

JASPER PLACE

CONSTRUCTION DRAWINGS

PIN: 1795456688

W GANNON AVE (SR 97), WAKE COUNTY, NORTH CAROLINA

FOR REVIEW ONLY

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866-4951 FAX 919.893.8124 www.timmons.com

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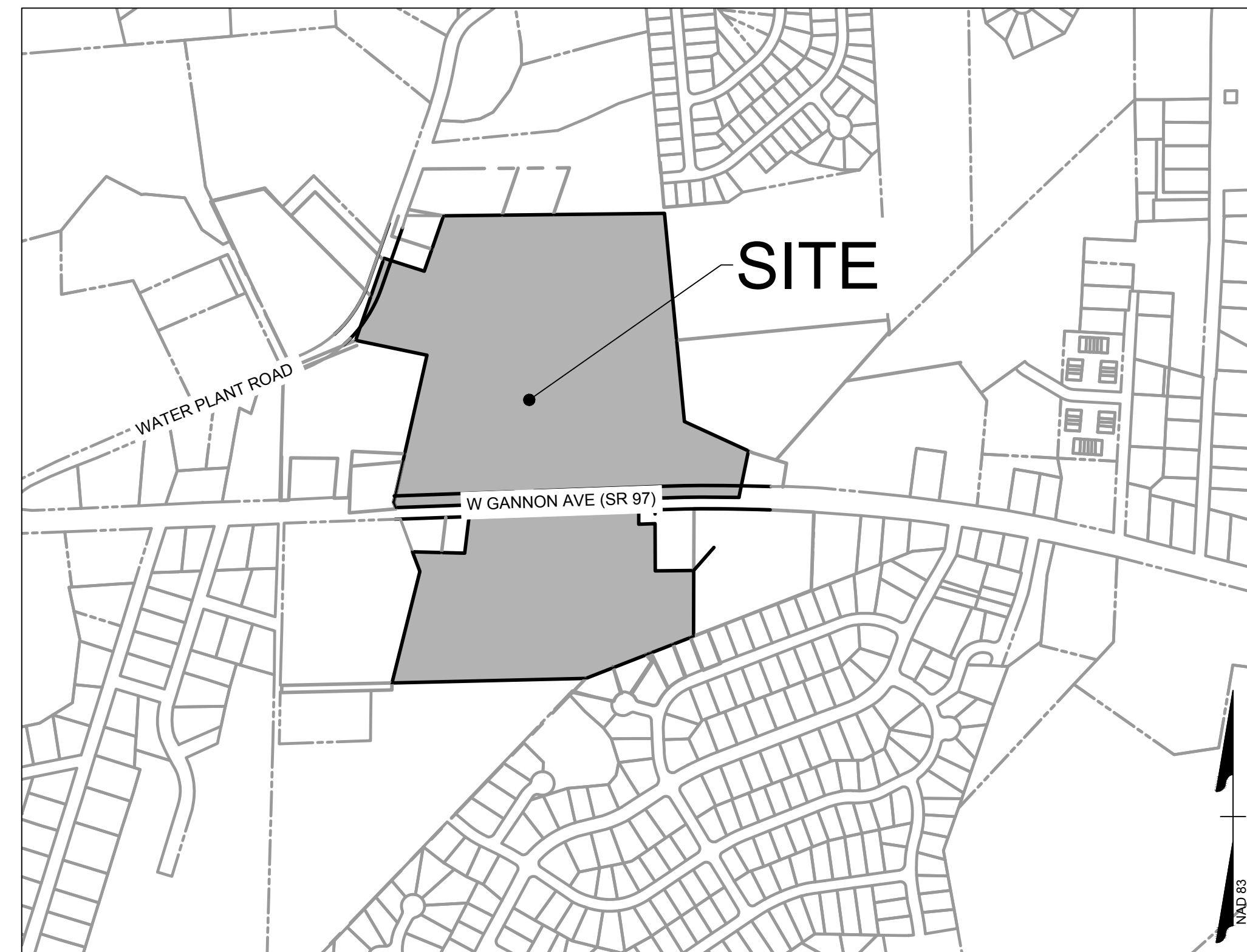
DATE
 10/05/2020
 DRAWN BY
 331
 DESIGNED BY
 331
 CHECKED BY
 M. ZACCARDO
 SCALE
 AS SHOWN

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
JASPER PLACE
 ZEBULON, WAKE COUNTY, NORTH CAROLINA
 COVER SHEET

JOB NO.
 46388
 SHEET NO.
 C0.0

SITE DATA

PROJECT:	JASPER PLACE
ENGINEER:	TIMMONS GROUP MIKE ZACCARDO, PE 5410 TRINITY ROAD, STE. 102 RALEIGH, NC 27607 PHONE: 919-532-3281
DEVELOPER:	LENNAR CORPORATION - RALEIGH DIVISION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC 27560 CONTACT: CHARLIE YOKLEY, AICP OFFICE: 919.465.5903 CHARLIE.YOKLEY@LENNAR.COM
LAND OWNER:	WHELESS EAKES LLS 902 W GANNON AVE ZEBULON, NC 27597-2518
TOTAL SITE AREA:	52.88 AC
PIN:	1795456688
ZONING:	R2
PROPOSED USE:	SINGLE-FAMILY RESIDENTIAL SUBDIVISION



VICINITY MAP
 SCALE = 1" = 500'

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLANS
C2.0	OVERALL SUBDIVISION LAYOUT PLAN
C2.1	SUBDIVISION LAYOUT PLAN
C2.2	SUBDIVISION LAYOUT PLAN
C3.0	UTILITY PLAN
C4.0	OVERALL GRADING & DRAINAGE PLAN
C4.1	GRADING & DRAINAGE PLAN
C4.2	GRADING & DRAINAGE PLAN
C4.3	STORM SEWER SCHEDULE
C6.1	ROAD A PLAN & PROFILE (1 OF 2)
C6.2	ROAD A PLAN & PROFILE (2 OF 2)
C6.3	ROAD B PLAN & PROFILE
C6.4	ROAD C PLAN & PROFILE
C6.5	ROAD D PLAN & PROFILE
C7.1	STORM OUTFALL PROFILES
C7.2	STORM OUTFALL PROFILES
C7.3	SANITARY SEWER OUTFALL PROFILE
C8.0	LANDSCAPE PLAN
C9.1	SCM PLAN & PROFILE & LANDSCAPE SHEET
C9.2	SCM DETAILS
C10.1	GANNON AVENUE WIDENING PHASE 1
C10.2	GANNON AVENUE WIDENING PHASE 2
C11.1	NOTES AND DETAILS
C11.2	NOTES AND DETAILS
C11.3	NOTES AND DETAILS
C11.4	NOTES AND DETAILS
C11.5	NOTES AND DETAILS
C11.6	NOTES AND DETAILS
C11.7	NOTES AND DETAILS

EROSION AND SEDIMENT CONTROL
APPROVED PLAN
 DATE _____
 PERMIT NO. S- _____
 Wake County Environmental Services
 Sedimentation & Erosion Control
 919-856-7400
 ENVIRONMENTAL CONSULTANT SIGNATURE

SITE PERMITTING APPROVAL
Water and Sewer Permits (if applicable)
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. **City of Raleigh Public Utilities Department Permit #** _____
 The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. **City of Raleigh Public Utilities Department Permit #** _____
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # _____



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DEVELOPER:
LENNAR CORPORATION - RALEIGH DIVISION
1100 PERIMETER PARK DRIVE, STE. 112
MORRISVILLE, NC 27560

ENGINEER:
TIMMONS GROUP
MIKE ZACCARDO, PE
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
PHONE: 919-532-3281

PIN = 1795-45-6688
FIRM MAP# = 3720179500J

EXISTING TRACT ACREAGE = 52.88 acres
ZONING = R2
LAND USE = SINGLE FAMILY RESIDENTIAL

PROPOSED NUMBER OF LOTS = 97
PROPOSED DENSITY = 1.83 du/a

MINIMUM LOT WIDTH REQUIRED = 30 feet
MINIMUM LOT WIDTH PROVIDED = 41 feet
MINIMUM ALLOWABLE LOT SIZE = 6,001 sq.ft.
MINIMUM LOT SIZE PROVIDED = 6,001 sq.ft.
AVERAGE LOT SIZE = 6,624 sq.ft.

PROVIDED OPEN SPACE AREA = 30.68 acres (58.0%)

OPEN SPACE

Open Space 1	21,091 SF	0.4842 AC
Open Space 2	55,773 SF	1.2804 AC
Open Space 3	23,825 SF	0.5469 AC
Open Space 4	23,250 SF	0.5338 AC
Open Space 5	9,838 SF	0.2258 AC
Open Space 6	443,991 SF	10.1926 AC
Open Space 7	12,327 SF	0.2830 AC
Open Space 8	746,414 SF	17.1353 AC
TOTAL	1,336,509 SF	30.6820 AC

A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY TOWN OF ZEBULON UNITED DEVELOPMENT ORDINANCE (UDO).

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

SETBACKS TABLE

FRONT YARD = 20'
SIDE YARD = 5'
REAR YARD = 5'
CORNER YARD = 20'

STREET TABLE

ROAD A	1481 LF
ROAD B	858 LF
ROAD C	988 LF
ROAD D	753 LF
TOTAL	4080 LF

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DATE	10/05/2020
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	1" = 100'

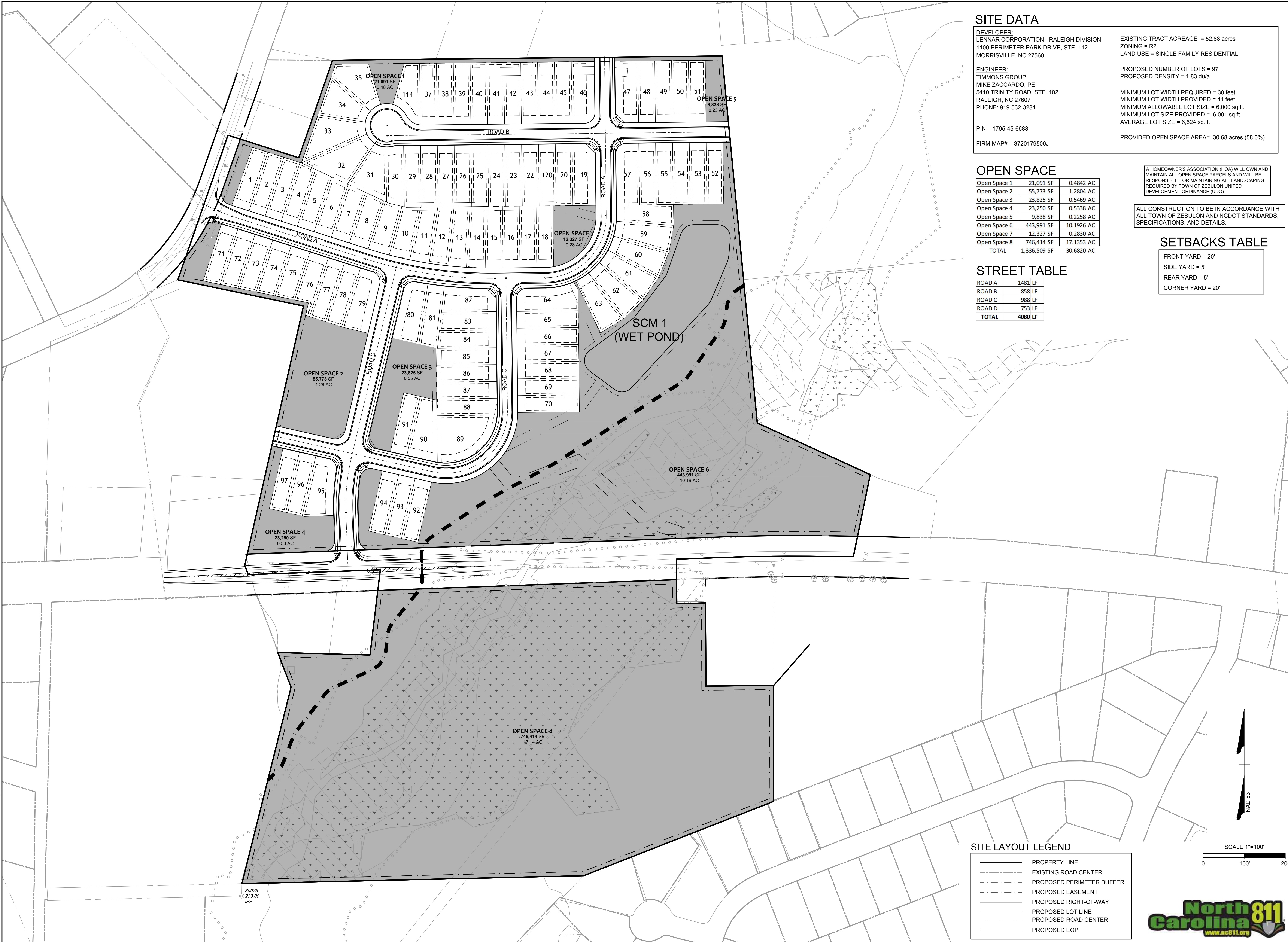
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

JASPER PLACE
ZEBULON, WAKE COUNTY, NORTH CAROLINA

OVERALL SUBDIVISION LAYOUT PLAN

JOB NO.	46388
SHEET NO.	C2.0

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SITE LAYOUT LEGEND

- PROPERTY LINE
- EXISTING ROAD CENTER
- PROPOSED PERIMETER BUFFER
- PROPOSED EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED ROAD CENTER
- PROPOSED EOP

SCALE 1"=100'
0 100' 200'



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SITE LAYOUT LEGEND

- PROPERTY LINE
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- - - PROPOSED PERIMETER BUFFER
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DATE	REVISION DESCRIPTION
10/05/2020	

DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	1" = 60'

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JASPER PLACE
 ZEBULON, WAKE COUNTY, NORTH CAROLINA
 SUBDIVISION LAYOUT PLAN

JOB NO.	46388
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