

# BARRINGTON SUBDIVISION

## PHASE 1 & RECREATION CENTER

### CONSTRUCTION PLANS FOR A SINGLE FAMILY SUBDIVISION

## ZEBULON, NORTH CAROLINA

### PROJECT STATISTICS

PROPERTY DEVELOPER ..... 264 DEVELOPMENT, LLC  
 933 OLD KNIGHT ROAD, KNIGHTDALE, NC 27545  
 PROJECT ADDRESS ..... 1745 OLD BUNN ROAD, ZEBULON, NC  
 WAKE COUNTY PIN(S) ..... 2106-01-1804  
 2106-01-1805

EXISTING ZONING ..... R-19 SUD  
 WATERSHED ..... WITHIN MOCCASIN CREEK WATERSHED

GROSS PROJECT AREA OF THIS SUBMITTAL ..... 39.44 AC  
 DISTURBED AREA ..... 30.71 AC  
 IMPERVIOUS AREA ..... 13.14 AC  
 AREA IN PUBLIC RIGHT-OF-WAY DEDICATION FOR OLD BUNN ROAD (20') ..... 1.21 AC  
 AREA IN PUBLIC RIGHT-OF-WAY ..... 7.41 AC  
 REQUIRED OPEN SPACE (10%) ..... 3.94 AC  
 PROVIDED OPEN SPACE (20%) (PRIVATE) ..... 11.05 AC  
 AREA IN LOTS ..... 9.41 AC  
 NUMBER OF SINGLE FAMILY LOTS ..... 45  
 TOTAL NUMBER OF LOTS ..... 126  
 NUMBER OF PAIRED SINGLE FAMILY LOTS ..... 26  
 NUMBER OF TOWNHOUSE WITH GARAGE LOTS ..... 28  
 NUMBER OF TOWNHOUSE LOTS WITHOUT GARAGES ..... 21  
 MINIMUM LOT SIZE FOR SINGLE FAMILY DETACHED ..... 5400 SF  
 MINIMUM LOT WIDTH

SINGLE FAMILY DETACHED DWELLING ..... 45  
 PAIRED SINGLE FAMILY DWELLINGS ..... 22  
 TOWNHOMES ..... 16

SETBACKS  
 SINGLE FAMILY  
 FRONT ..... 20 FEET  
 SIDE ..... 5 FEET  
 CORNER SIDE ..... 15 FEET  
 REAR ..... 20 FEET

PAIRED SINGLE FAMILY  
 FRONT ..... 20 FEET  
 SIDE ..... 5 FEET  
 CORNER SIDE ..... 15 FEET  
 REAR ..... 20 FEET

TOWNHOMES (STREET ACCESS)  
 FRONT (FROM SIDEWALK) ..... 15 FEET  
 SIDE (BUILDING TO BUILDING) ..... 15 FEET  
 CORNER SIDE ..... 15 FEET  
 REAR ..... 20 FEET

TOWNHOMES (STREET ACCESS)  
 FRONT ..... 15 FEET  
 SIDE (BUILDING TO BUILDING) ..... 15 FEET  
 CORNER SIDE ..... 15 FEET  
 REAR ..... 20 FEET

REQUIRED PARKING  
 CLUBHOUSE - 60x65 (2 STORIES) = 7,800 SF / 1 PS PER 300 SF ..... 26 PARKING SPACES  
 POOL - 3,675 SF / 15 SF PER PERSON = 245 / 1 PS PER 3 PEOPLE ..... 82 PARKING SPACES  
 TOTAL REQUIRED PARKING ..... 108 PARKING SPOTS  
 PARKING PROVIDED ..... 121 PARKING SPOTS

OLD BUNN ROAD AND PARKS VILLAGES ROAD:  
 ALL RESIDENTIAL LOT LINES (SINGLE FAMILY, PAIRED SINGLE FAMILY, TOWNHOMES)  
 SHALL BE SETBACK AT LEAST 30' FROM OLD BUNN ROAD AND PARKS VILLAGES ROAD.  
 US 64 AND 264 HIGHWAYS  
 ALL RESIDENTIAL LOT LINES (SINGLE FAMILY, PAIRED SINGLE FAMILY, TOWNHOMES)  
 SHALL BE SETBACK AT LEAST 50' FROM US 64 AND 264 HIGHWAYS.

### SPECIAL USE PERMIT - SU 2017-01

### GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY PRIEST, CRAVEN & ASSOCIATES, INC.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE AND WAKE COUNTY GIS DATA. EXISTING STREETS AND BUILDING INFORMATION TAKEN FROM A SURVEY BY PRIEST, CRAVEN & ASSOCIATES, INC. AND DIGITIZED FROM AERIAL PHOTOS.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF ZEBULON, CITY OF RALEIGH, WAKE COUNTY, NCDOT, AND NCCENR STANDARDS AND SPECIFICATIONS.
- FEMA DESIGNATED FLOOD ZONES ARE LOCATED ON THIS PROPERTY PER FEMA FLOOD PANEL 3120-1051-00KJ.
- THIS SITE IS LOCATED WITHIN THE NEUSE RIVER BASIN.

### REVISIONS:

REVISED 12/18/2018 CITY, TOWN, COUNTY REVIEW  
 REVISED 3/22/2019 CITY, TOWN, COUNTY REVIEW  
 REVISED 5/15/2019 CITY, TOWN, COUNTY REVIEW  
 REVISED 7/09/2019 CITY, TOWN REVIEW

DESCRIPTION	QUANTITY
1 STREET LIGHTING - TOZ	45
2 HOA LIGHTING (POOL/MAIL KIOSK)	13
TOTAL FIXTURES	58

PIPE TYPE	LINEAR FOOTAGE / QUANTITY
1 15" RCP	3705
2 18" RCP	2334
3 24" RCP	2123
4 30" RCP	560
5 36" RCP	203
6 42" RCP	277
7 FES	15
8 CURB INLETS	108

**EROSION AND SEDIMENT CONTROL**

APPROVED PLAN  
 DATE \_\_\_\_\_  
 PERMIT NO. S- \_\_\_\_\_  
 Wake County Environmental Services  
 Sedimentation & Erosion Control  
 919-856-7400

**PUBLIC SEWER COLLECTION/EXTENSION BY-TYPE**

THE CITY OF RALEIGH CONSENTS TO THE CONSTRUCTION AND EXTENSION OF THE 2016 PUBLIC UTILITIES DEPARTMENT (PUD) 10" TO 18" WATER, 16" TO 24" SANITARY, AND 18" TO 30" STORMWATER COLLECTION SYSTEMS TO THE PROPOSED LOTS AND SPECIFICATIONS OF THE 2016 PUBLIC UTILITIES DEPARTMENT.

CITY OF RALEIGH  
 PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
 APPROVED BY TO CONSTRUCT \_\_\_\_\_  
 DATE \_\_\_\_\_

**PUBLIC WATER DISTRIBUTION BY-TYPE**

THE CITY OF RALEIGH CONSENTS TO THE CONSTRUCTION AND EXTENSION OF THE 2016 PUBLIC UTILITIES DEPARTMENT (PUD) 10" TO 18" WATER, 16" TO 24" SANITARY, AND 18" TO 30" STORMWATER COLLECTION SYSTEMS TO THE PROPOSED LOTS AND SPECIFICATIONS OF THE 2016 PUBLIC UTILITIES DEPARTMENT.

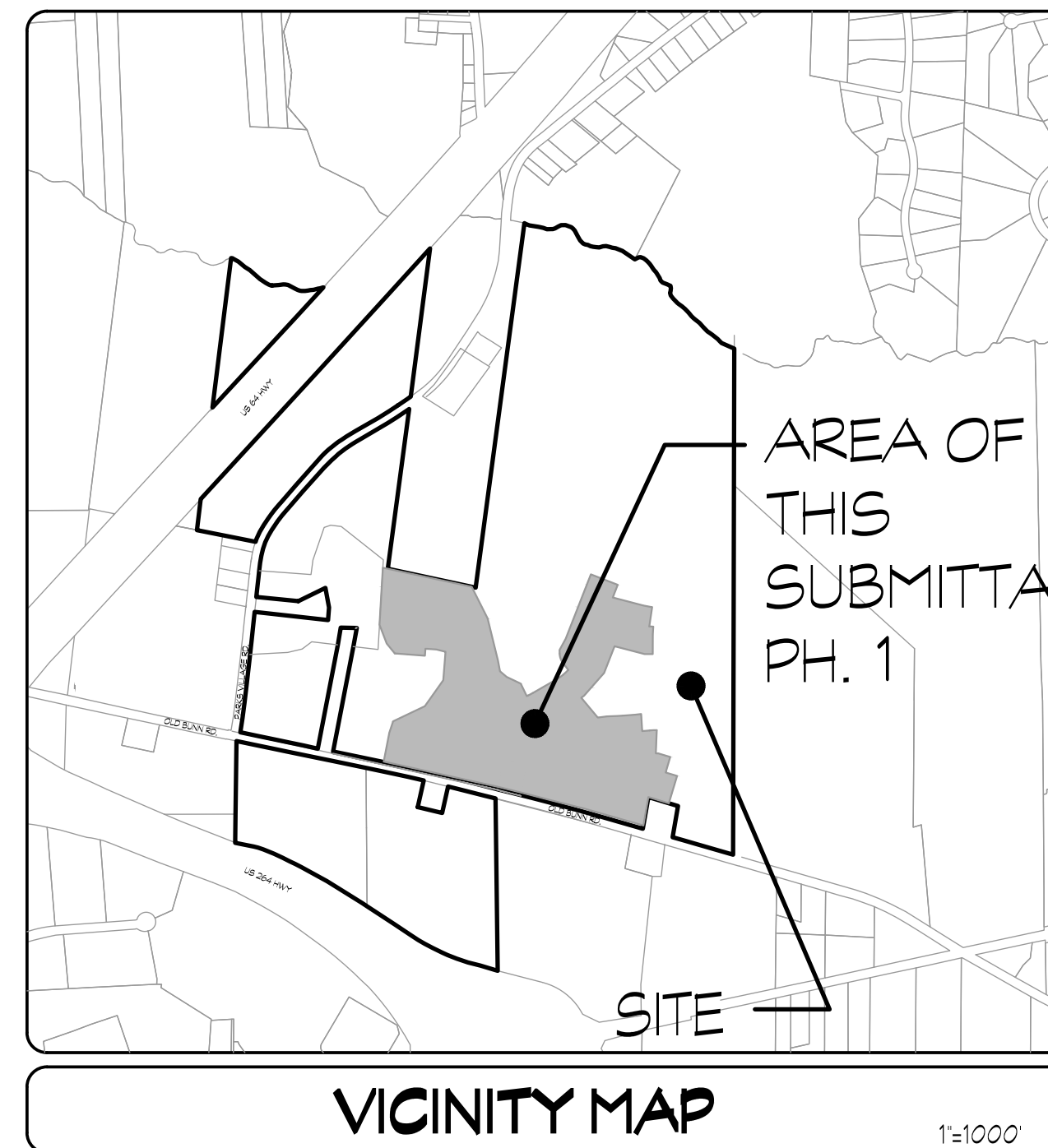
CITY OF RALEIGH  
 PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
 APPROVED BY TO CONSTRUCT \_\_\_\_\_  
 DATE \_\_\_\_\_

70. **Housing Square Footage:** The minimum heated square footage for each residential use type shall be as follows:

Land Use Type	Minimum Heated Square Footage (SF)
Single Family Detached Dwelling	1,400 SF
Paired Single Family Dwellings	1,400 SF
Townhomes - Two (2) Bedrooms	1,000 SF
Townhomes - Three (3) Bedrooms	1,250 SF

71. **Housing Type Percentages:** The maximum unit count for the development shall not exceed 837 and the minimum and maximum percentages of the housing types shall be as follows:

Land Use Type	Minimum	Maximum
Single Family Detached Dwelling	25%	100%
Paired Single Family Dwellings	8%	50%
Townhomes - Two (2) Bedrooms	1%	20%
Townhomes - Three (3) Bedrooms and above	25%	50%

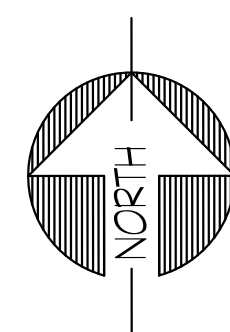


### CONSULTANT:

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 3803 - B Computer Drive, Suite 104, Raleigh, N.C. 27609  
 Phone 919 / 781-0300 Fax 919 / 782-1288  
 PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 Email pcc@priestcraven.com FIRM#: C-0488

### DEVELOPER AND APPLICANT:

**264 DEVELOPMENT, LLC**  
 933 OLD KNIGHT ROAD  
 KNIGHTDALE, NC 27545  
 919-625-9760  
 CWALKER@EPGROUPONLINE.COM



ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS

### SHEET INDEX:

NO.	SHEET TITLE
--	COVER SHEET
G1.00	PROJECT NOTES & LEGEND
G1.01	ZEBULON NOTES
G1.02	SPECIAL USE PERMIT NOTES
G1.03	SPECIAL USE PERMIT NOTES
C1.00	OVERALL EXISTING CONDITIONS PLAN
C2.00	OVERALL PHASE 1 SUBDIVISION LAYOUT
C2.01	SUBDIVISION LAYOUT PLAN
C2.02	SUBDIVISION LAYOUT PLAN
C2.03	REC. AMENITIES AREA LAYOUT
C2.04	POOL AND CLUBHOUSE AREA
EXHIBIT	CONCEPTUAL MASTER SEWER PLAN
EXHIBIT	CONCEPTUAL MASTER WATER SYSTEM PLAN
C3.00	OVERALL UTILITY PLAN
C3.01	OVERALL UTILITY PLAN
C3.02	OVERALL UTILITY PLAN
C3.03	UTILITY PLAN
C3.04	UTILITY PLAN
C3.05	UTILITY PLAN
C3.06	UTILITY PLAN
C3.07	FIRE HOSE PULL PLAN
C3.08	FIRE HOSE PULL PLAN
C4.00	SITE GRADING & DRAINAGE PLAN
C4.01	SITE GRADING & DRAINAGE PLAN
C4.02	SITE GRADING AND DRAINAGE PLAN
C4.03	STORM DRAINAGE PIPE DATA TABLES
C4.04	STORM DRAINAGE STRUCTURE DATA TABLES
C4.05	STORM DRAINAGE STRUCTURE DATA TABLES
C5.00	STORMWATER MANAGEMENT POND 1.1
C5.01	STORMWATER MANAGEMENT POND 2.1
C5.02	STORMWATER MANAGEMENT POND 3.1
C5.03	STORMWATER MANAGEMENT POND 4.1
C5.04	SWMP PLANTINGS
C5.05	SWMP PLANTINGS
C6.00	BARRINGTON RUN BLVD. & HALLINGSFIELD WAY STREET PLAN AND PROFILE
C6.01	HENHAM WAY PLAN & PROFILE
C6.02	PRIORY CIRCLE & CORRIE LANE PLAN & PROFILE
C6.03	LONGSTANTON AVENUE PLAN & PROFILE
C6.04	SHELFORD TRAIL AND EVERSDEN DRIVE PLAN & PROFILE
C6.05	PUTTNEY HILL ROAD PLAN & PROFILE
C6.06	BRACKLYN COURT PLAN & PROFILE
C6.07	HADSTOCK PATH PLAN & PROFILE
C6.08	BARRINGTON ROW AVENUE PLAN AND PROFILE
C7.00	OVERALL SANITARY SEWER PLAN
C7.01	SANITARY SEWER PLAN AND PROFILE
C7.02	SANITARY SEWER PLAN AND PROFILE
C7.03	SANITARY SEWER PLAN AND PROFILE

CT.04	SANITARY SEWER PLAN AND PROFILE
CT.05	SANITARY SEWER PLAN AND PROFILE
CT.06	SANITARY SEWER PLAN AND PROFILE
CT.07	WATERLINE EXTENSION
CT.08	WATERLINE EXTENSION
CT.09	WATERLINE EXTENSION
CT.10	WATERLINE EXTENSION
CT.11	OLD BUNN ROAD WIDENING
CT.12	STORM OUTFALL PLAN AND PROFILE
CT.13	STORM OUTFALL PLAN AND PROFILE
CT.14	STORM OUTFALL PLAN AND PROFILE
CT.15	STORM OUTFALL PLAN AND PROFILE
CT.16	STORM OUTFALL PLAN AND PROFILE
CT.17	STORM OUTFALL PLAN AND PROFILE
CT.18	STORM OUTFALL PLAN AND PROFILE
CT.19	STORM OUTFALL PLAN AND PROFILE
CT.20	STORM OUTFALL PLAN AND PROFILE
CT.21	STORM OUTFALL PLAN AND PROFILE
C8.00	EROSION NOTES & SEEDING
C8.01	EROSION NOTES DETAILS
C8.02	EROSION NOTES DETAILS
C8.10	OVERALL EROSION CONTROL STAGE 1
C8.11	EROSION CONTROL STAGE 1
C8.12	EROSION CONTROL STAGE 1
C8.20	OVERALL EROSION CONTROL STAGE 2
C8.21	EROSION CONTROL STAGE 2
C8.22	EROSION CONTROL STAGE 2
C9.00	TOWN OF ZEBULON DETAILS
C9.01	TOWN OF ZEBULON DETAILS
C9.02	TOWN OF ZEBULON DETAILS
C9.03	CITY OF RALEIGH SEWER DETAILS
C9.04	CITY OF RALEIGH WATER DETAILS
C10.0	OVERALL STREET SIGNAGE AND STRIPING PLAN
C10.01	STREET SIGNAGE AND STRIPING PLAN
C10.02	STREET SIGNAGE AND STRIPING PLAN
L1.00	OVERALL LANDSCAPING PLAN
L1.01	LANDSCAPING PLAN
L1.02	LANDSCAPING PLAN
L1.03	LANDSCAPING PLAN
L1.04	MAIL KIOSK PLAN
LT1.00	OVERALL STREET LIGHTING PLAN
LT1.01	STREET LIGHTING PLAN
LT1.02	STREET LIGHTING PLAN
MK1.00	MAIL KIOSK DETAIL
A1	CLUBHOUSE FRONT AND LEFT ELEVATION
A2	CLUBHOUSE REAR AND RIGHT ELEVATION
A3	FLOOR PLAN
A4	LOWER LEVEL (POOL LEVEL) FLOOR PLAN

### PHASE 1 IMPROVEMENTS

ITEM	QUANTITY
SEWER SERVICES	128
WATER SERVICES	130
L.F. OF 6" WATER LINE	128 LF
L.F. OF 8" WATER LINE	2853 LF
L.F. OF 12" WATER LINE	7535 LF
TOTAL L.F. OF WATERLINE	10916 LF
6" B.O.	1
8" B.O.	5
12" B.O.	4
# FIRE HYDRANT ASSEMBLIES	19
6" GATE VALVES	1
8" GATE VALVES	19
12" GATE VALVES	22
L.F. OF 8" SANITARY SEWER	11,841 LF
L.F. OF 10" SANITARY SEWER	491 LF
L.F. OF 12" SANITARY SEWER	55 LF
TOTAL L.F. OF SEWER LINE	12437

ITEM	QUANTITY
L.F. OF PUBLIC ROADS	5,408 LF
L.F. OF PUBLIC SIDEWALK	7,245 LF
L.F. OF PUBLIC SIDEWALK (BUNN RD)	1,591 LF

STREET	LINEAR FOOTAGE
1 STREET M	586
2 STREET N	260
3 STREET I	871
4 STREET H	782
5 STREET B	443
6 STREET E	1240
7 STREET C	921
8 STREET D	116
9 STREET A	189
TOTAL	5408

VERTICAL DATUM - NAVD83  
 HORIZONTAL DATUM - NAD83

**ATTENTION CONTRACTORS**  
 The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 496-4540 or local utility district prior to beginning any of these construction.  
 Failure to notify the Public Utilities Department in advance of beginning construction will result in the issuance of monetary fines, and require reparation of any water or sewer facilities not reported as a result of the notification failure.  
 Failure to call for inspection, install a Department Plug, have Planned Plans on the jobsite, or any other violation of City of Raleigh Ordinances will result in a Fine and Possible Eviction from Future work in the City of Raleigh.



ORIGINAL DATE: MAY 25, 2018

**GENERAL NOTES:**

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING ALL PHASES OF CONSTRUCTION.
- THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (L1000) AT 1-800-692-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. ALL PROPOSED UTILITIES ON-SITE SHALL BE UNDERGROUND AND ALL EXISTING ON-SITE POWER LINES WILL BE PLACED UNDERGROUND.
- TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND AS FURTHER DIRECTED BY TOWN AND STATE INSPECTORS.
- ALL MANUFACTURERS' PRODUCTS SPECIFIED IN THESE PLANS OR USED AS APPROVED ALTERNATES SHALL BE INSTALLED PER THE MANUFACTURERS' CURRENT SPECIFICATIONS.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE TOWN OF ZEBULON, ENGINEER, AND OWNER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS, AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.
- ROADWAYS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THE OVERALL DEVELOPMENT ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- NO TITLE SEARCH WAS PERFORMED BY THIS OFFICE FOR THIS PROPERTY. THIS PLAN MAY NOT SHOW ALL ENCUMBRANCES OR EASEMENTS THAT A TITLE SEARCH MAY DISCLOSE.
- ALL PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE OWNERS ASSOCIATION.
- ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (B-B), FACE OF CURB (F-F), OR EDGE OF PAVEMENT (EOP) ON NON-CURB AND GUTTER STREETS UNLESS OTHERWISE NOTED.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL CONSTRUCTION AND MATERIALS TO BE IN STRICT ACCORDANCE WITH CURRENT TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, DIV. NCDENR, AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- HORIZONTAL RELATION OF WATER MAINS TO SEWERS: LATERAL SEPARATION OF SEWERS AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION -- IN WHICH CASE:
  - A. THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN AND THERE IS A MINIMUM 3 FEET OF HORIZONTAL SEPARATION FROM THE CLOSEST EDGES OF THE PIPES.
- VERTICAL RELATION OF WATER MAINS TO SEWERS CROSSING A WATER MAIN OVER A SEWER: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION -- IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS.
 

CROSSING A WATER MAIN UNDER A SEWER: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- VERTICAL RELATION OF SANITARY SEWER MAINS TO STORM SEWER WHEN A SANITARY SEWER IS CROSSING OVER OR UNDER A STORM SEWER: A VERTICAL SEPARATION OF 24 INCHES SHALL BE MAINTAINED UNLESS BOTH LINES ARE OF A FERROUS MATERIAL, ENCASED IN CONCRETE, OR VOID SPACE FILLED WITH CONCRETE. PER CITY OF RALEIGH STANDARDS.
- GENERAL VERTICAL CLEARANCE WHEN OTHER UNDERGROUND UTILITIES ARE ENCOUNTERED, 18 INCHES OF SEPARATION SHALL BE MAINTAINED.
- SEWER SERVICES
 

TYPICAL SEWER SERVICE TO EACH LOT IS TO BE 4" PVC. BACKWATER VALVES TO BE INSTALLED AS REQUIRED. ALL SERVICES TO MEET THE APPLICABLE NC PLUMBING CODE.
- WATER SERVICE TYPICAL WATER SERVICE TO EACH LOT TO BE AS SHOWN ON THE PLANS.
- ALL PRIVATE STORM SEWER LINES TO BE LOCATED WITHIN A PRIVATE DRAINAGE EASEMENT.
- CURB, GUTTER, AND PAVEMENT TO BE FIELD ADJUSTED AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT ANY PONDING OF WATER.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF ZEBULON AND THE CITY OF RALEIGH.
- CONTRACTOR RESPONSIBLE FOR COORDINATING FRANCHISE UTILITIES AND OTHER SERVICES (I.E. GAS, ELECTRIC, CABLE, PHONE, MAIL, WASTE COLLECTION, ETC.).
- CONTRACTOR RESPONSIBLE FOR COORDINATING LOCATION, SIZE, AND INSTALLATIONS OF SLEEVES REQUIRED FOR OTHER UTILITY INSTALLATION INCLUDING, BUT NOT LIMITED TO ELECTRIC, PHONE, CABLE, GAS, IRRIGATION, ETC.
- CURB RAMPS SHALL BE LOCATED AND INSTALLED PER THE TOWN OF ZEBULON LATEST DETAILS. CONTRACTOR SHALL CONFIRM LOCATIONS, GRADE AND DETAILS WITH THE TOWN INSPECTOR PRIOR TO PLACING CONCRETE.

**RETAINING WALL AND HEADWALL NOTES:**

- HEADWALLS AND FLARED END SECTIONS TO BE PER NCDOT AND TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS. SEE NCDOT 838.60 AND OTHER DETAILS.
- ALL RETAINING WALLS WITHIN THE SITE TO BE PER DESIGNED BY OTHERS (INCLUDING MATERIAL, HEIGHT, WIDTH, ALIGNMENT, ELEVATIONS, FOOTINGS, ETC.). SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.
- CONTRACTOR TO INSTALL GRAVITY WALLS AS REQUIRED IN AREAS WHERE GEO-GRO CANNOT BE USED AND/OR WHERE RETAINING WALLS ABUT PUBLIC EASEMENTS AND/OR UNDISTURBED/PROTECTED BUFFERS.
- A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS, HEADWALLS, AND DOWN THE TOPS OF ALL WINGWALLS WHERE THE DROP FROM THE TOP OF THE RETAINING WALL OR HEADWALL TO THE BASE OF THE WALL OR INVERT OF THE PIPE IS GREATER THAN OR EQUAL TO 36". HAND RAILING SHALL INCLUDE NO MORE THAN TWO HORIZONTAL MEMBERS (E.G. ONE NEAR THE BOTTOM, AND ONE AT THE TOP) AND SHALL INCLUDE VERTICAL PICKETING SPACED AT SIX INCHES ON CENTER.
- GUARDRAILS TO BE INSTALLED IN AREAS IF INDICATED ON THE PLANS.
- ALL RETAINING WALLS ON SITE TO BE HOA MAINTAINED AND PLACED IN HOA MAINTENANCE EASEMENTS AT PLATTING STAGE.

**STORM DRAINAGE**

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
- THE INSPECTOR SHALL INSPECT ALL PUBLIC AND PRIVATE CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. THE TOWN OF ZEBULON IS RESPONSIBLE FOR INSPECTION OF PUBLIC DRAINAGE EASEMENTS.
- ALL RCP SEWER MAINS AND LATERALS SHALL BE MINIMUM CLASS II REINFORCED CONCRETE PIPE OR PER TOWN STANDARDS AND SPECIFICATIONS, WHICH EVER IS MORE STRINGENT. CLASS IV V RCP TO BE USED IF INDICATED.
- WHERE PROPOSED STORM SEWER PIPING TIE TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS AS REQUIRED TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
- SEE CURRENT TOWN OF ZEBULON UDO FOR ADDITIONAL NOTES AND DETAILS.

**EXISTING UTILITIES NOTES:**

- CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

**PROPOSED UTILITY NOTES:**

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE TOWN OF ZEBULON.
- IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ZEBULON OR CITY OF RALEIGH GOVERNING SUCH ITEMS SHALL APPLY.
- WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
- ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
- CLEAN OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
- ALL MANHOLES (IF SHOWN) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF ZEBULON AND CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH. SEE PROFILES AND TOWN OF ZEBULON AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS FOR MANHOLE SIZES.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY THE TOWN/CITY INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING TAPPING, DISINFECTION, AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.

**GRADING:**

- REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO INSTALLATION OF MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. FIELD ADJUSTMENTS TO BE MADE BY CONTRACTOR AS REQUIRED TO MAINTAIN ADEQUATE POSITIVE DRAINAGE THROUGHOUT PROJECT. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM SILT FENCES, DIVERSION DITCHES, BERMES, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- ALL MATERIALS USED FOR ALL FILLING OPERATIONS SHALL BE PLACED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
- TOP OF WALL (TW) AND BOTTOM OF WALL (BW) GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. THE RETAINING WALL DESIGNER/CONTRACTOR SHALL PROVIDE ADDITIONAL WALL HEIGHT AS NECESSARY FOR FOOTINGS AND CAP BLOCKS.
- ALL DEMOLITION DEBRIS SHALL BE HAULED OFF-SITE AS DIRECTED BY THE OWNER AND PROPERLY DISPOSED OF.
- NO TREE WITHIN THE TREE PROTECTION AREA SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE TOWN. MINIMUM DIMENSIONAL REQUIREMENTS: THE EXTENT OF THE CRITICAL ROOT ZONE (CRZ) OF THE TREE OR TREES AT THE OUTER EDGES OF THE TREE SAVE AREA SHALL CONSTITUTE THE LIMITS OF CONSTRUCTION FOR THE PURPOSES OF THIS SUB-SECTION. THE CRZ IS THE CIRCULAR AREA OF GROUND SURROUNDING A TREE EXTENDING FROM THE CENTER OF TREE TO THE GREATER OF:
  - 1.5 FEET PER CALIPER INCH DBH OF THE TREE.
  - THE DRIPLINE (FURTHEST EXTENT OF TREE CANOPY) OF THE TREE, OR
  - 6 FEET.

IF ANY TREE(S) USED FOR PRESERVATION CREDIT IS IMPROPERLY PROTECTED OR DETERMINED TO BE HAZARDOUS, THE ADMINISTRATOR MAY REQUIRE NEW TREES BE PLANTED EQUAL TO THE NUMBER OF CREDIT TREES.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS COMPLETE.
- BUILDING PAD AND PAVING SUB GRADE INFORMATION TO BE PER GEOTECHNICAL ENGINEERS RECOMMENDATION AND DIRECTION.
- PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES ARE TO BE USED IN CASE OF DISCREPANCY.
- WHERE FILL IS TO BE PLACED ON EXISTING SLOPES STEEPER THAN 4:1, CONTRACTOR SHALL EXCAVATE BENCHES WITH A MAXIMUM DEPTH OF 3'.
- THE CONTRACTOR SHALL STABILIZE ALL SLOPES STEEPER THAN 3:1 WITH MEASURES INDICATED WITHIN THESE PLANS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.
- THE CONTRACTOR SHALL NOTE THAT THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER. AFTER COMPLETION OF THE EARTHWORK ACTIVITIES IT IS REQUESTED THAT THE OWNER, BE PROVIDED A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTIONS TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.

**SOIL EROSION AND SEDIMENT CONTROL**

- THE CONTRACTOR SHALL NOTE THAT A SOIL EROSION CONTROL PERMIT IS REQUIRED.
- SEE EROSION CONTROL SHEETS FOR ADDITIONAL NOTES AND DETAILS.

**PAVING/CURBING**

- CONTRACTOR TO MAKE APPROPRIATE FIELD ADJUSTMENT TO PROVIDE A SMOOTH TRANSITION FROM EXISTING CURB AND GUTTER/PAVEMENT TO PROPOSED CURB & GUTTER/PAVEMENT.
- ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM 0-15#1 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED IN TOWN OF ZEBULON STANDARDS OR OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL ENGINEER. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P. BETWEEN 4 AND 15) AS NEEDED OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO PROVIDE A SMOOTH SURFACE FOR PAVING.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE TOWN'S SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PUBLIC STREETS SHALL CONFORM TO MUTCD, NCDOT, AND TOWN OF ZEBULON STANDARDS.
- ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO TOWN OF ZEBULON AND NCDOT STANDARDS.
- CONTRACTOR TO INSTALL SPILL GUTTER IN AREAS AS REQUIRED TO PREVENT ANY PONDING OF WATER IN THE GUTTER. CONTRACTOR TO SET CURB STRING LINE AND IDENTIFY SPILL GUTTER AREAS PRIOR TO CONSTRUCTION OF CURB AND GUTTER. PARTICULAR ATTENTION SHOULD BE PLACED ON INTERSECTION RADI.
- SEE CURRENT TOWN OF ZEBULON UDO FOR ADDITIONAL NOTES AND DETAILS.

**SANITARY SEWER COLLECTOR LINES & SERV. NOTES:**

- ALL SANITARY SEWER MAINS, LATERALS, AND SERVICES ARE TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE NCDENR AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE MINIMUM SLOPE ON 4" SANITARY SERVICE AND COLLECTOR LINES IS 1.0%
- ALL SANITARY SEWER COLLECTOR LINES SHALL HAVE A MINIMUM COVER OF 5 FEET (MEASURED FROM THE TOP OF FINISHED GRADE) IN TRAFFIC AREAS TO PIPE CROWN UNLESS D.I.P. IS PROVIDED IN CLASS 1 BEDDING WHERE MINIMUM COVER SHALL BE 3 FEET. MAINS AND SERVICES IN NON-TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 3 FEET (MEASURED FROM TOP OF FINISHED GRADE) TO THE PIPE CROWN. ANY SANITARY SEWER MAINS OR SERVICES WITH A DEPTH GREATER THAN 12.0 FEET ARE TO BE D.I.P.
- CLEANOUTS ARE TO BE INSTALLED ON ALL 4" SANITARY SERVICE LINES IN ACCORDANCE WITH NORTH CAROLINA PLUMBING CODE.
 

CONTRACTOR TO VERIFY INVERTS AND ELEVATIONS OF ALL UTILITIES WHERE 4" SANITARY SEWER SERVICE COLLECTOR LINES MUST CROSS STORM SEWER LINES, WATER MAINS, AND/OR OTHER UNDERGROUND UTILITIES. CONTRACTOR TO LAY SEWER LINES/SERVICES IN THESE LOCATIONS AT A MAXIMUM / MINIMUM DEPTH AND MAXIMUM / MINIMUM SLOPE (PER CODE) TO MAINTAIN A MINIMUM CLEARANCE OF 18" (24" FOR STORM SEWER) BETWEEN UTILITIES (FROM TOP / BOTTOM OF 1ST PIPE TO TOP / BOTTOM OF 2ND PIPE). IF 18" (24" FOR STORM SEWER) OF SEPARATION BETWEEN SANITARY SEWER SERVICES AND OTHER UTILITIES CANNOT BE MAINTAINED, SEWER SERVICE LINES MAY NEED TO BE DUCTILE IRON PIPE AND/OR ENCASED IN CONCRETE AT THE CROSSINGS. CONTRACTOR TO WORK WITH CITY INSPECTORS TO ENSURE THAT ADEQUATE SEPARATION AND PROTECTION IS PROVIDED FOR SERVICE LINES AND OTHER UTILITIES. ALL SERVICE LINES TO BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR THE CITY OF RALEIGH AND NCDENR STANDARDS AND SPECIFICATIONS.
- ANYTIME A WATER MAIN CROSSES UNDER A SANITARY SEWER COLLECTOR MAIN, BOTH THE WATER MAIN AND THE SEWER LINE MUST BE CONSTRUCTED OF D.I.P. CONTRACTOR TO ADJUST MATERIAL ACCORDINGLY.
- SANITARY SERVICE CLEANOUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED DURING CONSTRUCTION. CLEANOUT LOCATION AND CONSTRUCTION TO MEET THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR CITY OF RALEIGH AND NCDENR STANDARDS AND SPECIFICATIONS. CLEANOUT LOCATIONS SHOWN ON THESE PLANS REPRESENT THE SURFACE ACCESS POINT. CONTRACTOR SHALL INSTALL ALL WYES, ANGLES, BENDS, AND OTHER APPURTENANCES AS REQUIRED.

**CITY OF RALEIGH STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-41)
  - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPERS RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 15' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD POG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 946-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 946-5423 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

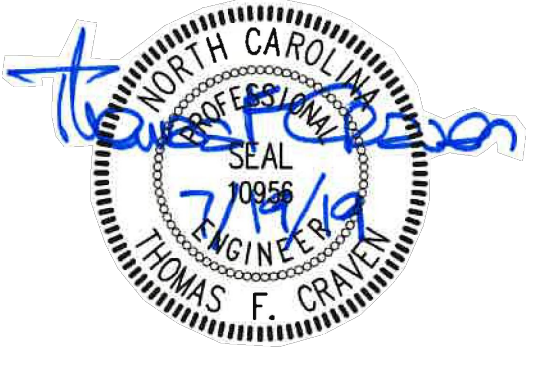
SYMBOL LEGEND	SURVEY SYMBOL LEGEND
<b>WATER &amp; SEWER</b>	<b>SYMBOL LEGEND</b>
FIRE HYDRANT (WITH 6" G.V.)	CABLE PEDESTAL
GATE VALVE	CABLE TV
BLOW OFF AND G.V.	CATCH BASIN
AIR RELEASE W/MANHOLE	CLEAN OUT
FIRE DEPT. CONNECTION (FDC)	CURB INLET
WATER METER (WM)	ELECTRIC BOX
WATER REDUCER	FIRE HYDRANT
SEWER MANHOLE	GAS VALVE
SANITARY SEWER	GRATED INLET
DUCTAL IRON	LIGHT POLE
FLARED END SECTION (WITH RIP RAP LEVEL SPREADER APRON)	STORM MANHOLE
HEADWALL (WITH RIP RAP LEVEL SPREADER APRON)	SWAMP
RIP RAP LEVEL	YARD INLET
CATCH BASIN	TREE
STORM MANHOLE	FENCE LINE
YARD INLET	
GRATED INLET	
SWALE / DITCH	
PRIVATE DRAINAGE ESMT. (PDE)	
	UNDERGROUND ELECTRIC
	UNDERGROUND POWER
	OVERHEAD POWER
	UNDERGROUND TELEPHONE
	UTILITY POLE
	WATER LINE
	WATER LINE MANHOLE
	WATER METER
	WATER VALVE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	TEMPORARY BENCHMARK
	FIBER OPTIC
	FLARED END SECTION
	GAS

**CORPUD**

ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS



<p><b>BARRINGTON SUBDIVISION</b></p> <p>TOWN OF ZEBULON NORTH CAROLINA</p>	SCALE: N/A	<p><b>PROJECT NOTES &amp; LEGEND</b></p>	REVISED 12/16/2010 CITY, TOWN, COUNTY REVIEW	<p><b>PRIEST, CRAVEN &amp; ASSOCIATES, INC.</b></p> <p>LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p> <p>3803 - B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-0300, Fax 919 / 782-1288, Email PCA@PriestCraven.com / Firm #: C-0488</p>	SHEET #
	DATE: 05/15/2018		REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW		G1.00
	PROJECT NUMBER: 2015-001.001		REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW		
	CLIENT: 264 DEVELOPMENT, LLC		REVISED 7/19/2014 CITY, TOWN, COUNTY REVIEW		
	PLAN TYPE: CONSTRUCTION DRAWINGS		RELEASED FOR CONSTRUCTION DATE: (SEE COVER) <input type="checkbox"/> NO <input type="checkbox"/> YES		

**TOWN OF ZEBULON CONSTRUCTION NOTES:**

- ALL ROADWAY AND GREENWAY INFRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN TO THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR JASON BROWN FOR APPROVAL. THE GOAL IS NOT TO RESTRICT TRAFFIC DURING PEAK BUSINESS HOURS OF 6:00AM AND UNTIL 5:00 AM AND 4:30PM TO 6:30 PM MONDAY THROUGH FRIDAY. ALL TRAFFIC CONTROL MUST COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CONSTRUCTION INSPECTION WILL BE PROVIDED BY JASON BROWN OR THIRD PARTY ENGINEER. JASON BROWN CAN BE REACHED AT 919-745-5640. CONTRACTOR SHALL PROVIDE A MINIMUM OF 12 HOURS OF NOTICE TO THE TOWN PRIOR TO BEGINNING CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH INSPECTOR PRIOR TO BEGINNING CONSTRUCTION.
- ALL ROADWAY, GREENWAY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS IN ROW OR DEDICATED PUBLIC EASEMENTS WILL BE REQUIRED TO BE DEDICATED TO THE TOWN OF ZEBULON AT COMPLETION OF THE PROJECT.
- AS-BUILT SITE PLANS FOR ROADWAY, GREENWAY AND UTILITY WORK MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL ACCEPTANCE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RED-LINE LINE DRAWINGS.
- DEVELOPER/OWNER IS RESPONSIBLE FOR CONTRACTING WITH THIRD PARTY NCDOT CERTIFIED TESTING FIRM. THE FIRM MUST BE APPROVED BY TOWN OF ZEBULON. MATERIAL TESTING IS REQUIRED FOR ALL ROADWAY AND GREENWAY TRAIL WORK. FINAL REPORTING AND CERTIFICATION (SEALED) IS REQUIRED AT COMPLETION OF THE PROJECT BY THE GEO-TECHNICAL ENGINEER. TESTING IS REQUIRED FOR SUBGRADE, ROADWAY/GREENWAY STONE, ASPHALT AND CURB AND GUTTER PER TOWN OF ZEBULON SPECS.
- AT THE COMPLETION OF THE PROJECT, THE DEVELOPER SHALL DEDICATE ALL ROW IMPROVEMENTS.
- AT THE COMPLETION OF THE PROJECT, THE DEVELOPER SHALL PROVIDE THE TOWN OF ZEBULON WITH A ONE YEAR WARRANTY FOR ALL DEDICATED IMPROVEMENTS.
- ALL FLAGGING OPERATIONS WITHIN TOZ RIGHT OF WAY REQUIRE QUALIFIED AND TRAINED WORK ZONE FLAGGERS. THE CONTRACTOR SHALL PROVIDE ALL BARRICADES, SIGNS, ETC. TO PROTECT AND SECURE THE CONSTRUCTION AREA, EQUIPMENT AND MATERIALS FROM THE PUBLIC.
- ANY EXISTING ROADWAYS, DRIVEWAYS, CURBS AND GUTTER, SIDEWALK, SIGNAGE OR DRAINAGE STRUCTURES THAT ARE DAMAGED DURING THE CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL KEEP THE ROADWAY CLEAN OF DIRT AND DEBRIS AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. EXCAVATED MATERIALS SHALL NOT BE PLACED ON THE ROADWAY AT ANY TIME. EXCAVATIONS SHALL NOT BE LEFT OPEN OR UNSAFE DURING OVERNIGHT HOURS.
- AT THE END OF EACH WORKING DAY, EQUIPMENT SHALL BE PARKED A MINIMUM OF 15' FROM THE BACK OF THE CURB TO ENSURE SAFETY OF VEHICLE TRAFFIC.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF OTHER UTILITIES WITHIN THE PROJECT SCOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OTHER UTILITIES OWNERS AND PROVIDING PROTECTION AND SAFEGUARDS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING FACILITIES AND TO MAINTAIN ACCESSIBILITY TO EXISTING UTILITIES.

**TOWN OF ZEBULON CONCRETE NOTES:**

- ALL CURB AND GUTTER REQUIRES CONCRETE TESTING FOR THE FOLLOWING REQUIREMENTS - SECTION 2.1.1
- 4" CONCRETE SLUMP
- TEMPERATURE - 50 AND 90 DEGREES
- AIR MIXTURE RANGE 9.5% TO 6.5%
- STRUCTURAL STRENGTH BREAK TEST - 7,14,28 DAYS @ 3000 PSI @ 28 DAYS
- SAMPLES EVERY 1000 LF OF CURB AND GUTTER TO ENSURE QUALITY
- MAX WATER - CEMENT RATIO BY WEIGHT, 0.594
- MINIMUM CEMENT CONTENT (LBS/CY), 602
- CONCRETE SIDEWALK TESTING IS NOT REQUIRED, UNLESS CONSTRUCTION INSPECTOR DETERMINES THAT THE QUALITY IS INFERIOR AND DOES NOT MEET INDUSTRY STANDARDS. CONTRACTOR MUST MAINTAIN A 4 INCH SLUMP FOR ALL SIDEWALK WORK. AIR TEMPERATURES AT PLACEMENT MUST BE 40 DEGREES AND RISING. SURFACE TEMPERATURES SHALL BE 50 DEGREES OR GREATER. (SECTION 2.2.2 B)

**TOWN OF ZEBULON STORMWATER DRAINAGE NOTES:**

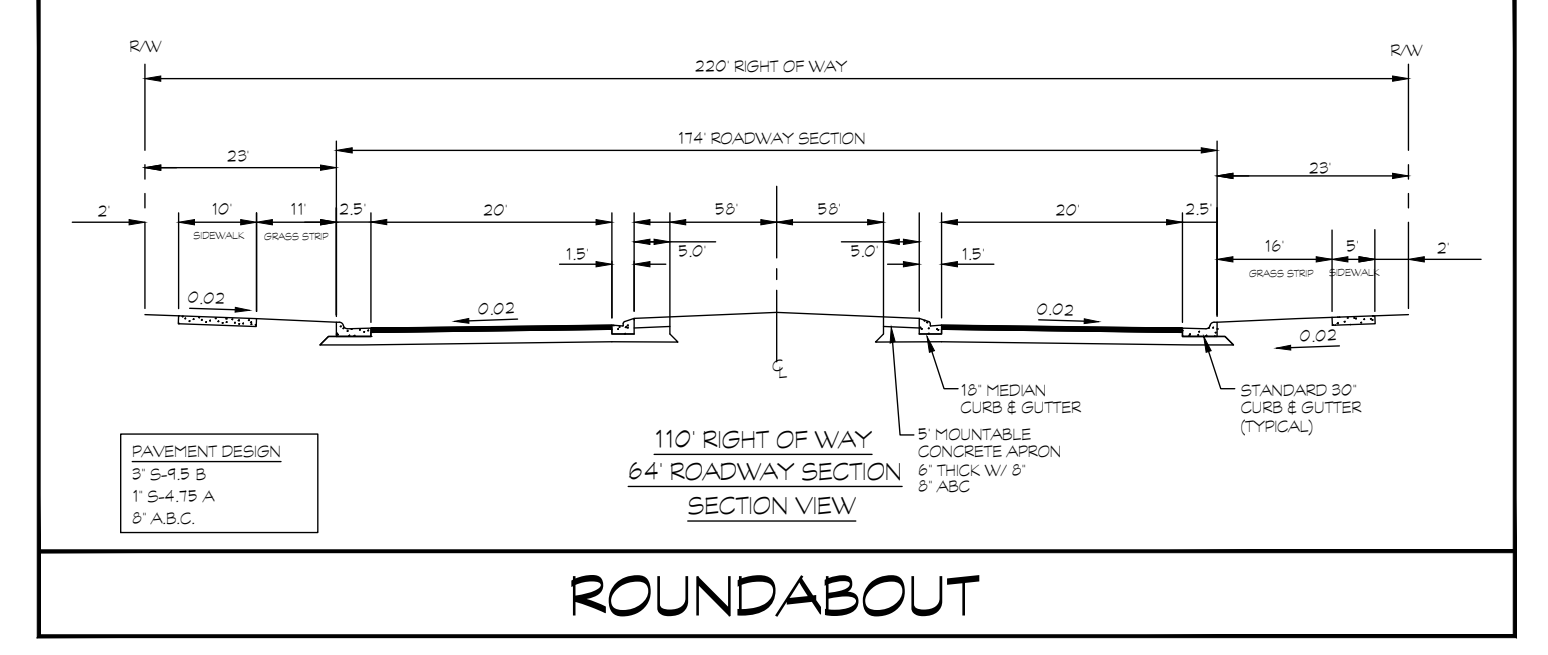
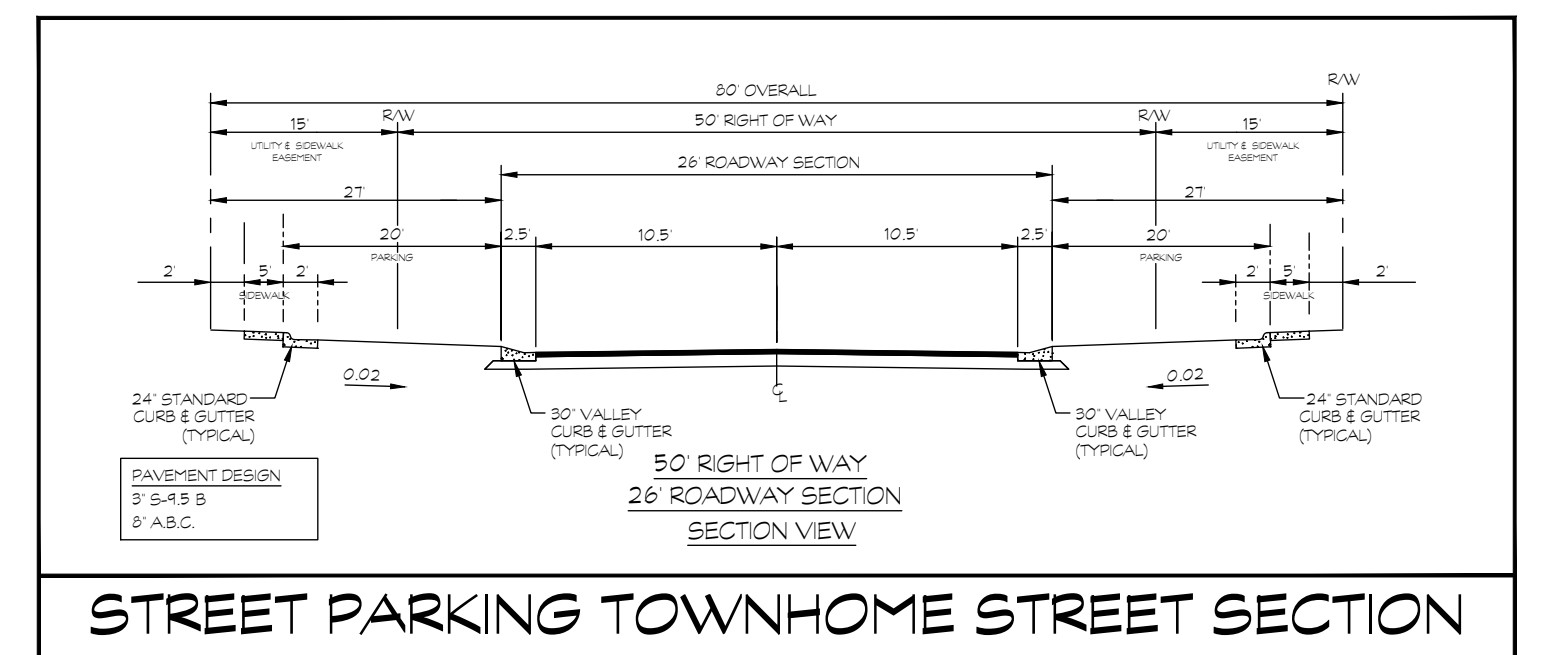
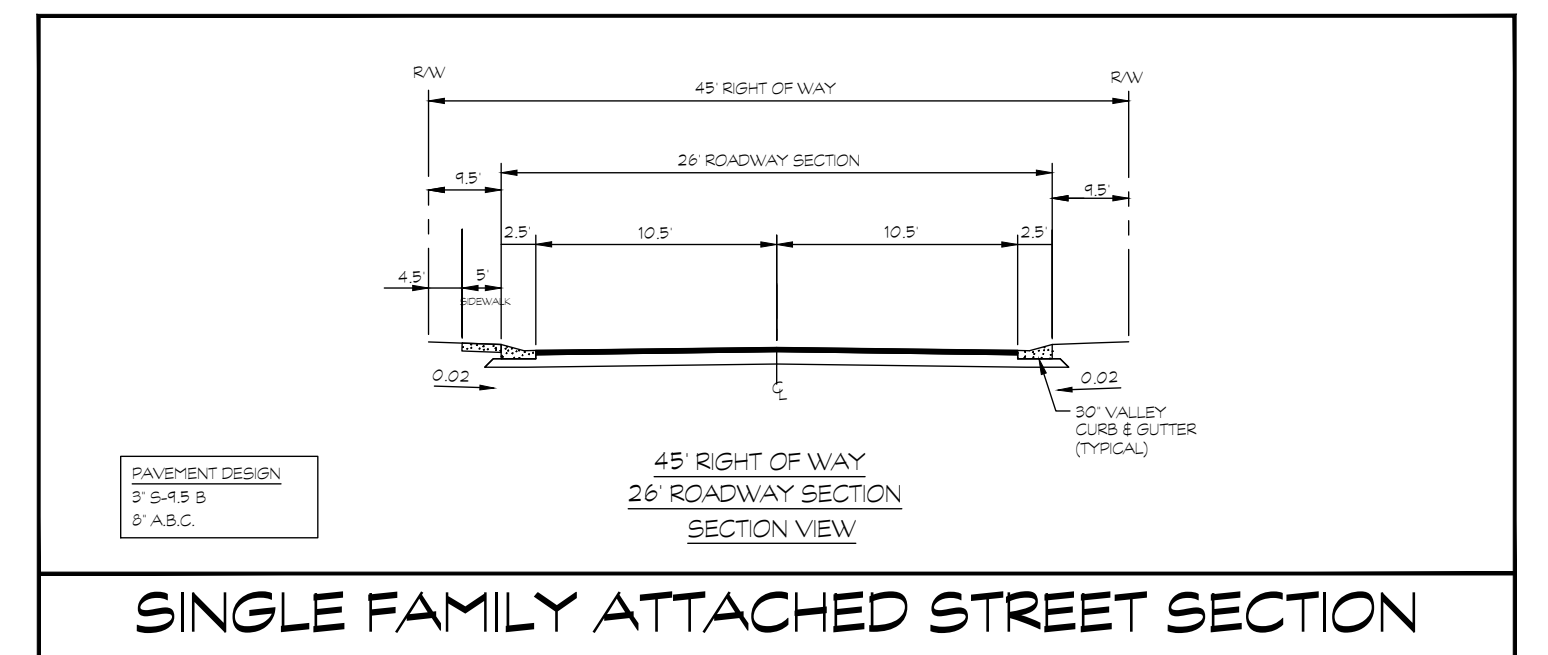
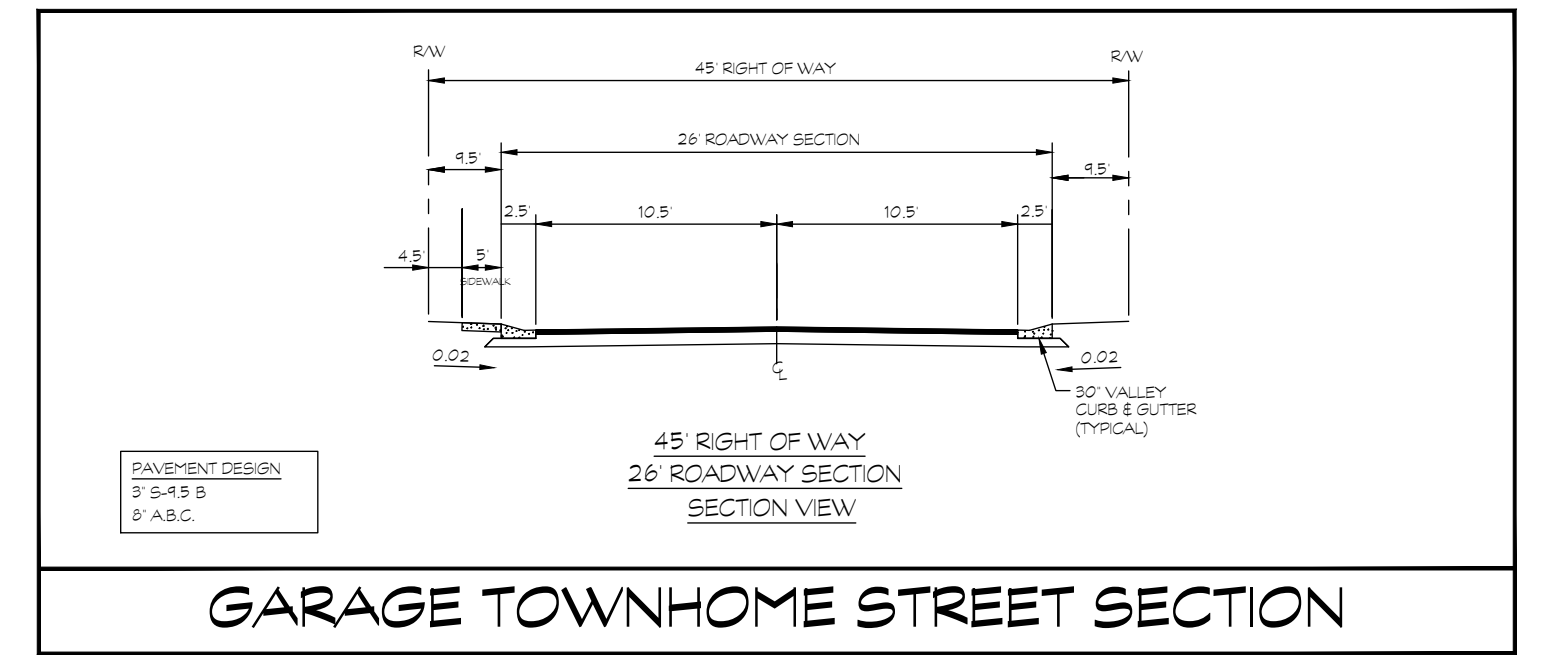
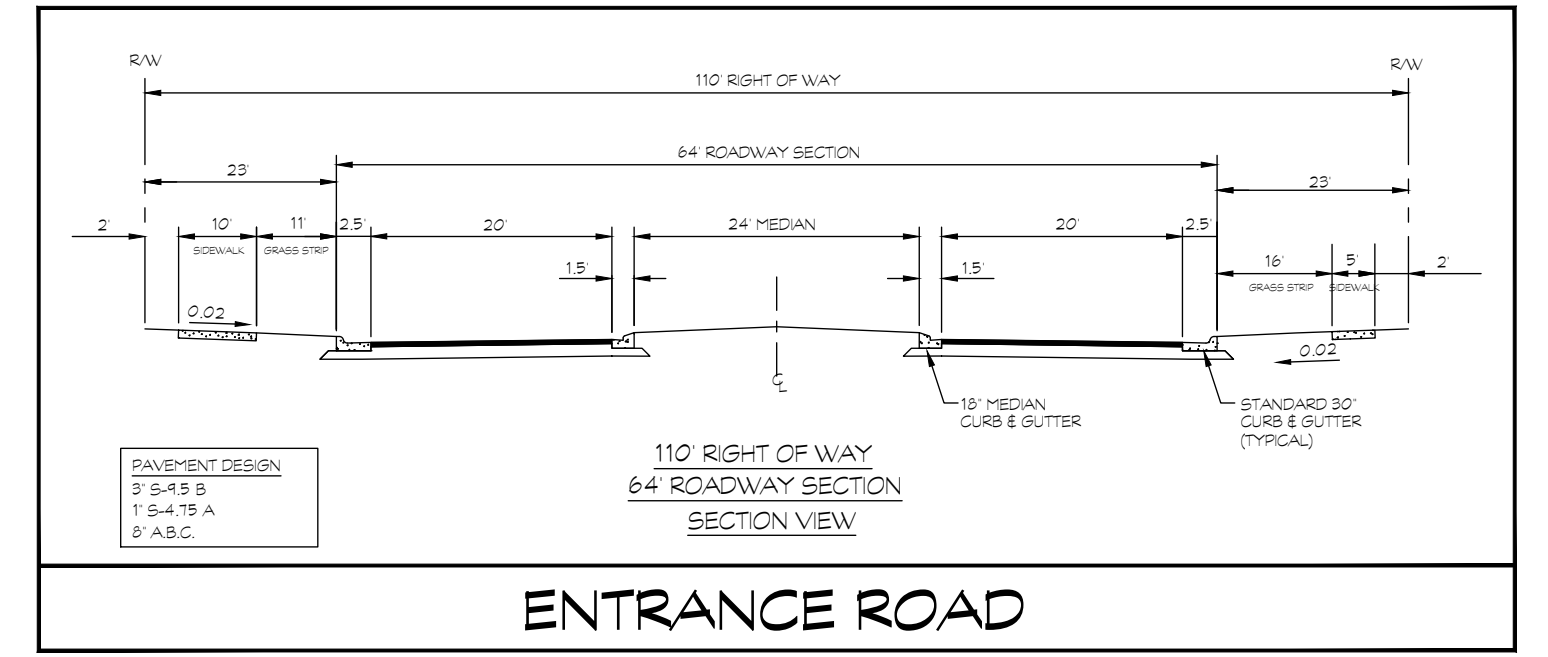
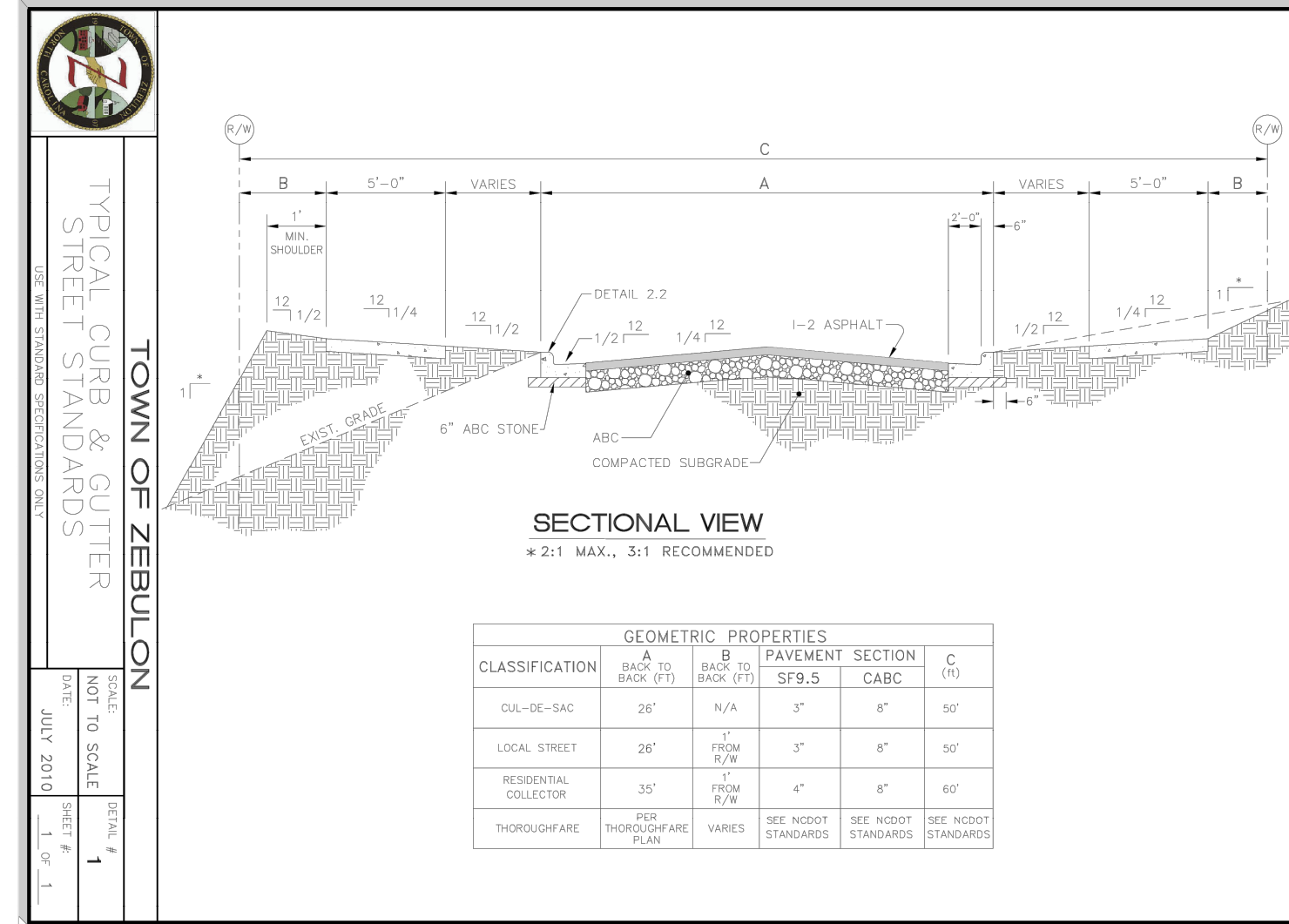
- A) ALL STORM DRAINAGE PIPE ARE TO BE CLASS II NCDOT APPROVE RCP UNLESS OTHER WISED NOTED.
- B) THE TOWN OF ZEBULON WILL BE RESPONSIBLE FOR ALL STREET DRAINAGE WITHIN ROW AND DEDICATED PUBLIC DRAINAGE EASEMENTS UNTIL THE STILLING BASIN. ALL STORMWATER DRAINAGE SYSTEMS BEHIND LOTS SHOWN IN EASEMENTS WILL BE OWNED AND MAINTAINED BY HOA. ALL BMP/DRY AND WET DETENTION PONDS WILL BE OWNED AND MAINTAINED BY HOA.
- C) PIPE SYSTEMS, CHANNELS, DITCHES OR RETAINING WALLS LOCATED IN OPEN SPACE ARE TO BE OWNED AND MAINTAINED BY THE HOA.

**TOWN OF ZEBULON ROADWAY NOTES:**

- ROADWAY/GREENWAY SUB-GRADE: THE BASE SOIL ELEVATION DETERMINED BY APPROVED ENGINEERED DRAWINGS PRIOR TO PLACEMENT OF ROADWAY ABC AND ASPHALT.
- ROADWAY/GREENWAY STONE GRADE: THE APPROVED COMPACTED ROADWAY SUB-GRADE PLUS THE COMPACTED STONE GRADE PRIOR TO PLACEMENT OF ASPHALT.
- IN ALL CASES, THE ROADWAY/GREENWAY SUB-GRADE MUST PASS A PROOF-ROLL TEST BEFORE PLACEMENT OF STONE. THE DEVELOPER/OWNER/CONTRACTOR SHOULD PROVIDE THIRD PARTY NCDOT CERTIFIED GEOTECHNICAL FIRM TO PERFORM DENSITY TESTING OF SUB-GRADE EVERY 300 FEET AND ROADWAY/GREENWAY ABC EVERY 150 FEET VIA A NUCLEAR GAUGE. THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR WILL SELECT VARIOUS LOCATIONS OF THE DENSITY TESTING. IT IS RECOMMENDED THAT TESTING BE PERFORMED AT FULL LOCATIONS OR UTILITY CUTS. A TOWN OF ZEBULON CONSTRUCTION INSPECTOR MUST BE PRESENT DURING ALL TESTING. ALL TEST RESULTS SHALL BE SUBMITTED TO AND APPROVED BY THE TOWN OF ZEBULON PUBLIC WORKS DIRECTOR BEFORE ROADWAY STONE IS INSTALLED.
- PROOF ROLL STANDARD: A FULLY LOADED TANDEM DUMP TRUCK/MOTOR GRADER THAT HAS A MINIMUM GROSS WEIGHT OF AT LEAST 20,000 POUNDS (10 TONS) UNDER THE OBSERVATION OF THE TOWN OF ZEBULON REPRESENTATIVE. NO OTHER METHOD WILL BE ACCEPTED. ALL AREAS OF THE ROADWAY/GREENWAY SUB-GRADE OR ROADWAY STONE SHALL BE COVERED BY THE WHEELS OF THE PROOF-ROLLER OPERATING AT WALKING SPEED (TWO TO THREE MILES PER HOUR) OR 225 TO 300 FEET PER MINUTE.
- IT IS THE CONTRACTOR RESPONSIBILITY TO PROTECT ALL STRUCTURAL FACILITIES ON THE PROJECT SUCH AS BRIDGES, BOX CULVERTS, PIPE CULVERTS, AND UTILITIES FROM DAMAGE FROM PROOF ROLLING EQUIPMENT.
- PROOF ROLLS ARE REQUIRED AT THE ROADWAY/GREENWAY SUB-GRADE CONSTRUCTION PHASE AND ROADWAY/GREENWAY STONE CONSTRUCTION PHASE.
- ANY AND ALL AREAS, WHICH RUT OR PUMP EXCESSIVELY UNDER THE WHEELS OF THE PROOF-ROLLER SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR BEFORE ROADWAY STONE OR ASPHALT IS INSTALLED.
- PROOF ROLL AREAS AGAIN FOLLOWING THE COMPLETION OF THE NECESSARY CORRECTIONS. ALL COST ASSOCIATED WITH THE PROOF ROLLING PROCESS IS THE RESPONSIBILITY OF DEVELOPER/OWNER OR CONTRACTOR.
- THE TOWN SHALL NOT BE RESPONSIBLE FOR ENSURING PROPER GRADES AND ALIGNMENT OF ROADWAY/GREENWAY AND CURB AND GUTTER. IF THE ALIGNMENT AND GRADES ARE INCORRECT, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER TO MAKE CORRECTIVE REPAIRS AT THEIR OWN EXPENSE.
- REQUIREMENTS: 98% STANDARD PROCTOR ON ALL SOILS EVERY 300'. ALL LOCATIONS TESTED SHALL MEET THE 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARD IS NOT ALLOWED.
- SUCCESSFUL PROOF-ROLLS REQUIRED FOR ALL SUB-GRADE SOILS. ALL ROADWAY SUB-GRADE MUST PASS A PROOF-ROLL TEST (NO EXCEPTIONS).
- ROADWAY/GREENWAY SUB GRADE THAT DOES NOT PASS THE PROOF ROLL TEST OR DENSITY TEST WILL REQUIRE REMEDIAL REPAIRS. REPAIR RECOMMENDATIONS FROM GEO-TECHNICAL FIRM CAN BE MADE BY USING SEVERAL METHODS INCLUDING THE USE OF GEO-GRID/STABILIZATION FABRIC AND ADDITIONAL ABC STONE, CEMENT STABILIZATION, LIME STABILIZATION OR REPLACEMENT OF UNSUITABLE SOILS WITH DRIER/MORE SUITABLE SOILS. REGARDLESS OF THE METHOD CHOSEN BY THE CONTRACTOR, GEOTECHNICAL FIRM, DEVELOPER OR OWNER FOR REMEDIAL REPAIRS, A SUCCESSFUL PROOF-ROLL MUST BE OBTAINED PRIOR TO PLACEMENT OF ABC STONE CAN BEGIN.
- IF REPAIRS WERE MADE TO THE ROADWAY/GREENWAY SUB GRADE INVOLVE USING GEO-GRID/STABILIZATION FABRIC AND ADDITIONAL STONE, NO DENSITY ADDITIONAL TESTING IS REQUIRED. IF REPAIRS TO THE ROADWAY SUB GRADE INVOLVE UNDERCUTTING UNSUITABLE SOILS AND REPLACEMENT WITH OTHER MORE SUITABLE SOILS THEN DENSITY TESTING IS REQUIRED TO VERIFY COMPLIANCE OF 98% COMPACTION REQUIREMENT. THE CONTRACTOR/GEO-TECHNICAL FIRM MUST PROVIDE THE TOWN OF ZEBULON INSPECTOR WITH DENSITY TEST RESULTS PRIOR TO PLACEMENT OF ABC STONE WERE REQUIRED. ALL COST OF DENSITY TESTING SHALL BE BY THE DEVELOPER OR OWNER.
- NOTE: IF THE ROADWAY/GREENWAY SUB-GRADE IS EXPOSED TO PRECIPITATION (RAIN, SNOW, ICE, ETC.) GREATER THAN A 1/10 OF INCH BEFORE IT IS COVERED WITH ABC STONE, THE EXPOSED SUB-GRADE MUST PASS AN ADDITIONAL PROOF-ROLL. ADDITIONAL DENSITY TESTING IS NOT REQUIRED UNDER THESE CONDITIONS.
- REQUIREMENTS: 98% STANDARD PROCTOR ON ALL ROADWAY/GREENWAY ABC EVERY 150'. ALL LOCATIONS TESTED SHALL MEET THE 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARD IS NOT ALLOWED. SUCCESSFUL PROOF-ROLLS REQUIRED FOR ALL ROADWAY/GREENWAY ABC STONE.
- ROADWAY/GREENWAY ABC STONE MUST BE INSTALLED PER TOWN OF ZEBULON MINIMUM REQUIREMENTS AND/OR APPROVED ENGINEERING ROADWAY DRAWINGS. ROADWAY ABC STONE SHALL BE INSTALLED IN COMPACTED LIFTS PER MANUFACTURE EQUIPMENT RECOMMENDATIONS. A MINIMUM OF SIX INCHES OF COMPACTED ABC STONE SHALL BE INSTALLED UNDER CURB AND GUTTER. ALL ROADWAYS WILL HAVE A MINIMUM OF EIGHT INCHES OF COMPACTED ABC STONE. THE PLACEMENT OF ROADWAY ABC STONE IS REQUIRED TO PASS A PROOF-ROLL AND PASS DENSITY TESTING OF 98% MINIMUM EVERY 150 FEET. THE ZEBULON CONSTRUCTION INSPECTOR MUST HAVE DENSITY TESTING RESULTS PRIOR TO START OF PAVING. THE ROADWAY STONE CROSS-SLOPE, FROM CROWN TO CURB, SHALL BE CHECKED WITH A STRING LINE PRIOR TO THE PLACEMENT OF ASPHALT.
- THE ROADWAY/GREENWAY STONE SHALL BE PROOF ROLLED JUST PRIOR TO THE PLACEMENT OF ASPHALT. IF A SECTION OF ROADWAY FAILS PRIOR TO PLACEMENT OF ASPHALT AFTER ALL OTHER SUCCESSFUL TESTS; ADDITIONAL ASPHALT AT THE DIRECTION OF THE CONSTRUCTION INSPECTOR MAY BE ALLOWED. ONE INCH OF ASPHALT MAY BE SUBSTITUTED FOR EVERY TWO INCHES OF STONE.
- NOTE: IF THE ROADWAY/GREENWAY ABC IS EXPOSED TO PRECIPITATION (RAIN, SNOW, ICE, ETC.) GREATER THAN 1/10 INCH BEFORE IT IS COVERED WITH ABC STONE, THE EXPOSED SUB-GRADE MUST PASS AN ADDITIONAL PROOF-ROLL. ADDITIONAL DENSITY TESTING IS NOT REQUIRED UNDER THESE CONDITIONS.
- ASPHALT PLACEMENT SHOULD BE IN ACCORDANCE WITH ENGINEERING DRAWINGS, SIGNED AND SEALED BY A LICENSED NORTH CAROLINA PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL INSTALL ASPHALT IN TWO LAYERS. THE FINAL 1" OVERLAY WILL BE AT THE 80% BUILDING PERMIT LEVEL FOR EACH PHASE OR AT THE DIRECTION OF THE PUBLIC WORKS DIRECTOR. ASPHALT CORES WILL BE TAKEN AT BOTH OVERLAYS TO INSURE COMPLIANCE WITH ENGINEERING DRAWINGS FOR THICKNESS.

Mix Type	Single lift depths min/max	Max. Layer Total Depths	Application Rates per 1" spread lbs./sq.inch	Density %
S4.75 A	0.5-1.0 inch	2.0 inches	100 lbs.	85%
S9.5B	1.00-1.5 inch	3.0 inches	110 lbs.	90%

- A SF 9.5A - 1.0- 1.5 INCHES
- B SF 9.5B - 1.5-2.0 INCHES
- ASPHALT MIXTURES SHALL NOT BE PLACED DURING RAINY WEATHER WHEN SUBGRADE OR COURSE IS FROZEN, OR WHEN THE MOISTURE ON THE SURFACE TO BE PAVED WOULD PREVENT A PROPER BOND. ASPHALT MATERIAL MUST NOT BE PLACED WHEN THE AIR TEMPERATURE MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT AT THE LOCATION OF THE PAVING OPERATION AND THE ROAD SURFACE TEMPERATURE IN THE SHADE AT THE PAVING SITE IS BELOW 40 DEGREES AIR TEMPERATURE AND 50 DEGREES MINIMUM SURFACE TEMPERATURE.
- A TACK COAT OF LIQUID ASPHALT IS REQUIRED FOR EXISTING LAYERS OF ASPHALT OR CONCRETE SURFACES TO PROMOTE A BOND BETWEEN OLD PAVEMENT SURFACES AND THE NEW ASPHALT LAYER. PRIOR TO PLACING ASPHALT TACK THE FOLLOWING CONDITIONS MUST BE MET:
  - A. EXISTING PAVEMENT SURFACE MUST BE CLEAN.
  - B. RATE OF APPLICATION MUST COMPLY WITH NCDOT STANDARDS.
  - C. UNIFORM COVERAGE OVER THE ENTIRE AREAS TO BE PAVED.
  - D. ALLOW TACK TO THOROUGHLY CURE BEFORE PLACING THE NEW ASPHALT.
- ASPHALT CORE SAMPLES SHOULD BE SELECTED EVERY 300 FEET OR MINIMUM OF TWO SPECIFIC GRAVITY. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING/CREATING A CHART/MAP IF THE CORED LOCATIONS FOR SUBMITTAL WITH THE TESTING. CORES WILL BE RANDOMLY TAKEN ALONG THE LONGITUDINAL DIRECTIONS ACROSS THE ROADWAY BUT NOT WITHIN ONE FOOT OF THE EDGE OF PAVEMENT. THE RESULTS OF SAMPLES GREATER THAT 10 FEET APART WITH NOT BE AVERAGE AND USED TO VERIFY COMPLIANCE WITH THE TOWN OF ZEBULON SPECIFICATIONS. (SECTION 2.6.H)
- GENERAL TESTING FOR ASPHALT DENSITY IS TO FOLLOW NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, SECTION 609-9, 'FIELD COMPACTION QUALITY MANAGEMENT', LATEST REVISION. ALL OTHER APPLICABLE SECTIONS OF SECTION 609 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURES SHALL APPLY RELATING TO QUALITY CONTROL PLAN, MIX DESIGN, CONTROL LIMITS, CORRECTIVE ACTION, EQUIPMENT AND MEASUREMENT UNLESS ONLINE IN SPECIFICATIONS.
- ALL WATER AND SEWER UTILITY WORK WILL BE IN ACCORDANCE TO THE CITY OF RALEIGH HANDBOOK OR SPECIAL CONSTRUCTION DETAILS PROVIDED BY ENGINEER OF RECORD.
- ALL LANDSCAPING ISLANDS WITHIN THE ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL LANDSCAPE MATERIAL INCLUDING PLANTINGS AND GRASS.



ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



**Town of Zebulon  
Special Use Permit Granted**

**SU 2017-01 – Barrington Subdivision**

On September 10, 2018, the Board of Commissioners for the Town of Zebulon convened a hearing to consider an application for a Special Use Permit for the purpose of developing a residential subdivision with single family homes, paired (single) family homes and townhomes known as Barrington Subdivision located on Old Bunn Road. The property is approximately 163.24 acres with the North Carolina Parcel Identification Numbers (NC PIN) 270681982, 271605664 (R-30), ZTRC89909, Real Estate Identification Numbers (REDs) 0010641, 0010943 (R-30), 0010942, and current zoning classification of Residential (R-20 and R-30).

**Applicant:** 264 Investments, LLC  
8398 Six Forks Road, Suite 201  
Raleigh, North Carolina 27615

**Property Owner:** 264 Investments, LLC  
933 Old Knight Road  
Knightdale, North Carolina 27545

**Property Location:** 601 Parks Village Road,  
1745 Old Bunn Road, and  
0 Old Bunn Road (unaddressed parcel)  
Zebulon, NC 27597

**Approved use of property:** Residential Subdivision with single family homes, paired family homes and townhomes – Barrington

**Approved zoning of property:** R-15-SUD

Having heard all the evidence and arguments presented at the hearing, the Board of Commissioners finds that the application is complete, that the application complies with all the applicable requirements of the Town of Zebulon Code of Ordinances for the development proposed, and the purpose indicated is hereby approved subject to the conditions attached and subject to all applicable existing provisions of the Zebulon Code of Ordinance, Street and Storm Drainage Specifications Manual, and adopted Plans.

**Conditions of Approval:**

**Stipulations Specific to the Development**

- Recordation:** Special use permit and updated Illustrative Land Plan must be recorded with the Wake County Register of Deeds.
- Illustrative Land Plan:** Special use permit and updated Illustrative Land Plan addressing the approved special use permit conditions and applicable timelines shall be submitted no later than ninety (90) days following approval.
- Site Plan:** Site plan review and approval by the Zebulon Technical Review Committee (ZTRC) shall be required.
- Site Plan (Phasing):** Site plan review by the ZTRC may be submitted by phase or through submittal of an overall development plan. If a phased approach is preferred, phases shall require a separate submittal. The applicant may group phases together and phases may be submitted out of numerical order as shown on the recorded illustrative plan.
- Site Plan (Greenways):** Greenway trails such as the Beaverdam Creek Sewer Outfall Connector and Corridor #2 may submit separate site plans for each individual phase for review and approval by the ZTRC.
- Adopted Plans/Policies:** All town ordinances, plans, and adopted policies shall be adhered to and enforced by the ZTRC in addition to the special use permit approved conditions.
- Lot Sizes (Single Family Dwellings):** The minimum lot sizes for single family detached dwellings shall be 5,400 square feet.
- Lot Widths:** The minimum lot widths for each residential use type shall be as follows:

Land Use Type	Minimum Lot Width
Single Family Detached Dwelling	45'
Paired Single Family Dwellings	22'
Townhomes	16'
- Signage (Main Entrance):** One main entrance monument sign will be allowed along Old Bunn Road and shall be made of brick, stone, or masonry material. Signage shall not exceed sixty-four square feet (64 SF) and must be setback at least ten feet (10') from the public right-of-way.
- Signage (Secondary Entrances):** Up to a total of four (4) secondary entrance monument signs are allowed along Old Bunn Road and Parks Village Road and shall be made of brick, stone, or masonry material. Each secondary entrance monument shall not exceed thirty-two square feet (32 SF) and must be setback at least ten feet (10') from the public right-of-way.

**Stipulations Specific to the Homeowner's Association**

- Homeowner's Association:** All owners of developable lots shall immediately become members of the Homeowner's Association.
- Homeowner's Association:** A Declaration of Covenants, Conditions, and Restrictions (CC&R) and bylaws for the Homeowner's Association shall be reviewed, approved and recorded with the Phase I final plat.
- Homeowner's Association:** Homeowner's Association, or if applicable a Homeowner's Association management firm, shall be in place to enforce and abate all community association covenants, conditions, and restrictions.
- Homeowner's Association:** Homeowner's Association, or if applicable a Homeowner's Association management firm, shall enforce tall grass, trash, debris and rubbish along with the removal of any junked, abandoned, or nuisance automobiles as defined by the adopted town ordinances.
- Homeowner's Association:** Homeowner's Association, or if applicable a Homeowner's Association management firm, shall be responsible for the maintenance and upkeep of all open space and improvements built therein, landscaped center islands, roadway medians, or roundabouts located throughout the development.
- Homeowner's Association:** Homeowner's Association, or if applicable a Homeowner's Association management firm, shall be responsible for the maintenance and upkeep of all drainage easements and Detention/Retention/Water Quality Pond Areas as described in the Town of Zebulon Street and Storm Drainage Standards & Specifications Manual.

**Stipulations Relating to Setbacks**

- Setbacks (Old Bunn Road and Parks Village Road):** All residential lot lines (single family, paired single family, townhomes) shall be setback at least thirty feet (30') from Old Bunn Road and Parks Village Road.
- Setbacks (US 64 and 264 Highways):** All residential lot lines (single family, paired single family, townhomes) shall be setback at least fifty feet (50') from US 64 and 264 Highways.
- Setbacks (Residential Buildings):** Setbacks shall be measured from the lot line to the building wall. Building eaves, air-grade patios, and air-grade stoops shall be allowed in the setback area. Decks, porches or other building extensions shall not be permitted in the setback area. The minimum setbacks from the lot lines to the buildings for each residential use type shall be as follows:

Land Use Type	Minimum Front Setback	Minimum Side Setback	Minimum Side Setback (Adjacent to Street)	Minimum Rear Setback
Single Family Dwelling	20'	5'	15'	20'
Paired Single Family Dwellings	20'	5'	15'	20'
Townhomes (Internally Served)	15'	15'	15'	20'
Townhomes (Street Access)	15'	15'	15'	20'

**Stipulations Relating to Recreation Amenities**

- Recreation Amenities:** All recreation amenities shall be detailed on a site plan and recreation master plan to show the location and proposed use of all parks, open spaces, and passive recreation areas. This plan will be reviewed and approved by the Zebulon Technical Review Committee.
- Recreation Amenities:** Permits for the construction of the community building, bathroom with showers/showers, junior Olympic swimming pool, sandeck, parking lot, bike racks, and playing field shall be pulled prior to the issuance of the 100<sup>th</sup> Certificate of Occupancy for homes within the development or within twenty-four (24) months following the issuance of the final plat for Phase I of the development, whichever comes first.
- Recreation Amenities:** A Certificate of Occupancy must be issued for the community building, bathroom, and pool prior to the issuance of the 150<sup>th</sup> Certificate of Occupancy for homes within the development or within thirty-six (36) months following the issuance of the final plat for Phase I of the development, whichever comes first.
- Junior Olympic Pool:** Minimum specifications for the pool shall include seventy-five-foot (75') long lanes with a minimum of six (6) swimming lanes each being seven feet (7') wide. Pool shall include a zero-entry area with a minimum size measuring twenty-five feet (25') by forty-five feet (45'), or a minimum area of 1,125 square feet.
- Playing Field/Equipment:** The recreation area shall be a minimum of four (4) acres. Playground equipment shall be included for toddlers ages 2-5 and children ages 5-12. A minimum of two (2) bike racks holding eight (8) bikes each shall be provided. A minimum of two (2) benches, two (2) trash receptacles and one (1) dog waste station shall be provided. The playing field shall be a minimum of half an acre. A pair of soccer goals shall be installed on the playing field.

final plat approval for the adjacent phases 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12 as shown in the recorded Illustrative Plan.

- Greenway Trail (Corridor #2 – US Highway 64 Culvert):** Builders will pay a fee-in-lieu, at the time of each building permit, of \$225.00 towards the construction of the futures culvert under US 64 or towards greenway connectivity in that area. Total assessment for the development will be paid no later than thirty-six (36) months after the approval of Phase I final plat.
- Greenway Trail (Corridor #2 – US Highway 64 Culvert) Timeline:** Builders will pay a fee-in-lieu, at the time of each building permit, of \$225.00 towards the construction of the futures culvert under US 64 or towards greenway connectivity in that area. Total assessment for the development will be paid no later than thirty-six (36) months after the approval of Phase I final plat.
- Greenway Connectivity:** Connectivity to greenways shall be provided with each phase. This shall be accomplished through trailheads, sidewalks, and internal trail connections as specified in Barrington Special Use Application dated September 28, 2016. All internal trail connections shall be designated as open space and maintained by the Homeowner's Association, or if applicable a Homeowner's Association management firm.

**Stipulations Relating to Transportation**

- Intersection driveways (Old Bunn Road):** Intersection driveways shall be consolidated such that there are no more than two (2) full access intersection driveways and two (2) right-in/right-out intersection driveways along Old Bunn Road with appropriate channelization, center median island, and handicap accessibility.
- Intersection driveways (Parks Village Road):** Intersection driveways shall be consolidated such that there are no more than two (2) full access intersection driveways along Parks Village Road with appropriate channelization, center median island, and handicap accessibility.
- Turn Lanes:** The Transportation Impact Analysis (TIA) by Ramey Kemp and Associates dated October 2016 and sealed November 1, 2016, recommends auxiliary turn lanes at the intersection of Parks Village Road and Old Bunn Road, and Old Bunn Road and Site Drive #10. All turn lanes as recommended in the TIA will be required to have a minimum of one hundred foot (100') of storage.
- Turn Lanes:** Additional turn lanes at the intersection of NC 97 Highway and Old Bunn Road shall be installed. The southbound right turn lane shall have a minimum of one hundred feet (100') of full width storage and the eastbound left turn lane shall have a minimum of one hundred fifty feet (150') of full width storage. Off-site roadway improvements shall have site plan design approvals and construction approvals prior to the issuance of the 500<sup>th</sup> Certificate of Occupancy for the development or when the TIA requires the improvement, whichever comes first.
- Turn Lanes:** Additional turn lanes at the intersection of Old Bunn Road and Shepard School Road shall be installed. A westbound left turn lane with a minimum of one hundred feet (100') of full width storage on Old Bunn Road at Shepard School Road

shall have site plan design approvals and construction approvals prior to the issuance of the 500<sup>th</sup> Certificate of Occupancy for the development or when the TIA requires the improvement, whichever comes first.

- Traffic Impact Analysis Recommendations:** Recommendations from the TIA by Ramey Kemp and Associates dated October 2016 and sealed November 1, 2016 will be incorporated into site plan review by the ZTRC for conformance with Town and NCDOT standards.
- Additional Right-of-Way (Parks Village Road):** Dedication of additional right-of-way along Parks Village Road shall be included with each final plat. Dedication amounts may vary depending on current widths; however, the total amount shall be required to equal a total right-of-way width of a minimum of seventy feet (70') or as directed by the North Carolina Department of Transportation.
- Additional Right-of-Way (Old Bunn Road):** Dedication of additional right-of-way along Old Bunn Road shall be included with each final plat. Dedication amounts may vary depending on current widths; however, the total amount shall be required to equal a total right-of-way width of a minimum of one hundred feet (100') or as directed by the North Carolina Department of Transportation.
- New Roadways:** Installation and dedication of any roadway infrastructure, improvements, or right-of-way widths for any and all phases of the development as shown on the Illustrative Land Plan for Barrington Subdivision shall be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications. Engineer certification of the roadway must be provided by a licensed engineer with acceptable bonding information during the final plat process for the development.
- Public Roadways:** All streets within the Barrington Subdivision shall be public and in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications.
- Curb and Gutter:** All curb and gutter installations throughout the subdivision and along all rights-of-way should be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications.
- Driveways:** Developer is responsible for posting a bond for final roadway, sidewalk or amenity improvements for each phase prior to the issuance of the first building permit. Developer is fully responsible for all necessary roadway repairs of dedicated streets prior to final overlay and striping. Regardless of residential construction progress the final overlay of dedicated streets shall be over-laid within eighteen (18) months of the original roadway acceptance date for that phase.
- Sidewalks:** Each street within the subdivision will be required to have a five foot (5') wide sidewalk on one side of the street.
- Sidewalks:** Installation of five foot (5') wide sidewalks is required along both sides of Old Bunn Road. Sidewalks shall be continuous and not interrupted along the interior roadway development perimeters or as directed by the North Carolina Department of Transportation.

Department of Transportation. Installation of five foot (5') wide sidewalks is required along both sides of Parks Village Road. Sidewalks shall be continuous and not interrupted along the interior roadway development perimeters or as directed by the North Carolina Department of Transportation.

- Street Signage:** All street signage shall be decorative and must be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications.
- Street Lights:** The developer is responsible for coordination with Duke Energy on the lighting plan layout; however, the Town of Zebulon will be approving the lighting plan.
- Street Lights:** The developer is responsible for paying the current Duke Energy fee per pole to the Town of Zebulon prior to installation.
- Street Lights:** All street lights shall be decorative and must be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications.
- Street Lights:** All street lights shall be decorative Mitchell 50 Watt Series LED unless otherwise specified and authorized by the Town of Zebulon Public Works Director.
- Street Lights:** All street lights shall be a minimum of 125 linear feet with a maximum of 140 linear feet apart with alternate spacing on either side of the street.
- Entrances:** All entrances shall be reviewed and approved by the Town of Zebulon and the North Carolina Department of Transportation during the appropriate site plan approval process.
- Driveways:** All individual driveways shall be concrete and able to accommodate at least two vehicles outside of the public right-of-way (inclusive of the garage) and should be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual specifications.
- Driveway Restrictions:** No driveways to individual lots should be located within the circulating roadway of any internal roundabouts and should be sited as far away from the entrance to the circulating roadway as practical.
- Additional Parking:** Local streets shall incorporate off-street parking where practical.

**Stipulations Relating to Landscaping/Buffers**

- Open Space:** All lands within areas required to be maintained as open space by the Homeowner's Association, or if applicable a Homeowner's Association management

firm, shall be protected by a permanent conservation easement and restrictive covenant, prohibiting further development, and recorded upon final plat approval as "Open Space".

- Streetscaping:** Old Bunn Road and Park Village Road shall have streetscaping along both sides of each street. A minimum of one large shade tree every thirty-five feet (35') with at least five (5) bushes minimum three (3) gallon container and eighteen inches (18") in height must be planted three feet (3') apart. As submitted in the special use application the frontages along Old Bunn Road shall have a unified opaque buffer consisting of shade trees with a minimum caliper of three inches (3") shall be placed every fifty feet (50') on center, with groupings of three (3) ornamental trees eight to ten feet (8'-10') high placed one hundred fifty feet (150') on center and a continuous double row of evergreen/flowering shrubs. All spacing requirements allow for field adjustments to address obstructions.
- Streetscaping:** Street trees shall be planted a minimum of one hundred feet (100') on each side of all local and residential collector streets with alternating spacing and shall be planted within a landscape easement. Trees shall be deciduous and shall be a minimum size of two and a half inches (2.5") caliper time of planting. Tree varieties shall be approved by the Technical Review Committee.
- Lot Tree Requirement:** One deciduous shade tree shall be planted in the front yard of each single family and paired single family home with a minimum caliper of two and a half inches (2.5") at time of planting.
- Landscape Buffer (Property Perimeters):** A fifteen foot (15') wide Type "A" landscape buffer with three inch (3") caliper trees shall be installed along all outer property perimeters except in areas where greenway easements are dedicated along the perimeter. Preservation of any existing trees are encouraged and may be used as a credit toward the buffer requirement.

**Stipulations Relating to Architecture**

- Garages:** One hundred percent (100%) of all single family and paired single family, and fifty percent (50%) of all townhomes within the subdivision shall have at least a one-stall garage.
- Building Materials:** Exterior building materials will be brick or stone veneer, vinyl or fiber cement (such as hardieplank) siding.
- Building Facades:** Fifty percent of all homes (single family, paired single family, townhomes) must have a front facade comprised of brick or stone equal to a minimum of twenty-five percent (25%) overall coverage.
- Foundations:** Foundations will be slab on grade, stem wall, crawl space or basement as determined by the site geology and topography or as determined by the builder.
- Housing Square Footage:** The minimum heated square footage for each residential use type shall be as follows:

**Stipulations Relating to Greenways**

- Greenway Trail (General):** The public greenway trail is to be in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual and the latest version of the Town of Zebulon Greenway, Bicycle, and Pedestrian Master Plan specifications. Greenway engineered drawings are required to be submitted with each phase of construction to the Zebulon Technical Review Committee for approval. Zebulon Technical Review Committee approved engineer drawings for the proposed public greenway trails and associated trailhead connections will be required prior to final plat approval for each phase.
- Greenway Trail (General):** Installation and dedication of the required public greenway trails and trailhead connection improvements must be completed prior to final plat approval for each phase of construction. Upon dedication and acceptance, all maintenance of the public greenway trails and trailhead connections will be the responsibility of the Town of Zebulon.
- Greenway Trail (Beaverdam Creek Connector):** A complete design for a minimum ten-foot (10') public greenway trail with a minimum twenty-foot (20') wide public greenway easement and associated trailhead connections along Beaverdam Creek adjacent to phases 32, 33, and 34 as shown in the recorded Illustrative Plan shall be designed, approved by ZTRC, and installed.
- Greenway Trail (Beaverdam Creek Connector):** A minimum of three (3) greenway trailhead connections for the single family residential area adjacent to phases 32, 33, and 34 as shown on the Illustrative Plan shall be provided at each cul-de-sac near the greenway trail based on a minimum pavement width of ten feet (10') and a minimum 6.25-ton load capacity for any necessary bridges or boardwalks.
- Greenway Trail (Beaverdam Creek Connector) Timeline:** The greenway along the Beaverdam Creek Sewer Outfall adjacent to the issuance of the single family residential phases 32, 33, and 34 as shown in the recorded Illustrative Plan must have design plan approval no later sixty (60) months after approval of the special use permit and construction approval not later than seventy-two (72) months after approval of the special use permit.
- Greenway Trail (Corridor #2 – Parks Village Road):** South of Old Bunn and Parks Village Road, the portion of greenway that will connect under US Highway 264 (to Wal-Mart) will require an approved sealed engineer estimate for construction (not to include the culvert under US Highway 264). Following approval of the engineer's estimate, a fee-in-lieu will be required for half of the approved estimate. A ten foot (10') wide easement with an adjacent five foot (5') wide construction easement shall be dedicated to the Town of Zebulon. Fee-in-lieu payment shall be paid no later than twelve (12) months following the special use permit's approval.
- Greenway Trail (Corridor #2 – Parks Village Road):** The portion of Corridor #2 from the intersection of Old Bunn Road running north along Parks Village Road shall be located on the east side of Parks Village Road. A ten foot (10') wide greenway shall run continuously, within project limits, along Parks Village Road and must include a minimum of one pedestrian crossing and greenway trail to the culvert under US Highway 64. Builders will pay a fee-in-lieu instead of construction for a sidewalk not within project limits.
- Greenway Trail (Corridor #2 – Parks Village Road) Timeline:** Parks Village Road portion of Corridor #2 must have construction approved and completed as part of the

Land Use Type	Minimum Heated Square Footage (SF)
Single Family Detached Dwelling	1,400 SF
Paired Single Family Dwellings	1,400 SF
Townhomes – Two (2) Bedrooms	1,000 SF
Townhomes – Three (3) Bedrooms	1,250 SF

- Housing Type Percentages:** The maximum unit count for the development shall not exceed 837 and the minimum and maximum percentages of the housing types shall be as follows:

Land Use Type	Minimum	Maximum
Single Family Detached Dwelling	25%	100%
Paired Single Family Dwellings	8%	50%
Townhomes – Two (2) Bedrooms	1%	20%
Townhomes – Three (3) Bedrooms and above	25%	50%

**Stipulations Relating to Environment**

- Environmentally Sensitive Areas:** No unauthorized disturbances of environmentally sensitive areas as defined by U.S. Army Corps of Engineers, NCEDE, Wake County Environmental Services and the Town of Zebulon Planning Department.
- Floodplain:** No portion of any lot shall contain wetlands, riparian buffers, floodplain or floodway.
- Rock Excavation:** Rock outcropping appearing above the surface prior to construction in the pre-determined Open Space areas shall be preserved.

**Stipulations Relating to Utilities**

- Water and Sewer Allocation:** Water and sewer allocation shall be authorized during the final plat process. Allocation requests shall be limited to 50,000 gallons per day (GPD) with a not to exceed amount of 200 dwelling units per phase.
- Solid Waste and Recycling:** All homes (single family, paired single family, townhomes) within the subdivision will receive trash collection and recycling services.
- Yard Waste and Leaf Collection:** Only single family and paired single family dwellings will receive yard waste and leaf collection. Yard waste and leaf collection for townhomes must be provided by the Homeowner's Association, or if applicable a Homeowner's Association management firm.

ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCEDE STANDARDS AND SPECIFICATIONS.



**BARRINGTON SUBDIVISION**

SCALE: 1"=50'  
DATE: 05/15/2018  
PROJECT NUMBER: 2015-001.001  
CLIENT: 264 DEVELOPMENT, LLC  
PLAN TYPE: CONSTRUCTION DRAWINGS

**SPECIAL USE PERMIT NOTES**

REVISED 12/16/2010 CITY, TOWN, COUNTY REVIEW  
REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 5/14/2014 CITY, TOWN REVIEW  
RELEASED FOR CONSTRUCTION DATE (SEE COVER)  NO  YES

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609, Phone 919 / 781-0300, Fax 919 / 782-1288, Email PCA@PriestCraven.com / Firm # 12-0488

SHEET #  
G1.02

78. **Storm Drainage Infrastructure:** Certification of the storm drainage infrastructure must be provided by a licensed engineer. Bonding will be applied to drainage structures not completed prior to final plat recording. Best Management Practices (BMP's) are not converted from erosion control to permanent stormwater devices until most of the home construction is complete. BMP certification will be completed as directed by the Stormwater Administrator.
79. **Water, Sewer and Pump Station Improvements:** All water, sewer and pump station improvements will be reviewed and approved by the City of Raleigh Public Utilities during the Zebulon Technical Review Committee site plan review process. The utility improvements must be in accordance with the City of Raleigh adopted plans, policies, ordinances, and handbook requirements.

**Stipulations Relating to Mailbox Kiosk**

80. **Mailbox Kiosk:** Installation and maintenance of mailbox kiosks shall be accordance to the United States Post Office standards. Access and parking for the mailbox kiosk site should be in accordance with the latest version of the Town of Zebulon Code of Ordinances and the Street and Storm Drainage Standards and Specifications Manual specifications.
81. **Mailbox Kiosk:** A mailbox kiosk shall be installed prior to final plat approval. There shall be a minimum of three (3) mailbox kiosks installed for the development. One serving the development area bounded by US Highway 64 and Parks Village Road, one serving the development area bounded by Old Bunn Road and Parks Village Road, and one serving the development area bounded by Old Bunn Road and US Highway 264.

**Stipulations Relating to Fire Code and Blasting**

82. **Fire Code:** Development must comply with the 2012 NC Fire Prevention Code or current edition adopted for use by the Town of Zebulon. This includes, but is not limited to, the access roadway requirements, hydrant locations, and blasting.
83. **Blasting:** Blasting operations shall be conducted in accordance with the provisions of the NC Fire Prevention Code.

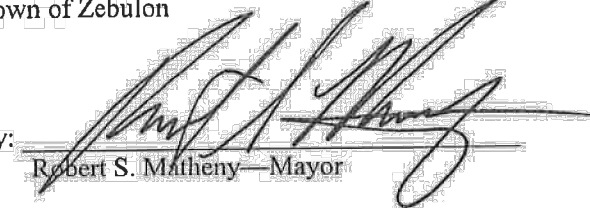
**Settlement Agreement**

84. The additional Open Space on the eastern boundary designated in the revised Illustrative Plan submitted into the Record on 13 August 2018 shall be designated as "Open Space" on the final plat and may be maintained by the Hendricksons consistent with and pursuant to the terms of a lease and settlement agreement between Hendrickson and the applicant.
85. Existing trees shall be preserved in the additional Open Space on the eastern boundary designated in the revised Illustrative Plan submitted into the Record on 13 August 2018; however, the Hendricksons may remove damaged, dead, dying, or diseased trees from the additional Open Space consistent with and pursuant to the terms of a lease and settlement agreement between Hendrickson and the applicant.

Nothing authorized by the permit may be done until the property owner properly executes and returns to the Town of Zebulon the attached acknowledgement of the issuance of this permit so that the Town of Zebulon may have it on file in the Planning Department.

IN WITNESS WHEREOF, the Town of Zebulon has caused this permit to be issued in its name, and the undersigned, being all of the property owners of the property above described, do hereby accept this Special Use Permit, together with all its conditions, as binding on them and their successors in interest.

Town of Zebulon

By:   
Robert S. Matheny—Mayor

Attest:   
Lisa M. Markland—Town Clerk



ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



**BARRINGTON SUBDIVISION**

SCALE:	1"=50'
DATE:	05/15/2018
PROJECT NUMBER:	2015-001.001
CLIENT:	264 DEVELOPMENT, LLC
PLAN TYPE:	CONSTRUCTION DRAWINGS

**SPECIAL USE PERMIT NOTES**

REVISED 12/18/2018 CITY, TOWN, COUNTY REVIEW
REVISED 3/22/2019 CITY, TOWN, COUNTY REVIEW
REVISED 5/15/2019 CITY, TOWN, COUNTY REVIEW
REVISED 7/19/2019 CITY, TOWN REVIEW
RELEASED FOR CONSTRUCTION DATE (SEE COVER) <input type="checkbox"/> NO <input type="checkbox"/> YES

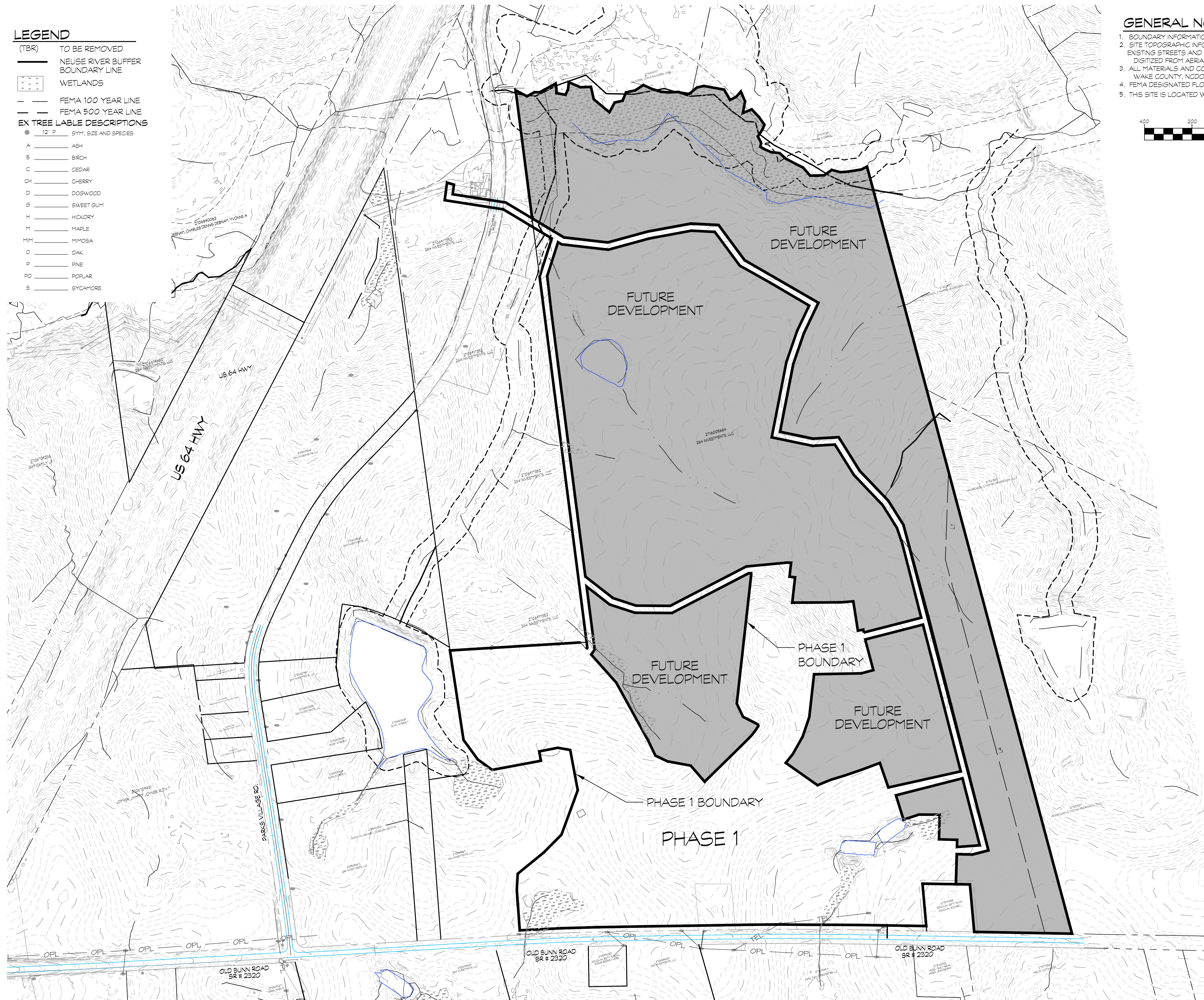
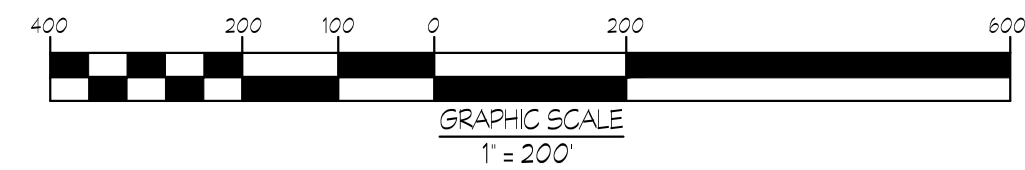
**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET #  
G1.03

- LEGEND**
- (TBR) TO BE REMOVED
  - NEUSE RIVER BUFFER BOUNDARY LINE
  - WETLANDS
  - FEMA 100 YEAR LINE
  - FEMA 500 YEAR LINE
  - EX TREE LABEL DESCRIPTIONS
  - 12' P. SYM. SIZE AND SPECIES
  - A ASH
  - B BIRCH
  - C CEDAR
  - CH CHERRY
  - D DOGWOOD
  - G SWEET GUM
  - H HICKORY
  - M MAPLE
  - MM MIMOSA
  - O OAK
  - P PINE
  - PO POPLAR
  - S SYCAMORE

**GENERAL NOTES:**

1. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY PRIEST, CRAVEN & ASSOCIATES, INC.
2. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE AND WAKE COUNTY GIS DATA. EXISTING STREETS AND BUILDING INFORMATION TAKEN FROM A SURVEY BY PRIEST, CRAVEN & ASSOCIATES, INC. AND DIGITIZED FROM AERIAL PHOTOS.
3. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF ZEBULON, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, WAKE COUNTY, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
4. FEMA DESIGNATED FLOOD ZONES ARE LOCATED ON THIS PROPERTY PER FEMA FLOOD PANEL 3120-1851-00K/J.
5. THIS SITE IS LOCATED WITHIN THE NEUSE RIVER BASIN.



**BARRINGTON SUBDIVISION**

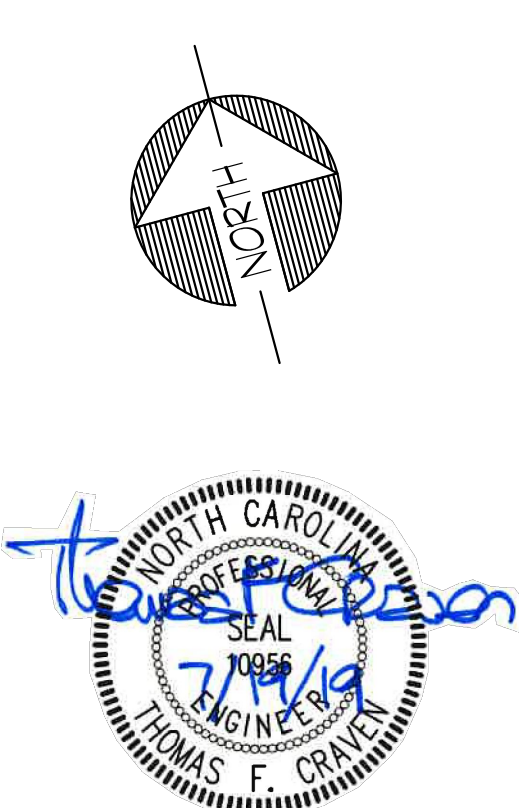
SCALE: 1"=200'  
 DATE: 05/15/2018  
 PROJECT NUMBER: 2015-001.001  
 CLIENT: 264 DEVELOPMENT, LLC  
 PLAN TYPE: CONSTRUCTION DRAWINGS

**OVERALL EXISTING  
 CONDITIONS PLAN**

REVISED 12/16/2016 CITY, TOWN, COUNTY REVIEW  
 REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW  
 REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW  
 REVISED 7/14/2014 CITY, TOWN REVIEW  
 RELEASED FOR CONSTRUCTION DATE: (SEE COVER)  NO  YES

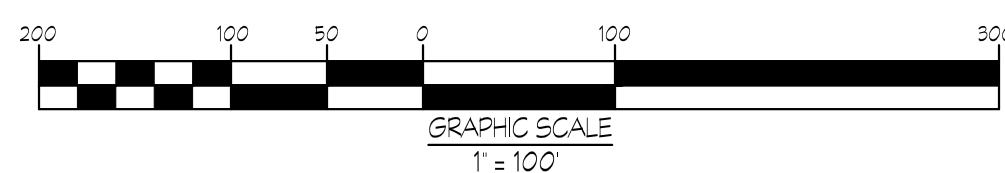
**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #  
 C1.00



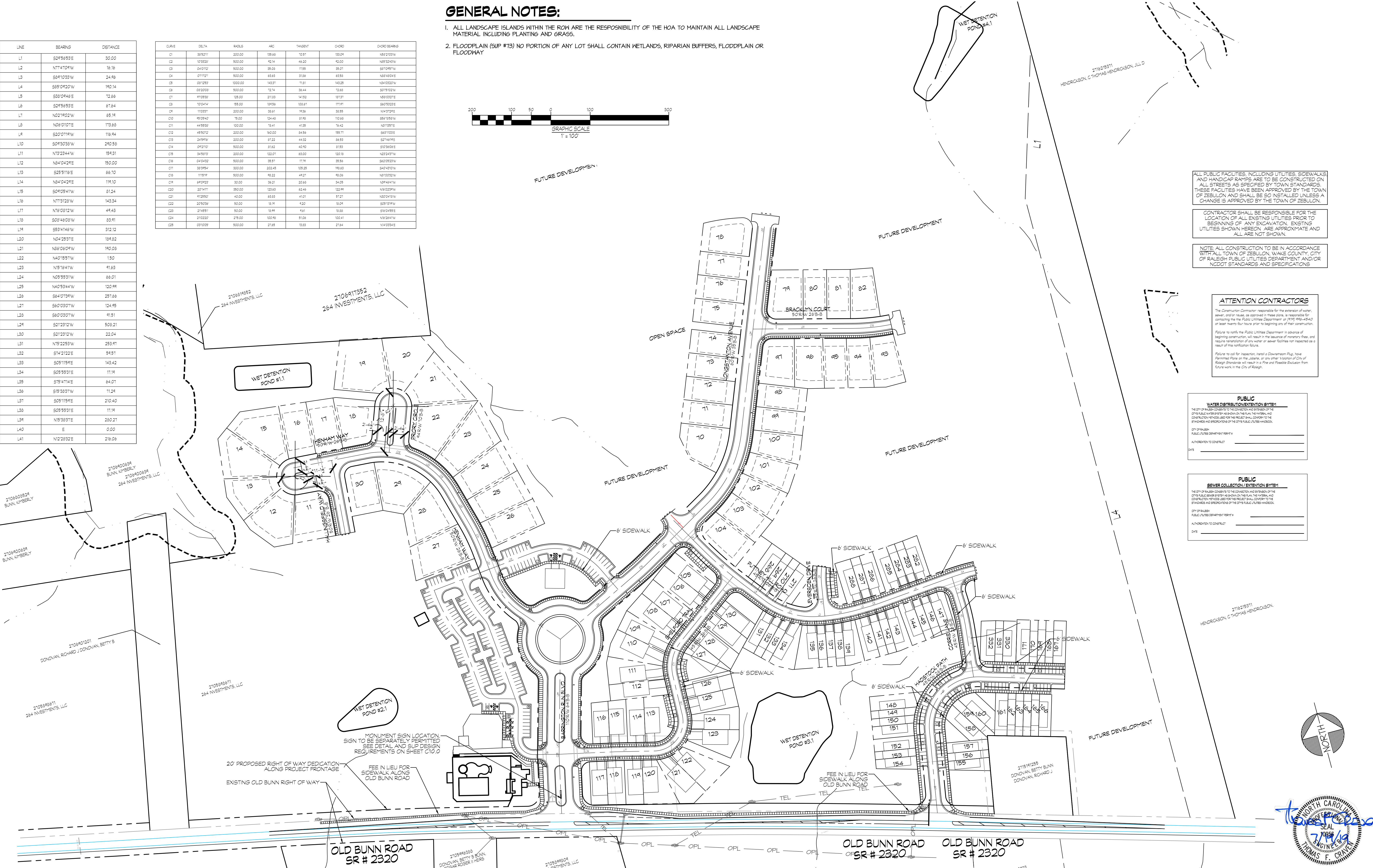
**GENERAL NOTES:**

- ALL LANDSCAPE ISLANDS WITHIN THE ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL LANDSCAPE MATERIAL INCLUDING PLANTING AND GRASS.
- FLOODPLAIN (SUP #13) NO PORTION OF ANY LOT SHALL CONTAIN WETLANDS, RIPARIAN BUFFERS, FLOODPLAIN OR FLOODWAY



LINE	BEARING	DISTANCE
L1	S2°56'53"E	30.00
L2	N7°14'04"W	16.16
L3	S8°10'33"W	24.46
L4	S85°04'20"W	180.14
L5	S80°04'48"E	12.66
L6	S2°56'53"E	67.64
L7	N02°16'02"W	65.19
L8	N06°01'07"E	113.66
L9	S20°01'14"W	116.94
L10	S0°30'33"W	240.55
L11	N13°28'44"W	184.31
L12	N84°04'24"E	150.00
L13	S25°51'16"E	66.70
L14	N84°04'24"E	119.10
L15	S0°05'41"W	81.24
L16	N77°31'28"W	143.34
L17	N16°08'12"W	49.40
L18	S00°48'03"W	83.41
L19	S53°41'48"W	312.12
L20	N04°25'37"E	159.82
L21	N88°08'09"W	140.03
L22	N40°18'57"W	1.50
L23	N15°18'41"W	91.63
L24	N05°55'31"W	66.01
L25	N40°53'44"W	120.88
L26	S84°07'34"W	251.66
L27	S60°02'07"W	124.45
L28	S80°03'07"W	41.51
L29	S21°23'12"W	508.21
L30	S21°23'12"W	22.04
L31	N15°02'55"W	253.47
L32	S74°21'22"E	54.51
L33	S05°11'54"E	143.42
L34	S05°55'31"E	17.19
L35	S75°47'14"E	64.07
L36	S15°33'37"W	71.24
L37	S05°11'54"E	210.40
L38	S05°55'31"E	17.19
L39	N15°33'37"E	280.21
L40	E	0.00
L41	N12°28'52"E	216.06

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C1	39.9311	200.00	139.68	12.97	133.04	N82°27'20"W
C2	10.9320	500.00	42.14	46.20	42.00	N83°24'30"W
C3	24.0712	500.00	35.26	17.55	39.21	S87°54'51"W
C4	27.1127	500.00	43.83	31.68	43.92	N84°04'24"E
C5	29.1293	1000.00	143.97	11.61	143.29	N84°55'20"W
C6	29.2259	500.00	12.74	38.44	72.65	S07°19'23"W
C7	47.2935	125.00	211.63	14.52	171.37	N81°22'27"E
C8	12.0474	155.00	194.58	129.87	117.47	S80°32'23"E
C9	11.0337	200.00	38.81	18.38	38.85	N43°37'48"E
C10	49.9420	75.00	124.48	31.65	110.88	S81°15'51"W
C11	44.9930	100.00	78.41	41.98	78.42	N01°09'17"E
C12	45.9112	200.00	160.00	84.58	95.11	S81°10'32"E
C13	24.9116	200.00	87.22	44.32	86.53	S27°48'18"E
C14	04.3110	500.00	81.62	42.40	51.93	S10°38'08"E
C15	34.9113	200.00	122.07	63.00	120.18	N23°24'37"W
C16	24.0432	500.00	39.87	17.74	39.86	S82°29'23"W
C17	38.9154	300.00	222.49	125.25	183.63	S40°21'07"W
C18	11.9116	500.00	60.22	45.27	60.28	N81°00'32"W
C19	49.0123	50.00	36.21	22.88	34.05	N84°44'11"W
C20	20.1417	385.00	123.85	62.48	122.44	N82°22'39"W
C21	41.2552	45.00	63.63	41.07	57.27	N20°24'18"W
C22	29.5236	50.00	16.14	7.20	15.04	S09°09'19"W
C23	21.4891	50.00	12.44	6.91	13.68	S18°04'55"E
C24	21.0220	215.00	100.96	51.96	100.41	N82°29'47"W
C25	23.1029	300.00	27.68	13.83	27.64	N43°25'48"E



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NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at 719E Main Street at least twenty-four hours prior to beginning any of their construction.

Failure to notify the Public Utilities Department in advance of beginning construction, will result in the issuance of monetary fines, and require reparation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Planned Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from Future work in the City of Raleigh.

**PUBLIC WATER DISTRIBUTION/EXTENSION SYSTEM**

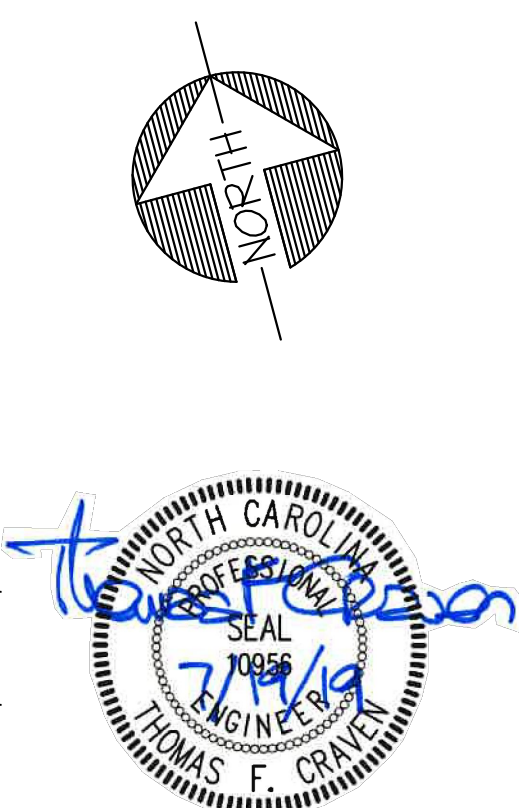
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THESE PLANS, PROVIDED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF THE CITY'S PUBLIC UTILITIES INFRASTRUCTURE.

CITY OF RALEIGH  
PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
AUTHORIZED TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_

**PUBLIC SEWER COLLECTION/EXTENSION SYSTEM**

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THESE PLANS, PROVIDED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF THE CITY'S PUBLIC UTILITIES INFRASTRUCTURE.

CITY OF RALEIGH  
PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
AUTHORIZED TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_



**BARRINGTON SUBDIVISION**

SCALE: 1"=100'  
DATE: 05/15/2018  
PROJECT NUMBER: 2015-007.001  
CLIENT: 264 DEVELOPMENT, LLC  
PLAN TYPE: CONSTRUCTION DRAWINGS

**OVERALL PHASE 1 SUBDIVISION LAYOUT**

REVISED 12/16/2016 CITY, TOWN, COUNTY REVIEW  
REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 7/14/2014 CITY, TOWN REVIEW

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET # C2.00

FILED PROJECTS: NOTERS 2015-003.001 WALKER - BARRINGTON DRAWINGS SHEET CONSTRUCTION: C2-02-C2.04 OVERALL SITE LAYOUT DWG. - JUL 19, 2018 - 9:41 PM - DELL 2 STEVEN

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 - Phone 919 / 781-0300 - Fax 919 / 782-1288 - Email PCA@PriestCraven.com / Firm #: C-0488

**GENERAL NOTES:**

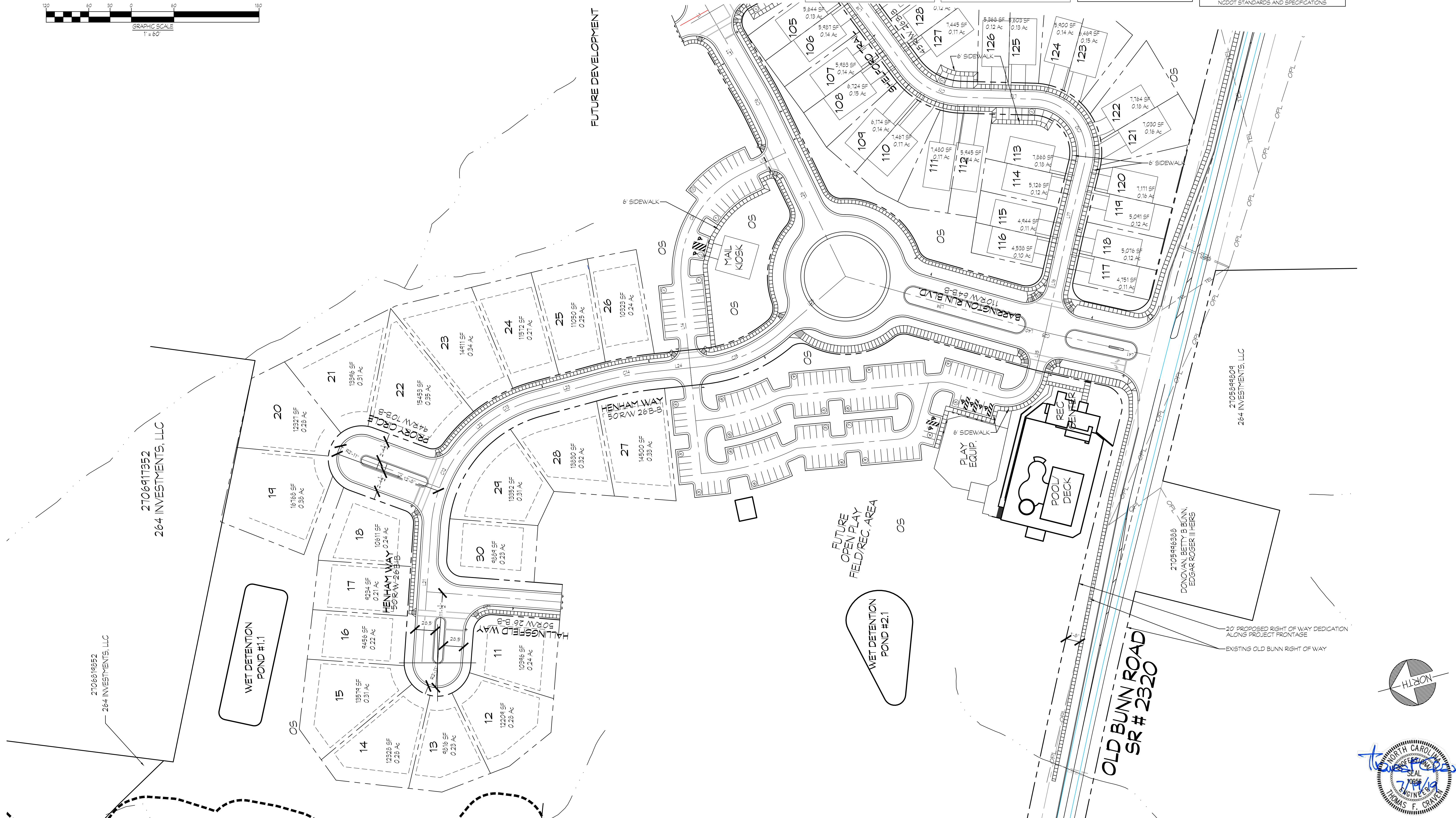
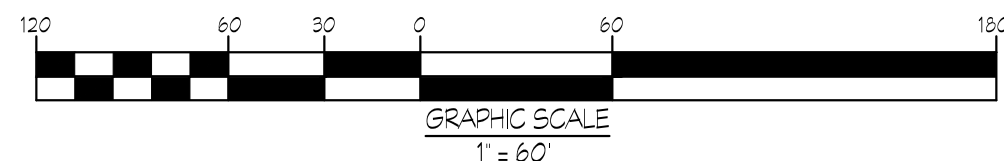
- ALL LANDSCAPE ISLANDS WITHIN THE ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL LANDSCAPE MATERIAL INCLUDING PLANTING AND GRASS.
- FLOODPLAIN (SFP #13) NO PORTION OF ANY LOT SHALL CONTAIN WETLANDS, RIPARIAN BUFFERS, FLOODPLAIN OR FLOODWAY.

**PUBLIC WATER DISTRIBUTION/EXTENSION SYSTEM**  
 THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND EXTENSION OF THE SYSTEM AND FOR THE PROTECTION AND REPAIR OF THE CITY PUBLIC UTILITIES-WHOLESALE.  
 CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
 AUTHORIZATION TO CONSTRUCT \_\_\_\_\_  
 DATE \_\_\_\_\_

**PUBLIC SEWER COLLECTION/EXTENSION SYSTEM**  
 THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND EXTENSION OF THE SYSTEM AND FOR THE PROTECTION AND REPAIR OF THE CITY PUBLIC UTILITIES-WHOLESALE.  
 CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # \_\_\_\_\_  
 AUTHORIZATION TO CONSTRUCT \_\_\_\_\_  
 DATE \_\_\_\_\_

**ATTENTION CONTRACTORS**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR GAS, AS APPROVED IN THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF THE CITY PUBLIC UTILITIES-WHOLESALE.  
 FAILURE TO NOTIFY THE PUBLIC UTILITIES DEPARTMENT IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE SEIZURE OF MATERIALS, FINE, AND REQUIRE RECONSTRUCTION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION.  
 FAILURE TO CALL FOR INSPECTION, INSTALL A CONSTRUCTION FLAG, HAVE PLANNED PLANS ON THE JOBITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.  
 NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



**BARRINGTON SUBDIVISION**

SCALE: 1"=60'  
 DATE: 05/15/2018  
 PROJECT NUMBER: 2015-001.001  
 CLIENT: 264 DEVELOPMENT, LLC  
 PLAN TYPE: CONSTRUCTION DRAWINGS

**SUBDIVISION LAYOUT PLAN**

REVISED 12/10/2010 CITY, TOWN, COUNTY REVIEW  
 REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW  
 REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW  
 REVISED 7/19/2014 CITY, TOWN REVIEW  
 RELEASED FOR CONSTRUCTION DATE (SEE COVER)  NO  YES

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET #  
 C2.01

TOWN OF ZEBULON NORTH CAROLINA  
 FILED PROJECTS: OTHERS 2018-003.001 WALKER - BARRINGTON DRAWINGS SHEET CONSTRUCTION: C2.02-C2.04 OVERALL SITE LAYOUT DWG. - JULY 19, 2018 - 3:48 PM - DELL J. STEVEN

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 - Phone 919 / 781-0300 - Fax 919 / 782-1288 - Email PC@PriestCraven.com / Firm #: C-0488



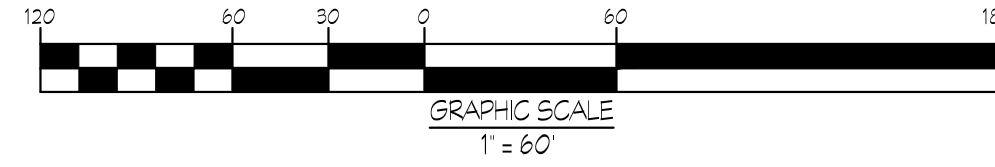


Lot #	Area (SF)	Area (AC)
105	5644	0.13
106	5987	0.14
107	5983	0.14
108	6124	0.15
109	6114	0.14
110	7467	0.17
111	7480	0.17
112	5945	0.14
113	7868	0.18
114	5126	0.12
115	4944	0.11
116	4538	0.10
117	4751	0.11
118	5076	0.12
119	5091	0.12
120	7111	0.16
121	7030	0.16
122	7764	0.18
123	6469	0.15
124	5900	0.14
125	5603	0.13
126	5368	0.12
127	7445	0.17
128	5075	0.12
129	4736	0.11
130	4171	0.10

Lot #	Area (SF)	Area (AC)
131	3437	0.08
132	2382	0.05
133	2458	0.06
134	5675	0.13
135	5454	0.13
136	2355	0.05
137	2360	0.05
138	2391	0.05
140	4121	0.09
141	2363	0.05
142	2377	0.05
143	4220	0.10
144	3447	0.09
145	2343	0.05
146	2343	0.05
147	4168	0.10
148	4670	0.11
149	2259	0.05
150	2150	0.05
151	3342	0.08
152	3325	0.08
153	2080	0.05
154	2462	0.07

Lot #	Area (SF)	Area (AC)
155	2434	0.07
156	2100	0.05
157	2825	0.06
158	3910	0.09
159	2499	0.06
160	4257	0.10
161	3434	0.08
162	2164	0.05
163	2157	0.05
164	2152	0.05
165	2151	0.05
166	3324	0.08
167	3422	0.08
168	2163	0.05
169	2156	0.05
170	2158	0.05
171	3674	0.08
330	3536	0.08
331	2080	0.05
332	3790	0.09

Lot #	Area (SF)	Area (AC)
268	4543	0.10
269	2345	0.05
270	2356	0.05
271	4461	0.10
282	4043	0.09
283	2344	0.05
284	2342	0.05
285	4128	0.09
286	3932	0.09
287	2580	0.06
288	4375	0.10



**GENERAL NOTES:**

- ALL LANDSCAPE ISLANDS WITHIN THE ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL LANDSCAPE MATERIAL INCLUDING PLANTING AND GRASS.
- FLOODPLAIN (SUF #13) NO PORTION OF ANY LOT SHALL CONTAIN WETLANDS, RIPARIAN BUFFERS, FLOODPLAIN OR FLOODWAY

**PUBLIC WATER DISTRIBUTION/EXTENSION SYSTEM**

The City of Raleigh requires the construction and extension of the City Public Water System as shown on this plan. The material and construction methods used for the public water system shall be in accordance with the standards and specifications of the City Public Utilities Handbook.

CITY OF RALEIGH  
PUBLIC UTILITIES DEPARTMENT REPORT # \_\_\_\_\_  
APPROVED TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_

**PUBLIC SEWER COLLECTION/EXTENSION SYSTEM**

The City of Raleigh requires the construction and extension of the City Public Sewer System as shown on this plan. The material and construction methods used for the public sewer system shall be in accordance with the standards and specifications of the City Public Utilities Handbook.

CITY OF RALEIGH  
PUBLIC UTILITIES DEPARTMENT REPORT # \_\_\_\_\_  
APPROVED TO CONSTRUCT \_\_\_\_\_  
DATE \_\_\_\_\_

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for notifying the Public Utilities Department at (919) 486-4840 at least twenty-four hours prior to beginning any of their construction.

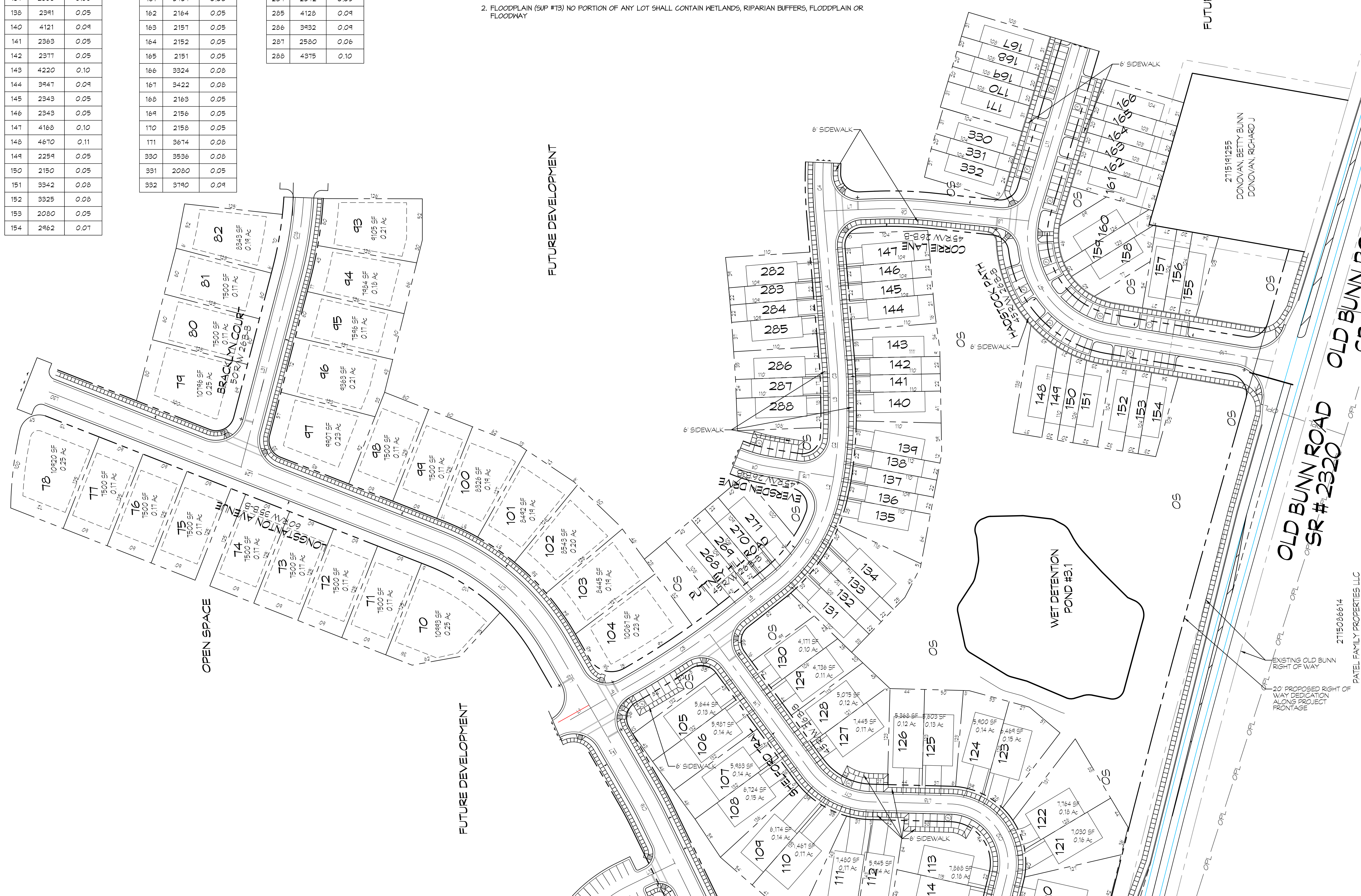
Failure to notify the Public Utilities Department in advance of beginning construction will result in the issuance of monetary fines, and require re-approval of any water or sewer facilities not inspected as a result of the notification failure.

Failure to call for inspection, install a Downstream Plug, have Planned Stop on the jobsite, or any other violation of City of Raleigh standards will result in a Fine and Possible Suspension from future work in the City of Raleigh.

ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF ZEBULON AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF ZEBULON.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON, WAKE COUNTY, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND/OR NCDOT STANDARDS AND SPECIFICATIONS



**BARRINGTON SUBDIVISION**

SCALE: 1"=60'  
DATE: 05/15/2018  
PROJECT NUMBER: 2015-001.001  
CLIENT: 264 DEVELOPMENT, LLC  
PLAN TYPE: CONSTRUCTION DRAWINGS

**SUBDIVISION PLAN LAYOUT**

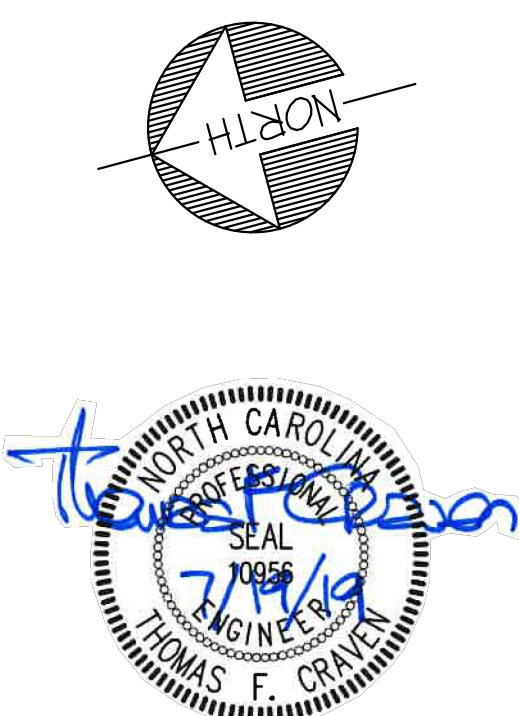
REVISED 12/10/2010 CITY, TOWN, COUNTY REVIEW  
REVISED 3/22/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 5/15/2014 CITY, TOWN, COUNTY REVIEW  
REVISED 7/19/2014 CITY, TOWN REVIEW

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

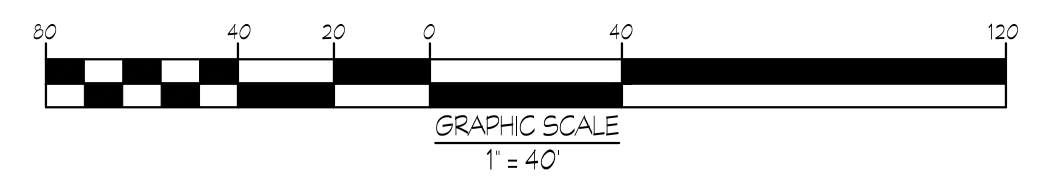
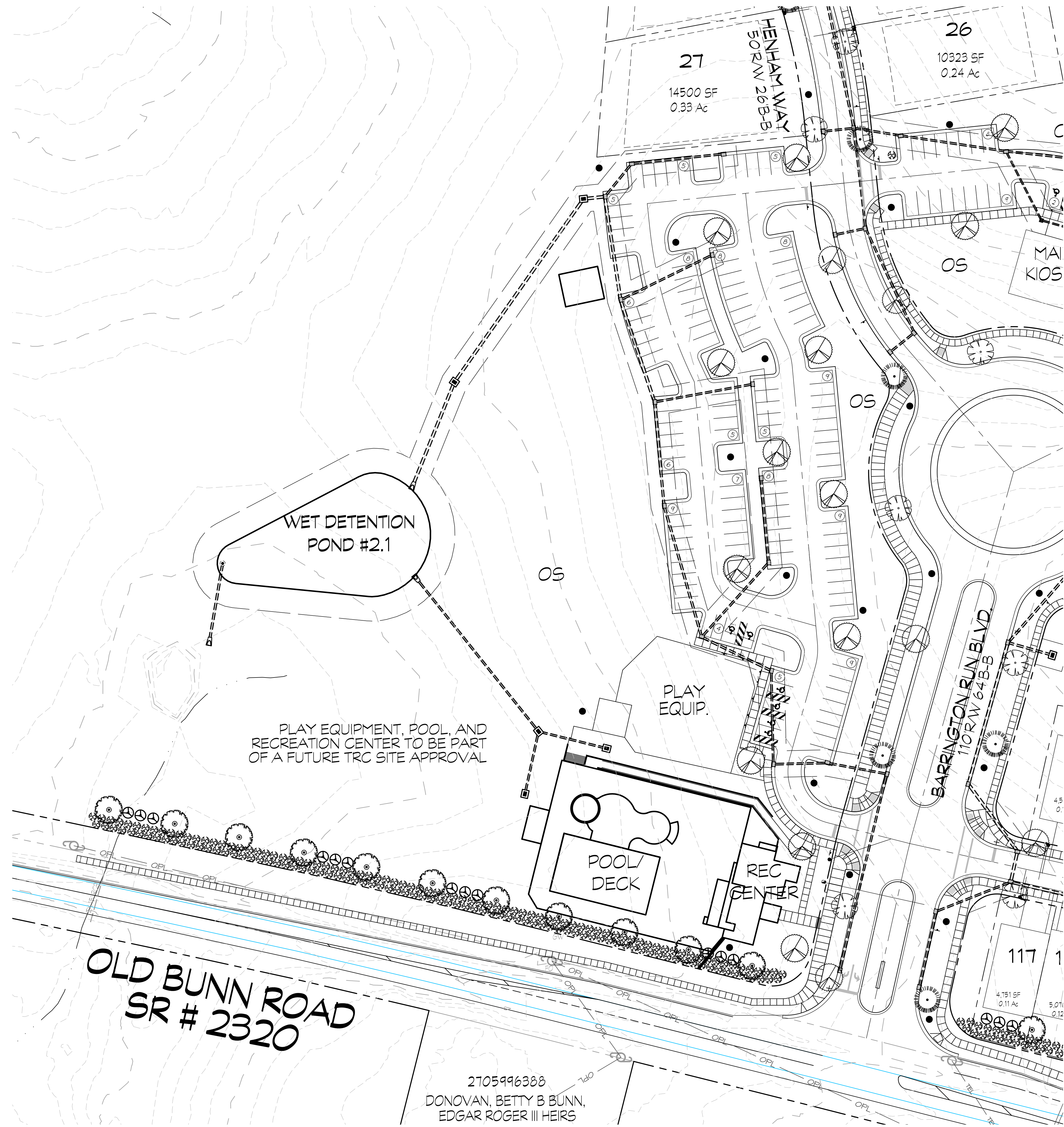
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 - Phone 919 / 781-0300 - Fax 919 / 782-1288 - Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #

C2.02



FILED PROJECTS: OTHERS 2015-001.001 WALKER - BARRINGTON DRAWINGS SHEET CONSTRUCTION: C2.02-C2.04 OVERALL SITE LAYOUT DWG. - JULY 19, 2018 - 3:48 PM - DILL, STEVEN



**GENERAL NOTES:**

1. ALL LANDSCAPE ISLANDS WITHIN THE ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL LANDSCAPE MATERIAL INCLUDING PLANTING AND GRASS.
2. FLOODPLAIN (SUP #13) NO PORTION OF ANY LOT SHALL CONTAIN WETLANDS, RIPARIAN BUFFERS, FLOODPLAIN OR FLOODWAY

WATER DISTRIBUTION/EXTENSION SYSTEM	PUBLIC	SEWER COLLECTION/EXTENSION SYSTEM	PUBLIC
<small>THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THE PROJECT SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES DEPARTMENT.</small>		<small>THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THE PROJECT SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES DEPARTMENT.</small>	
<small>CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____</small>		<small>CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____</small>	
<small>AUTHORIZATION TO CONSTRUCT _____ DATE _____</small>		<small>AUTHORIZATION TO CONSTRUCT _____ DATE _____</small>	

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 976-4440 at least twenty-four hours prior to beginning any of their construction.

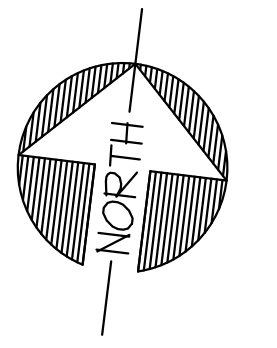
Failure to notify the Public Utilities Department in advance of beginning construction will result in the issuance of monetary fines, and require restoration of any water or sewer facilities not impacted as a result of this notification failure.

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**BARRINGTON SUBDIVISION**

SCALE: 1"=40'  
 DATE: 05/15/2018  
 PROJECT NUMBER: 2015-001.001  
 CLIENT: 264 DEVELOPMENT, LLC  
 PLAN TYPE: CONSTRUCTION DRAWINGS

**REC. AMENITIES AREA LAYOUT**

REVISED 12/16/2016 CITY, TOWN, COUNTY REVIEW  
 REVISED 3/22/2018 CITY, TOWN, COUNTY REVIEW  
 REVISED 5/15/2018 CITY, TOWN, COUNTY REVIEW  
 REVISED 7/19/2014 CITY, TOWN REVIEW  
 RELEASED FOR CONSTRUCTION DATE: (SEE COVER)  NO  YES

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 • Phone 919 / 781-0300 • Fax 919 / 782-1288 • Email PCAP@PriestCraven.com / Firm #: C-0488

SHEET #  
 C2.03

FILED PROJECTS: NOTHERS 2018-003.001 WALKER - BARRINGTON DRAWINGS SHEET CONSTRUCTION: C2.02-C2.04 OVERALL SITE LAYOUT DWG. - JUL 19, 2018 - 3:52 PM - DELL 2 STEVEN

