01-18-2024

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CONCEPTUAL SITE PLAN
24/7 FITNESS CLUB
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SHEET TITLE:
CONCEPTUAL SITE PLAN

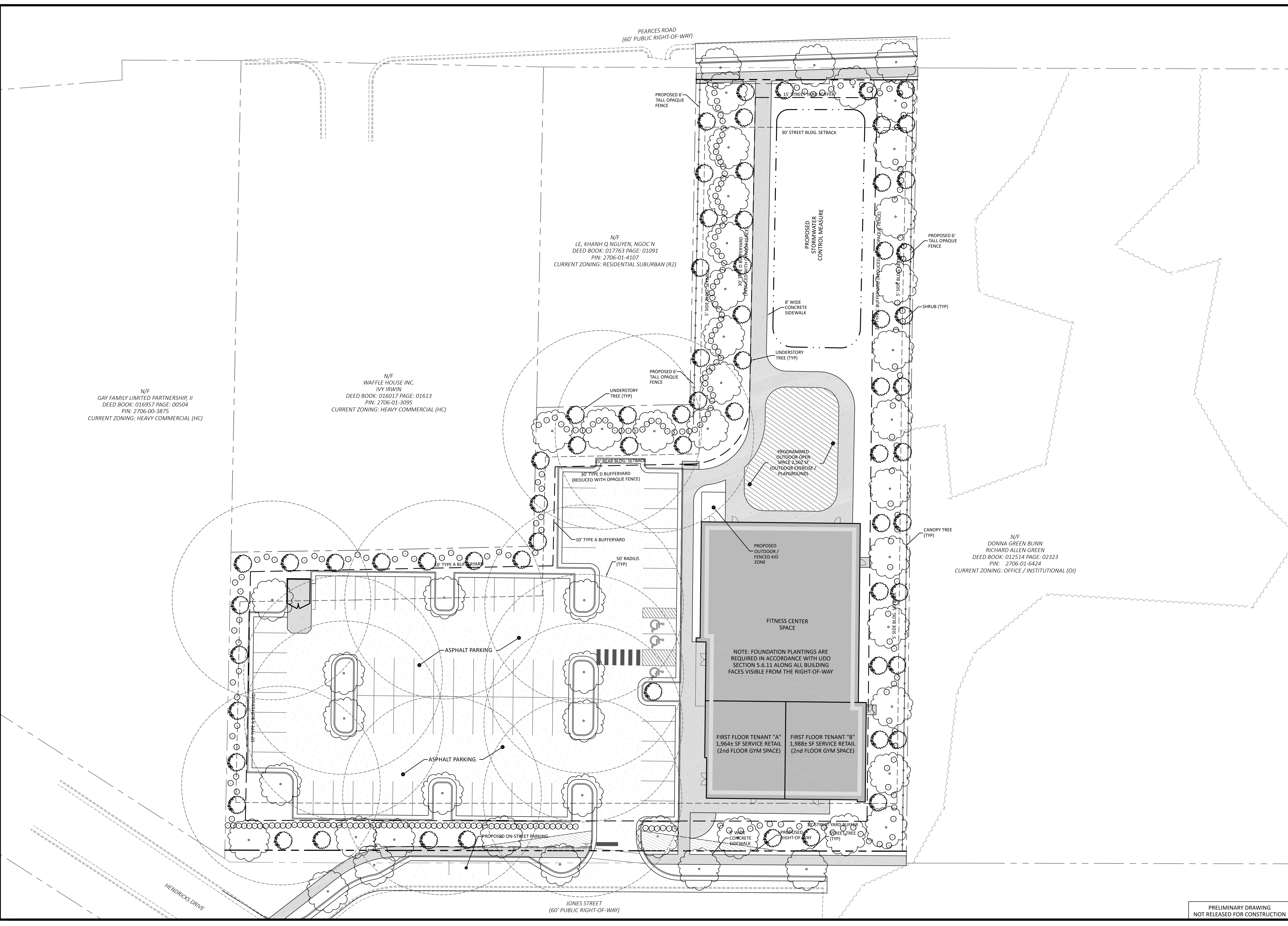
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HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: N/A

DATE: 01-18-2024

SHEET NUMBER: C-2.0

PRELIMINARY DRAWING NOT RELEASED FOR CONSTRUCTION

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01/18/2024



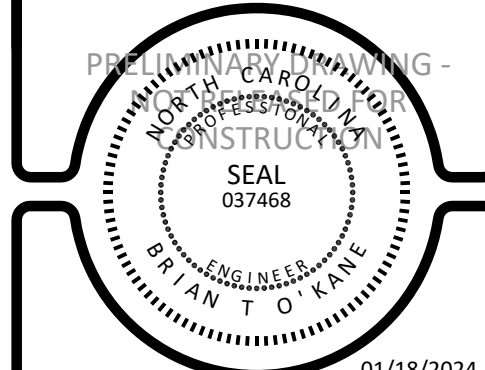
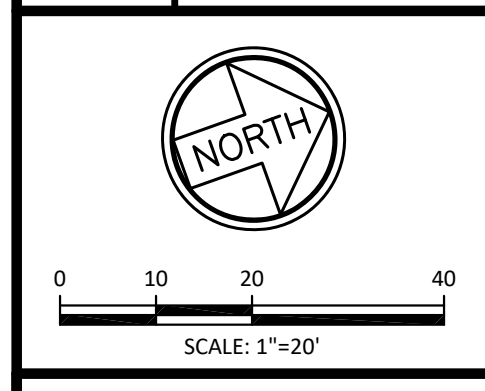
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 PHONE: 252-702-1910
 FIRM NC LICENSE NUMBER P-2529

CLIENT:
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 ZEBULON, NC 27597

CONDITIONAL REZONING CONCEPT PLAN

CONCEPTUAL LANDSCAPE PLAN
24/7 FITNESS CLUB
 301 JONES STREET
 AND 108 PEARCES ROAD
 ZEBULON, NORTH CAROLINA



HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	01-18-2024
SHEET NUMBER:	C-3.0

PRELIMINARY DRAWING
 NOT RELEASED FOR CONSTRUCTION



HAGERSMITH

ARCHITECTURE | INTERIOR DESIGN
LANDSCAPE ARCHITECTURE

300 S. DAWSON STREET
RALEIGH, NC 27601 | 919.821.5547
www.hagersmith.com
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SEALS

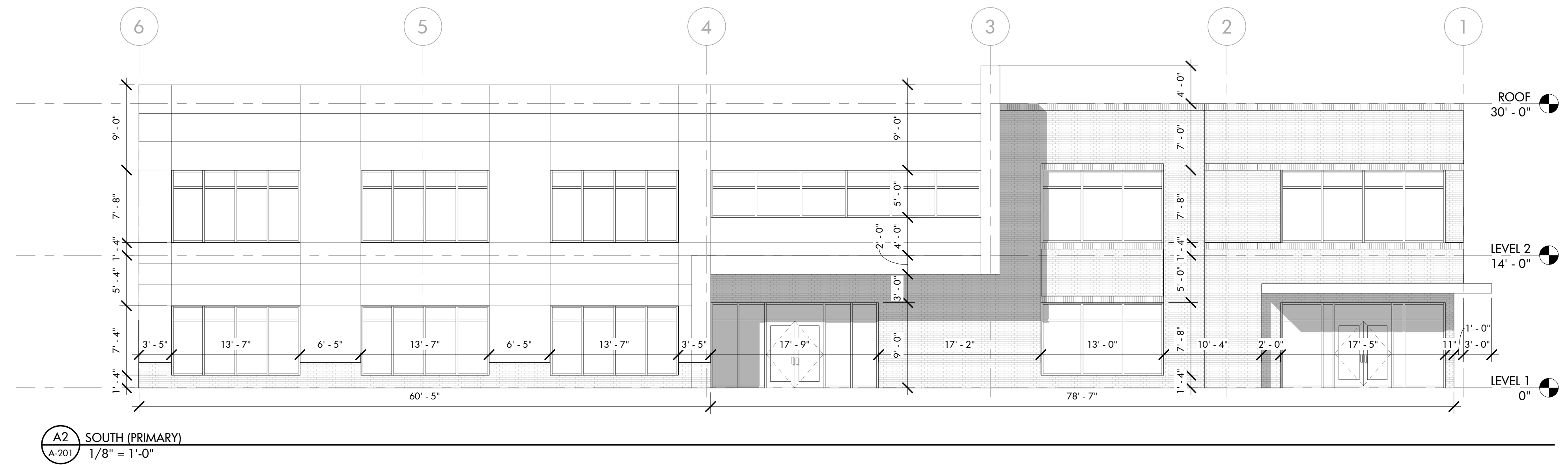
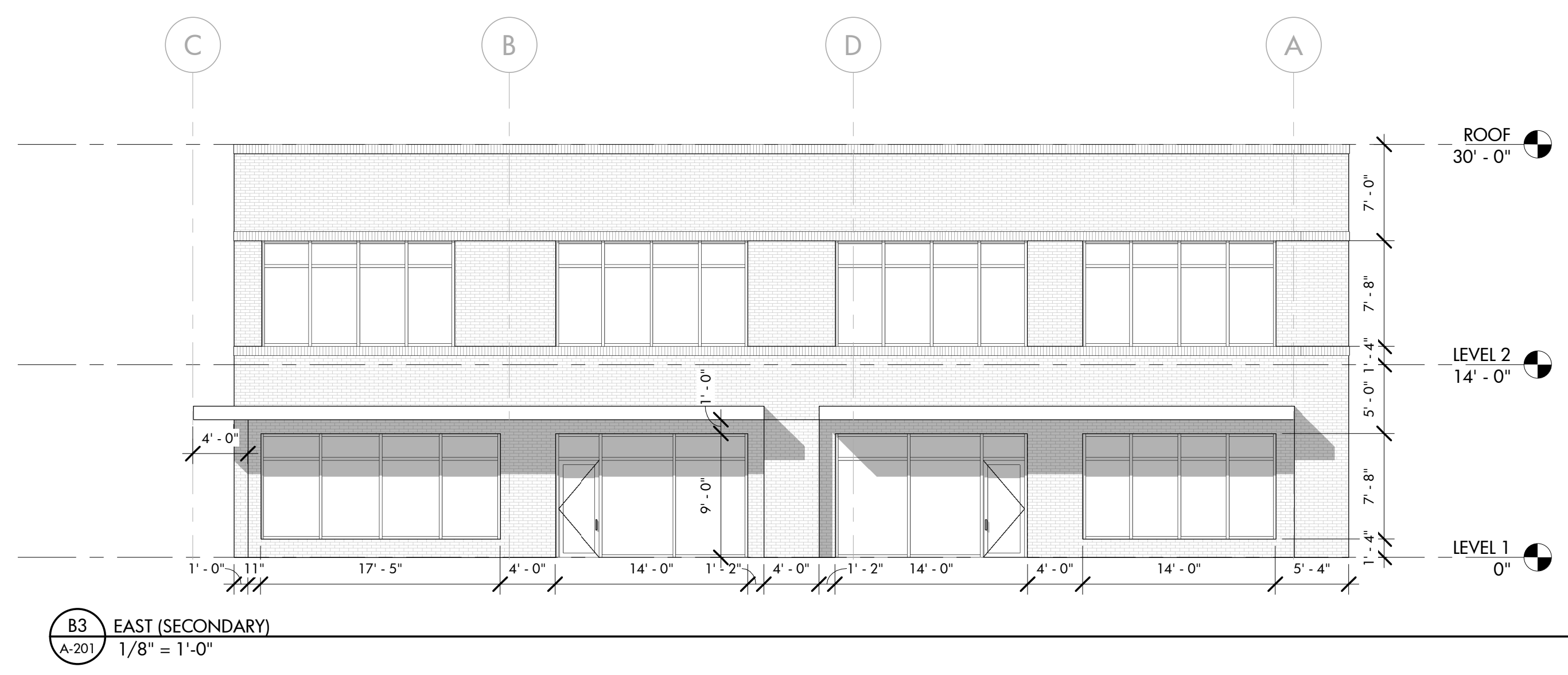
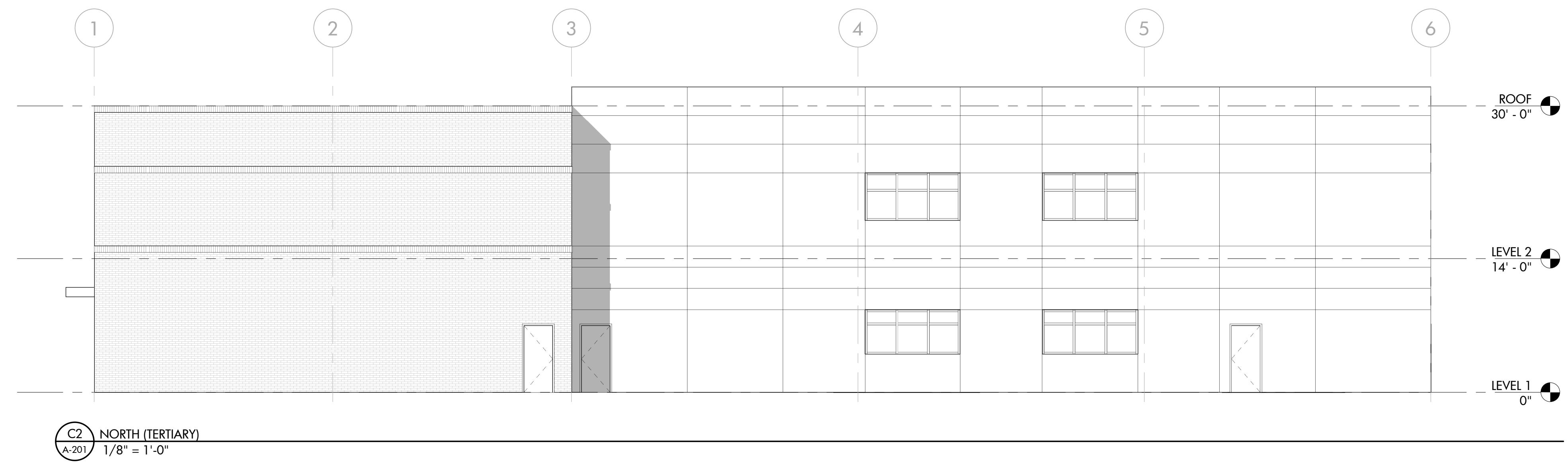
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT 000-000

24 SEVEN FITNESS

ZEBULON, NC

CONSULTANTS



A1 RENDERING (SE PERSPECTIVE)
A-201 NOT TO SCALE

DRAWING TITLE
EXTERIOR ELEVATIONS

REVISIONS		
NUMBER	DESCRIPTION	DATE

DRAWN BY NMT
CHECKED BY STI
DATE ISSUED 01.09.24

A-201