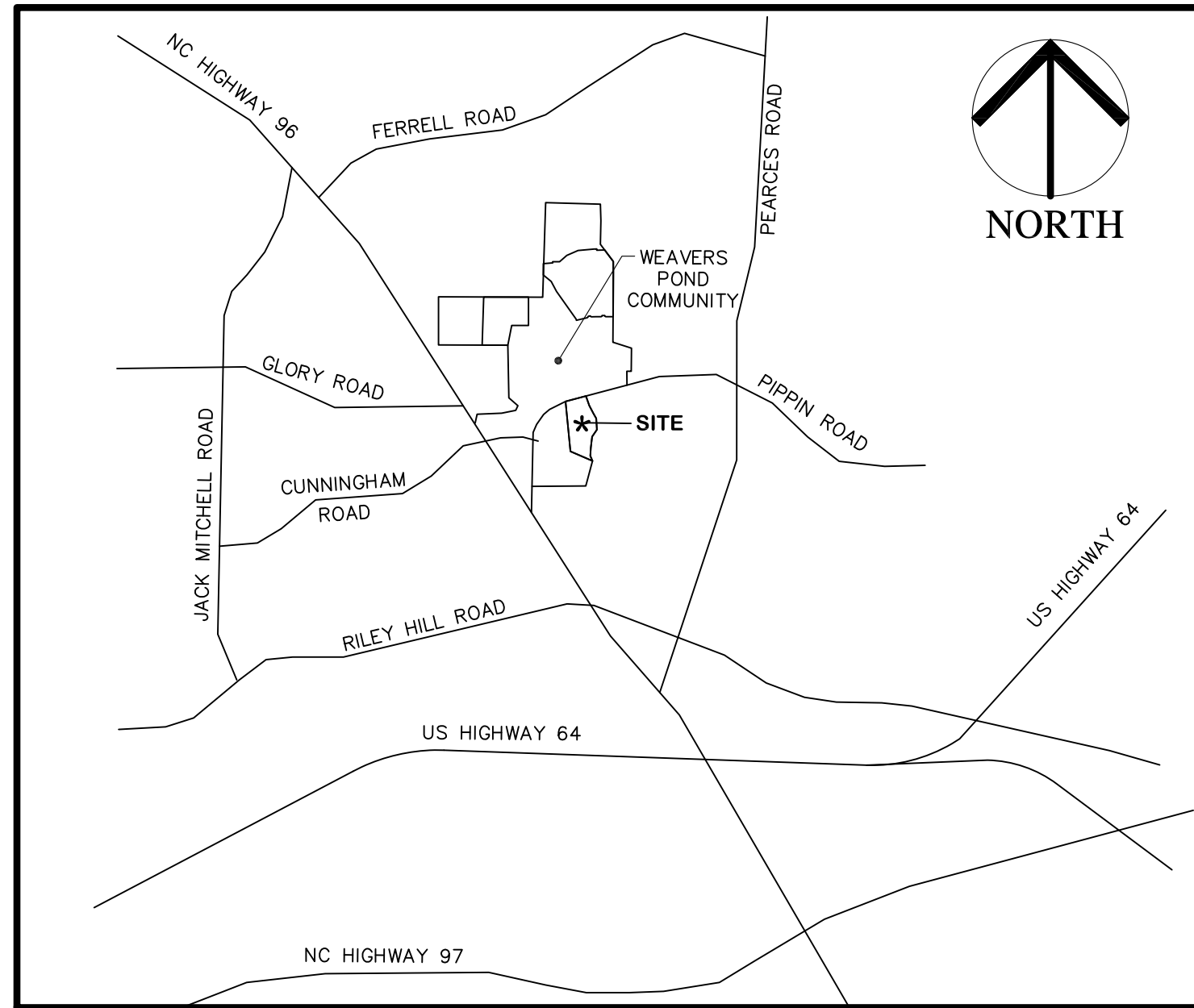


WEAVERS POND TOWNHOMES (PHASE 4) CONSTRUCTION PLANS

ZEBULON, NORTH CAROLINA WAKE COUNTY



VICINITY MAP NTS

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF ZEBULON ENGINEERING DESIGN SPECIFICATIONS AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, SURVEY, AND HORIZONTAL/VERTICAL DATUM INFORMATION IS TAKEN FROM SURVEY BY NEWCOMB LAND SURVEYORS, LLC.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS
- PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.
- CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION ON THIS PROJECT MAY BEGIN. THE DEVELOPER SHALL BE RESPONSIBLE FOR PAYING ALL APPLICABLE DEVELOPMENT FEES PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- NEUSE RIVER BUFFER AND WETLANDS INFORMATION IS TAKEN FROM A SURVEY FROM NEWCOMB LAND SURVEYORS, LLC, AS FIELD LOCATED BY SOIL AND ENVIRONMENTAL CONSULTANTS, INC.
- ALL ROADWAY INFRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT JASON BROWN AT 919-795-5640 WITH THE TOWN OF ZEBULON TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING CONSTRUCTION.
- ALL ROADWAY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS IN ROW OR DEDICATED PUBLIC EASEMENTS WILL BE REQUIRED TO BE DEDICATED TO THE TOWN OF ZEBULON AT COMPLETION OF THE PROJECT.
- AS-BUILT SITE PLANS FOR ROADWAY AND UTILITY WORK MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL ACCEPTANCE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RED-LINE DRAWINGS.
- DEVELOPER/OWNER IS RESPONSIBLE FOR CONTRACTING WITH THIRD PARTY NCDOT CERTIFIED TESTING FIRM. THE FIRM MUST BE APPROVED BY TOWN OF ZEBULON. MATERIAL TESTING IS REQUIRED FOR ALL ROADWAY WORK. FINAL REPORTING AND CERTIFICATION (SEALED) IS REQUIRED AT COMPLETION OF THE PROJECT BY THE GEO-TECHNICAL ENGINEER. TESTING IS REQUIRED FOR SUBGRADE, ROADWAY STONE, ASPHALT AND CURB AND GUTTER PER TOWN OF ZEBULON SPECS.
- ALL CURB AND GUTTER REQUIRES CONCRETE TESTING FOR THE FOLLOWING REQUIREMENTS (SECTION 2.1.1):
 - 4" CONCRETE SLUMP
 - TEMPERATURE - 50 AND 90 DEGREES
 - AIR MIXTURE RANGE 3.5% TO 6.5%
 - STRUCTURAL BREAK TEST - 7.14, 28 DAYS @ 3,000PSI @ 28 DAYS
 - SAMPLES EVERY 1,000 LF OF CURB AND GUTTER TO ENSURE QUALITY
 - MAX WATER-CEMENT RATIO BY WEIGHT: 0.594
 - MINIMUM CEMENT CONTENT (LBS/CY): 602
- CONCRETE SIDEWALK TESTING IS NOT REQUIRED; UNLESS CONSTRUCTION INSPECTOR DETERMINES THAT QUALITY IS INFERIOR AND DOES NOT MEET INDUSTRY STANDARDS. CONTRACTOR MUST MAINTAIN A 4" SLUMP FOR ALL SIDEWALK WORK. AIR TEMPERATURES AT PLACEMENT MUST BE 40 DEGREES AND RISING. SURFACE TEMPERATURES SHALL BE 50 DEGREES OR GREATER. (SECTION 2.2.2 E)
- ASPHALT CORE SAMPLES SHOULD BE SELECTED EVERY 300 FEET OR MINIMUM OF TWO CORES PER ROADWAY FOR ANALYSIS OF THICKNESS AND DENSITY. ASPHALT MIX SF 9.5 B SHOULD BE COMPACTED TO A MINIMUM OF 92% OF THE MAXIMUM SPECIFIC GRAVITY. ASPHALT MIX OF 9.5 A SHOULD BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SPECIFIC GRAVITY. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING/CREATING A CHART/MAP OF THE CORED LOCATIONS FOR SUBMITTAL WITH THE TESTING. CORES WILL BE RANDOMLY TAKEN ALONG THE LONGITUDINAL DIRECTIONS ACROSS THE ROADWAY BUT NOT WITHIN ONE FOOT OF THE EDGE OF PAVEMENT. THE RESULTS OF THE SAMPLES GREATER THAN TEN FEET APART WILL NOT BE AVERAGED AND USED TO VERIFY COMPLIANCE WITH THE TOWN OF ZEBULON SPECIFICATIONS. (SECTION 2.6.H)
- ROADWAY SUB-GRADE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL SOILS EVERY 300'. ALL LOCATIONS TESTED SHALL MEET 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARD IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL SUB-GRADE SOILS. (SECTION 2.5.2 A)
- ROADWAY ABC STONE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL ROADWAY ABC STONE EVERY 150 FEET. ALL LOCATIONS TESTED SHALL MEET THE 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARDS IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL ROADWAY ABC STONE. (SECTION 2.5.3 A)
- IF THE ROADWAY SUBGRADE OR ROADWAY STONE IS EXPOSED TO PRECIPITATION (RAIN, SNOW, ICE, ETC.) GREATER THAN 0.10 OF AN INCH BEFORE IT IS COVERED WITH ABC STONE OR ASPHALT THE EXPOSED SUBGRADE OR ABC STONE MUST PASS AN ADDITIONAL PROOF ROLL. ADDITIONAL DENSITY IS NOT REQUIRED.



VICINITY MAP NTS

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES _____

SUBDIVISION PLAN INFORMATION

1. DEVELOPMENT NAME:	WEAVERS POND TOWNHOMES (PHASE 4)
2. WAKE COUNTY P.I.N.s:	1796864854
3. TOTAL NUMBER OF LOTS:	55
4. TRACT AREA:	8.51 ACRES (EXISTING LOT AREA) 8.84 AC (PROPOSED LOT AREA)
5. ZONING:	R-13 SUD SPECIAL USE PERMIT GRANTED (SU 2018-02)
6. INSIDE TOWN LIMITS:	YES
7. WATERSHED:	NEUSE RIVER BASIN
8. DEDICATED STREET RIGHT OF WAY:	1.22 AC.
9. DISTURBED AREA:	6.4 ACRES
10. OPEN SPACE PROVIDED	PROJECT AREA = 8.84 ACRES AREA IN LOTS = 2.00 ACRES OPEN SPACE REMAINING = 6.84 ACRES
11. PROPOSED IMPERVIOUS SURFACE	ROADS/SIDEWALK/DRIVEWAYS = 1.64 AC UNITS (55@1,028 SF) = 1.30 AC TOTAL = 2.94 AC
12. FEMA INFORMATION	THE SITE IS NOT WITHIN A FEMA FLOOD ZONE PER MAP # 3720179600J PANEL 1796, EFFECTIVE DATE 05/02/06
13. OWNER/DEVELOPER:	WEAVERS POND DEVELOPMENT CO., LLC 8007 CADENCES DRIVE RALEIGH, NC 27615 (919)604-1928 (PHONE) ATTN: DAVID BERRY
14. CONTACT PERSON	PIEDMONT LAND DESIGN, LLP c/o MIKE SCHNEIDER 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) MikeS@piedmontlanddesign.com (E-MAIL)

BUILDING SETBACKS

FRONT:	15'
SIDE:	15' (BETWEEN BUILDINGS)
CORNER:	15'
REAR:	20'

DRAWING INDEX

ENGR.1	COVER SHEET
ENGR.2	EXISTING CONDITIONS PLAN
ENGR.3	SITE PLAN
ENGR.4	GRADING AND DRAINAGE PLAN
ENGR.5	UTILITY PLAN
ENGR.6	EROSION CONTROL PLAN
ENGR.7	STREET A PLAN AND PROFILE
ENGR.8	STREE B & STREET C PLAN AND PROFILE
ENGR.9	LIGHTING AND STRIPING PLAN
ENGR.10	SCM #1 DETAIL
ENGR.11	LANDSCAPE PLAN SHEET 1 OF 2
ENGR.12	LANDSCAPE PLAN SHEET 2 OF 2
ENGR.13	LANDSCAPE DETAILS
ENGR.14	DETAILS
ENGR.15	DETAILS
ENGR.16	DETAILS
ENGR.17	DETAILS
ENGR.18	DETAILS
ENGR.19	DETAILS
ENGR.20	DETAILS

PUBLIC UTILITY QUANTITIES

PUBLIC WATER:	
8" DIP	740 LF
6" DIP	185 LF
TOTAL	925 LF

PUBLIC SEWER:	
8" PVC	210 LF

PUBLIC STREETS:	
STREET A	758 LF
STREET B	197 LF
SIDEWALKS	1353 LF

PUBLIC STORM SEWER:	
15" RCP	27 LF
18" RCP	560 LF
24" RCP	324 LF

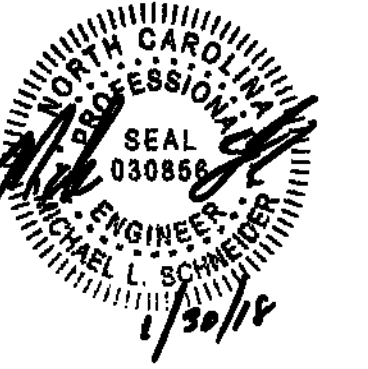
HOA IMPROVEMENT QUANTITIES

STREETS:	
STREET C	216 LF
SIDEWALKS	220 LF
STORM SEWER:	
15" RCP	125 LF

PLD

PIEDMONT LAND DESIGN, LLP

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
FIRM LICENSE #F-0843



PRELIMINARY
NOT FOR CONSTRUCTION

WEAVERS POND TOWNHOMES

8966 PIPPIN ROAD
ZEBULON, NORTH CAROLINA

ISSUED: 08 NOV 2017

REVISIONS:

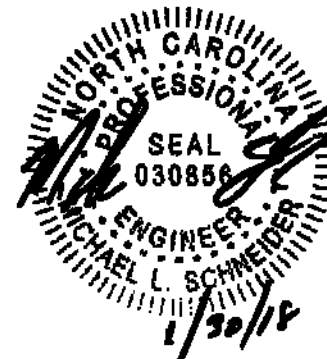
30 JAN 2018
PER TOWN COMMENTS

DRAWN BY: MLS
CHECKED BY: JDL

PROJECT: FDCWPT

COVER

DWG. NO. ENGR.1



PRELIMINARY
NOT FOR CONSTRUCTION

WEAVERS POND TOWNHOMES
8966 PIPPIN ROAD
ZEBULON, NORTH CAROLINA

ISSUED: 08 NOV 2017

REVISIONS:

▲ 30 JAN 2018
PER TOWN COMMENTS

DRAWN BY: MLS
CHECKED BY: JDL

PROJECT: FDCWPT

**STAKING
PLAN**

DWG. NO. ENGR.3

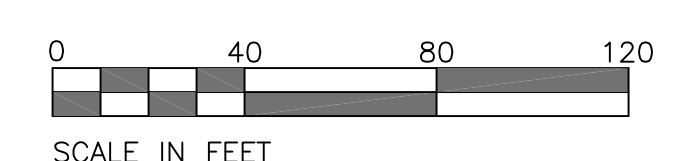
GENERAL NOTES

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2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.
5. STREET C IS HOA OWNED AND MAINTAINED AS IT DOES NOT MEET TOWN STANDARDS. STREET SIGN SHALL INCLUDE PRIVATE STREET (YELLOW MARKING) IN STREET SIGN.

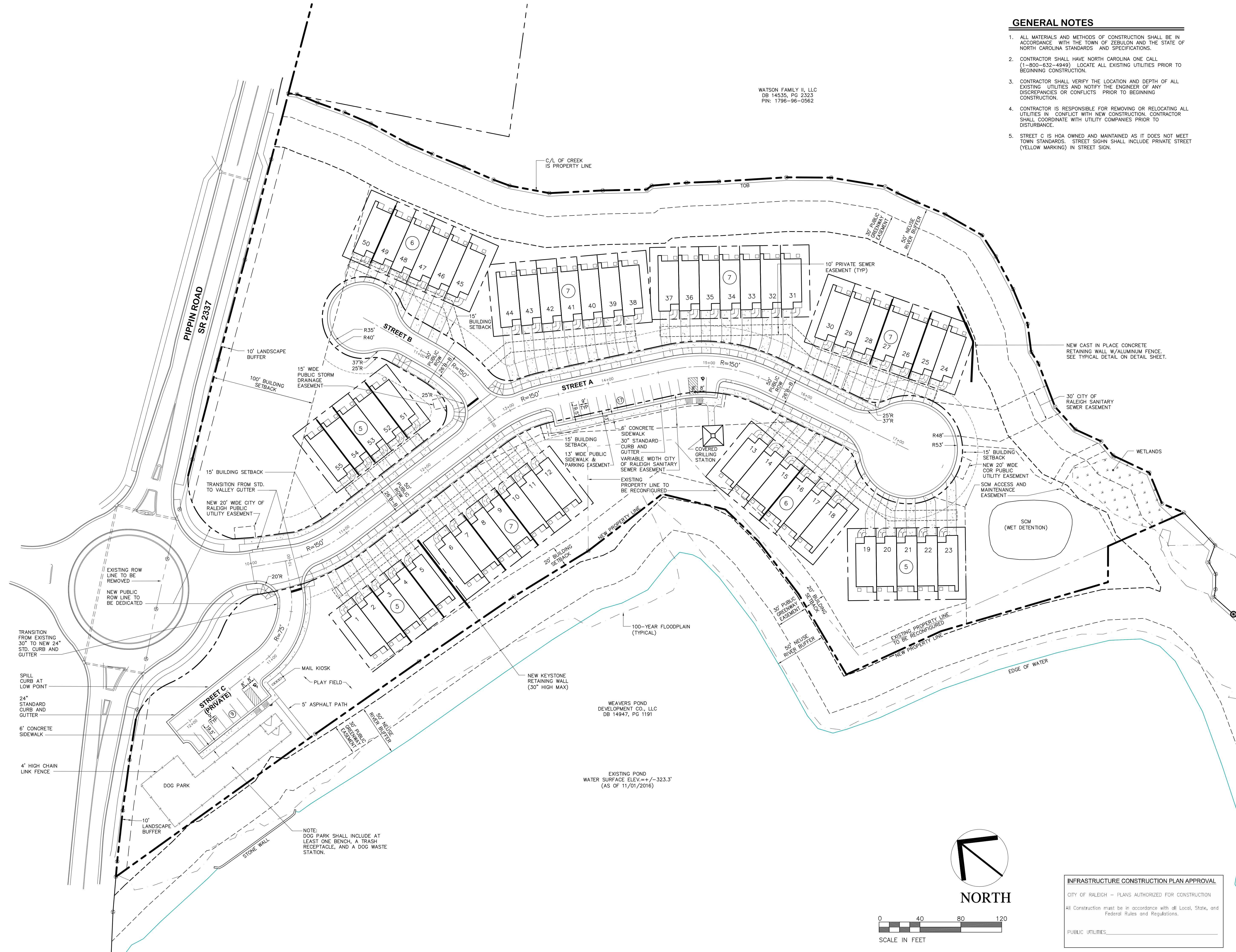
WATSON FAMILY II, LLC
DB 14535, PG 2323
PIN: 1796-96-0562

WEAVERS POND
DEVELOPMENT CO., LLC
DB 14947, PG 1191

EXISTING POND
WATER SURFACE ELEV. = +/- 323.3'
(AS OF 11/01/2016)



INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL
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PUBLIC UTILITIES: _____



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