

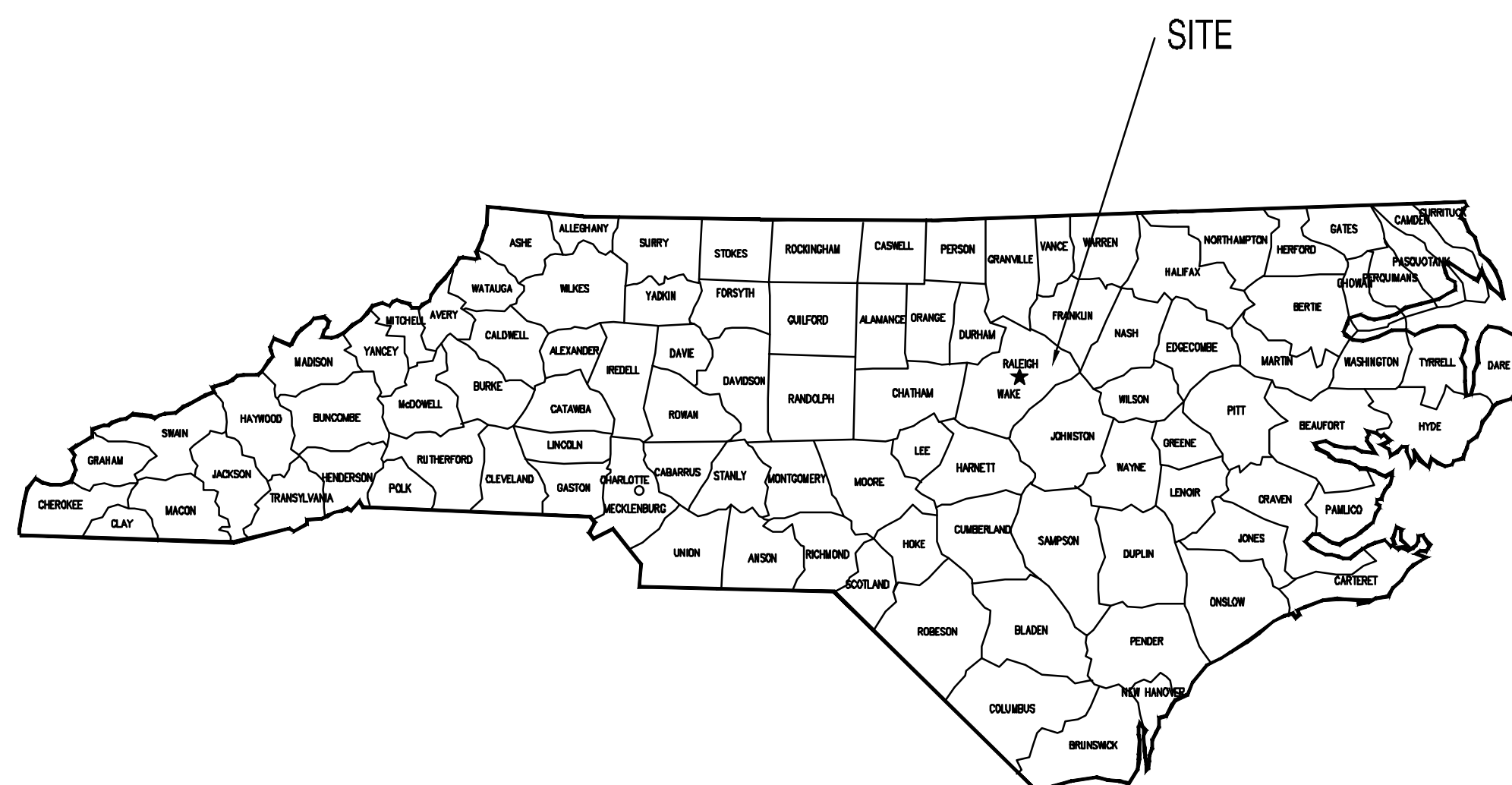
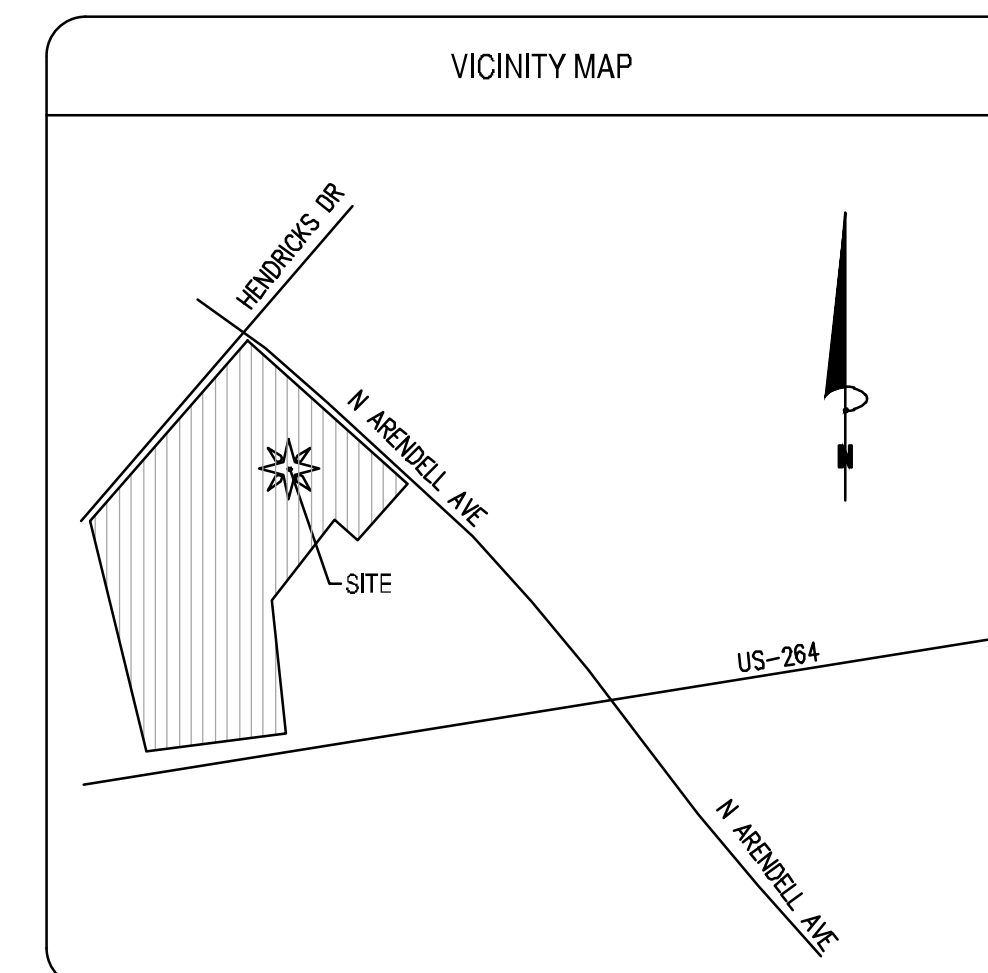
WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS
 DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS
 NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS
 SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS
 STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

CONSTRUCTION DOCUMENTS

Proposed Rocket Express

N. Arendell Avenue & Hendricks Drive
Zebulon, North Carolina
Wake County



DEVELOPER
 Rock Properties, Inc.
 Attn. Gregg Zuckerman
 145 Lincoln Avenue, Suite B
 Winter Park, FL 32789
 (803) 798-0572
 gzuckerman@rockproperties.us


CIVIL ENGINEER
 Bowman North Carolina, Ltd.
 4006 Barrett Drive, Suite 104
 Raleigh, NC 27609
 (919) 553-6570
 mlowder@bowman.com
 FIRM# F-1445

Bell Commercial
 Attn. Baker Bell
 120 Wind Chime Court
 Raleigh, NC 27615
 (919) 803-8169
 baker@bellcommercial.com

ON-SITE AREA = 429,809 SF (9.867 AC)			
BUILDINGS	2,754 SF	0.06 ACRE(S)	0.64 % OF AREA
PAVEMENT	43,800 SF	1.01 ACRE(S)	10.19 % OF AREA
SIDEWALK	3,620 SF	0.08 ACRE(S)	0.84 % OF AREA
TOTAL IMPERVIOUS AREA	50,174 SF	1.15 ACRE(S)	11.67 % OF AREA
GREEN/OPEN SPACE	379,635 SF	8.72 ACRE(S)	88.33 % OF AREA
EXISTING IMPERVIOUS AREA	3,604 SF	0.08 ACRE(S)	0.84 % OF AREA
INCREASE IN IMPERVIOUS AREA	46,570 SF	1.07 ACRE(S)	

DEVELOPMENT NAME:	ROCKET EXPRESS
STREET ADDRESS:	N. ARENDELL AVENUE ZEBULON, NC WAKE COUNTY
PROPERTY IDENTIFICATION #(PIN):	2705-09-1833, 2706-00-2456, 2706-00-3318, 2706-00-3279, 2706-00-4241
PROPERTY #:	0111170, 0030085, 0057144, 0058906, 0039956
DEED BOOK/PAGE:	
EXISTING ZONING:	HC-HEAVY COMMERCIAL
WATERSHED DISTRICT:	NONE
FLOOD ZONE:	NONE
TOTAL SITE ACRES:	429,809 SF (9.87 AC)
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	CAR WASH AND OUTPARCELS
PROPOSED TOTAL BUILDING AREA:	2754 SF (CAR WASH)
MAX BUILDING HEIGHT:	50 FT
MIN LOT AREA:	6,000 SF
MIN LOT WIDTH:	50 FT
MAX. LOT COVERAGE:	80%
FRONT SETBACK:	30 FT
SIDE SETBACK(STREET):	30 FT
SIDE SETBACK(INTERIOR):	0, 5 FT IF PROVIDED
REAR SETBACK:	0 IF ABUTTED BY AN ALLEY, OTHERWISE 25FT
PARKING REQUIREMENTS:	
TOTAL REQUIRED:	2 PER WASH BAY
TOTAL PROVIDED:	23 (VACUUM SPACES)
ACCESSIBLE SPACES PROVIDED:	1
LOADING AREA:	1 PROVIDED
LANDSCAPE BUFFERS:	10FT TYPE A BUFFER (ADJACENT HC) 15FT STREETSCAPE BUFFER

CURRENT PROPERTY OWNERS
 Speedway, LLC
 Property Tax Department
 539 S. Main Street
 Findlay, OH 45840

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT
APPROVED
 EROSION CONTROL S-_____
 STORMWATER MGMT. S-_____
 FLOOD STUDY S-_____
 DATE _____
 ENVIRONMENTAL CONSULTANT SIGNATURE

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/ or reuse, as approved in these plans, is responsible for contracting the Public Utilities Department at (919)996-4540 at least twenty four hour prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh



Know what's below.
Call before you dig.

PRECONSTRUCTION NOTE
 A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	ROADWAY PLAN
C4.0	GRADING & DRAINAGE PLAN
C5.0	UTILITY PLAN
O6.2	CONSTRUCTION DETAILS
O6.3	CONSTRUCTION DETAILS
C7.0	LANDSCAPE PLAN
C7.1	LIGHTING PLAN
A101	FIRST & SECOND FLOOR PLANS
A104	ELEVATIONS
A105	ELEVATIONS

Bowman

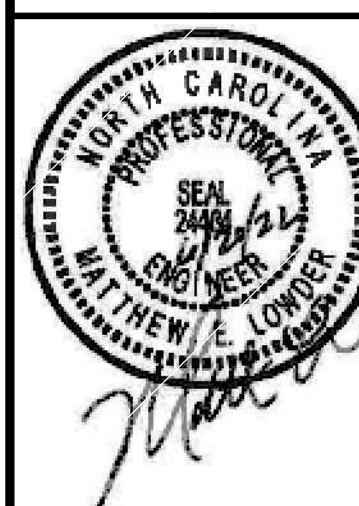
Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)553-6570
 bowman.com

Wake County

COVER SHEET
 Rocket Express
 Arendell Ave

Zebulon, NC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS
 6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 50' V: n

JOB No. 220097-01-002
 DATE June 20, 2022
 FILE No. 000000-0-CP-000

SHEET C1.0



UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED/REMOVED
- EXISTING TO BE ABANDONED IN PLACE
- EXISTING TO BE RELOCATED
- EXISTING TREE TO BE REMOVED
- LIMITS OF DISTURBANCE
- EXISTING ASPHALT/CONCRETE/GRAVEL TO BE DEMOLISHED/REMOVED
- EXISTING BUILDING OR STRUCTURE TO BE DEMOLISHED/REMOVED
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING UTILITY TO BE REMOVED

EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY NCEOE PRIOR TO START OF CONSTRUCTION.

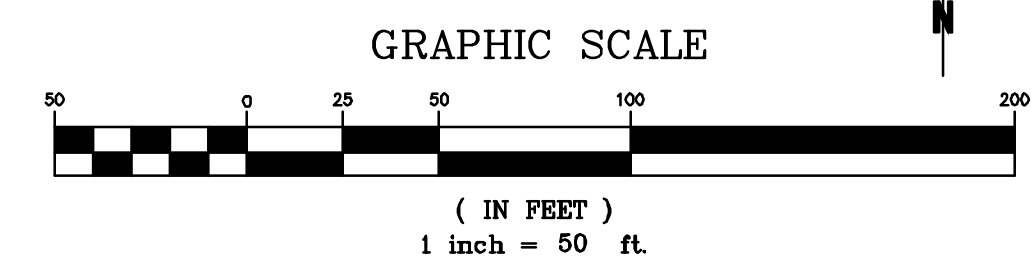
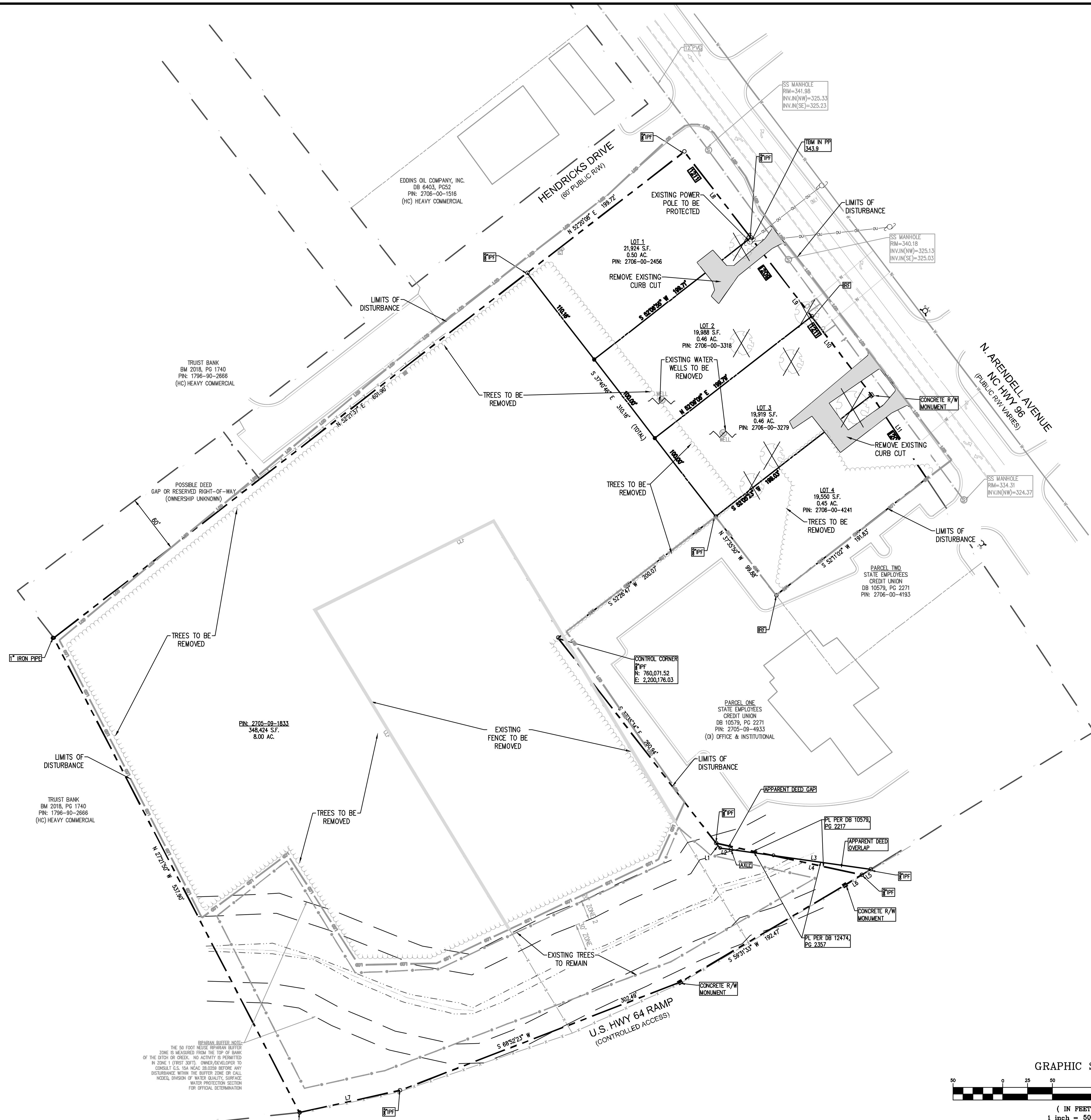
SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY NEWCOMB LAND SURVEYORS, LLC.

STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM/AND OR WETLAND FEATURES ON THE PROPOSED PARCEL.

FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PLANED 3720270600J, DATED MAY 2, 2006. MAPS SUBJECT TO CHANGE BY FEMA.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
6. CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTEND OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
10. THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
11. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
14. SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
16. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
19. THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
20. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.



SEPARATE BUFFER NOTE:
THE 50 FOOT BUFFER BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 50 FT). OWNER/DEVELOPER TO CONSULT G.S. 154.14C-154.14D BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL INDEXED DIVISION OF WATER QUALITY SURFACE WATER PROTECTION SECTION FOR OPTIMAL DETERMINATION.



Bowman North Carolina Ltd.
4006 BARRETT DR
Suite 104
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Phone: (919) 555-6570
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Wake County

DEMOLITION PLAN
Rocket Express
Arendell Ave
Zebulon, NC

PRELIMINARY
DO NOT
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PLAN STATUS
6/20/22 SITE PLAN SUBMITTAL

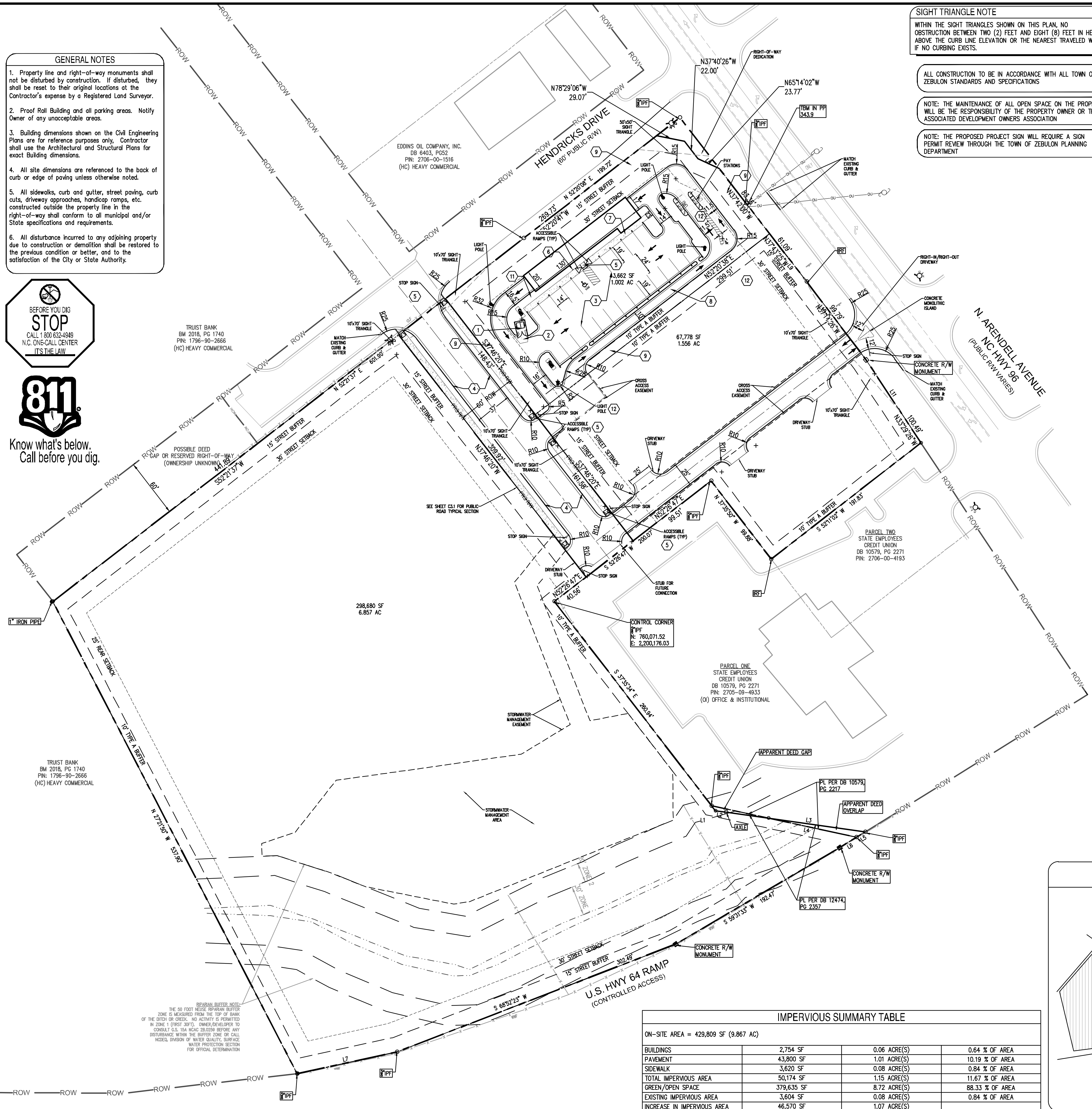
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXXX
SCALE	H: 1" = 50' V: n
JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000
SHEET	C2.0

GENERAL NOTES

- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- Proof Roll Building and all parking areas. Notify Owner of any unacceptable areas.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
- All site dimensions are referenced to the back of curb or edge of paving unless otherwise noted.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.



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SIGHT TRIANGLE NOTE

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

GENERAL NOTES

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFINISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMP PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND TOWN OF ZEBULON STANDARDS.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

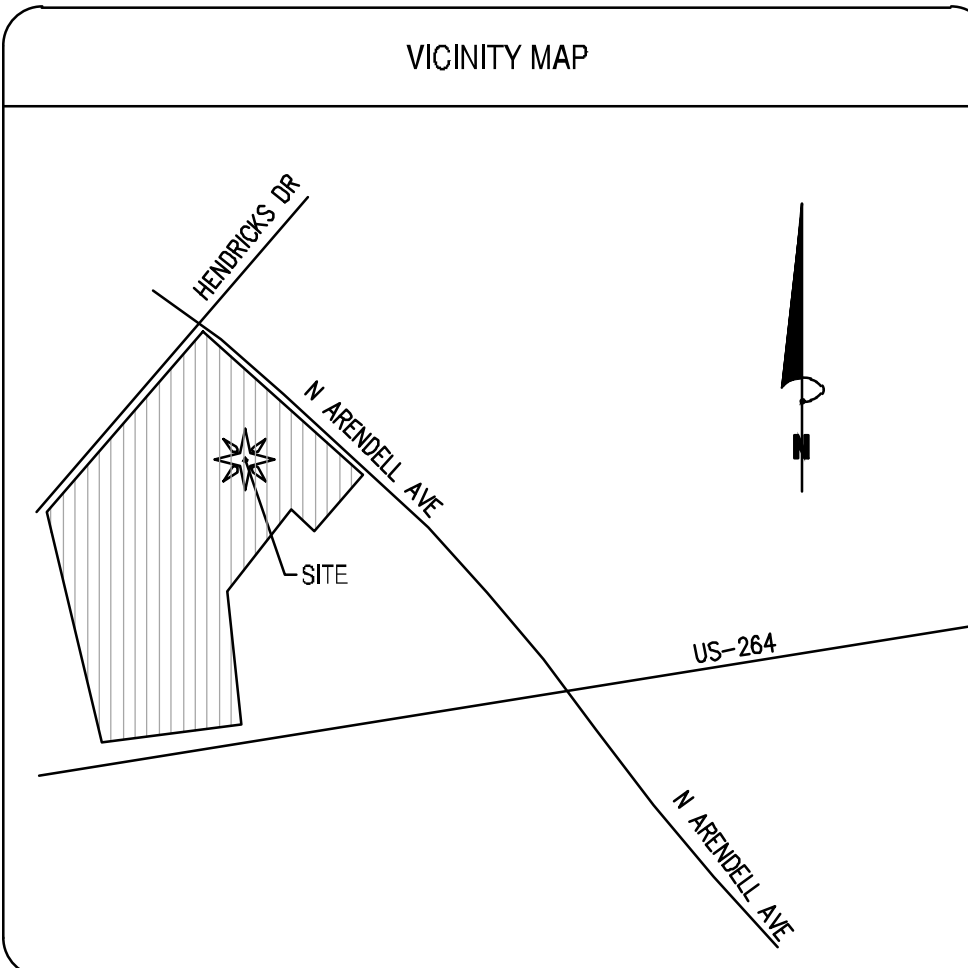
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DEVELOPMENT DATA

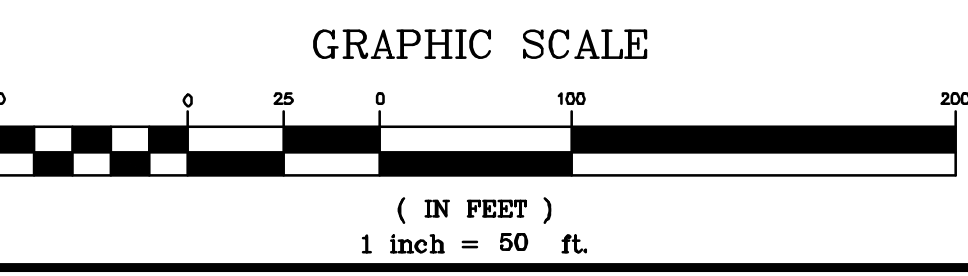
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PROPERTY IDENTIFICATION #(PIN):	2705-08-1833, 2706-00-2456, 2706-00-3318, 2706-00-3279, 2706-00-4241
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WATERSHED DISTRICT:	NONE
FLOOD ZONE:	NONE
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INSIDE TOWN LIMITS:	YES
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PROPOSED BUILDING USE:	CAR WASH AND OUTPARCELS
PROPOSED TOTAL BUILDING AREA:	2754 SF (CAR WASH)
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MIN LOT AREA:	6,000 SF
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FRONT SETBACK:	30 FT
SIDE SETBACK(STREET):	0, 5 FT IF PROVIDED
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PARKING REQUIREMENTS:	
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TOTAL PROVIDED:	23 (VACUUM SPACES)
ACCESSIBLE SPACES PROVIDED:	
LOADING AREA:	1 PROVIDED
LANDSCAPE BUFFERS:	10FT TYPE A BUFFER (ADJACENT HC) 15FT STREETScape BUFFER

SITE KEYNOTES

- DUMPSTER ENCLOSURE
- INSTALL NEW CONCRETE PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6" x 1/8" WWF STEEL REINFORCEMENT. REFER TO DETAIL SHEET
- ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE
- CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL
- PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL
- HANDICAP PARKING SIGN. REFER TO DETAIL SHEET
- NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AT 1/8" FT. MAX. FOR POSITIVE DRAINAGE.
- ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.
 [Symbol] STANDARD DUTY ASPHALT PAVEMENT
 [Symbol] HEAVY DUTY ASPHALT PAVEMENT
 [Symbol] CONCRETE PAVEMENT
- LANDSCAPING - SEE LANDSCAPING PLAN.
- VACUUM BOOM SYSTEM
- SEEDED AREA
- SITE LIGHT
- PROPOSED PARKING COUNT



IMPERVIOUS SUMMARY TABLE			
ON-SITE AREA = 429,809 SF (9.867 AC)			
BUILDINGS	2,754 SF	0.06 ACRE(S)	0.64 % OF AREA
PAVEMENT	43,800 SF	1.01 ACRE(S)	10.19 % OF AREA
SIDEWALK	3,620 SF	0.08 ACRE(S)	0.84 % OF AREA
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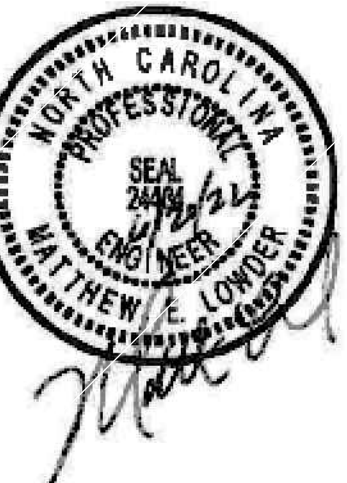


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SITE PLAN
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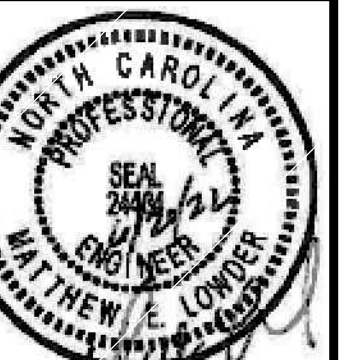
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PLAN STATUS
6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 50' V: 1" = 10'
JOB No.	220097-01-002
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JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000

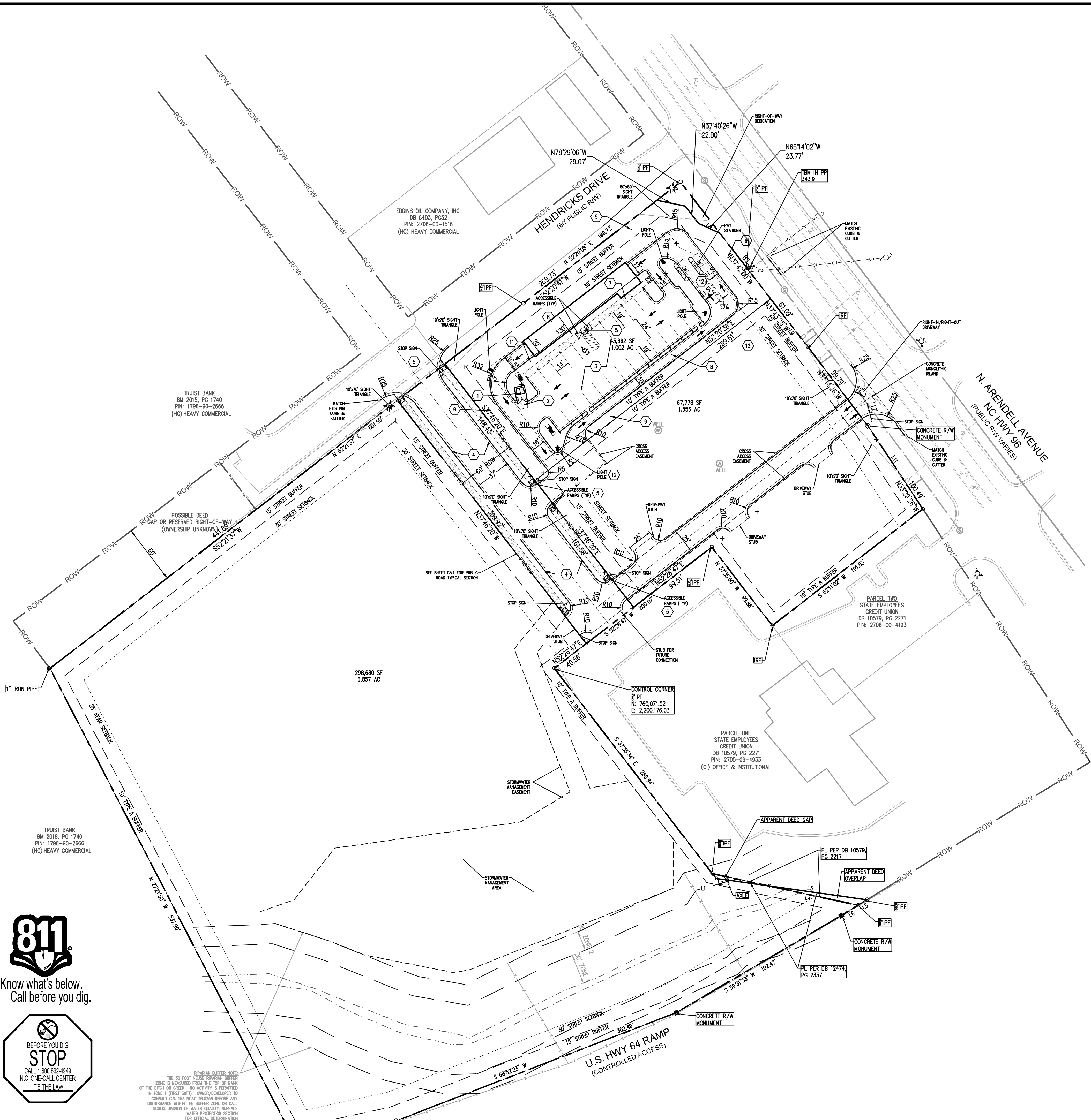
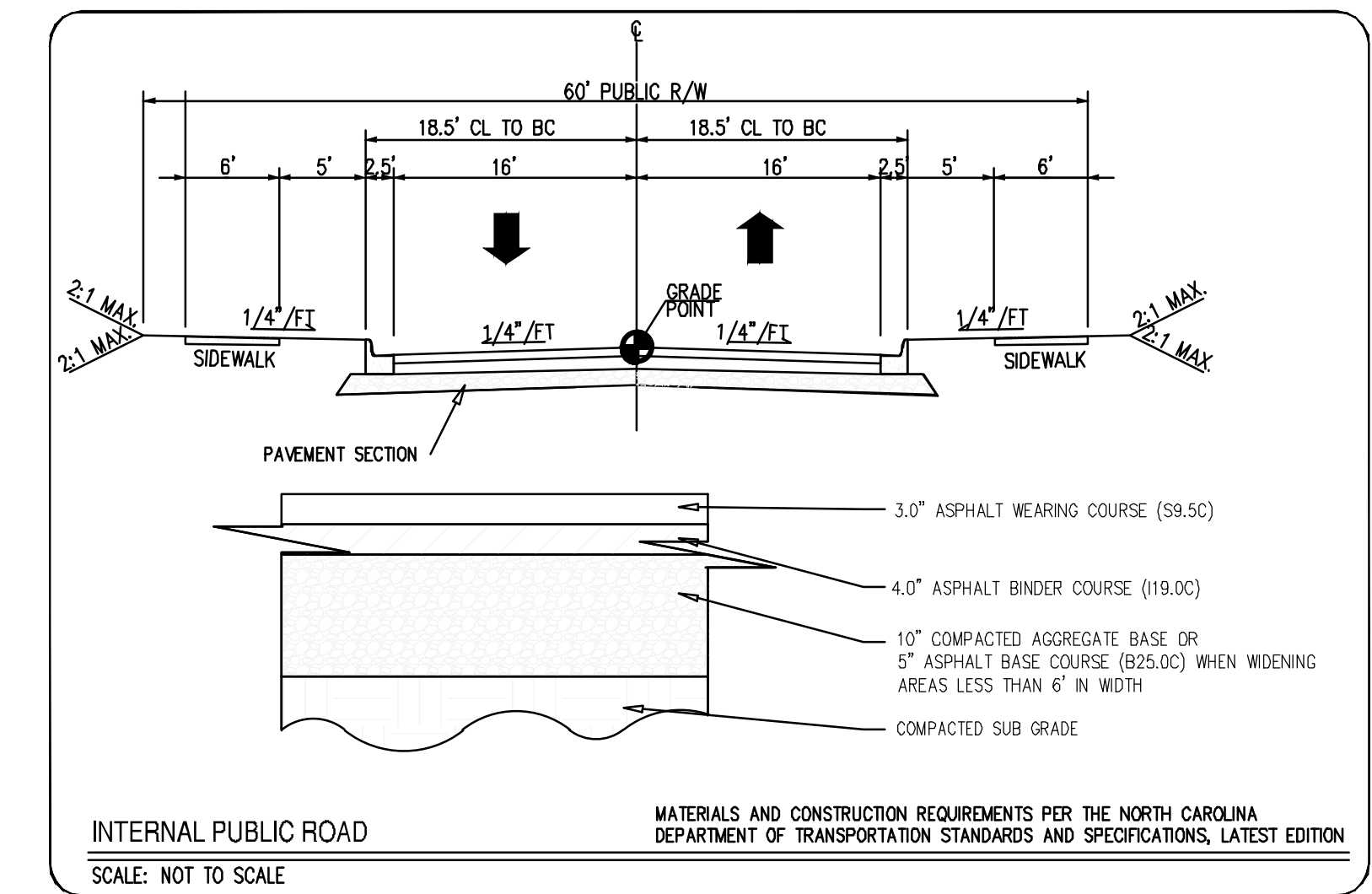
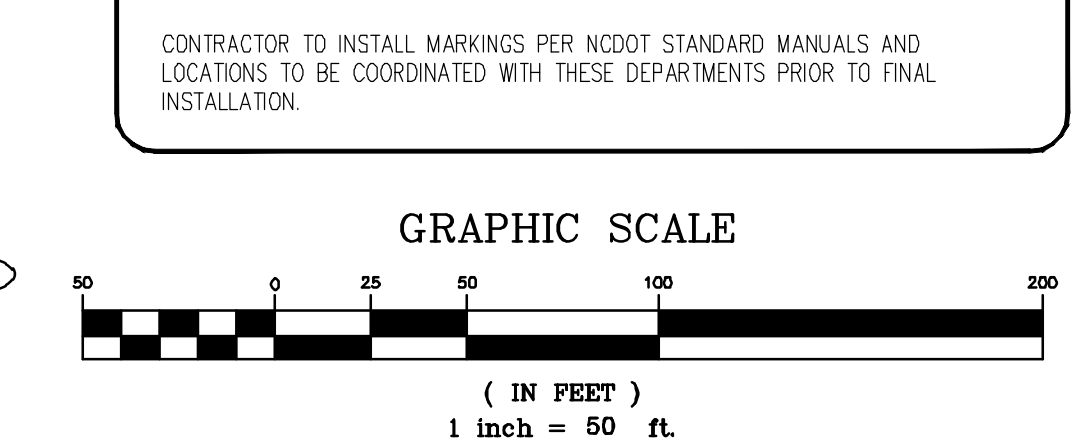
NC DOT ROADWAY STANDARD DRAWINGS TO REFERENCE

- 200.02 METHOD OF CLEARING - METHOD II
- 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
- 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
- 840.71 CONCRETE AND BRICK PIPE PLUG
- 848.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
- 848.01 CONCRETE SIDEWALK
- 848.05 WHEELCHAIR RAMP - CURB CUT
- 852.01 CONCRETE ISLANDS
- 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
- 1101.01 WORK ZONE ADVANCE WARNING SIGNS
- 1101.02 TEMPORARY SHOULDER CLOSURES
- 1101.04 TEMPORARY SHOULDER CLOSURES
- 1101.05 WORK ZONE VEHICLE ACCESS
- 1101.11 TRAFFIC CONTROL DESIGN TABLES
- 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
- 1115.01 FLASHING ARROW PANELS
- 1130.01 DRUMS
- 1135.01 CONES
- 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
- 1150.01 FLAGGERS
- 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
- 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
- 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
- 1205.05 PAVEMENT MARKINGS TURN LANES

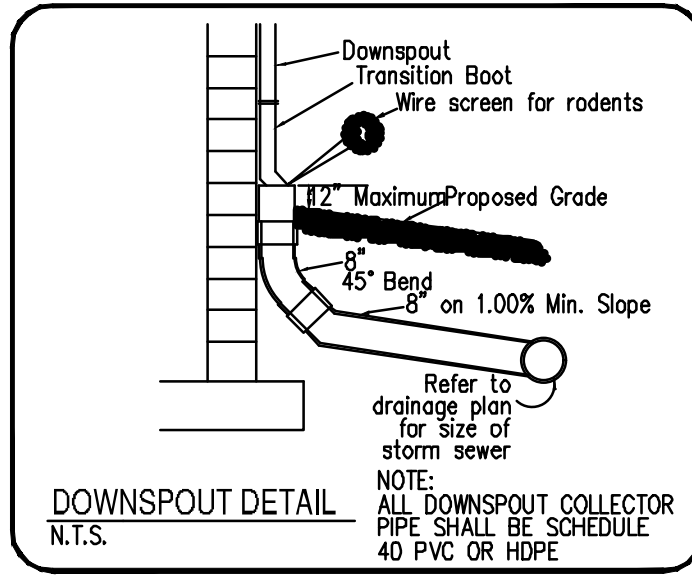
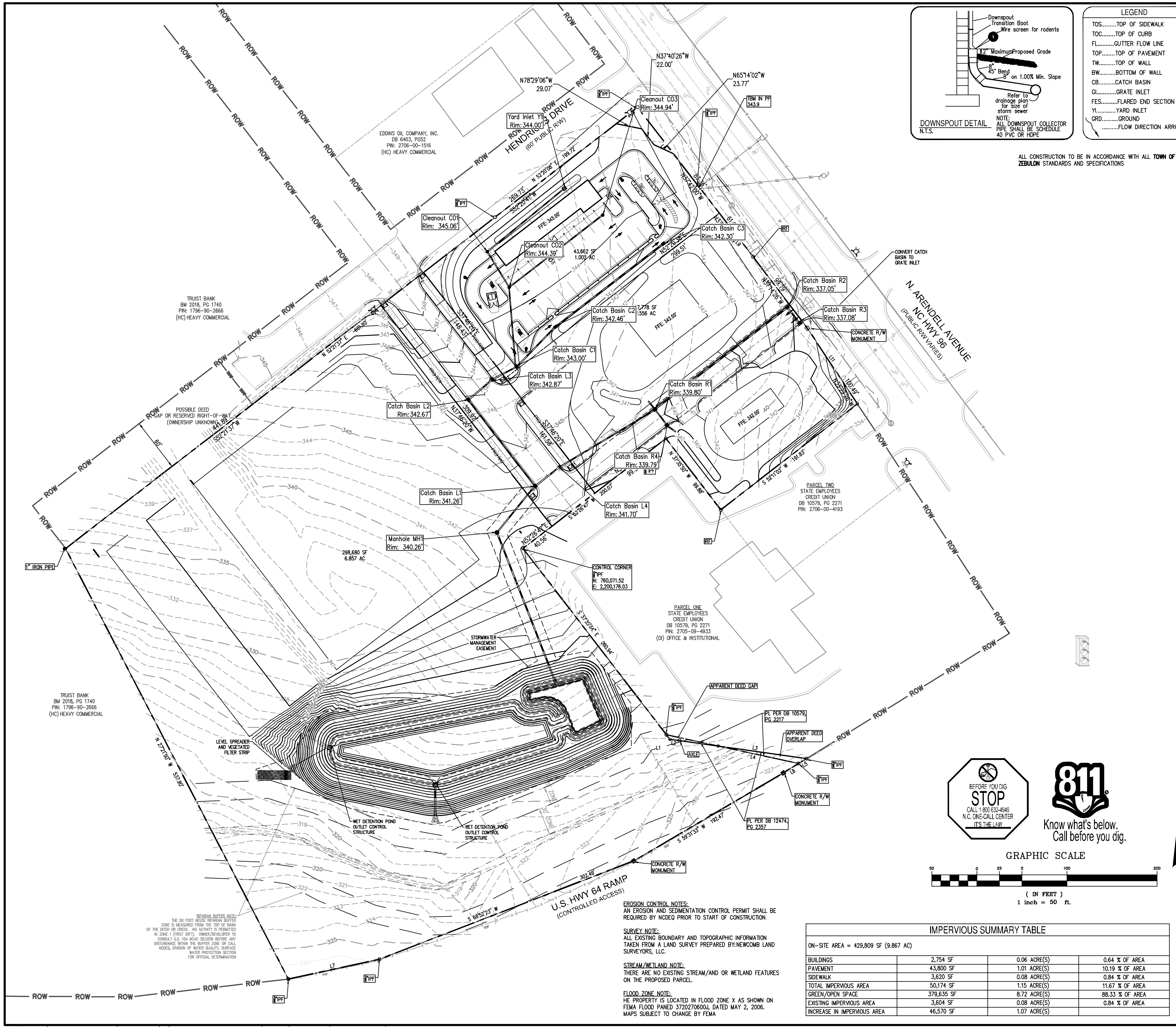
PAVEMENT MARKING SCHEDULE	
TA	WHITE EDGE LINE (4", 90MIL) NC DOT STD DETAIL 1205.01
TI	DOUBLE YELLOW CENTERLINE (4", 90MIL) NC DOT STD DETAIL 1205.01
TH	YELLOW LANE LINE (4", 90MIL) NC DOT STD DETAIL 1205.01
TD	3" WHITE MINI-SKIP LINE (4", 90MIL) NC DOT STD DETAIL 1205.01
TC	10' WHITE SKIP LINE (4", 90MIL) NC DOT STD DETAIL 1205.01
TE	WHITE SOLID LANE LINE (4", 90MIL) NC DOT STD DETAIL 1205.01
UA	LEFT TURN LANE ARROW (90MIL) NC DOT STD DETAIL 1205.08
UB	RIGHT TURN LANE ARROW (90MIL) NC DOT STD DETAIL 1205.08
UC	STRAIGHT ARROW (90MIL) NC DOT STD DETAIL 1205.08
UD	COMBO LEFT/STRAIGHT TURN LANE ARROW (90MIL) NC DOT STD DETAIL 1205.08
UE	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90MIL) NC DOT STD DETAIL 1205.08
TV	YELLOW DIAGONAL LINES (4", 90MIL) NC DOT STD DETAIL 1205.09
TY	3" YELLOW MINI-SKIP LINES (4", 90MIL) NC DOT STD DETAIL 1205.01
TF	YELLOW SKIP CENTER LINES (4", 90MIL) NC DOT STD DETAIL 1205.01
TZ	STOP BAR (24" 90MIL) NC DOT STD DETAIL 1205.01
I	12" YIELD LINE SYMBOL (90MIL) NC DOT STD DETAIL 1205.08 (THIS SHEET)

ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NC DOT REQUIREMENTS

CONTRACTOR TO INSTALL MARKINGS PER NC DOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.



BOWMAN BUFFER NOTE:
 THE 50 FOOT BUFFER BOWMAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR GREEN. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30 FT.). OWNER/DEVELOPER TO CONSULT G.S. 154 N.C.A.C. 26.0209 BEFORE ANY OCCURRENCE WITHIN THE BUFFER ZONE OR CALL NCDOT, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION



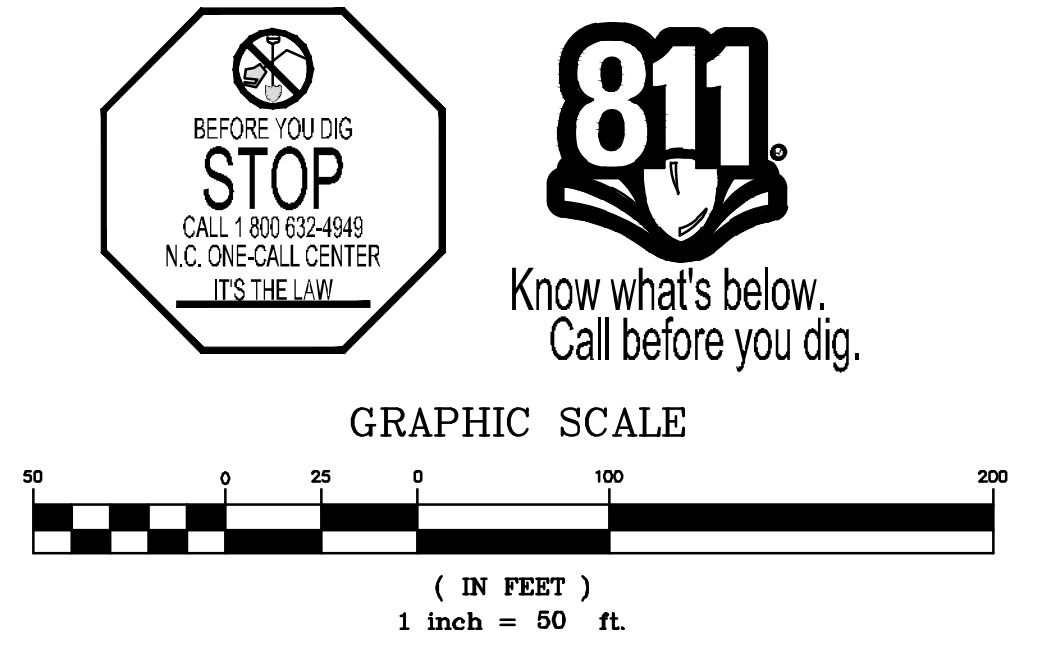
LEGEND

- TOS.....TOP OF SIDEWALK
- TOC.....TOP OF CURB
- FL.....GUTTER FLOW LINE
- TOP.....TOP OF PAVEMENT
- TW.....TOP OF WALL
- BW.....BOTTOM OF WALL
- CB.....CATCH BASIN
- GI.....GRATE INLET
- FES.....FLARED END SECTION
- YL.....YARD INLET
- GRD.....GROUND
-FLOW DIRECTION ARROW

- GRADING NOTES:**
- REFER TO THE SITE PLAN FOR RELATED NOTES.
 - ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
 - ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
 - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 - LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
 - THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
 - ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
 - LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
 - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDEED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
 - ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
 - EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
 - THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
 - ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

- DRAINAGE NOTES:**
- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
 - PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
 - CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
 - 840.02 - CONCRETE CATCH BASIN
 - 840.03 - FRAME, GRATES, AND HOOD FOR CATCH BASINS
 - 840.14 - CONCRETE DROP INLET
 - 840.04 - CONCRETE OPEN THROAT CATCH BASIN
 - 840.14 - CONCRETE DROP INLET
 - 840.16 - DROP INLET FRAME AND GRATES
 - 840.31 - CONCRETE JUNCTION BOX
 - 840.35 - TRAFFIC BEARING GRATED DROP INLET
 - 840.52 - PRECAST MANHOLE
 - 840.45 - PRECAST DRAINAGE STRUCTURE
 - 838.80 - PRECAST CONCRETE ENDWALL
 - ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) - AASHTO DESIGNATION M252 TYPE S, M284 TYPE S AND MPT-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
 - ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
 - RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.



IMPERVIOUS SUMMARY TABLE

Category	Area (SF)	Area (ACRE(S))	% OF AREA
ON-SITE AREA	429,809 SF	9.867 AC	
BUILDINGS	2,754 SF	0.06 ACRE(S)	0.64 % OF AREA
PAVEMENT	43,800 SF	1.01 ACRE(S)	10.19 % OF AREA
SIDEWALK	3,620 SF	0.08 ACRE(S)	0.84 % OF AREA
TOTAL IMPERVIOUS AREA	50,174 SF	1.15 ACRE(S)	11.67 % OF AREA
GREEN/OPEN SPACE	379,635 SF	8.72 ACRE(S)	88.33 % OF AREA
EXISTING IMPERVIOUS AREA	3,604 SF	0.08 ACRE(S)	0.84 % OF AREA
INCREASE IN IMPERVIOUS AREA	46,570 SF	1.07 ACRE(S)	

EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY NCECQ PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY NEWCOMB LAND SURVEYORS, LLC.

STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM/AND OR WETLAND FEATURES ON THE PROPOSED PARCEL.

FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANED 372027000A, DATED MAY 2, 2006. MAPS SUBJECT TO CHANGE BY FEMA.

REPAIR BUFFER NOTE:
THE 50 FOOT REPAIR BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FEET 0-17), ZONE 2 (FEET 18-33) OR ZONE 3 (FEET 34-50) BEFORE ANY DISTURBANCE FROM THE BUFFER ZONE OR CALL MODEL DIVISION OF WATER QUALITY SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION.

Bowman

4006 BARRIETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 555-6570
bowman.com

Wake County
Zebulon, NC

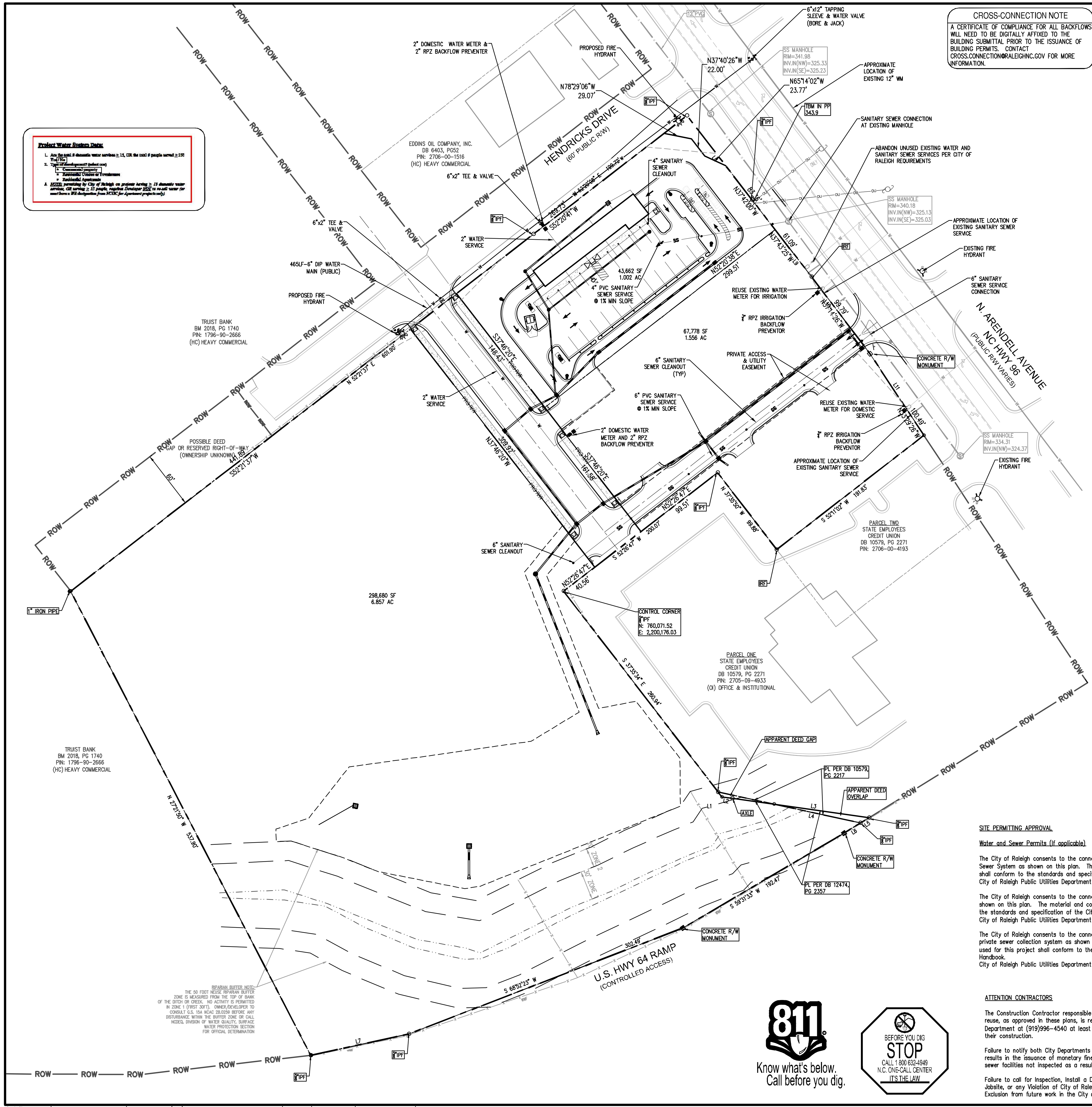
GRADING & DRAINAGE PLAN
Rocket Express
Arendell Ave

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

PLAN STATUS
6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	1" = 50' V.G.
JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000

SHEET **C4.0**



Project Water System Data

- Any proposed domestic water service is 1.5" OR the cost of people served is 150'.
- Any proposed fire service is 4" OR the cost of people served is 150'.
- Any proposed sanitary sewer service is 4" OR the cost of people served is 150'.

Additional Notes:

- 1.5" Domestic Water Service:
 - 1.5" Domestic Water Service
 - 1.5" Domestic Water Service
- 4" Fire Service:
 - 4" Fire Service
 - 4" Fire Service
- 4" Sanitary Sewer Service:
 - 4" Sanitary Sewer Service
 - 4" Sanitary Sewer Service

CROSS-CONNECTION NOTE
 A CERTIFICATE OF COMPLIANCE FOR ALL BACKFLOWS WILL NEED TO BE DIGITALLY AFFIXED TO THE BUILDING SUBMITTAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

FIRE PROTECTION NOTE
 THE PROPOSED BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM

UTILITY NOTE
 THE ESTIMATED WATER USAGE FOR THIS SITE IS _____ GPD BASED ON _____

METER NOTE:
 CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

HYDRANT NOTE:
 ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

FIRE NOTE:
 ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX

UTILITY NOTE:
 THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS, FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL

- STANDARD UTILITY NOTES:**
 All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 4" PVC water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
 - Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 998-2334 or Stephen.Calverley@raleighnc.gov for more information
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Helvey at (919) 212-5923 or joanie.helvey@raleighnc.gov for more information.

UTILITY SERVICE NOTES

WATER SERVICE
 GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
 CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
 TELEPHONE: 919-857-4540

ELECTRIC SERVICE
 "POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
 CONTACT: PROGRESS ENERGY
 TELEPHONE: 800-636-0581

TELEPHONE SERVICE
 "TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
 CONTACT: TELEPHONE
 TELEPHONE:

SANITARY SEWER
 GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
 CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
 TELEPHONE: 919-857-4540

NATURAL GAS
 GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
 CONTACT: NATURAL GAS
 TELEPHONE:

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____

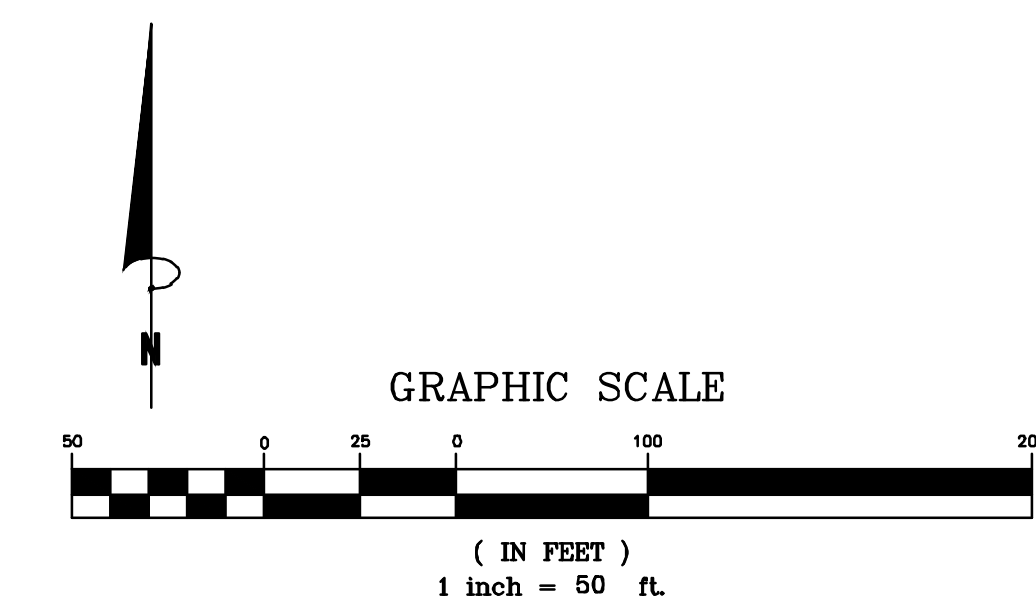
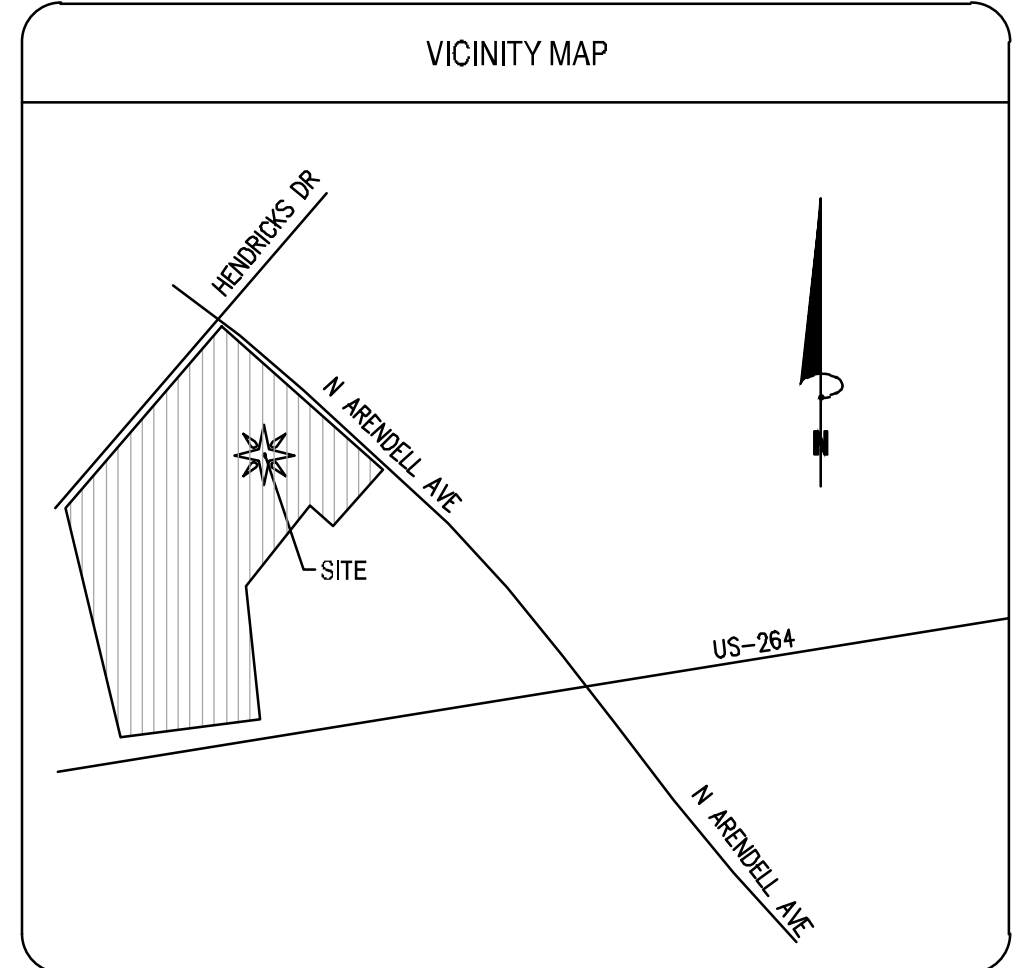
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contracting the Public Utilities Department at (919)996-4540 at least twenty four hour prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permit Plans on the Jobsite, or any Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh



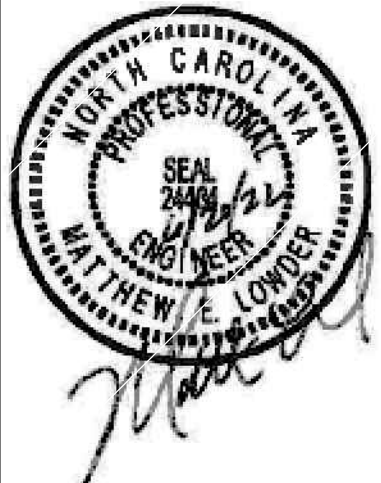
Bowman

Bowman North Carolina Ltd.
 4006 BARRIETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)555-6570
 bowman.com
 Bowman North Carolina Ltd.

Wake County
 Zebulon, NC

UTILITY PLAN
 Rocket Express
 Arendell Ave

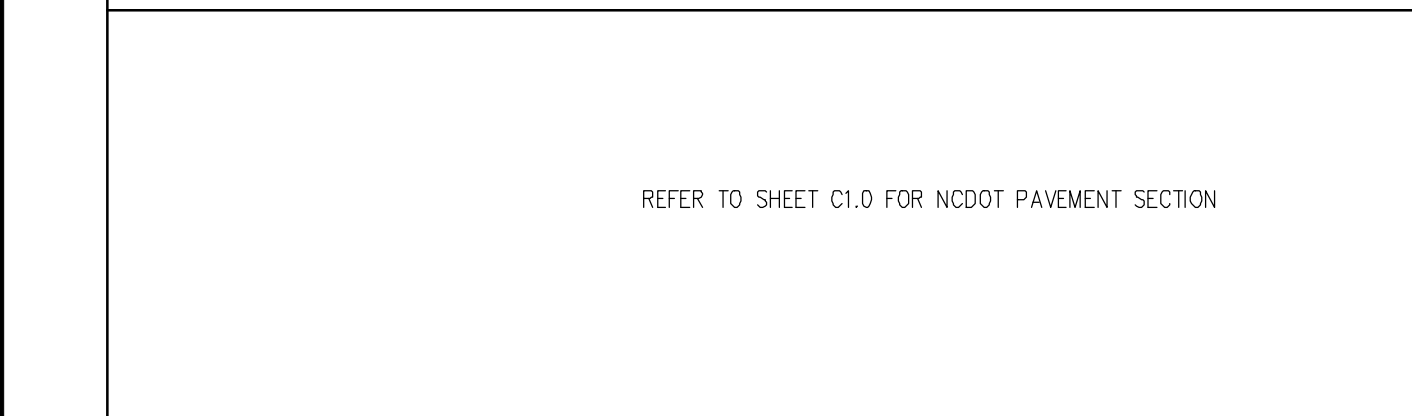
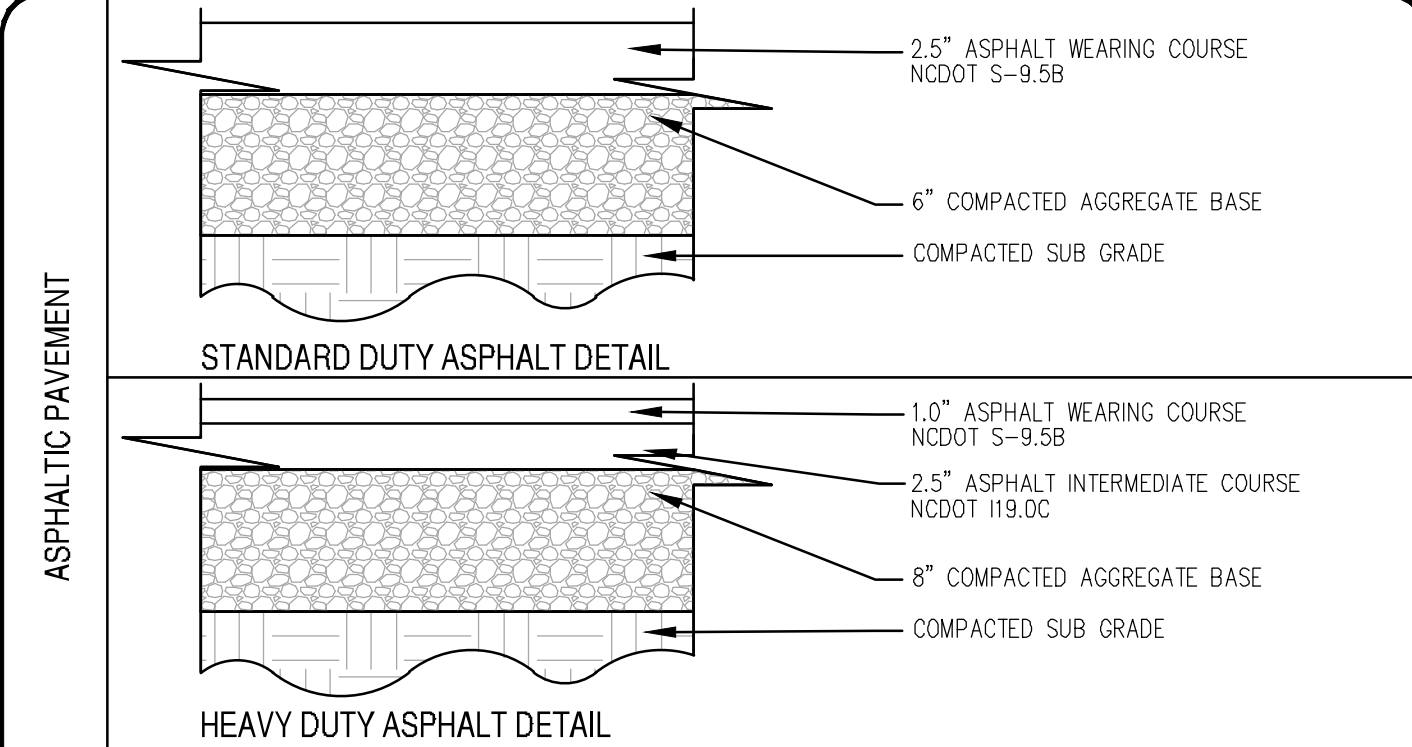
PRELIMINARY
 DO NOT
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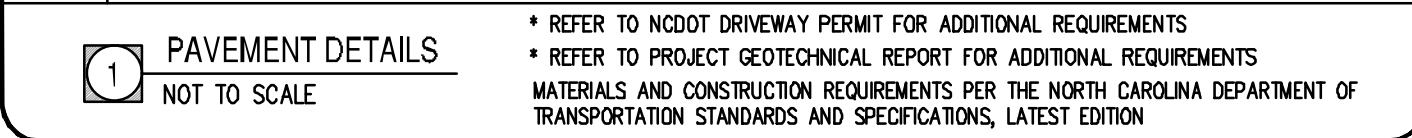
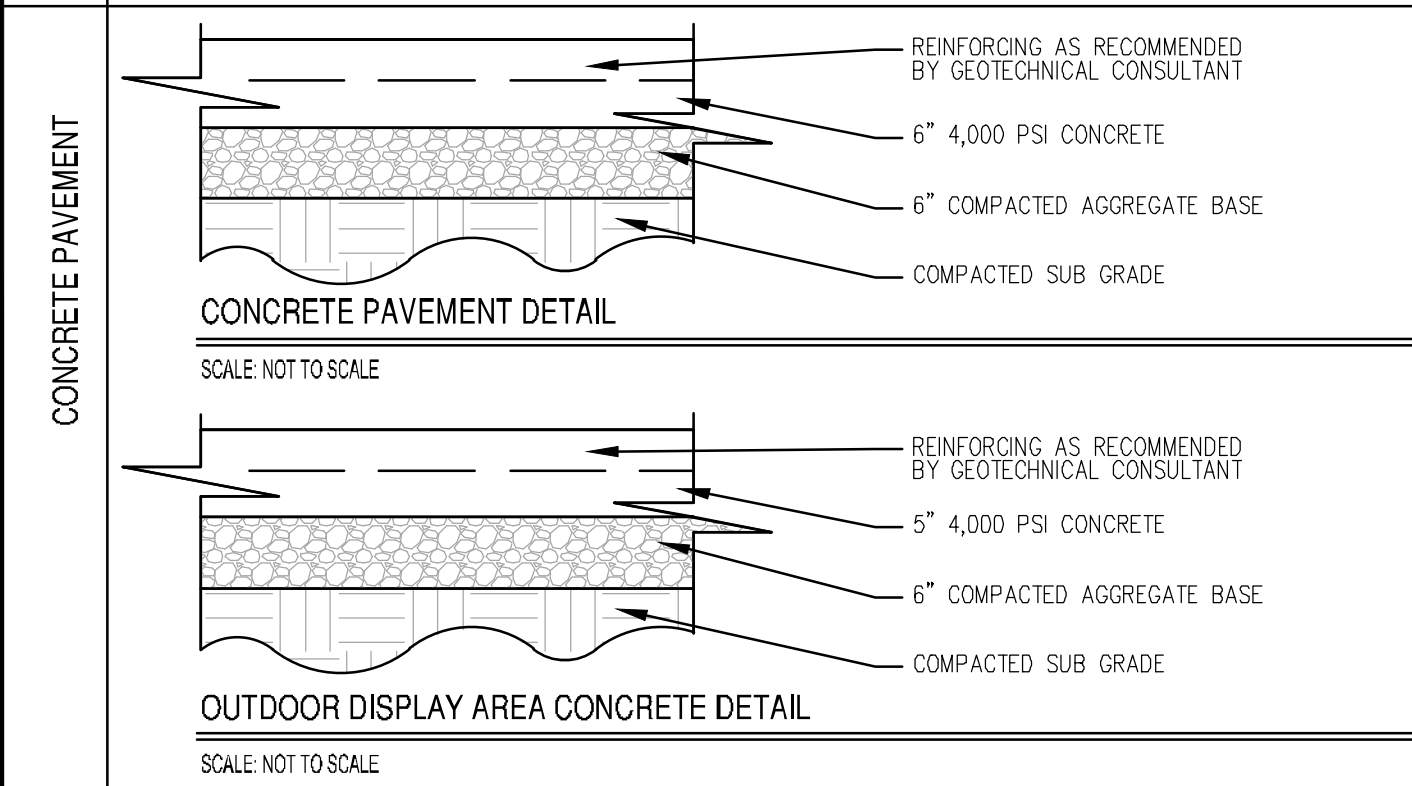
PLAN STATUS
 6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
MEL SCALE	XXX CHKD
JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000
SHEET	C5.0





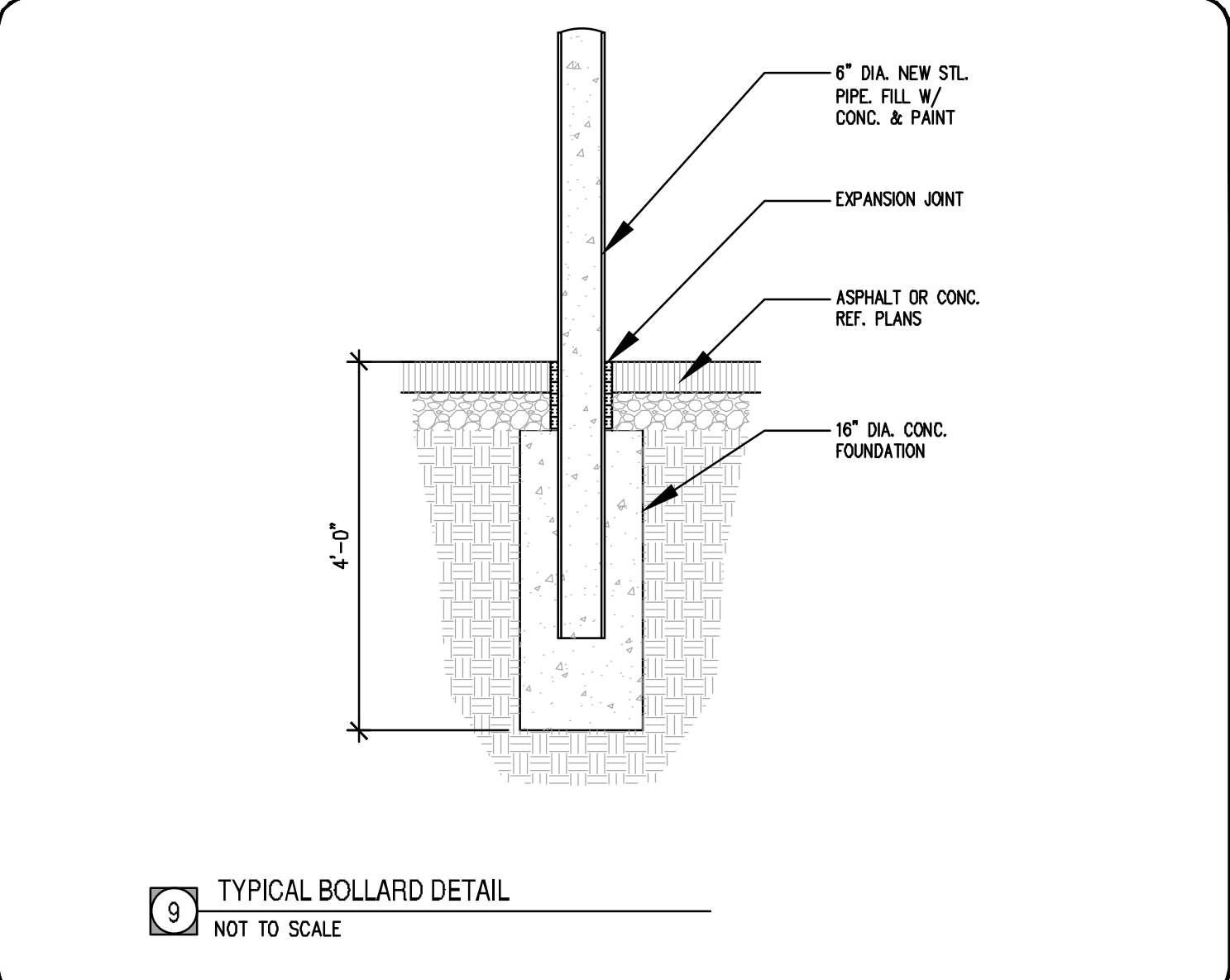
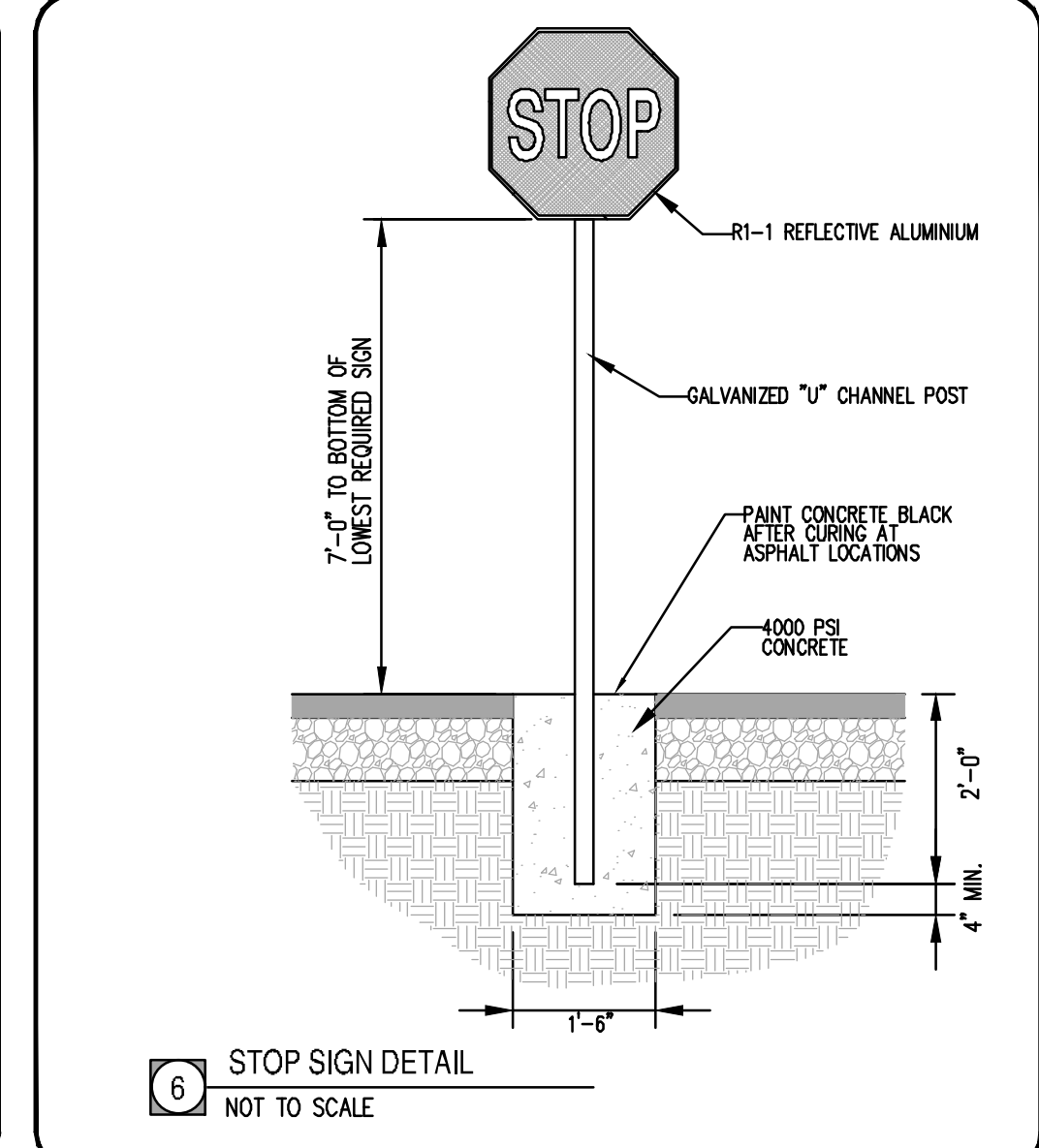
REFER TO SHEET C1.0 FOR NCDOT PAVEMENT SECTION



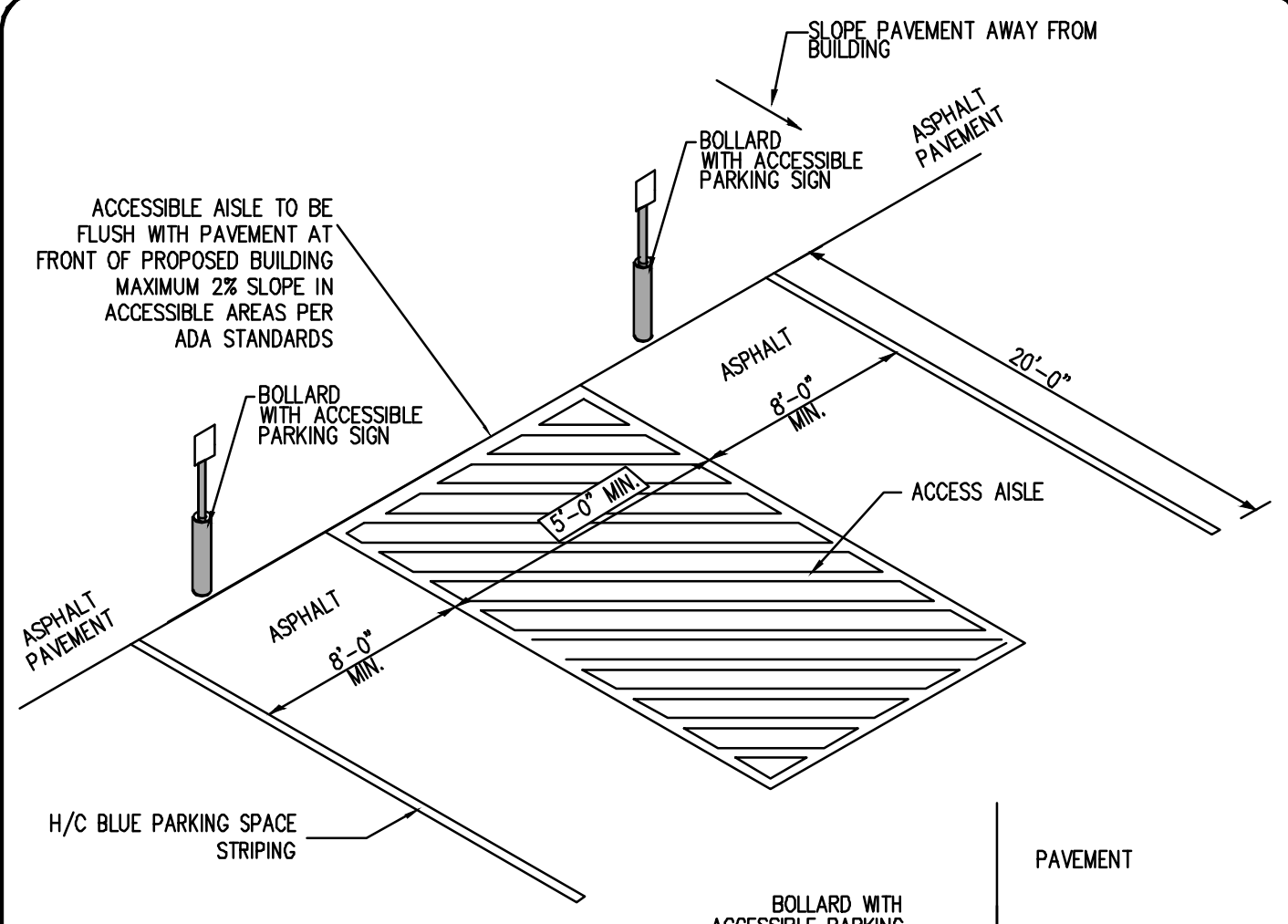
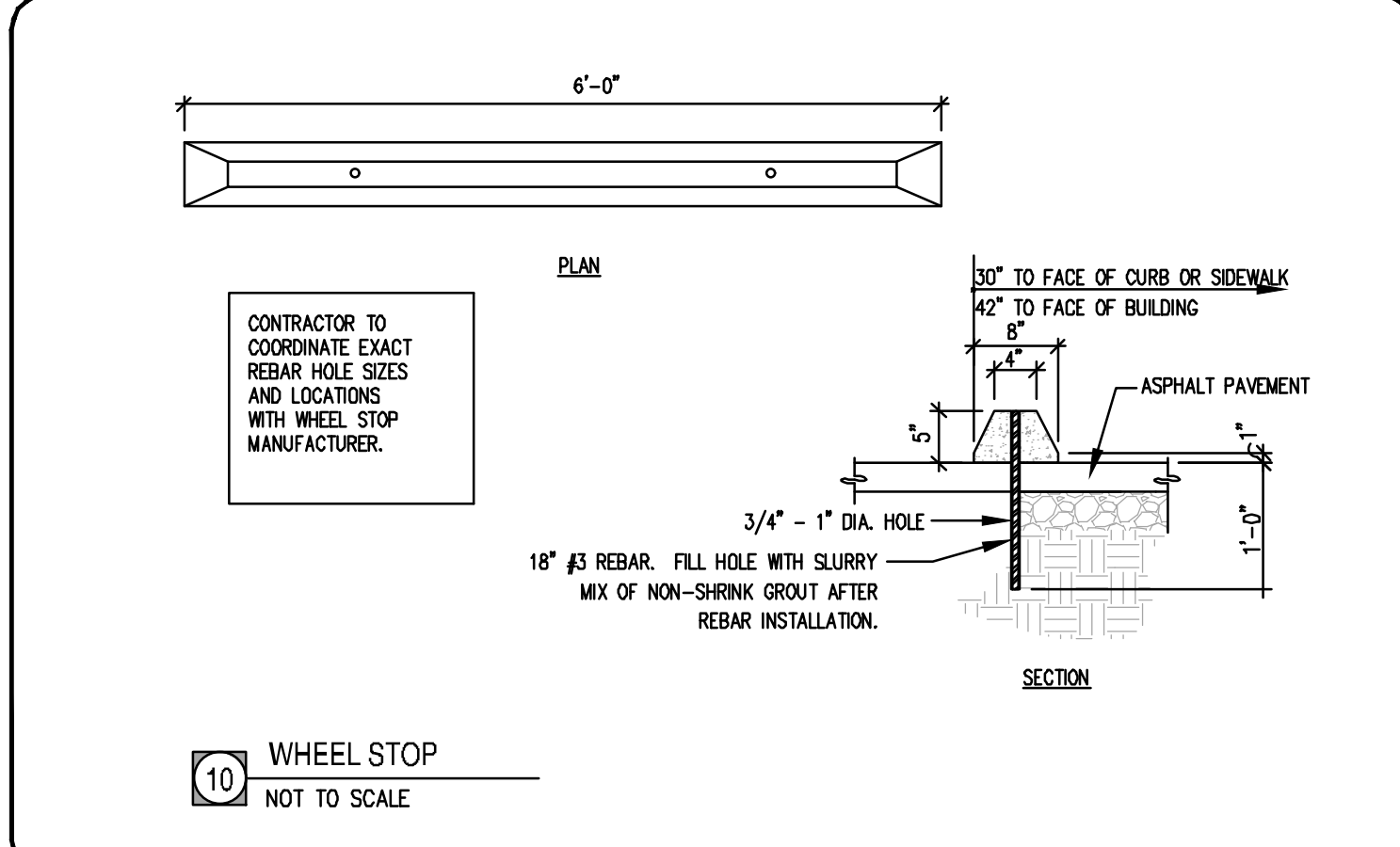
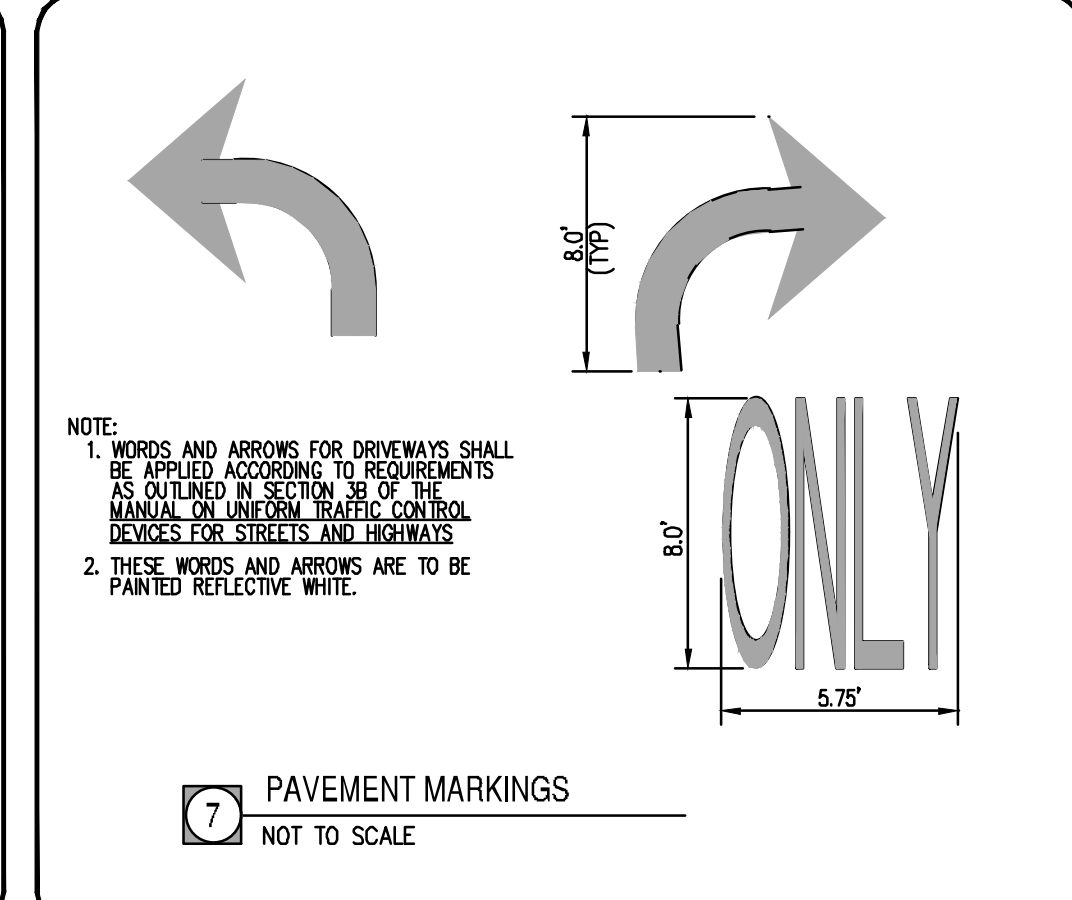
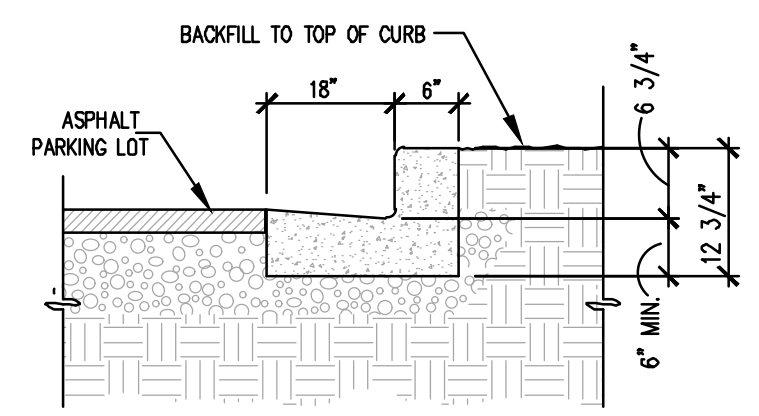
1 PAVEMENT DETAILS
NOT TO SCALE

- REFER TO NCDOT DRIVEWAY PERMIT FOR ADDITIONAL REQUIREMENTS
- REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS
- MATERIALS AND CONSTRUCTION REQUIREMENTS PER THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, LATEST EDITION

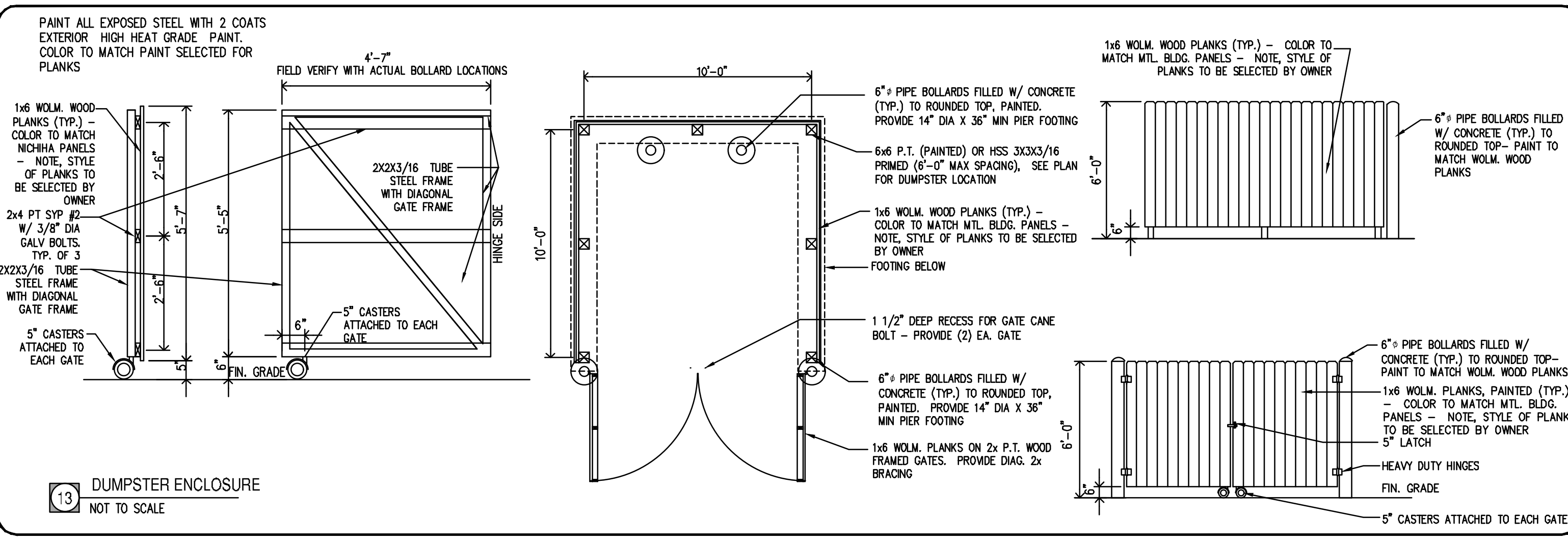
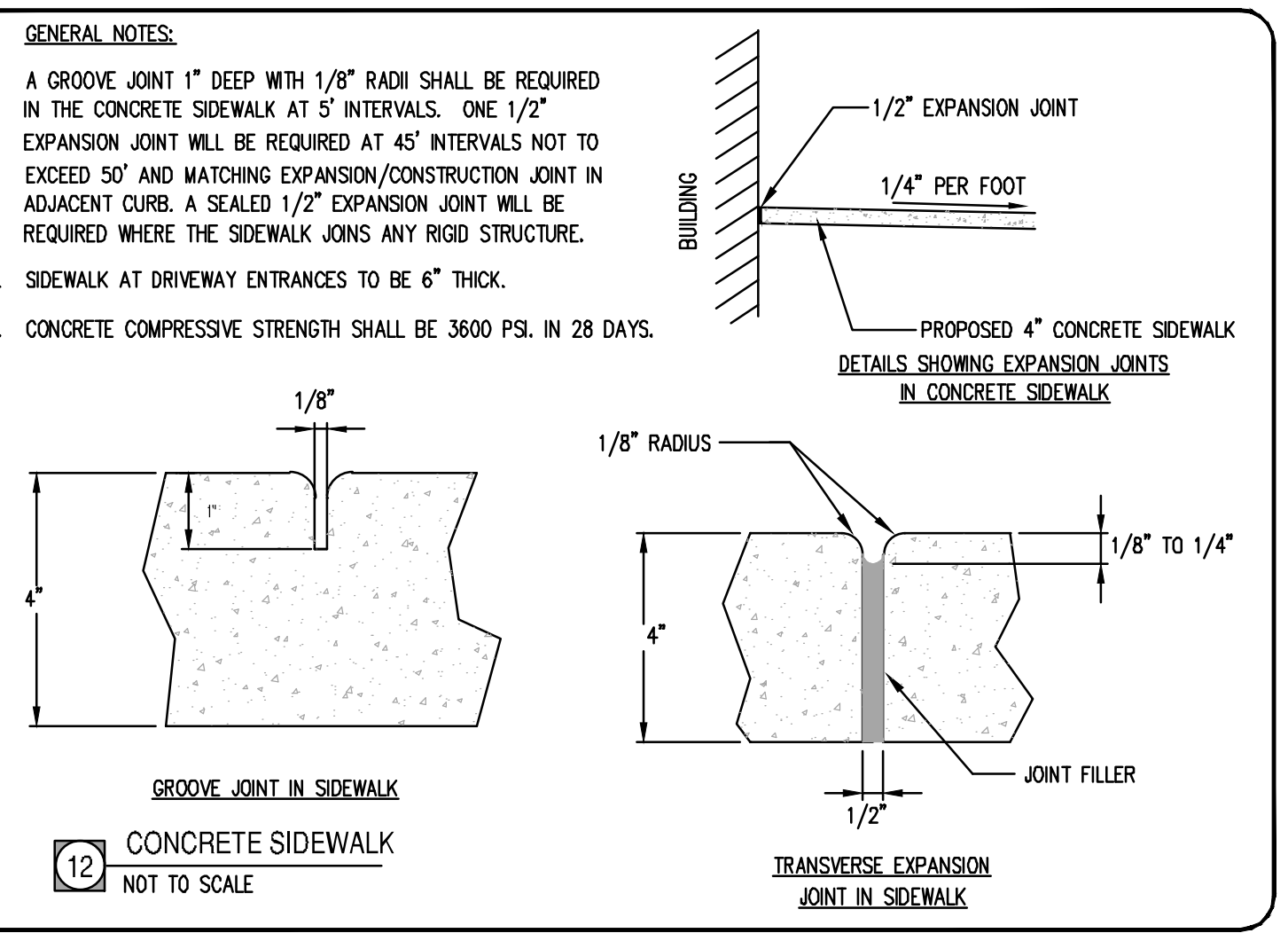
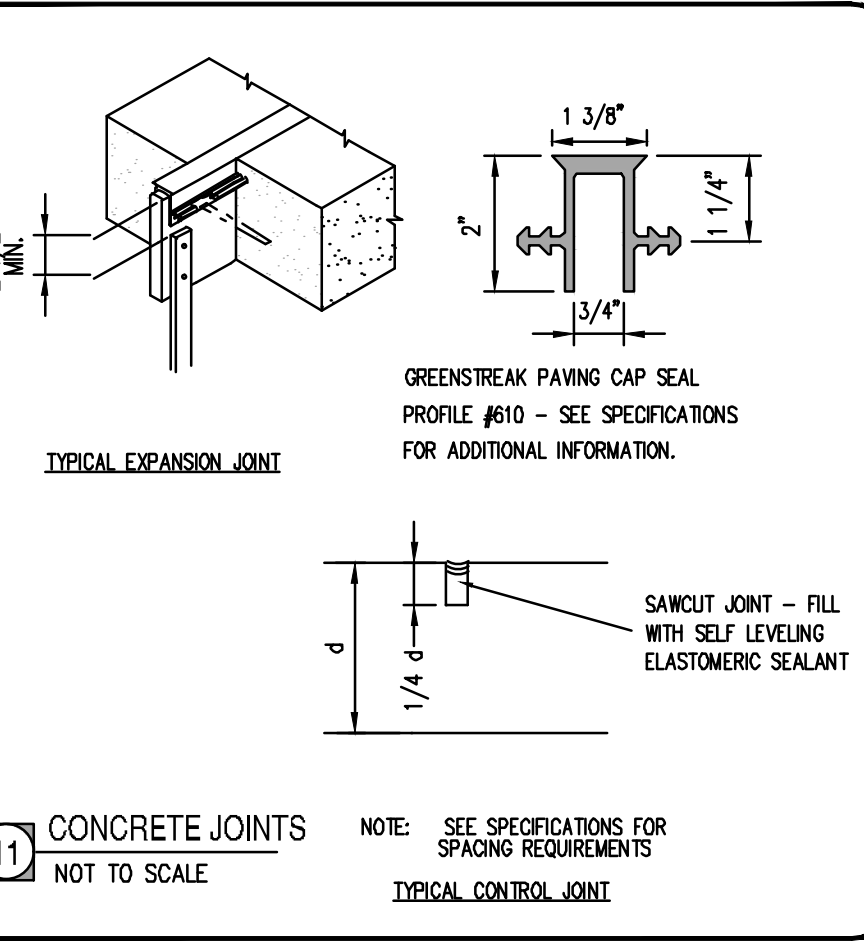
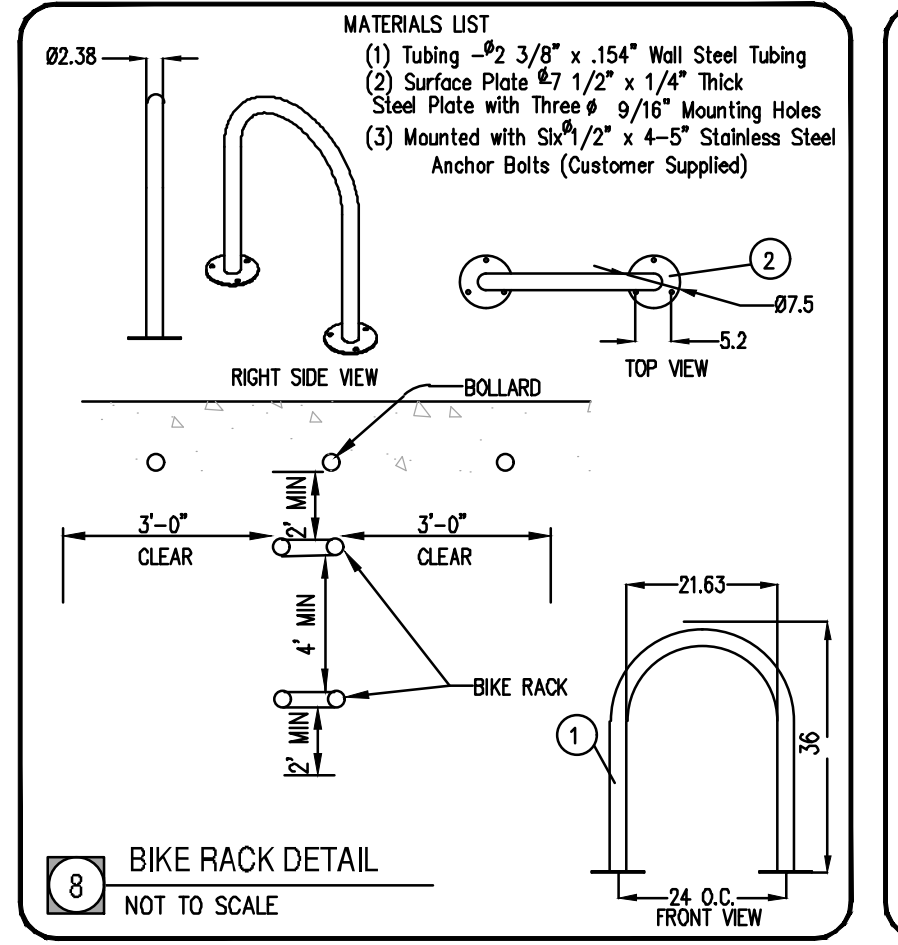
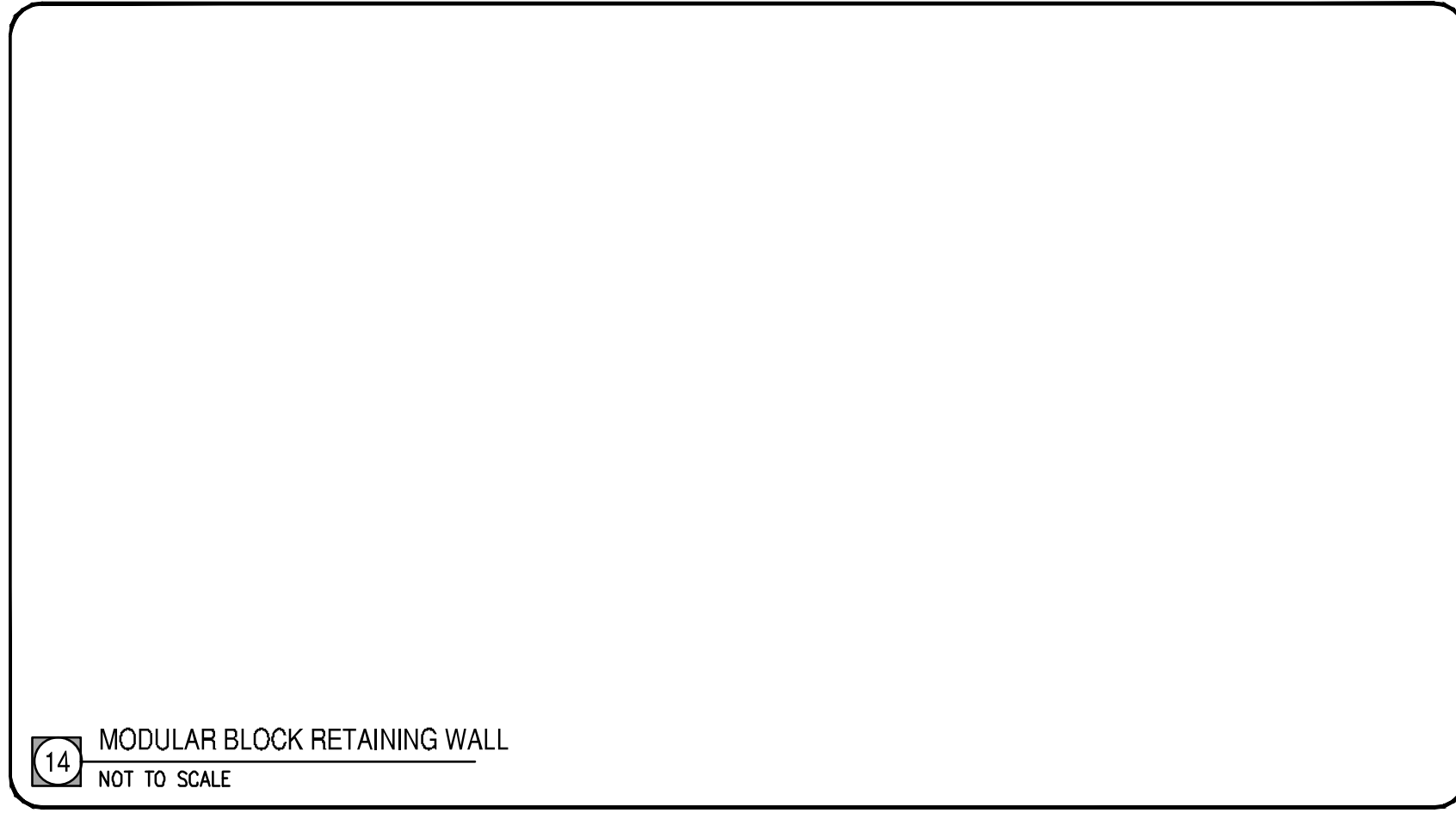
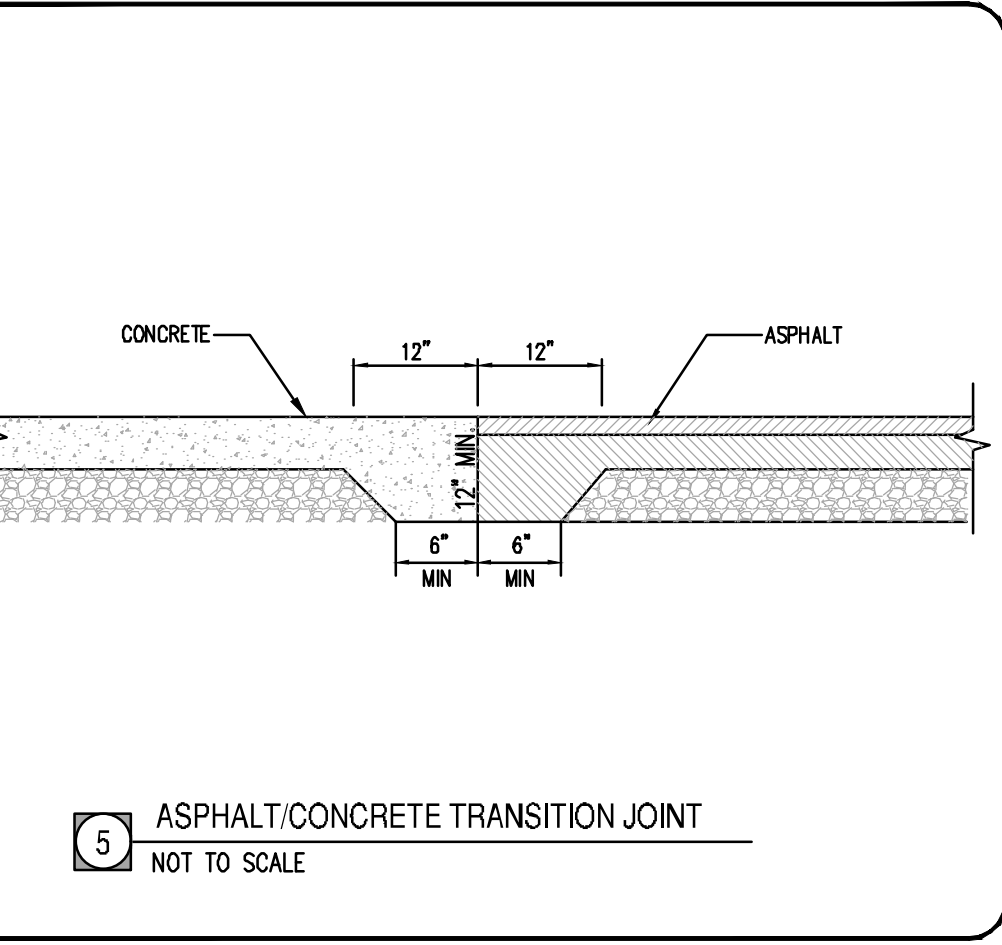
3 SIGN DETAILS
NOT TO SCALE



- NOTES:
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
 - ALL EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
 - CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
 - TOP 6" OF SUB-GRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100 PROCTOR DENSITY.



- SITE ACCESSIBILITY DETAIL NOTES:
- REFER TO SITE PLAN FOR EXACT LOCATION OF HANDICAP PARKING, WALKWAYS AND RAMPS.
 - ALL WALKWAYS, RAMPS, AND HANDICAP PARKING SIGNAGE, ETC. SHALL MEET APPROVED AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND LOCAL ACCESSIBILITY CODE.
 - ONE OUT OF EVERY SIX (6) ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.
 - ALL CONCRETE ACCESSIBLE RAMPS (3000 PSI) SURFACES SHALL HAVE COLORED TOOLED/SERRATED SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE PER ADA STANDARDS AND LOCAL ACCESSIBILITY CODE.
 - ALL CONCRETE ACCESSIBLE RAMPS SHALL BE COLOR IMPREGNATED TO PROVIDE VISUAL CONTRAST (DARK TO LIGHT) WITH ADJOINING CONCRETE SURFACES (MINIMUM 70X COLOR CONTRAST).
 - THE MATERIAL USED TO PROVIDE COLOR CONTRAST IN CONCRETE ACCESSIBLE RAMPS SHALL BE AN INTEGRAL (PERMANENT) PART OF THE CONCRETE AND SHALL NOT BE PAINTED ON OR CAPABLE OF FADING OR WEARING OFF.
 - FINISHED GRADES OF PAVEMENT IN HC PARKING AND ACCESSIBILITY AISLE SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION.



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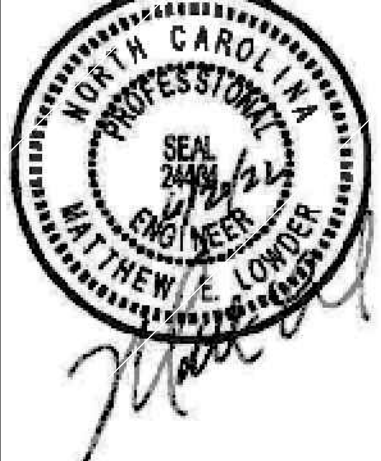
CONSTRUCTION DETAILS

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Zebulon, NC

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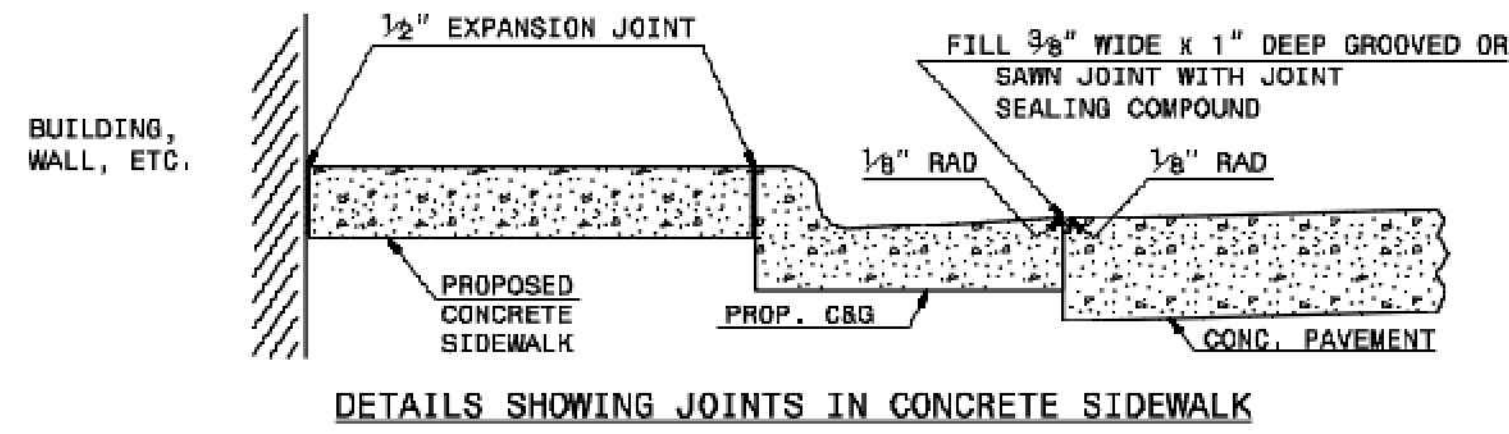
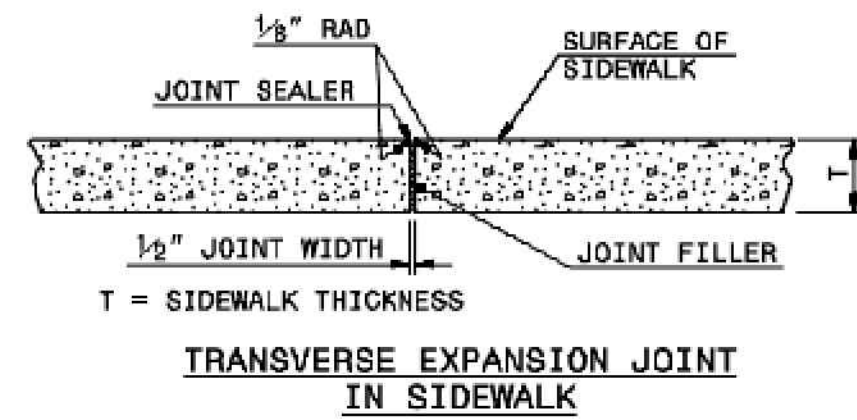


PLAN STATUS
6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 50' V: 1" = 4'XXX'
JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000

SHEET C6.2

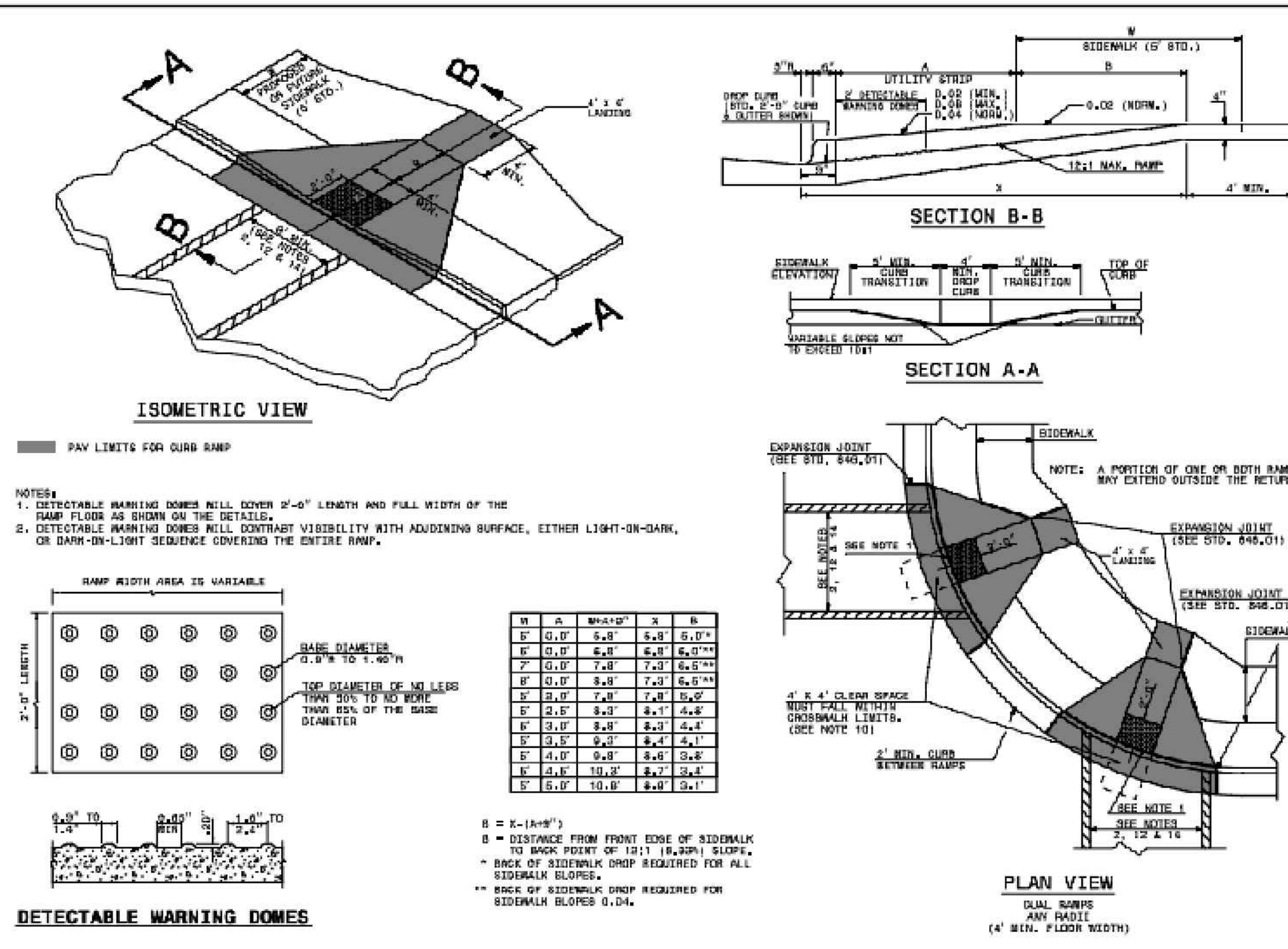
NOTES:
 CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.
 PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK

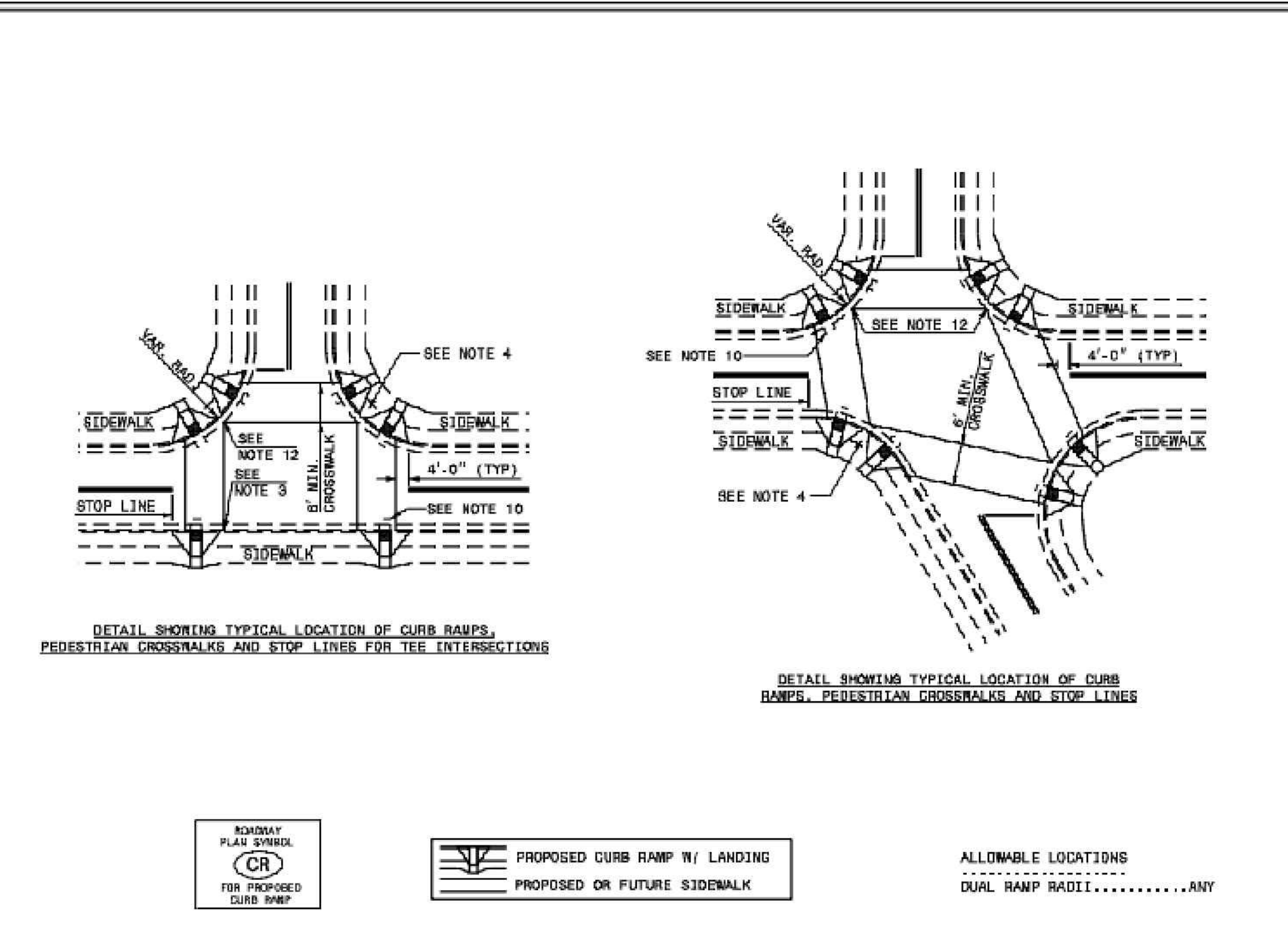
SHEET 1 OF 1
848.01



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER

SHEET 1 OF 3
848.05



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER

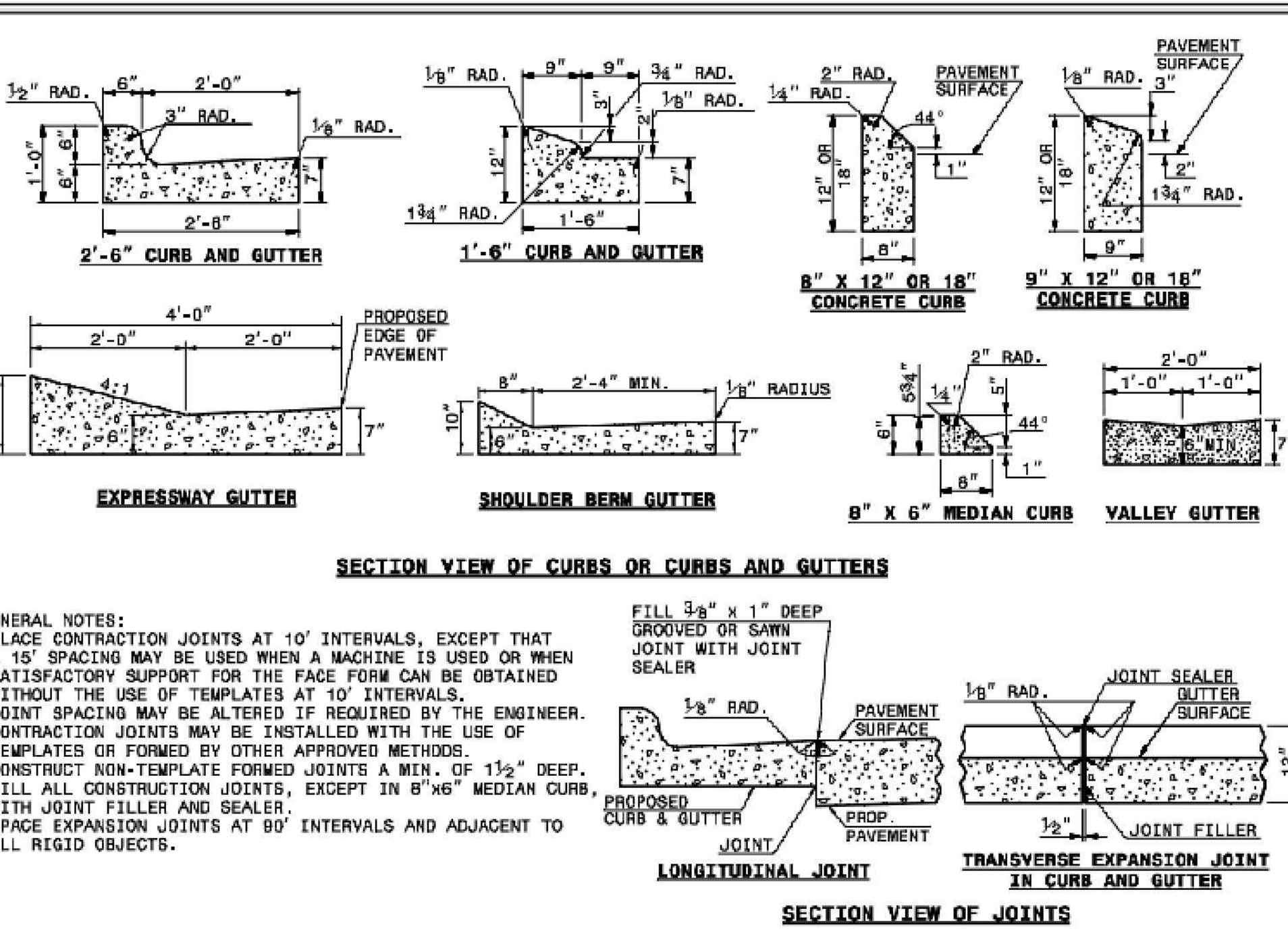
SHEET 2 OF 3
848.05

- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
 - LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
 - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
 - REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 - TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
 - CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
 - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
 - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
 - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
 - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
 - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
 - CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS FLAMING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
 - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
 - CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMPS
 NOTES

SHEET 3 OF 3
848.05



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
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ROADWAY STANDARD DRAWING FOR
CONCRETE CURB, GUTTER AND CURB & GUTTER

SHEET 1 OF 3
846.01

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 Wake County

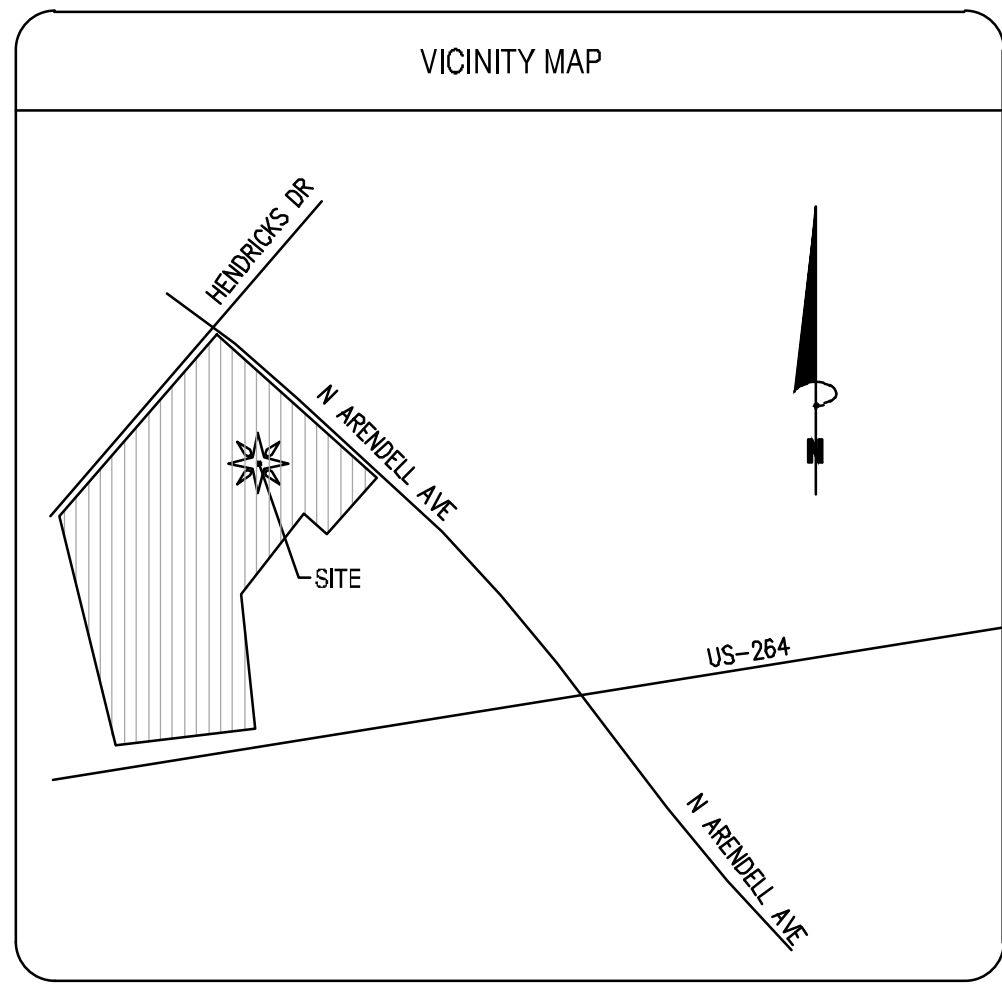
PRELIMINARY
 DO NOT
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 CONSTRUCTION



PLAN STATUS
 6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 50' V: 1" = 10'
JOB No.	220097-01-002
DATE	June 20, 2022
FILE No.	000000-D-CP-000

SHEET **C6.3**

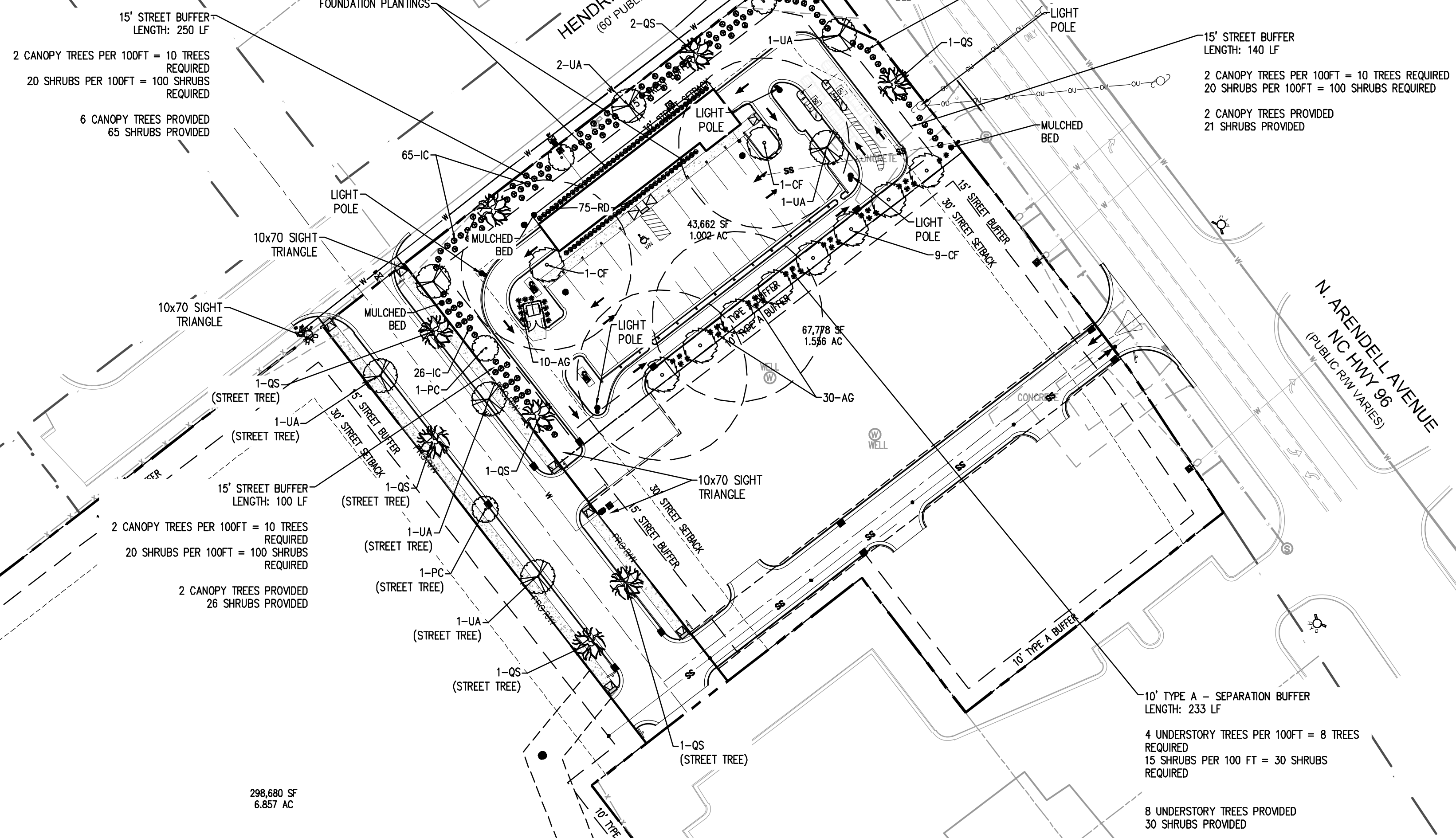


LANDSCAPE NOTES:
 HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF UTILER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 SHOULD SEEDDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDDED AREAS.
 - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
 - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
 - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
 - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
 - ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
 - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
 - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDDED LAWN.
 - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
 - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
 - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
 - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
 - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
 - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.



15' STREET BUFFER LENGTH: 250 LF
 2 CANOPY TREES PER 100FT = 10 TREES REQUIRED
 20 SHRUBS PER 100FT = 100 SHRUBS REQUIRED
 6 CANOPY TREES PROVIDED
 65 SHRUBS PROVIDED

15' STREET BUFFER LENGTH: 140 LF
 2 CANOPY TREES PER 100FT = 10 TREES REQUIRED
 20 SHRUBS PER 100FT = 100 SHRUBS REQUIRED
 2 CANOPY TREES PROVIDED
 21 SHRUBS PROVIDED

15' STREET BUFFER LENGTH: 100 LF
 2 CANOPY TREES PER 100FT = 10 TREES REQUIRED
 20 SHRUBS PER 100FT = 100 SHRUBS REQUIRED
 2 CANOPY TREES PROVIDED
 26 SHRUBS PROVIDED

10' TYPE A - SEPARATION BUFFER LENGTH: 233 LF
 4 UNDERSTORY TREES PER 100FT = 8 TREES REQUIRED
 15 SHRUBS PER 100 FT = 30 SHRUBS REQUIRED
 8 UNDERSTORY TREES PROVIDED
 30 SHRUBS PROVIDED

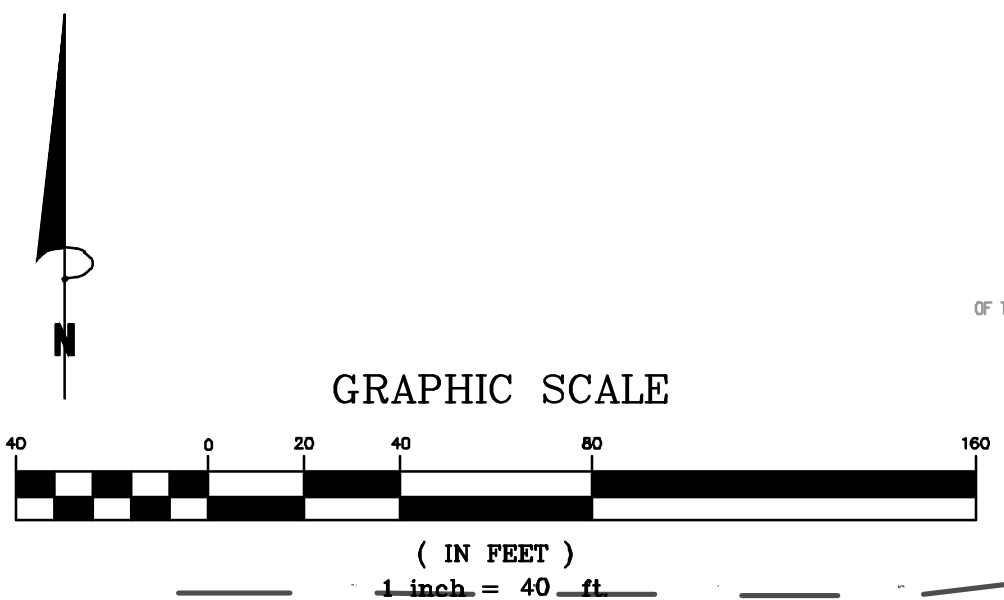
298,680 SF
 6.857 AC

43,602 SF
 1.002 AC

67,778 SF
 1.556 AC

HATCH PATTERN INDICATES SOD (TYP)

STORMWATER MANAGEMENT AREA REFER TO STORMWATER MANAGEMENT PLAN DETAILS FOR WETLAND PLANTING REQUIREMENTS.



REPAIR BUFFER NOTE:
 THE 50 FOOT WIDE REPAIR BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE CATCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 20 FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 26.0209 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL WATERS PROTECTION SECTION FOR OFFICIAL DETERMINATION.

MASTER PLANT LIST											
TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	OS	8	Quercus shumardii	Shumard Oak	[Symbol]	2.5"	8' MIN		B&B	AS SHOWN	
	UA	13	ulmus americana	American Elm	[Symbol]	2.5"	8' MIN		B&B	AS SHOWN	
	PC	12	Pistacia chinensis	Chinese Pistachio	[Symbol]	2.5"	8' MIN		B&B	AS SHOWN	
UNDERSTORY TREES	CF	10	Camus florida	Flowering Dogwood	[Symbol]	1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	108	Rhaphiolepis x delacourii	Indian Hawthorn, Yeddo Hawthorn	[Symbol]	-	18" MIN		3 GAL	AS SHOWN	
	AG	99	Abelia grandiflora	Glossy Abelia	[Symbol]	-	18" MIN		3 GAL	AS SHOWN	
	IC	147	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	[Symbol]	-	18" MIN		3 GAL	AS SHOWN	

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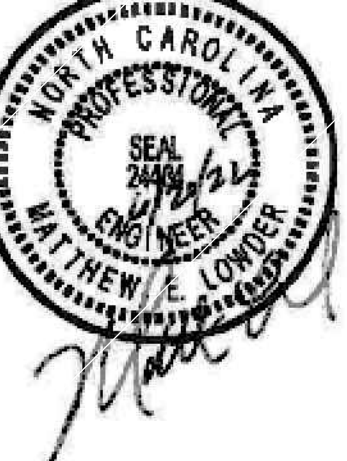
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Wake County

LANDSCAPE PLAN
 Rocket Express
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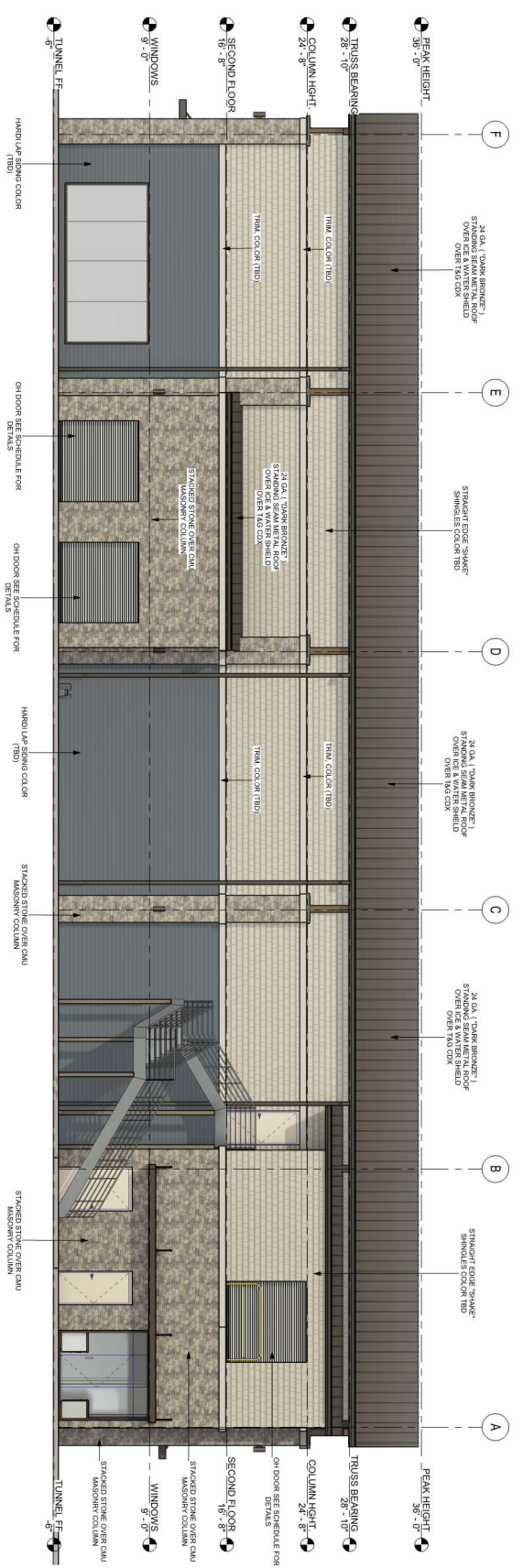
PLAN STATUS
 6/20/22 SITE PLAN SUBMITTAL

DATE	DESCRIPTION
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SCALE	H: 1" = 50' V: n

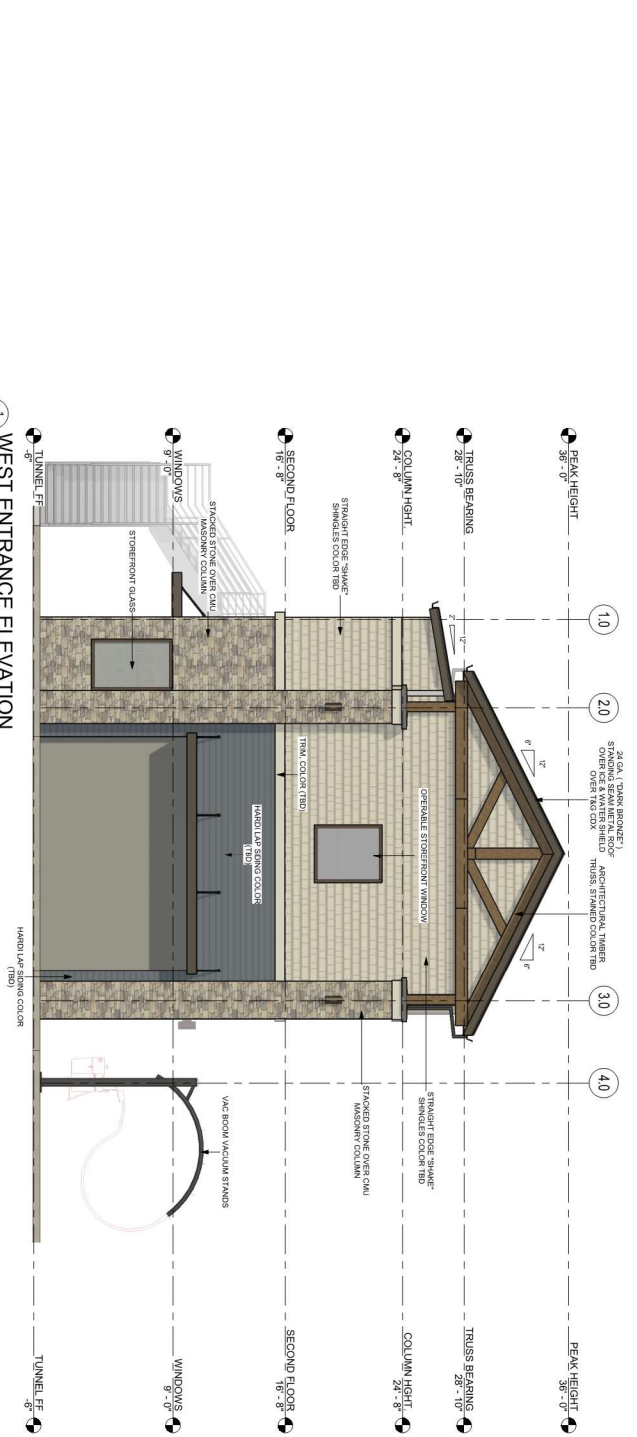
JOB No. 220097-01-002
 DATE June 20, 2022
 FILE No. 000000-D-CP-000

SHEET C7.0

2 NORTH REAR ELEVATION
 1/8" = 1'-0"



1 WEST ENTRANCE ELEVATION
 1/8" = 1'-0"



**ROCKET EXPRESS
TUNNEL CAR WASH**

ELEVATIONS

Project number	22-0450
Drawn by	03/29/22
Checked by	KOF
Scale	As indicated

A105

No.	Description	Date

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