

VICINITY MAP

SCALE: 1" = 5,000'

# TARYN CREEK

## LOCATED IN ZEBULON, NORTH CAROLINA



### APPROVAL SIGNATURES

Blank area for approval signatures.

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SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
C0.0	COVER SHEET	10/18/2017	
C1.0	EXISTING CONDITIONS SURVEY - SHEET 1 OF 5	10/18/2017	
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C1.2	EXISTING CONDITIONS SURVEY - SHEET 3 OF 5	10/18/2017	
C1.3	EXISTING CONDITIONS SURVEY - SHEET 4 OF 5	10/18/2017	
C1.4	EXISTING CONDITIONS SURVEY - SHEET 5 OF 5	10/18/2017	
C2.0	DEMOLITION PLAN	10/18/2017	
C3.0	SITE PLAN - OVERALL	10/18/2017	
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C4.0	GRADING PLAN - OVERALL	10/18/2017	
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C4.9	STORMWATER CONTROL MEASURE A	10/18/2017	
C4.10	STORMWATER CONTROL MEASURE B	10/18/2017	
C5.0	SEA HOLLY DRIVE PLAN & PROFILE	10/18/2017	
C5.1	BIRCHHEAD DRIVE PLAN & PROFILE	10/18/2017	
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C6.0	EROSION CONTROL PHASE 1 - OVERALL	10/18/2017	
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C6.3	EROSION CONTROL PHASE 2 - OVERALL	10/18/2017	
C6.4	EROSION CONTROL PHASE 2 - SHEET 1 OF 2	10/18/2017	
C6.5	EROSION CONTROL PHASE 2 - SHEET 2 OF 2	10/18/2017	
C6.6	EROSION CONTROL DETAILS - SHEET 1 OF 3	10/18/2017	
C6.7	EROSION CONTROL DETAILS - SHEET 2 OF 3	10/18/2017	
C6.8	EROSION CONTROL DETAILS - SHEET 3 OF 3	10/18/2017	
C7.0	SITE DETAILS - SHEET 1 OF 4	10/18/2017	
C7.1	SITE DETAILS - SHEET 2 OF 4	10/18/2017	
C7.2	SITE DETAILS - SHEET 3 OF 4	10/18/2017	
C7.3	SITE DETAILS - SHEET 4 OF 4	10/18/2017	
L1.0	LANDSCAPE PLAN AND LIGHTING PLAN	10/18/2017	
L1.1	STRIPING AND SIGNAGE PLAN	10/18/2017	
L1.2	LANDSCAPE DETAILS	10/18/2017	

#### WATER & SEWER

SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
WS1.0	WATER & SEWER PLAN - OVERALL	10/18/2017	
WS1.1	WATER & SEWER PLAN - SHEET 1 OF 2	10/18/2017	
WS1.2	WATER & SEWER PLAN - SHEET 2 OF 2	10/18/2017	
WS2.0	WATER & SEWER PLAN & PROFILE - SHEET 1 OF 4	10/18/2017	
WS2.1	WATER & SEWER PLAN & PROFILE - SHEET 2 OF 4	10/18/2017	
WS2.2	WATER & SEWER PLAN & PROFILE - SHEET 3 OF 4	10/18/2017	
WS2.3	WATER & SEWER PLAN & PROFILE - SHEET 4 OF 4	10/18/2017	
WS3.0	WATER & SEWER DETAILS - SHEET 1 OF 5	10/18/2017	
WS3.1	WATER & SEWER DETAILS - SHEET 2 OF 5	10/18/2017	
WS3.2	WATER & SEWER DETAILS - SHEET 3 OF 5	10/18/2017	
WS3.3	WATER & SEWER DETAILS - SHEET 4 OF 5	10/18/2017	
WS3.4	WATER & SEWER DETAILS - SHEET 5 OF 5	10/18/2017	

DEVELOPMENT DATA FOR TARYN CREEK	
TAX PARCEL ID:	0796849010 & 1796931731
TOTAL SITE AREA:	17.41 AC
ZONING:	R-13 SUD
PROP. USE:	SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF PROP. LOTS:	50 (55' X 110')
PROP. DENSITY:	2.87 UNITS/AC.
MIN. LOT SIZE:	6,000 SF
MIN. LOT FRONTAGE REQUIRED:	55 FEET
MIN. LOT FRONTAGE PROVIDED:	55 FEET
MINIMUM SETBACKS:	
FRONT:	20'
SIDE:	5' (12' AGGREGATE)
CORNER SIDE:	15'
REAR:	20'
IMPERVIOUS AREA:	
TOTAL COMMON OPEN SPACE:	4.78 AC
	6.54 AC
USABLE OPEN SPACE:	
	0.87 AC REQUIRED
	5.26 AC PROVIDED
MINI-PARK:	
	0.50 AC REQUIRED
	0.60 AC PROVIDED
UTILITIES	
SANITARY SEWER	
8" DIP	571 LF
8" SDR 35	2,219 LF
WATER	
6" DIP	493 LF
8" DIP	1,628 LF

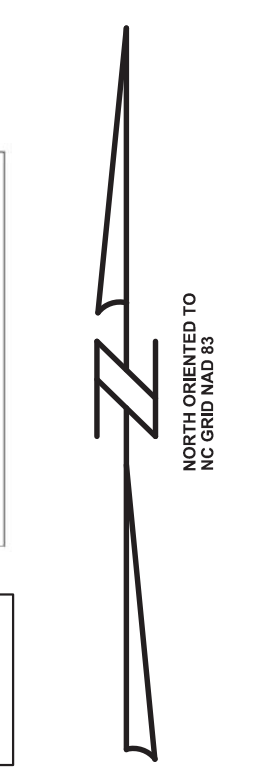
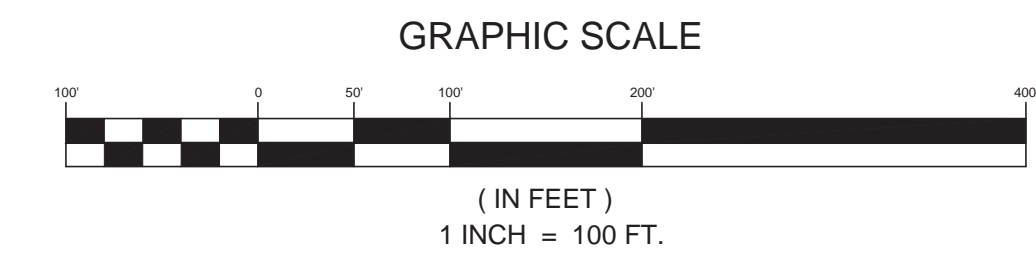
<b>ENGINEERING FIRM:</b>	<b>ESP ASSOCIATES, P.A.</b>
<b>ADDRESS:</b>	5121 KINGDOM WAY, STE 208 RALEIGH, NC 27607
<b>PHONE:</b>	(919) 678-1070
<b>FAX:</b>	(919) 677-1252
<b>CONTACT:</b>	SALMAN MOAZZAM, P.E.
<b>DEVELOPER:</b>	<b>D.R. HORTON</b>
<b>ADDRESS:</b>	2000 AERIAL CENTER PKWY, STE. 110 MORRISVILLE, NC 27560
<b>PHONE:</b>	(919) 460-2932
<b>CONTACT:</b>	FRANK REYNOLDS
<b>REVIEW AGENCY:</b>	<b>TOWN OF ZEBULON</b>
<b>ADDRESS:</b>	1003 N. ARENDELL AVE. ZEBULON, NC 27597
<b>FAX:</b>	(919) 823-1810
<b>REVIEW AGENCY:</b>	<b>CITY OF RALEIGH (CORPUD)</b>
<b>ADDRESS:</b>	1 EXCHANGE PLAZA SUITE 520 RALEIGH, NC 27601
<b>PHONE:</b>	(919) 996-4540
<b>REVIEW AGENCY:</b>	<b>WAKE COUNTY</b>
<b>ADDRESS:</b>	336 FAYETTEVILLE STREET RALEIGH, NC 27601
<b>PHONE:</b>	(919) 856-6310

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the construction of sewer, water, and/or storm, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2499, and the Public Utilities Department at (919) 996-4348 at least twenty-four hours prior to beginning any of their construction.  
*Failure* to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require re-notification of any water or sewer facilities not inspected as a result of this notification failure.  
*Failure* to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**NOTE:**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE.

**Public Water Distribution / Extension System**  
The City of Raleigh consents to the construction and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_

**Public Sewer Collection / Extension System**  
The City of Raleigh consents to the construction and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_



**THIS SET IS CURRENT THROUGH 10/18/2017**

ESP Associates, P.A.  
5121 Kingdom Way  
Raleigh, NC 27607  
Phone: 919.678.1070  
Fax: 919.677.1252  
www.espassociates.com  
NC LICENSE - C-0587



NO.	DATE	REVISION

COVER SHEET

TARYN CREEK SUBDIVISION

DR HORTON

ZEBULON, NC

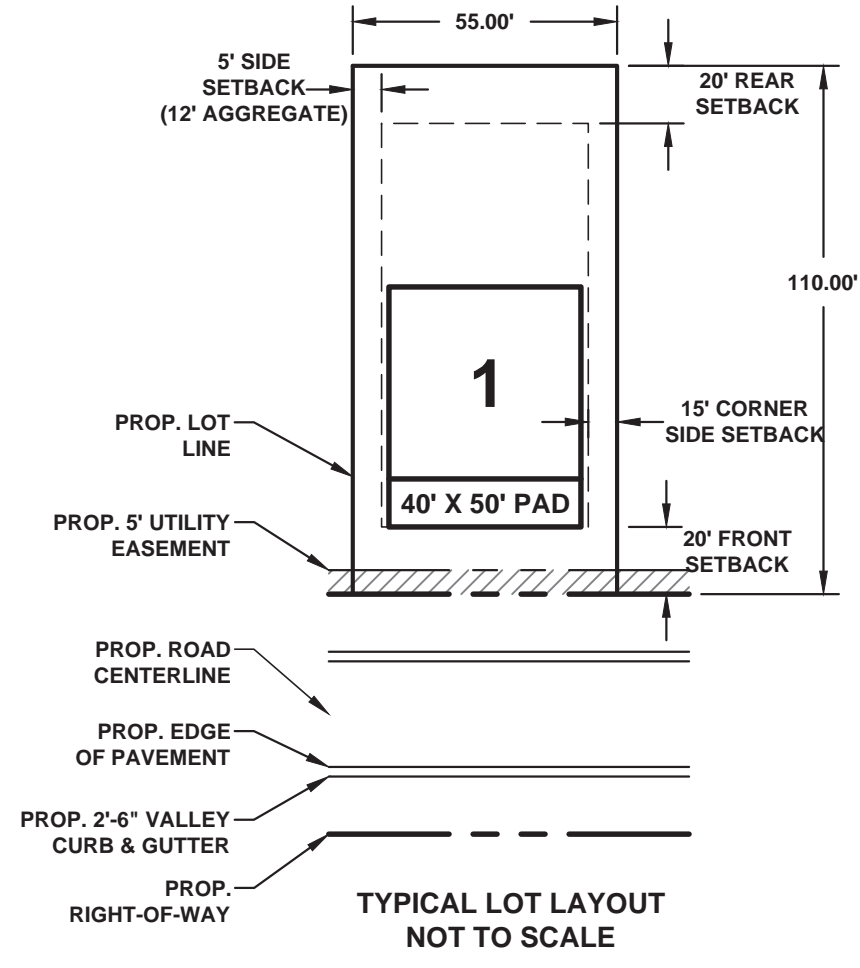
PROJECT INFORMATION

PROJECT MANAGER:	SM
DESIGNED BY:	CT
DRAWN BY:	CT
PROJECT NUMBER:	DX42.402
ORIGINAL DATE:	10/18/2017
SHEET:	<b>C0.0</b>



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**DEVELOPMENT DATA FOR TARYN CREEK**

TAX PARCEL ID: 079849010 & 1796931731  
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 MIN. LOT SIZE: 6,000 SF  
 MIN. LOT FRONTAGE REQUIRED: 55 FEET  
 MIN. LOT FRONTAGE PROVIDED: 55 FEET

MINIMUM SETBACKS:  
 FRONT: 20'  
 SIDE: 5' (12' AGGREGATE)  
 CORNER SIDE: 15'  
 REAR: 20'

IMPERVIOUS AREA: 4.78 AC  
 TOTAL COMMON OPEN SPACE: 6.54 AC  
 USABLE OPEN SPACE: 0.87 AC, REQUIRED 5.28 AC PROVIDED

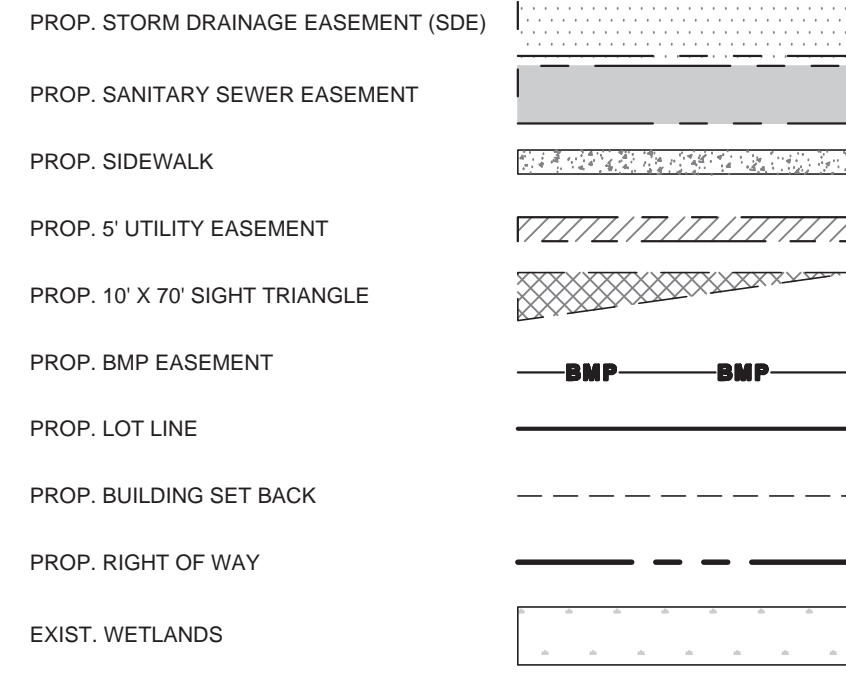
MINI-PARK: 0.50 AC REQUIRED 0.80 AC PROVIDED

UTILITIES  
 SANITARY SEWER  
 8" DIP: 571 LF  
 8" SDR 35: 2,219 LF  
 WATER  
 8" DIP: 493 LF  
 8" DIP: 1,628 LF

**STREET DATA FOR TARYN CREEK**  
 SEA HOLLY DRIVE: 513 LF  
 BIRCHHEAD DRIVE: 857 LF  
 WINTER CRESS DRIVE: 636 LF  
 HEARTLEAF COURT: 129 LF  
 TOTAL: 2,134 LF

\* MEASUREMENTS TAKEN FROM CENTERLINE OF THE STREET BEGINNING AT THE INTERSECTING STREET RIGHT-OF-WAY TO THE END OF THE STREET PAVEMENT.  
 \*\* ALL STREETS SHALL BE PUBLIC AND ARE PROPOSED FOR ACCEPTANCE INTO THE TOWN OF ZEBULON.

**LEGEND**

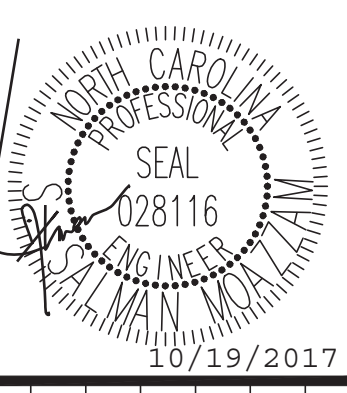
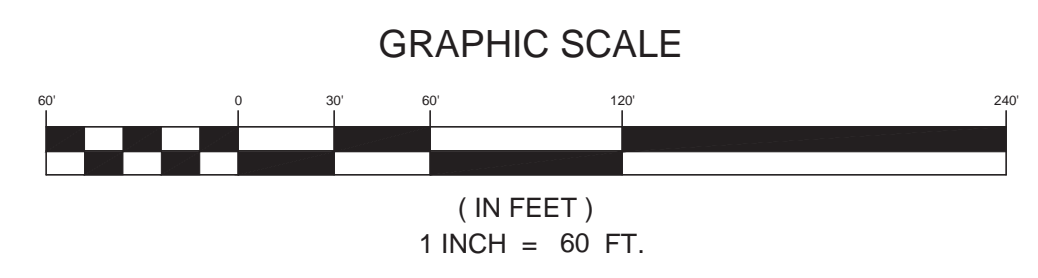
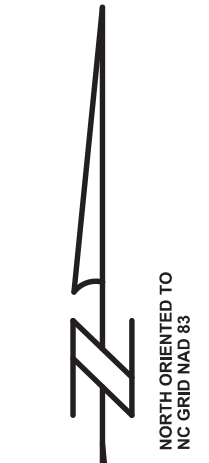


**GENERAL NOTES**

- THIS DRAWING IS NOT INTENDED TO BE A BOUNDARY SURVEY.
- BOUNDARY LINE INFORMATION PER DEEDS AND PLATES OF THE WAKE COUNTY REGISTRY AS SHOWN.
- HORIZONTAL DATUM USED FOR THIS PROJECT IS NAD 83/2011 (US SURVEY FEET). THE GROUND CONTROL COORDINATES ARE LOCALIZED COORDINATES BASED ON STATE PLANE COORDINATES FOR ESP "GPS #4" HAVING THE FOLLOWING NAD COORDINATE VALUES: GPS #4 - NORTHING 754298.610 EASTING 313.669 (NAD 83) PROJECT COMBINED GRID FACTOR USED IS 0.9999170074 (GROUND TO GRID).
- THE SURVEY CONTROL WAS ESTABLISHED BY ESP ASSOCIATES, PA TO CLASS C 2-11 FGCC SPECIFICATIONS USING RTK VRS GNSS FIELD PROCEDURES.
- THE PROJECT SITE IS NOT LOCATED IN A FLOOD ZONE. REFER TO DFIRM MAP NUMBER 3720179600J REVISED 05-02-06 FOR ADDITIONAL INFORMATION.
- WETLAND AREAS DELINEATED BY S&EC.
- THE DESIGN OF ALL PROPOSED ROADS, SANITARY SEWAGE, STORM DRAIN PIPING AND DITCHES, AND WATER QUALITY AND DETENTION FEATURES PRESENTED HEREIN HAS BEEN COMPLETED FROM FIELD SURVEY INFORMATION.
- UTILITY EASEMENT DEDICATED TO CITY OF RALEIGH LOCATED ON EVERY LOT OFFSET FROM R.O.W.
- ALL LOTS WILL BE SERVED BY CITY OF RALEIGH PUBLIC WATER AND PUBLIC SANITARY SEWER.
- NO PRINCIPAL BUILDING SHALL BE CONSTRUCTED INSIDE ANY DESIGNATED EASEMENT AS SHOWN ON THIS SITE PLAN (I.E. DRAINAGE EASEMENT, SANITARY SEWER, RW, SIGHT TRIANGLE, ETC.).
- THIS PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES, AND COVENANTS WHICH ARE OF RECORD.
- WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH CODE OF ORDINANCES AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE, AT CONTRACTOR'S EXPENSE, FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THESE PERMITS MAY INCLUDE, BUT NOT LIMITED TO: GRADING, DEMOLITION, BLASTING, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
- UTILITIES SHALL BE LOCATED EXCLUSIVELY WITHIN THE ROAD RIGHTS-OF-WAY UNLESS OTHERWISE SHOWN HEREIN.
- ALL PROPOSED LOTS SHALL BE ACCESSED FROM THE PROPOSED ROADS.
- ALL NEWLY CREATED ROADS ARE PROPOSED FOR ACCEPTANCE INTO THE TOWN OF ZEBULON ROADWAY SYSTEM.
- PIPE SYSTEMS, CHANNELS, OR RETAINING WALLS LOCATED IN COMMON OPEN SPACE ARE THE MAINTENANCE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THIS DEVELOPMENT.
- PIPE SYSTEMS, CHANNELS, OR RETAINING WALLS LOCATED ON LOTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL HOMEOWNER OR THE HOMEOWNERS ASSOCIATION.
- ALL STORM DRAINAGE PIPES ARE TO BE CLASS III NCDOT APPROVED RCP UNLESS OTHERWISE NOTED.
- ANY MONUMENT SIGN SHALL BE SUBMITTED AND APPROVED BY TOWN OF ZEBULON PRIOR TO CONSTRUCTION.
- ANY AND ALL FENCES MUST BE OUTSIDE OF EASEMENTS.
- THE TOWN OF ZEBULON WILL BE RESPONSIBLE FOR ALL STREET DRAINAGE WITHIN ROW AND DEDICATED PUBLIC DRAINAGE EASEMENTS UNTIL THE STILLING BASIN. ALL STORMWATER SYSTEM DRAINAGE BEHIND LOTS IN SHOWN EASEMENTS WILL BE OWNED AND MAINTAINED BY THE HOA. BMP A AND B WILL BE MAINTAINED BY THE HOA.
- THE ERECTION, EXCAVATION, DEMOLITION, ALTERATION OR REPAIR OF ANY BUILDING, INFRASTRUCTURE OR OTHER STRUCTURE IN A RESIDENTIAL OR BUSINESS DISTRICT OTHER THAN BETWEEN THE HOURS OF 7:00 A.M. AND 8:00 P.M. WILL NOT BE ALLOWED, WITH THE EXCEPTION OF EMERGENCY REPAIRS.
- MAXIMUM IMPERVIOUS AREA SQUARE FOOTAGE ON EACH INDIVIDUAL LOT WILL BE STRINGENTLY ENFORCED WITH NO EXCEPTIONS INTO PERPETUITY. PLANS APPROVED WITH A MAXIMUM IMPERVIOUS SURFACE OF 2,927 SF PER LOT.
- ALL LANDSCAPE ISLANDS WITHIN THE ROW AT CUL-DE-SACS ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN LANDSCAPE MATERIAL. THIS NOTE TO BE INCLUDED ON THE FINAL PLAT PLAN.
- MAIL KIOSKS LOCATED IN ROW ARE THE RESPONSIBILITY OF THE HOA TO MAINTAIN. THIS NOTE TO BE INCLUDED ON THE FINAL PLAT PLAN.

**RETAINING WALL NOTES**

- WALL MATERIALS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- NO TIMBER WALLS SHALL BE PERMITTED.



NO.	DATE	REVISION

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 NO.: \_\_\_\_\_  
 PROJECT INFORMATION:  
 PROJECT MANAGER: SM  
 DESIGNED BY: CT  
 DRAWN BY: CT  
 PROJECT NUMBER: DX42.402  
 ORIGINAL DATE: 10/18/2017  
 SHEET: **C3.0**

SITE PLAN - OVERALL  
 TARYN CREEK SUBDIVISION  
 DR HORTON  
 ZEBULON, NC