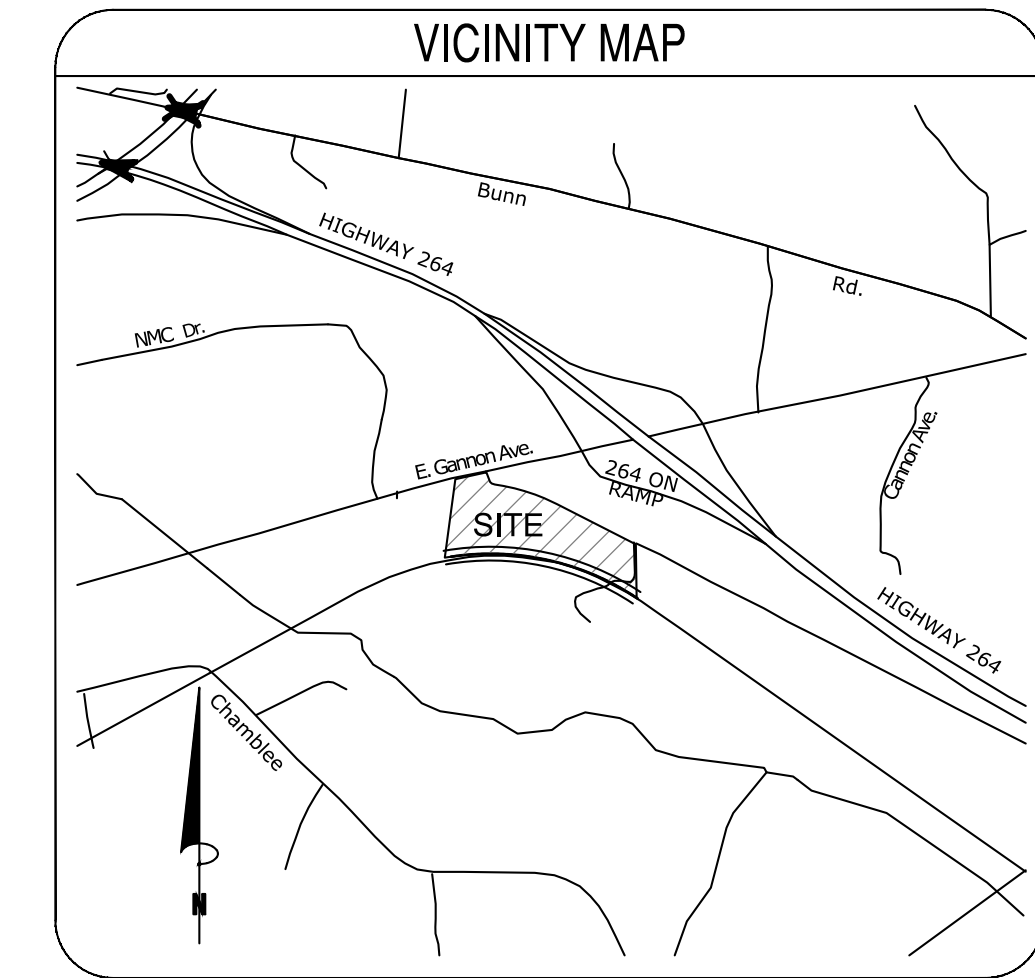


WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS  
 DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS  
 NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS  
 SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS  
 STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

# CONSTRUCTION DOCUMENTS

## Proposed Tractor Supply Old US Highway 264 Zebulon, North Carolina Wake County



**DEVELOPER**  
 Primax Properties, LLC  
 Attn. Adam Sellner  
 1100 E. Morehead Street  
 Charlotte, NC 28204  
 704-954-7224  
 asellner@primaxproperties.com

**CIVIL ENGINEER**  
 Bowman North Carolina, Ltd.  
 4006 Barrett Drive, Suite 104  
 Raleigh, NC 27609  
 (919) 553-6570  
 mlowder@bowman.com  
 FIRM# F-1445



IMPERVIOUS AREA SUMMARY			
ON-SITE AREA = 165,883 SF (3,808 AC)			
BUILDINGS	21,147 SF	0.49 ACRE(S)	12.75% OF AREA
SIDEWALK	7,030 SF	0.16 ACRE(S)	4.24% OF AREA
PAVEMENT	85,102 SF	1.95 ACRE(S)	51.30% OF AREA
TOTAL IMPERVIOUS AREA	113,279 SF	2.60 ACRE(S)	68.29% OF AREA
GREEN/OPEN SPACE	52,604 SF	1.21 ACRE(S)	31.71% OF AREA
EXISTING IMPERVIOUS AREA:	0 SF	0 ACRE(S)	0% OF AREA
INCREASE IN IMPERVIOUS AREA:	113,279 SF	2.60 ACRE(S)	

PROJECT DEVELOPMENT DATA	
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC 219 ROYAL FERN ROAD WILMINGTON, NC 28412
PIN:	2705-97-3068 (PORTION OF)
REID:	0352494
DEED BOOK/PAGE:	006057/00594
EXISTING ZONING DISTRICT:	HC - HEAVY COMMERCIAL (ORDINANCE 2022-36)
FUTURE LAND USE MAP:	GC - GENERAL COMMERCIAL
LATITUDE & LONGITUDE:	N35.828782, W-78.293752
SITE ACRES:	165,883 SF (3.81 AC) PROPOSED TRACTOR SUPPLY
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT
PROPOSED USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS:	
MINIMUM LOT SIZE:	6,000 SF
MINIMUM LOT WIDTH:	50 FT
MAXIMUM LOT COVERAGE:	80%
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	0; 5 FT IF PROVIDED
MINIMUM REAR SETBACK:	0 IF ABUTTED BY AN ALLEY; OTHERWISE 25 FT
MAXIMUM BUILDING HEIGHT:	50 FT; MAY INCREASE BY 2FT FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FT IN HEIGHT
MINIMUM SPACING BETWEEN PRINCIPAL BUILDINGS:	25 FT
PARKING REQUIREMENT:	RETAIL - 1 SPACE PER 200 SF 21,147 SF / 200 = 106 SPACES
PARKING SPACES PROVIDED:	79 SPACES REQUESTED (PARKING STUDY)
PARKING SPACE DIMENSIONS:	79
MIN DRIVE AISLE:	10' x 19' MIN
ACCESSIBLE SPACES PROVIDED:	8.5' x 18' COMPACT (30% MAX) 20 FT ONE-WAY, 24 FT TWO-WAY
LANDSCAPE BUFFERS:	10 FT TYPE A BUFFER (ADJACENT HC) 15 FT STREETSCAPE BUFFER ALONG OLD US 264

REZONING - ORDINANCE 2022-36

ORDINANCE 2022-36  
 AMENDMENT TO ZONING MAP FOR  
 0 Old US 264 (Pin # 2705973068)

The proposed Zoning Map Amendment for approximately 9.8 acres located at 0 Old US 264 with associated Wake County Pin # 2705973068 would be rezoned from R-2 Residential to Heavy Commercial (HC) in accordance with Section 2.2.24 of the Town of Zebulon Unified Development Ordinance and the attached map.

Adopted this the 4<sup>th</sup> day of April 2022



*Glenn L. York*  
 Glenn L. York - Mayor

*Lisa M. Mackland*  
 Lisa M. Mackland, CMC - Town Clerk

CURRENT PROPERTY OWNERS

Bunn Farms, Inc.  
 219 Royal Fern Road  
 Wilmington, NC 28412

**PRECONSTRUCTION NOTE**  
 A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-\_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-\_\_\_\_\_

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-\_\_\_\_\_

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

APPROVED

EROSION CONTROL  S-\_\_\_\_\_

STORMWATER MGMT.  S-\_\_\_\_\_

FLOOD STUDY  S-\_\_\_\_\_

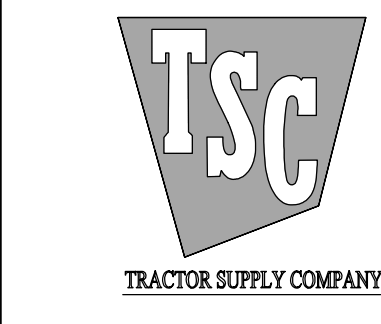
DATE \_\_\_\_\_

ENVIRONMENTAL CONSULTANT SIGNATURE

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES, ABBREVIATIONS, AND LEGEND
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING & DRAINAGE PLAN
C4.1	ROADWAY PLAN
C5.0	UTILITY PLAN
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
C6.4	UTILITY DETAILS
C7.0	LANDSCAPE PLAN
1 OF 6	CONCEPT ELEVATIONS
2 OF 6	FRONT-RIGHT ELEVATION
3 OF 6	FRONT-RIGHT ELEVATION (CONT.)
4 OF 6	REAR ELEVATION RIGHT SIDE
5 OF 6	REAR ELEVATION LEFT SIDE
6 OF 6	FRONT LEFT ELEVATION
1 OF 1	PARKING LOT LIGHTING LAYOUT



Bowman North Carolina Ltd.  
 4006 BARRETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)553-6570  
 bowman.com  
 Bowman North Carolina Ltd.



COVER SHEET  
 Tractor Supply  
 Old US Highway 264  
 Zebulon, NC Wake County

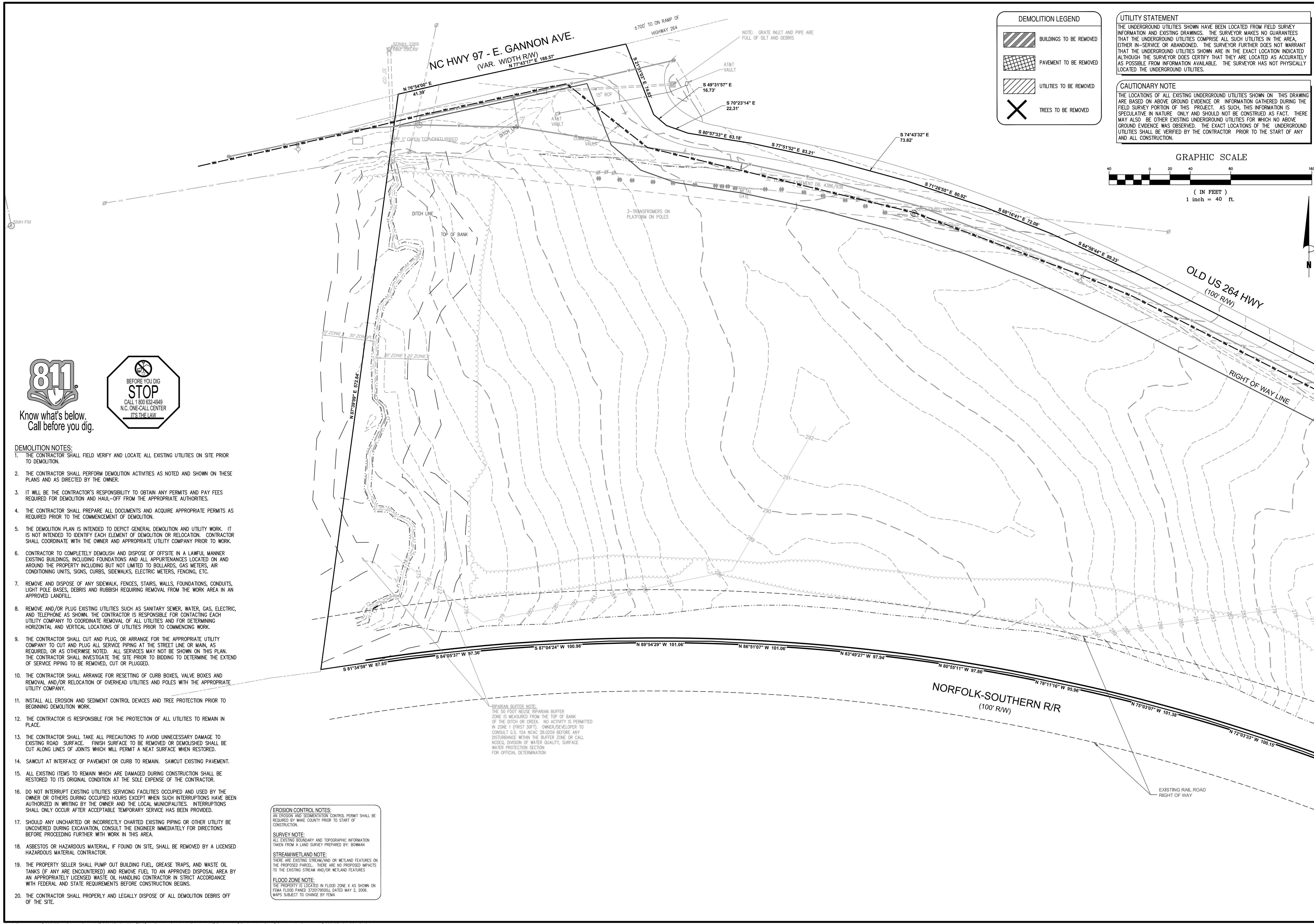


PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION

PLAN STATUS  
 5/26/22 1ST SUBMISSION

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
SCALE	XXX CHKD
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001
SHEET	C1.0



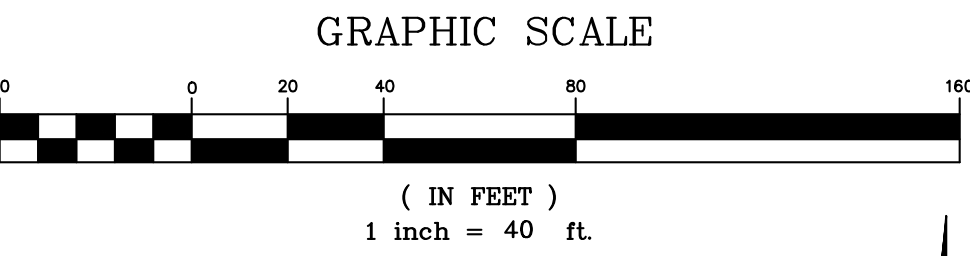


**DEMOLITION LEGEND**

	BUILDINGS TO BE REMOVED
	PAVEMENT TO BE REMOVED
	UTILITIES TO BE REMOVED
	TREES TO BE REMOVED

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**CAUTIONARY NOTE**  
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
  2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
  3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
  4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
  5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
  6. CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
  7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
  8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
  9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
  10. THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
  11. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
  12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
  13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
  14. SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
  15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
  16. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
  17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
  19. THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
  20. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

**EROSION CONTROL NOTES:**  
 AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.

**SURVEY NOTE:**  
 ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY BOWMAN

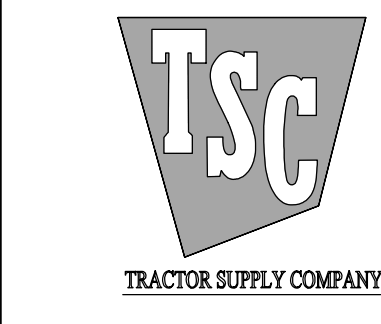
**STREAMWETLAND NOTE:**  
 THERE ARE EXISTING STREAM AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO THE EXISTING STREAM AND/OR WETLAND FEATURES

**FLOOD ZONE NOTE:**  
 THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PLANED 372079500L DATED MAY 2, 2006. MAPS SUBJECT TO CHANGE BY FEMA.

**BIPHASIAN BUFFER NOTE:**  
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCEM DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

**Bowman**

Bowman North Carolina Ltd.  
 4006 BARRETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)559-6570  
 bowman.com  
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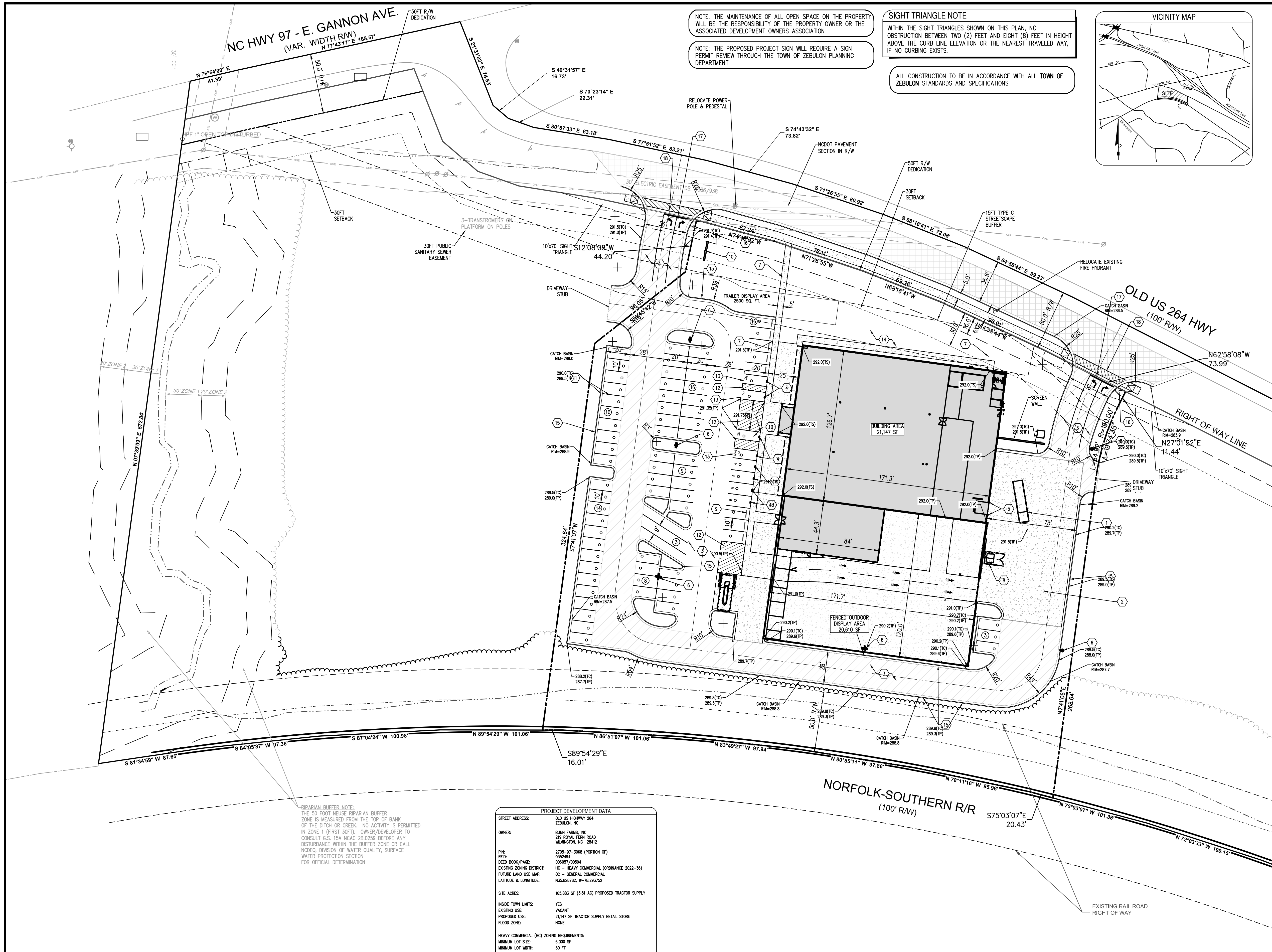
**DEMOLITION PLAN**

Tractor Supply  
 Old US Highway 264  
 Zebulon, NC Wake County

**PRIMA X**  
 PROPERTIES, LLC

PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION

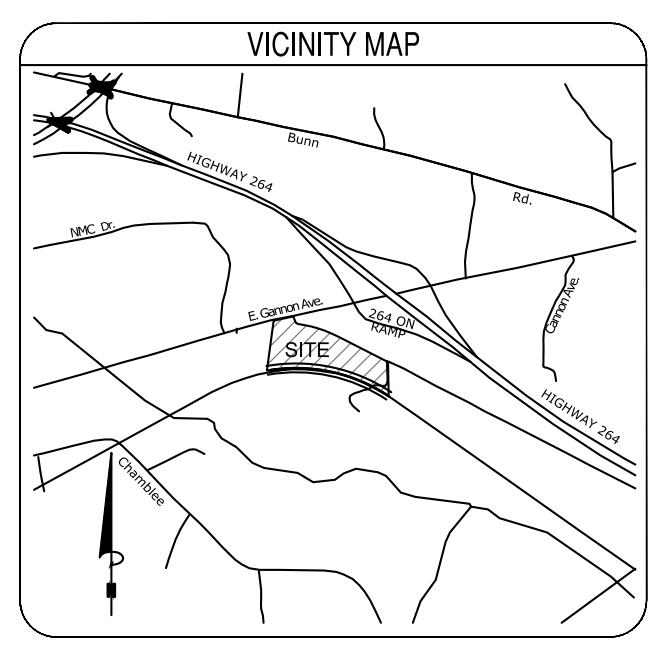
<b>PLAN STATUS</b>	
5/26/22	1ST SUBMISSION
<b>DATE DESCRIPTION</b>	
MEL	MEL XXX
DESIGN	DRAWN CHKD
SCALE	H: 1" = 40'
	V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001
SHEET	C2.0



NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
  - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
  - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
  - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
  - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOORS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND TOWN OF ZEBULON STANDARDS.
  - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
  - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

- KEYNOTES**
- STEEL DOCK/RAMP - REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
  - CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET G1.4 EXPANSION AND CONTROL JOINTS - SEE DETAILS SHEET
  - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET
    - STANDARD DUTY PAVEMENT
    - HEAVY DUTY PAVEMENT
    - NCDOT PAVEMENT SECTION
  - HANDICAP PARKING SIGN - SEE DETAIL SHEET
  - VETERANS PARKING SIGN - SEE DETAIL SHEET
  - ON-LINE PARKING SIGN - SEE DETAIL SHEET
  - BOLLARD - SEE DETAIL SHEET
  - CONCRETE LIGHT POLE BASE
  - CONCRETE SIDEWALK - SEE DETAIL SHEET FOR SIDEWALKS AROUND BUILDING.
  - DUMPSTER ENCLOSURE - REFER TO SHEET
  - 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL SHEET. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK.
  - SIGN (UNDER SEPARATE PERMIT)
  - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
  - 4" WIDE PARKING DIAGONAL STRIPES
  - ACCESSIBLE PARKING AREA - (PER A.D.A. REQUIREMENTS)
  - NEW GRASS/LANDSCAPE AREA
  - CONCRETE CURB AND GUTTER - SEE DETAIL SHEET
  - STOP SIGN - SEE DETAIL SHEET
  - PAVEMENT MARKINGS
  - NEW CURB CUT, MATCH EXISTING EOP & APPROACH PER LOCAL CODES & SPECS.
  - CONCRETE FLUME - REFER TO DETAIL ON SHEET (NOT USED)
  - PROPOSED PARKING COUNT

**PROJECT DEVELOPMENT DATA**

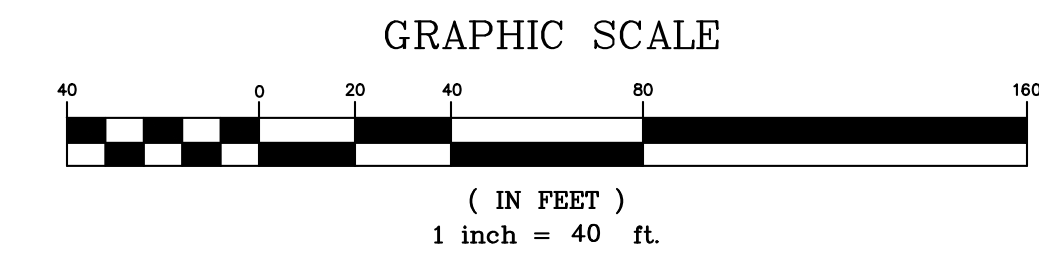
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC. 219 HOTAL ROAD WILMINGTON, NC 28412
PLN. NO.:	2705-07-3068 (PORTION OF)
REG. NO.:	032648
RECORD PAGE:	090207/00284
EXISTING ZONING DISTRICT:	HC - HEAVY COMMERCIAL (ORDINANCE 2022-30)
FUTURE LAND USE MAP:	GC - GENERAL COMMERCIAL
LATITUDE & LONGITUDE:	N35.809750, W-78.292752
SITE ACRES:	165,883 SF (3.81 AC) PROPOSED TRACTOR SUPPLY
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT
PROPOSED USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS:	
MINIMUM LOT SIZE:	6,000 SF
MINIMUM LOT WIDTH:	50 FT
MAXIMUM LOT COVERAGE:	80%
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	0, 5 FT IF PROVIDED
MINIMUM REAR SETBACK:	0 IF ADJUTED BY AN ALLEY; OTHERWISE 25 FT
MAXIMUM BUILDING HEIGHT:	50 FT MAY INCREASE BY 2FT FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FT IN HEIGHT
MINIMUM SPACING BETWEEN PRINCIPAL BUILDINGS:	25 FT
PARKING REQUIREMENT:	RETAL - 1 SPACE PER 200 SF 21,147 SF / 200 = 106 SPACES 79 SPACES REQUESTED (PARKING STUDY)
PARKING SPACES PROVIDED:	79
PARKING SPACES DIMENSIONS:	17' x 19' MIN
MIN DRIVE AISLE:	8.5' x 18' COMPACT (SEE MAP)
TWO-WAY ACCESSIBLE SPACES PROVIDED:	4
LANDSCAPE BUFFERS:	10 FT TYPE A BUFFER (ADJACENT HC) 15 FT STREETSCAPE BUFFER ALONG OLD US 264

**IMPERVIOUS AREA SUMMARY**

ON-SITE AREA = 165,883 SF (3.808 AC)	
BUILDINGS	21,147 SF 0.49 AC(ES) 12.75% OF AREA
SIDEWALK	7,000 SF 0.16 AC(ES) 4.24% OF AREA
PAVEMENT	85,102 SF 1.95 AC(ES) 51.30% OF AREA
TOTAL IMPERVIOUS AREA	113,279 SF 2.60 AC(ES) 68.29% OF AREA
GREEN/OPEN SPACE	52,604 SF 1.21 AC(ES) 31.71% OF AREA
EXISTING IMPERVIOUS AREA	0 SF 0 AC(ES) 0% OF AREA
INCREASE IN IMPERVIOUS AREA	113,279 SF 2.60 AC(ES)

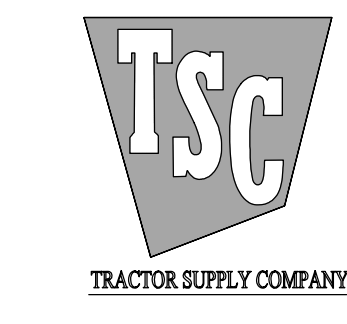
**SIGN LEGEND**

LEGEND	QTY.
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	N/A
	2
	2



**Bowman**

Bowman North Carolina Ltd.  
4006 BARRHETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)552-6570  
bowman.com  
Bowman North Carolina Ltd.



**SITE PLAN**

Tractor Supply  
Old US Highway 264  
Zebulon, NC Wake County

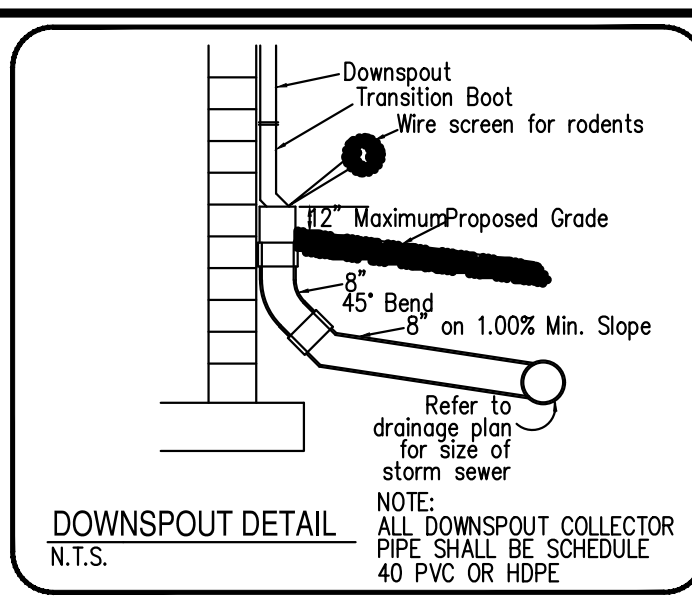
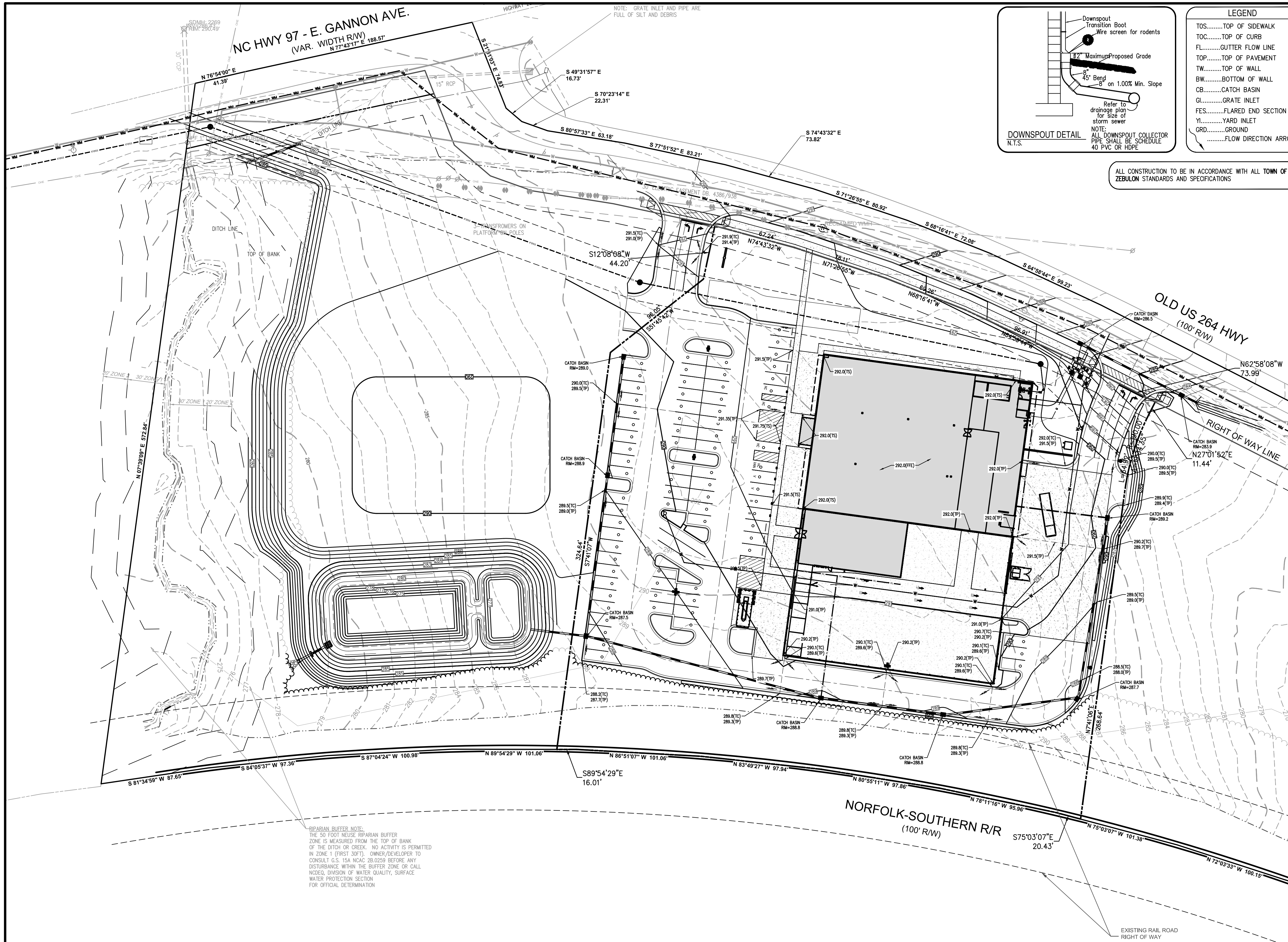
**PRIMA**  
PROPERTIES, LLC

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

**PLAN STATUS**

5/26/22 1ST SUBMISSION

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
XXX	CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001
SHEET	C3.0



**LEGEND**

- TOS.....TOP OF SIDEWALK
- TOC.....TOP OF CURB
- FL.....GUTTER FLOW LINE
- TOP.....TOP OF PAVEMENT
- TW.....TOP OF WALL
- BW.....BOTTOM OF WALL
- CB.....CATCH BASIN
- GI.....GRATE INLET
- FES.....FLARED END SECTION
- YL.....YARD INLET
- GRD.....GROUND
- .....FLOW DIRECTION ARROW

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

- GRADING NOTES:**
- REFER TO THE SITE PLAN FOR RELATED NOTES.
  - ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
  - ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
  - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  - LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
  - THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
  - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
  - ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
  - LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
  - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
  - ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
  - EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
  - THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SLOPE ITEMS.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
  - ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
  - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

- DRAINAGE NOTES:**
- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
  - PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
  - UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
    - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
    - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
    - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
    - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
    - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
    - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
  - CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
    - 840.02 - CONCRETE CATCH BASIN
    - 840.03 - FRAME, GRATES, AND HOOD FOR CATCH BASINS
    - 840.14 - CONCRETE DROP INLET
    - 840.04 - CONCRETE OPEN THROAT CATCH BASIN
    - 840.14 - CONCRETE DROP INLET
    - 840.16 - DROP INLET FRAME AND GRATES
    - 840.31 - CONCRETE JUNCTION BOX
    - 840.35 - TRAFFIC BEARING GRATED DROP INLET
    - 840.52 - PRECAST MANHOLE
    - 840.45 - PRECAST DRAINAGE STRUCTURE
    - 838.80 - PRECAST CONCRETE ENDWALL
  - ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
  - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
    - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
    - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) - AASHTO DESIGNATION M252 TYPE S, M294 TYPE S, AND MPT-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
  - ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
  - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
  - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  - STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
  - RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

**RIPARIAN BUFFER NOTE:**  
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0259 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDCO, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

**EROSION CONTROL NOTES:**  
 AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.

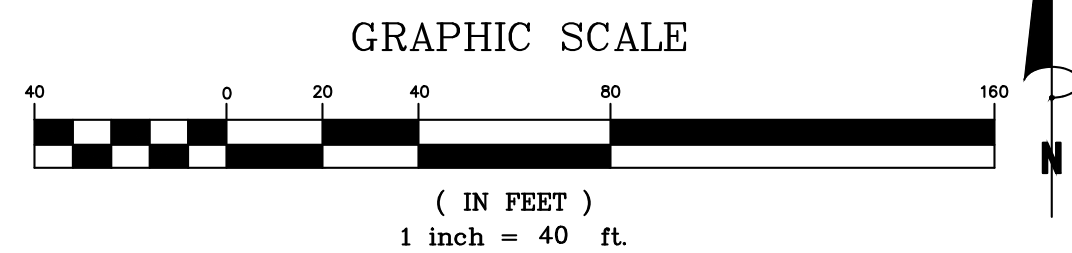
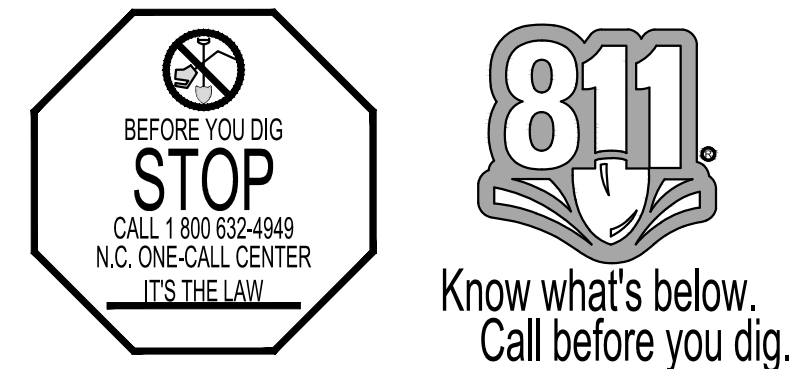
**SURVEY NOTE:**  
 ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY BOWMAN

**STREAM/WETLAND NOTE:**  
 THERE ARE EXISTING STREAM/AND OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO THE EXISTING STREAM AND/OR WETLAND FEATURES

**FLOOD ZONE NOTE:**  
 THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANEL 372017500L DATED MAY 2, 2006. MAPS SUBJECT TO CHANGE BY FEMA

**IMPERVIOUS AREA SUMMARY**

<b>ON-SITE AREA = 163,663 SF (3.808 AC)</b>			
BUILDINGS	21,147 SF	0.48 ACRES(3)	12.75 % OF AREA
SIDEWALK	7,030 SF	0.16 ACRES(3)	4.24 % OF AREA
PAVEMENT	85,100 SF	1.94 ACRES(3)	51.30 % OF AREA
<b>TOTAL IMPERVIOUS AREA</b>	<b>113,277 SF</b>	<b>2.60 ACRES(3)</b>	<b>68.29 % OF AREA</b>
<b>GREEN/OPEN SPACE</b>	<b>52,604 SF</b>	<b>1.21 ACRES(3)</b>	<b>31.71 % OF AREA</b>
<b>EXISTING IMPERVIOUS AREA:</b>	<b>0 SF</b>	<b>0 ACRES(3)</b>	<b>0 % OF AREA</b>
<b>INCREASE IN IMPERVIOUS AREA:</b>	<b>113,277 SF</b>	<b>2.60 ACRES(3)</b>	



**Bowman**

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**GRADING & DRAINAGE PLAN**

Tractor Supply  
 Old US Highway 264  
 Zebulon, NC Wake County

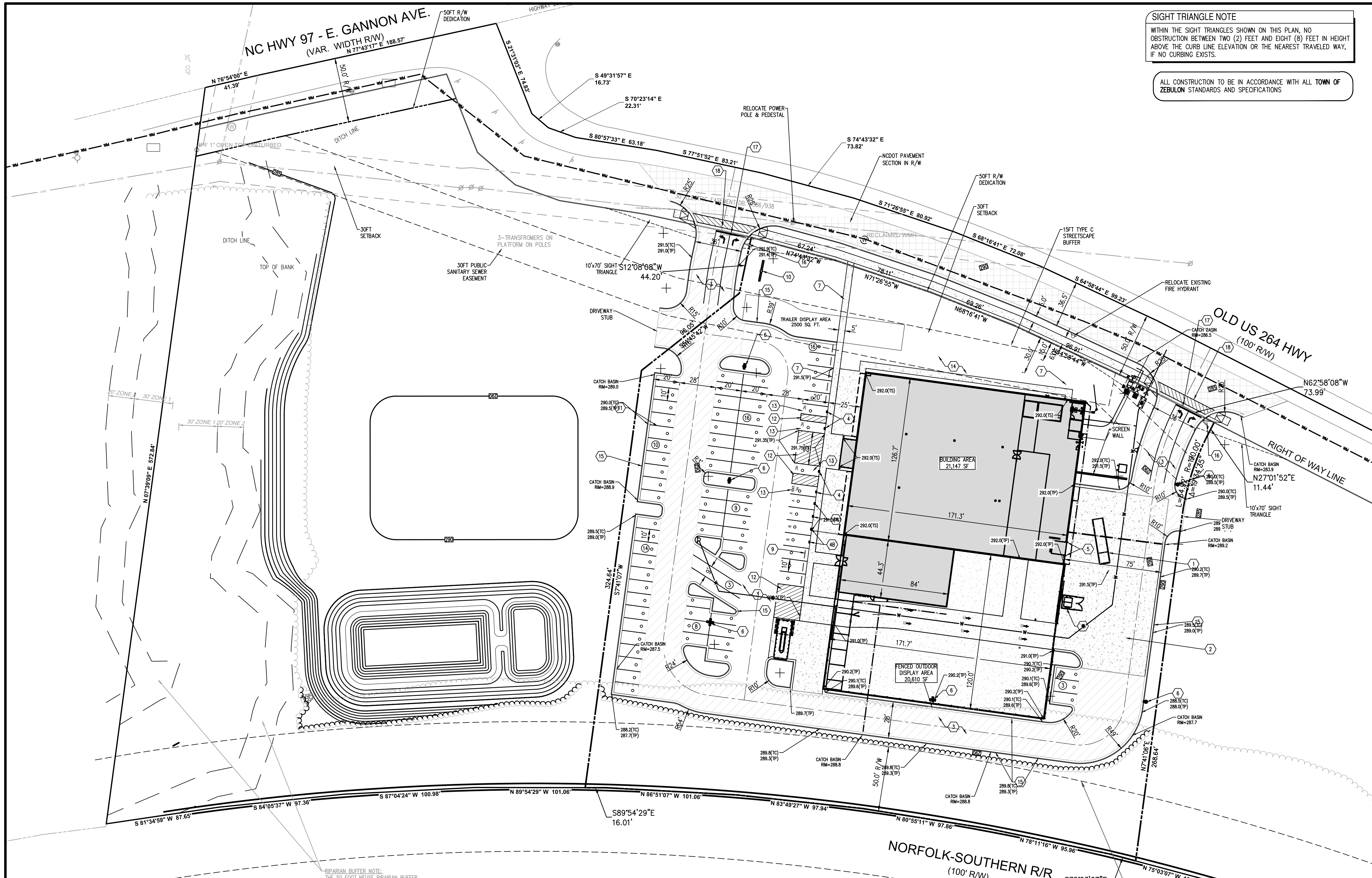
PRIMA  
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 DO NOT  
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PLAN STATUS  
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SHEET **C4.0**



**SIGHT TRIANGLE NOTE**  
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

**TRAFFIC CONTROL NOTES:**  
 THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10'-ON-CENTER IN RADI, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS

ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS.

MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

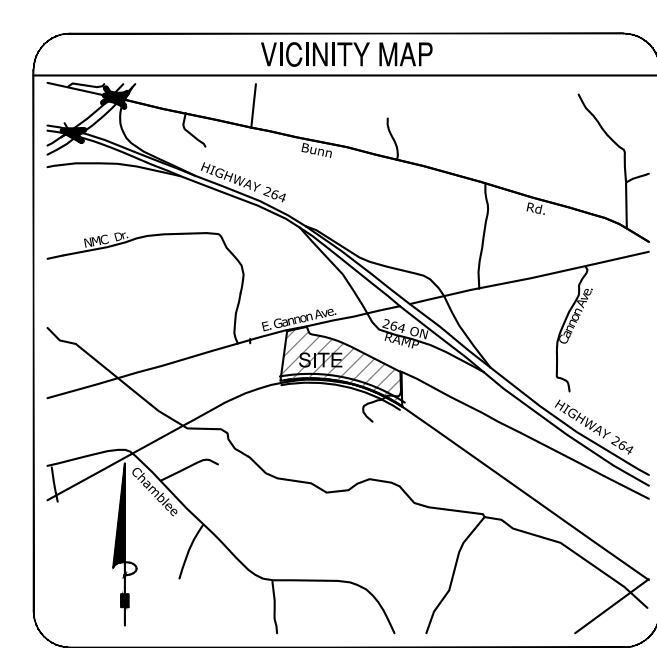
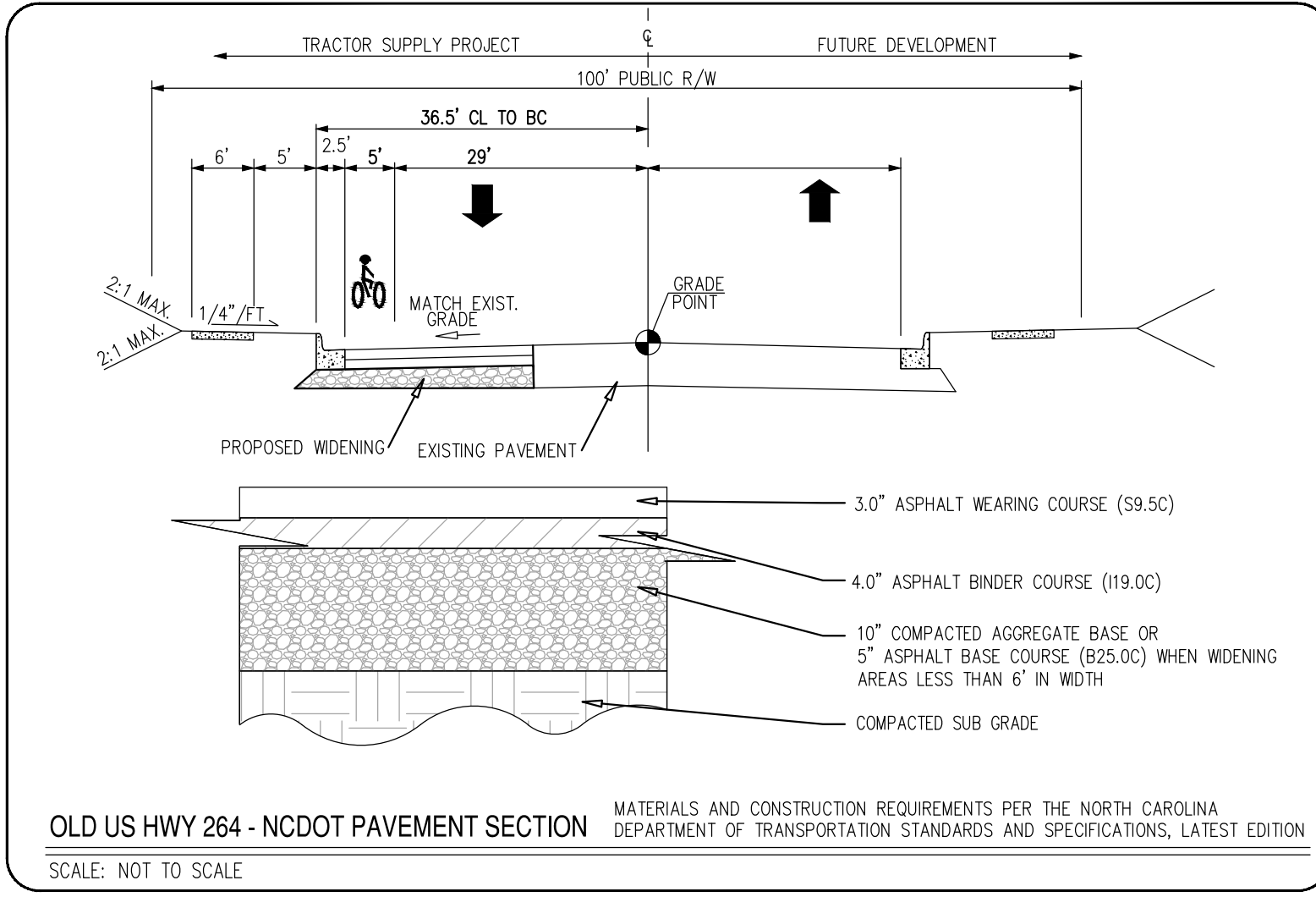
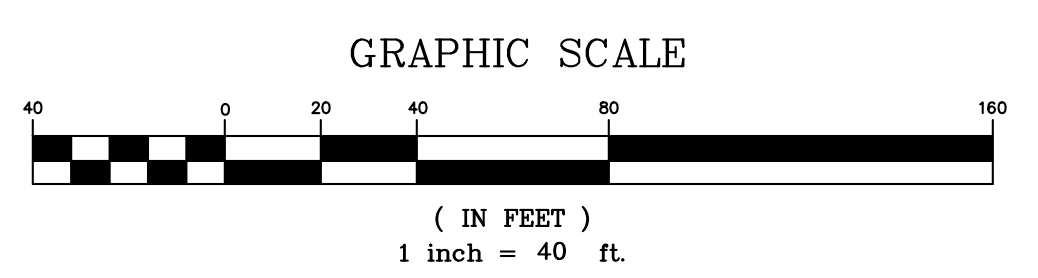
- NCDOT ROADWAY STANDARD DRAWINGS TO REFERENCE**
- 200.02 METHOD OF CLEARING - METHOD II
  - 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
  - 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
  - 840.71 CONCRETE AND BRICK PIPE PLUG
  - 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
  - 848.01 CONCRETE SIDEWALK
  - 848.05 WHEELCHAIR RAMP - CURB CUT
  - 852.01 CONCRETE ISLANDS
  - 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
  - 1101.01 WORK ZONE ADVANCE WARNING SIGNS
  - 1101.02 TEMPORARY LANE CLOSURES
  - 1101.04 TEMPORARY SHOULDER CLOSURES
  - 1101.05 WORK ZONE VEHICLE ACCESSSES
  - 1101.11 TRAFFIC CONTROL DESIGN TABLES
  - 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
  - 1115.01 FLASHING ARROW PANELS
  - 1130.01 DRUMS
  - 1135.01 CONES
  - 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
  - 1150.01 FLAGGERS
  - 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
  - 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
  - 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
  - 1205.05 PAVEMENT MARKINGS TURN LANES

**PAVEMENT MARKING SCHEDULE**

TA	WHITE EDGE LINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
TI	DOUBLE YELLOW CENTERLINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
TH	YELLOW LANE LINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
TD	3' WHITE MINI-SKIP LINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
TC	10' WHITE SKIP LINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
TE	WHITE SOLID LANE LINE (4", 90MIL)	NCDOT STD DETAIL 1205.01
UA	LEFT TURN LANE ARROW (90MIL)	NCDOT STD DETAIL 1205.08
UB	RIGHT TURN LANE ARROW (90MIL)	NCDOT STD DETAIL 1205.08
UC	STRAIGHT ARROW (90MIL)	NCDOT STD DETAIL 1205.08
UD	COMBO LEFT/STRAIGHT TURN LANE ARROW (90MIL)	NCDOT STD DETAIL 1205.08
UE	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90MIL)	NCDOT STD DETAIL 1205.08
TV	YELLOW DIAGONAL LINES (4", 90MIL)	NCDOT STD DETAIL 1205.09
TB	3' YELLOW MINI-SKIP LINES (4", 90MIL)	NCDOT STD DETAIL 1205.01
TF	YELLOW SKIP CENTER LINES (4", 90MIL)	NCDOT STD DETAIL 1205.01
T2	STOP BAR (24" 90MIL)	NCDOT STD DETAIL 1205.01
I	12" YIELD LINE SYMBOL (90MIL)	NCDOT STD DETAIL 1205.08 (THIS SHEET)

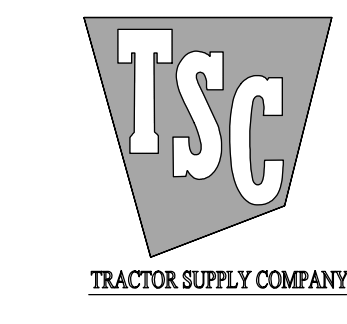
ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS

CONTRACTOR TO INSTALL MARKINGS PER NCDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.



**Bowman**

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**ROADWAY PLAN**  
 Tractor Supply  
 Old US Highway 264  
 Zebulon, NC Wake County

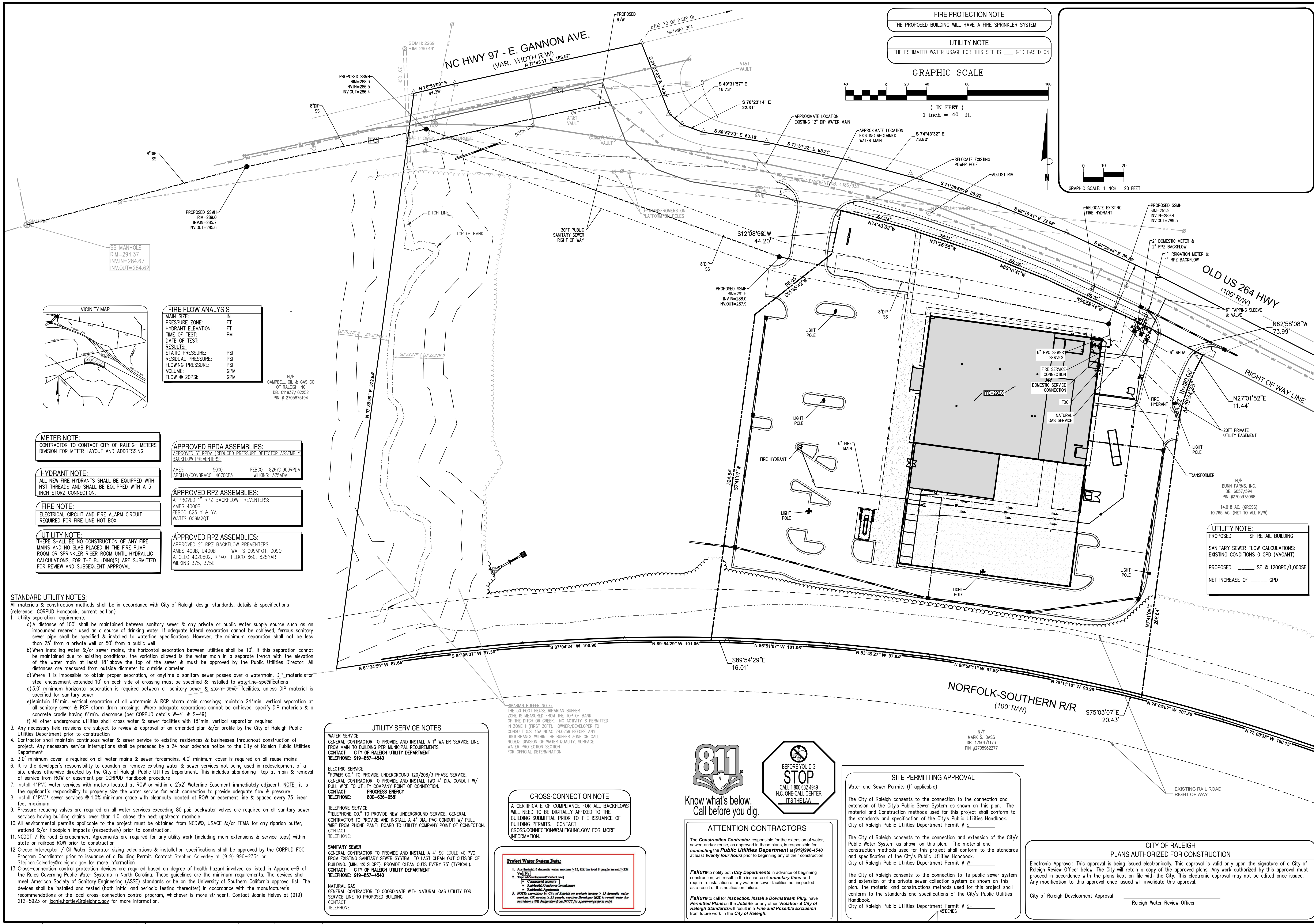
PRIMAX PROPERTIES, LLC

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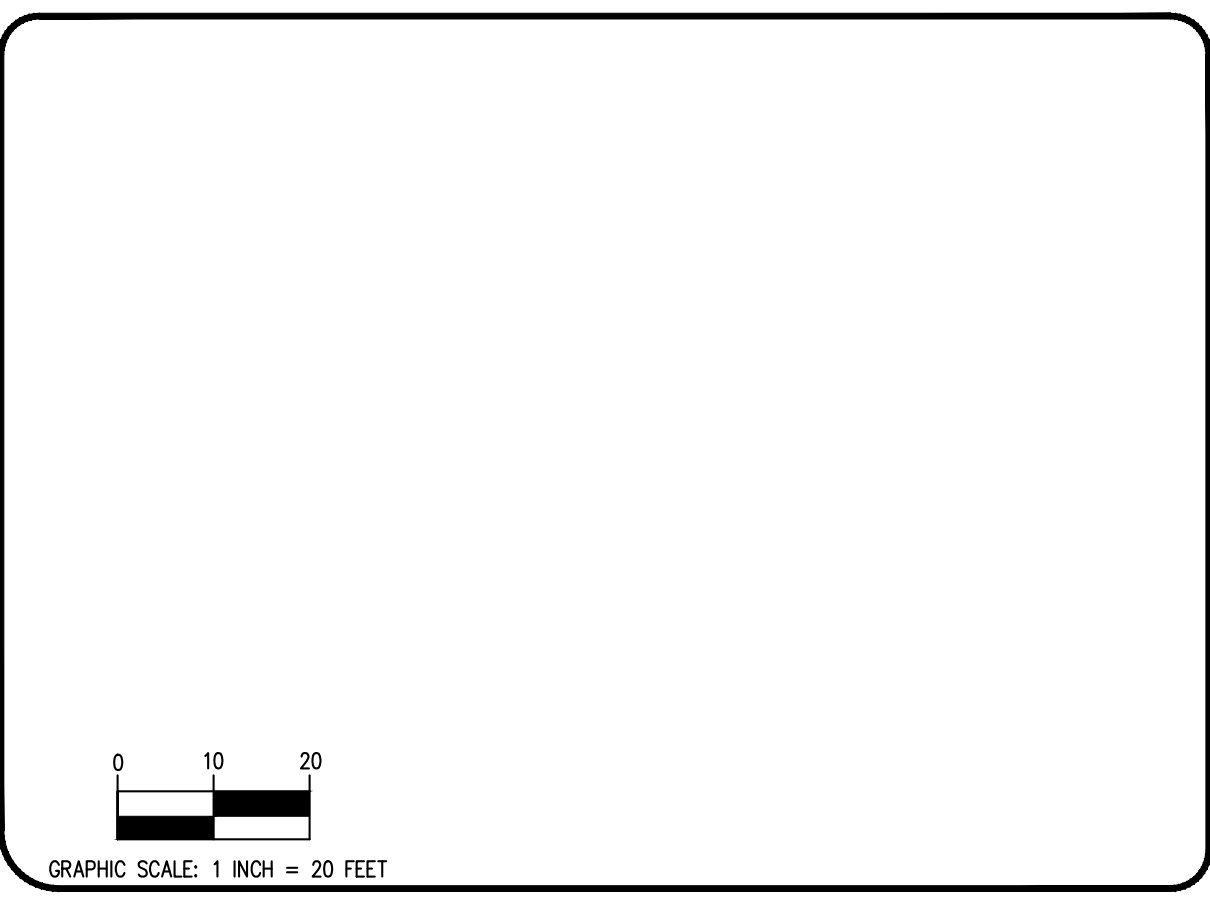
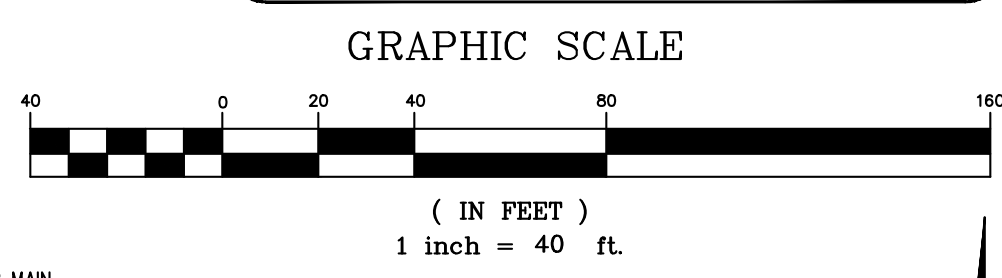
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SHEET **C4.1**



**FIRE PROTECTION NOTE**  
THE PROPOSED BUILDING WILL HAVE A FIRE SPRINKLER SYSTEM

**UTILITY NOTE**  
THE ESTIMATED WATER USAGE FOR THIS SITE IS \_\_\_\_\_ GPD BASED ON \_\_\_\_\_



**FIRE FLOW ANALYSIS**

MAIN SIZE: IN  
 PRESSURE ZONE: FT  
 HYDRANT ELEVATION: FT  
 TIME OF TEST: PM  
 DATE OF TEST: \_\_\_\_\_  
 RESULTS:  
 STATIC PRESSURE: PSI  
 RESIDUAL PRESSURE: PSI  
 FLOWING PRESSURE: PSI  
 VOLUME: GPM  
 FLOW @ 20FPS: GPM

**METER NOTE:**  
CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

**HYDRANT NOTE:**  
ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

**FIRE NOTE:**  
ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX.

**UTILITY NOTE:**  
THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL.

**APPROVED RPDA ASSEMBLIES:**  
APPROVED 6" RPDA (REDUCED PRESSURE DETECTOR ASSEMBLY) BACKFLOW PREVENTERS:  
AMES: 5000 FERC0: 826VD,909RPPDA  
APOLLO/CONBRACO: 4070CE3 WILKINS: 375ADA

**APPROVED RPZ ASSEMBLIES:**  
APPROVED 1" RPZ BACKFLOW PREVENTERS:  
AMES 4000B  
FERCO 825 Y & YA  
WATTS 009M2QT

**APPROVED RPZ ASSEMBLIES:**  
APPROVED 2" RPZ BACKFLOW PREVENTERS:  
AMES 400B WATTS 009M1QT, 009QT  
APOLLO 4020802, RP40 FERC0 860, 825YAR  
WILKINS 375, 375B

- STANDARD UTILITY NOTES:**  
All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
    - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
    - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
    - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
    - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
    - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
    - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
  - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
  - 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
  - Install 4" PVC water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
  - Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 feet maximum.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDOW, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
  - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or Stephen.Calverley@raleighnc.gov for more information.
  - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hevey at (919) 212-5923 or joanie.hevey@raleighnc.gov for more information.

**UTILITY SERVICE NOTES**

**WATER SERVICE**  
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.  
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT  
TELEPHONE: 919-957-4540

**ELECTRIC SERVICE**  
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.  
CONTACT: PROGRESS ENERGY  
TELEPHONE: 800-636-0581

**TELEPHONE SERVICE**  
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.  
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT  
TELEPHONE: 919-957-4540

**SANITARY SEWER**  
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).  
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT  
TELEPHONE: 919-957-4540

**NATURAL GAS**  
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.  
CONTACT: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**CROSS-CONNECTION NOTE**  
A CERTIFICATE OF COMPLIANCE FOR ALL BACKFLOWS WILL NEED TO BE DIGITALLY AFFIXED TO THE BUILDING SUBMITTAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

**Project Water System Data:**

- Any building domestic water service ≥ 1.5 OR less than 6 people served ≥ 250 GPD
- Any building domestic water service (select one)
  - Commercial projects
  - Residential projects
- Any building domestic water service (select one)
  - Residential projects
  - Commercial projects

NOTE: Approved by City of Raleigh on projects having ≥ 15 domestic water service OR serving ≥ 25 people, require Designer 3022 to install water for meter from a PUC disconnection from WCCPC (for apartment projects only)



Know what's below.  
Call before you dig.

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.

**Failure** to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines** and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

**Failure** to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

**SITE PERMITTING APPROVAL**  
Water and Sewer Permits (if applicable).

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

**CITY OF RALEIGH**  
PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
Raleigh Water Review Officer \_\_\_\_\_

**Bowman**

Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)959-6570  
bowman.com

**TSC**  
TRACTOR SUPPLY COMPANY

**UTILITY PLAN**  
Tractor Supply  
Old US Highway 264  
Zebulon, NC Wake County

**PRIMA**  
PROPERTIES, LLC

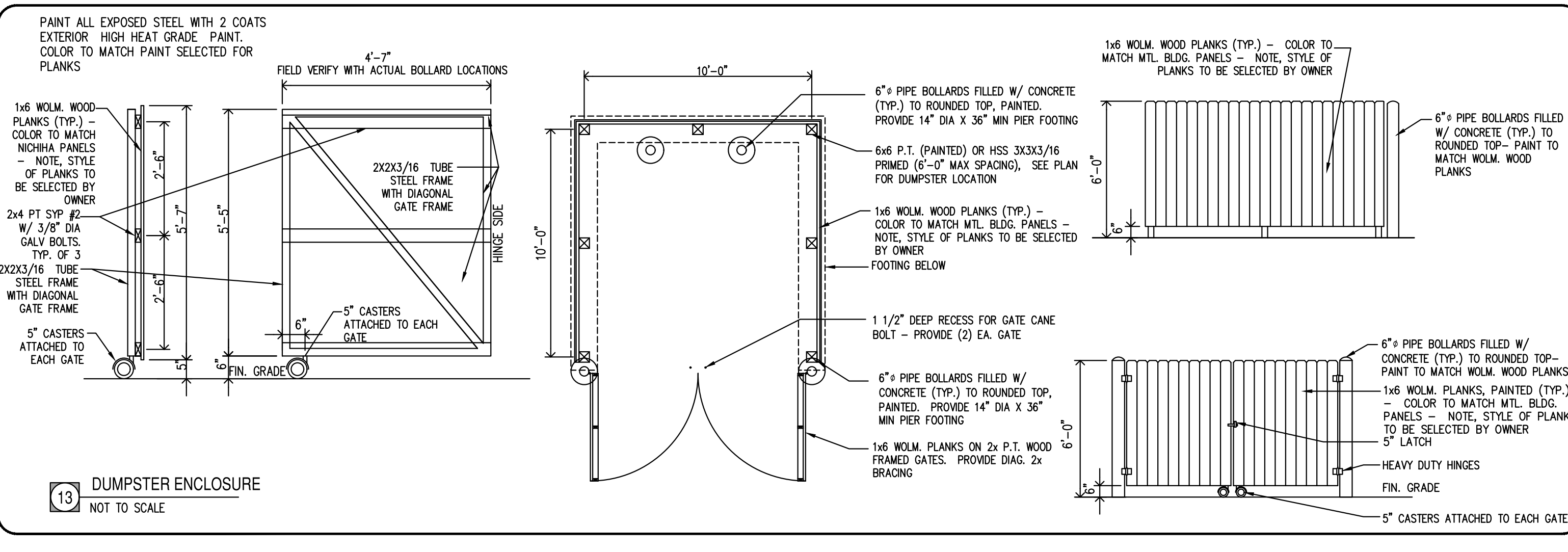
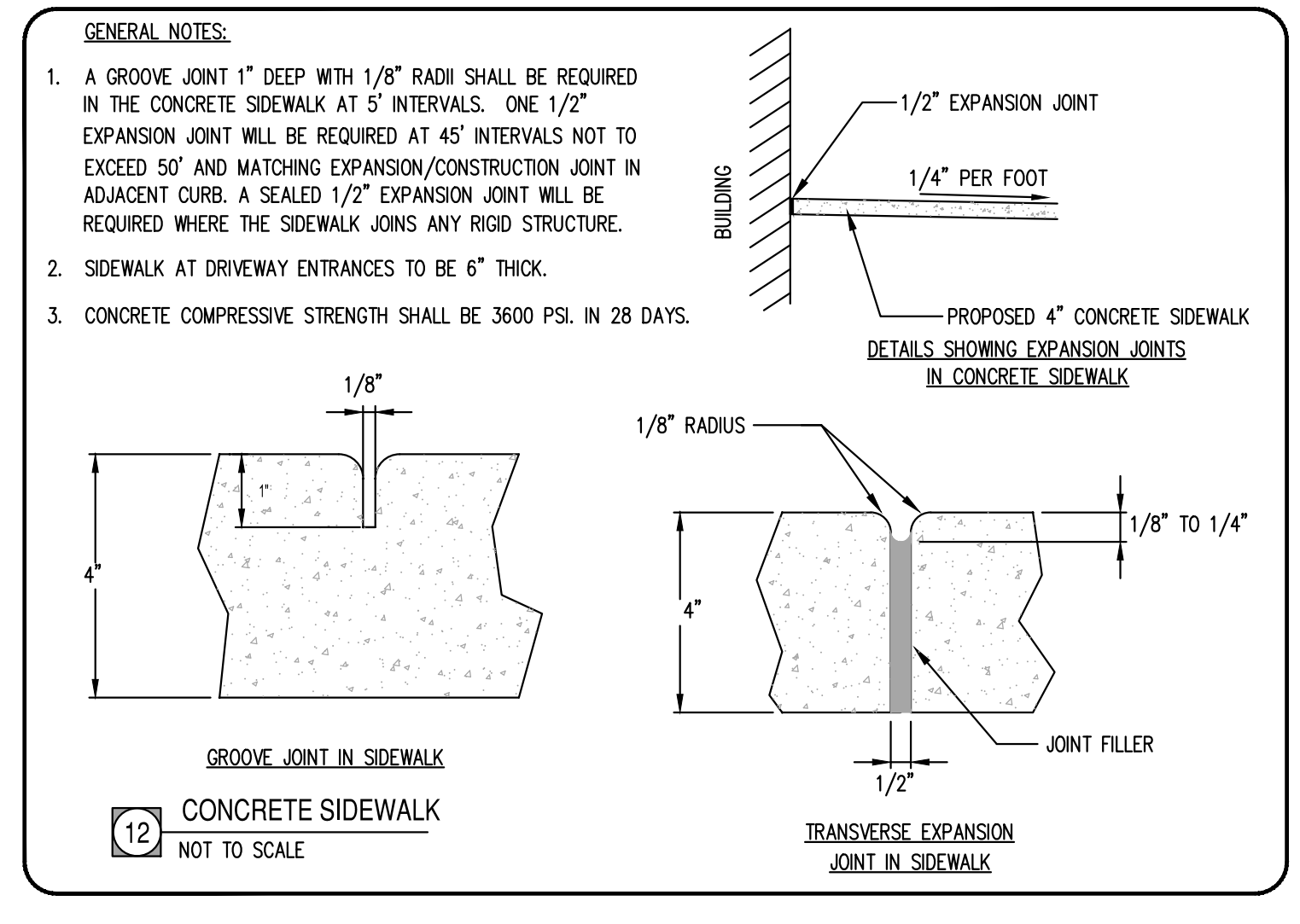
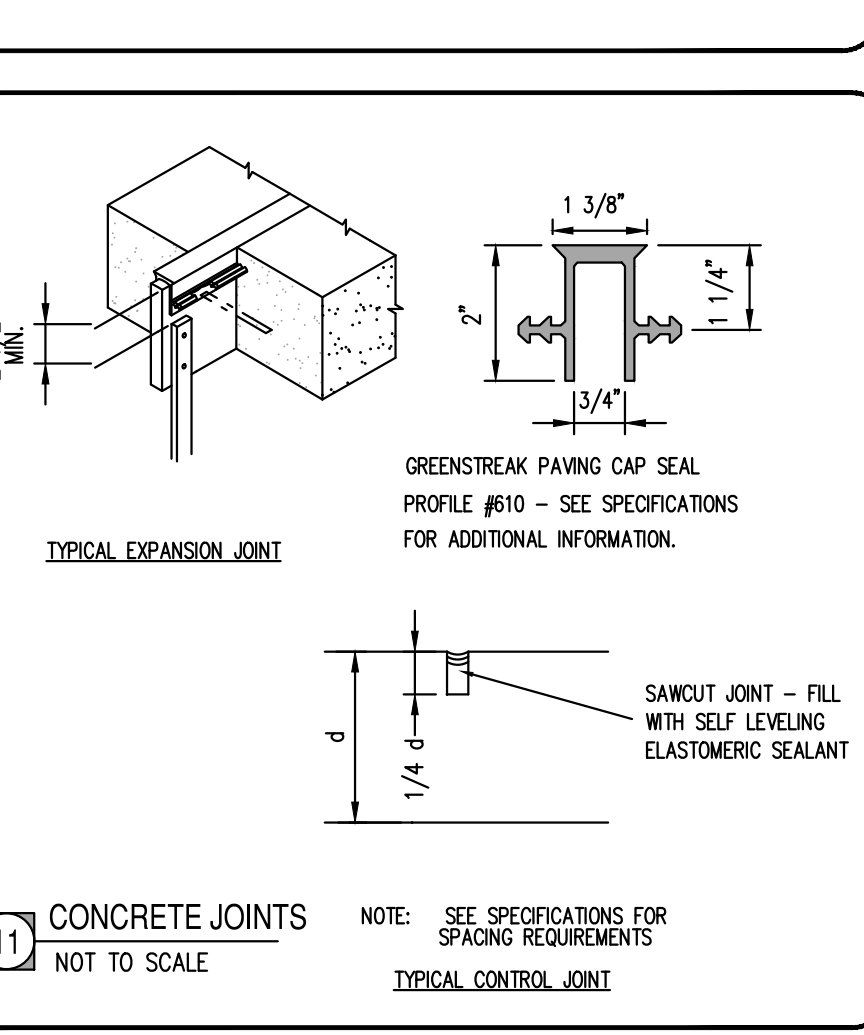
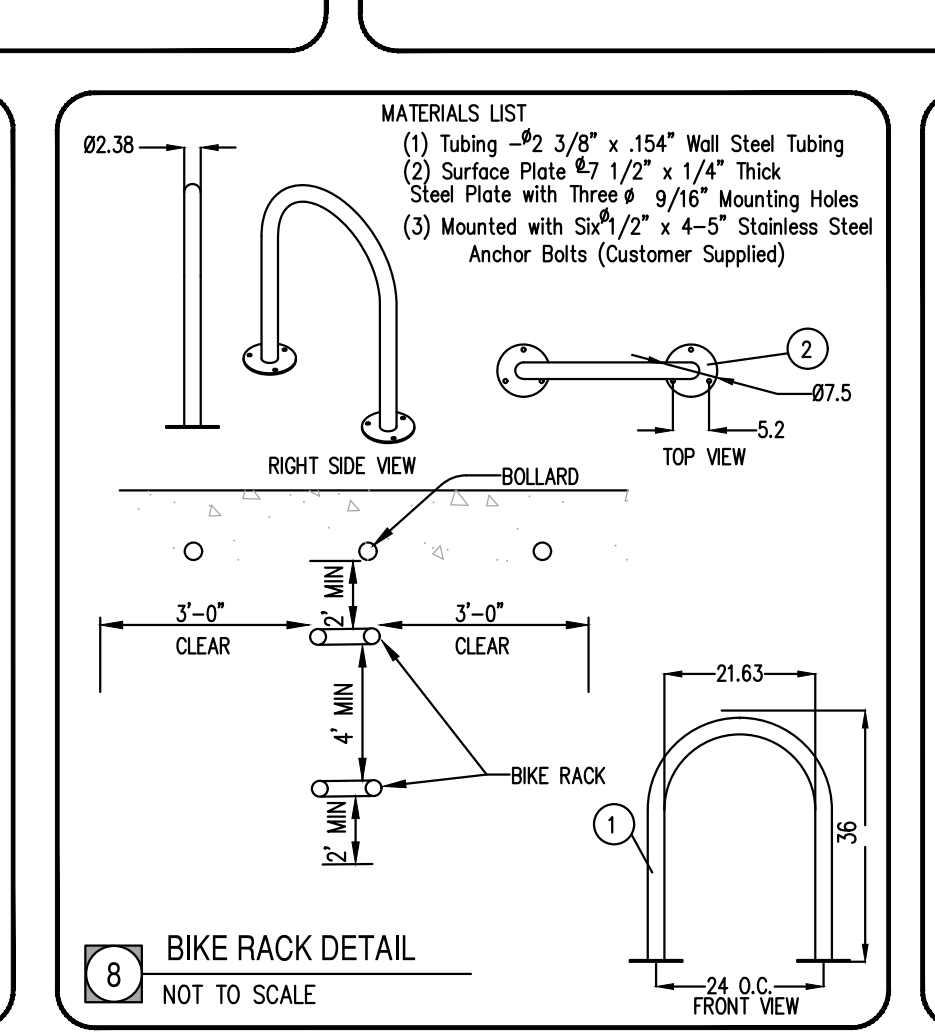
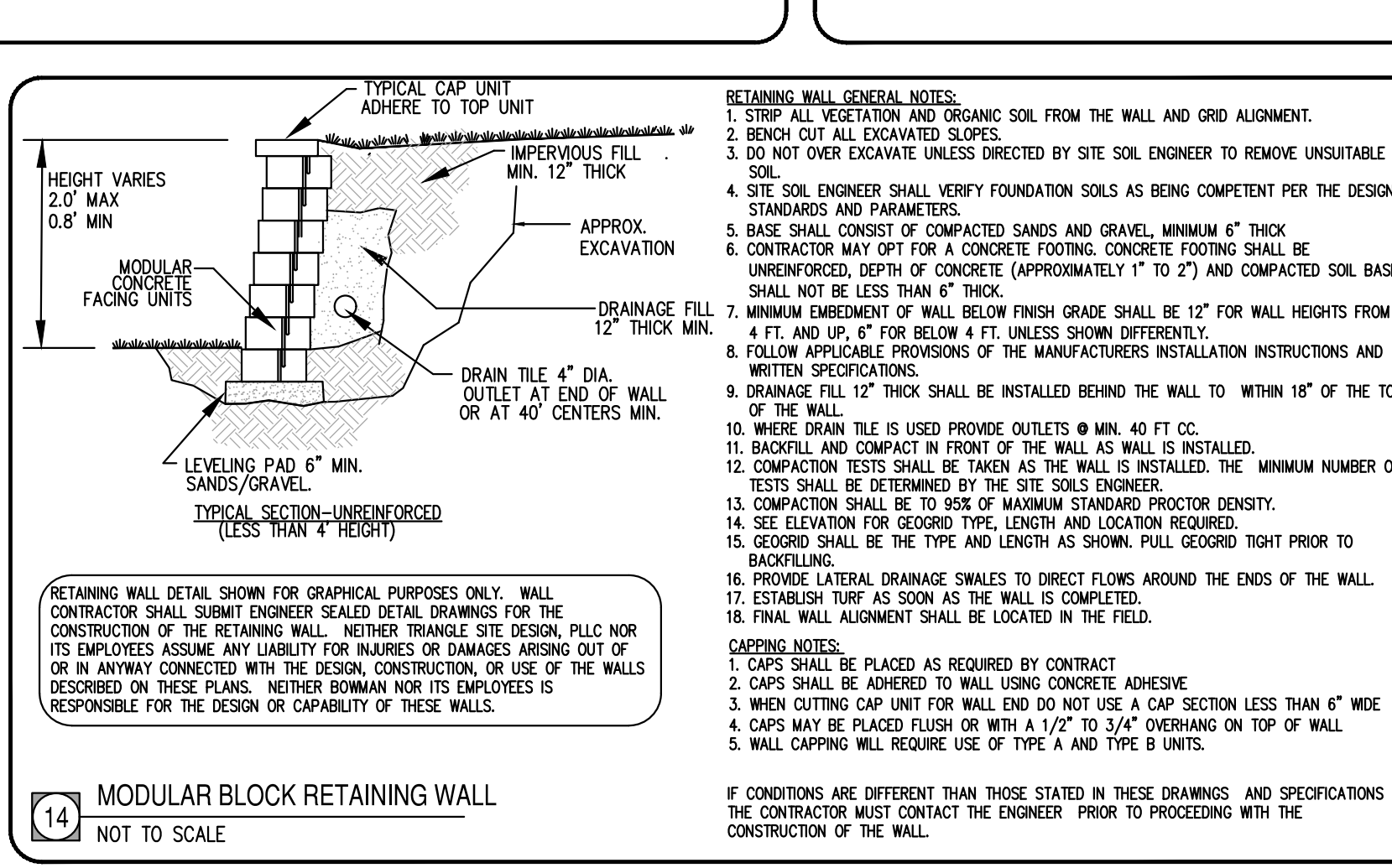
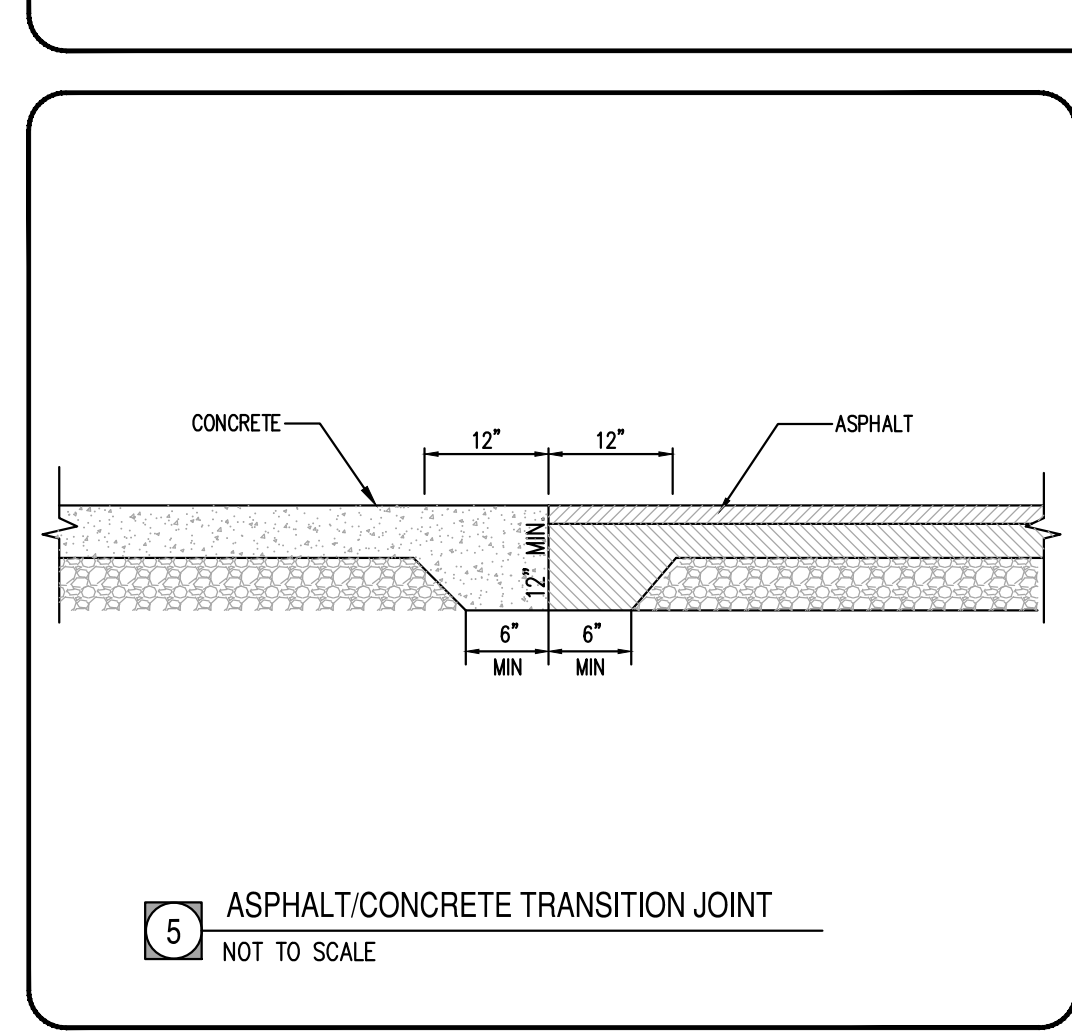
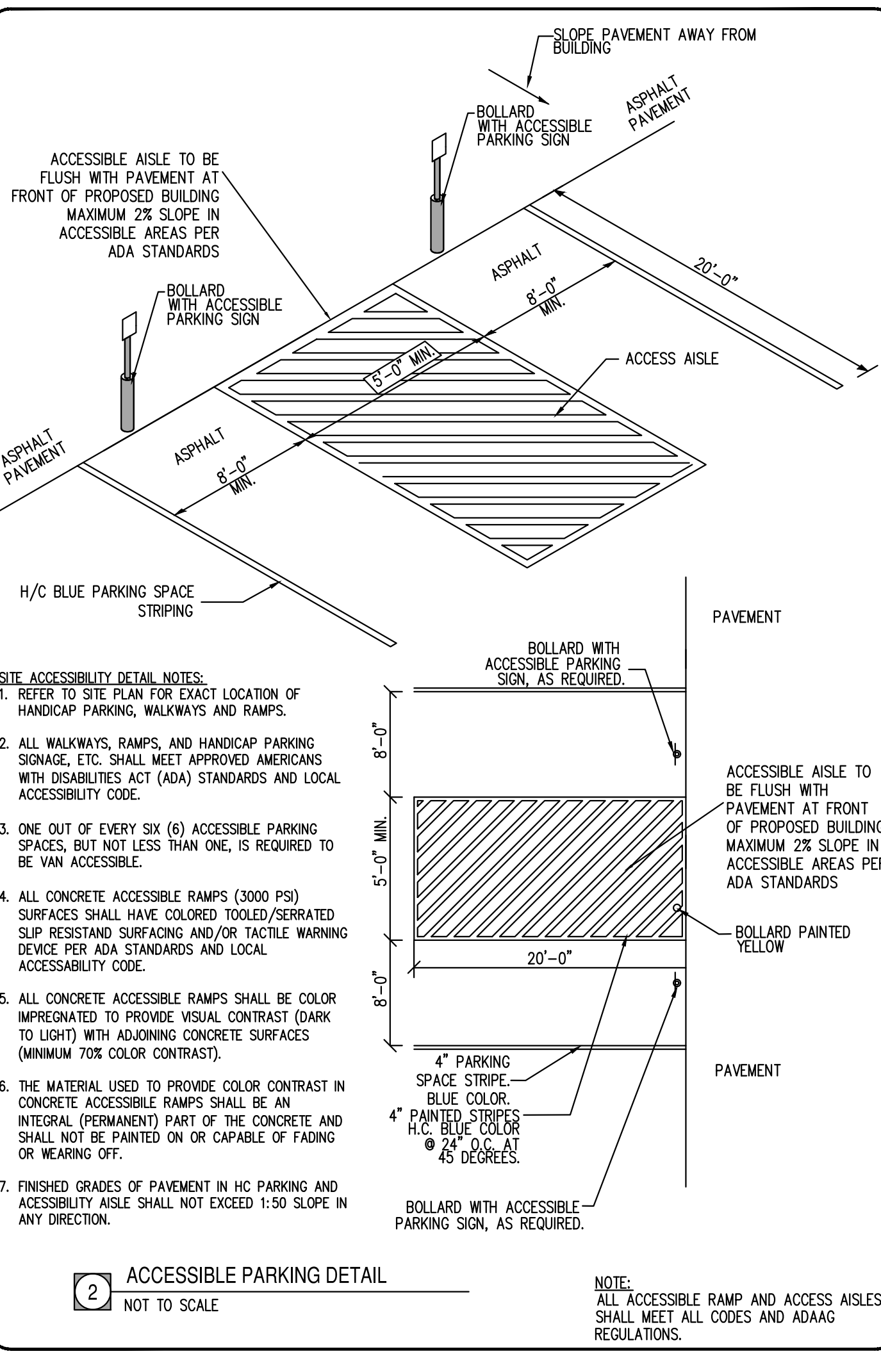
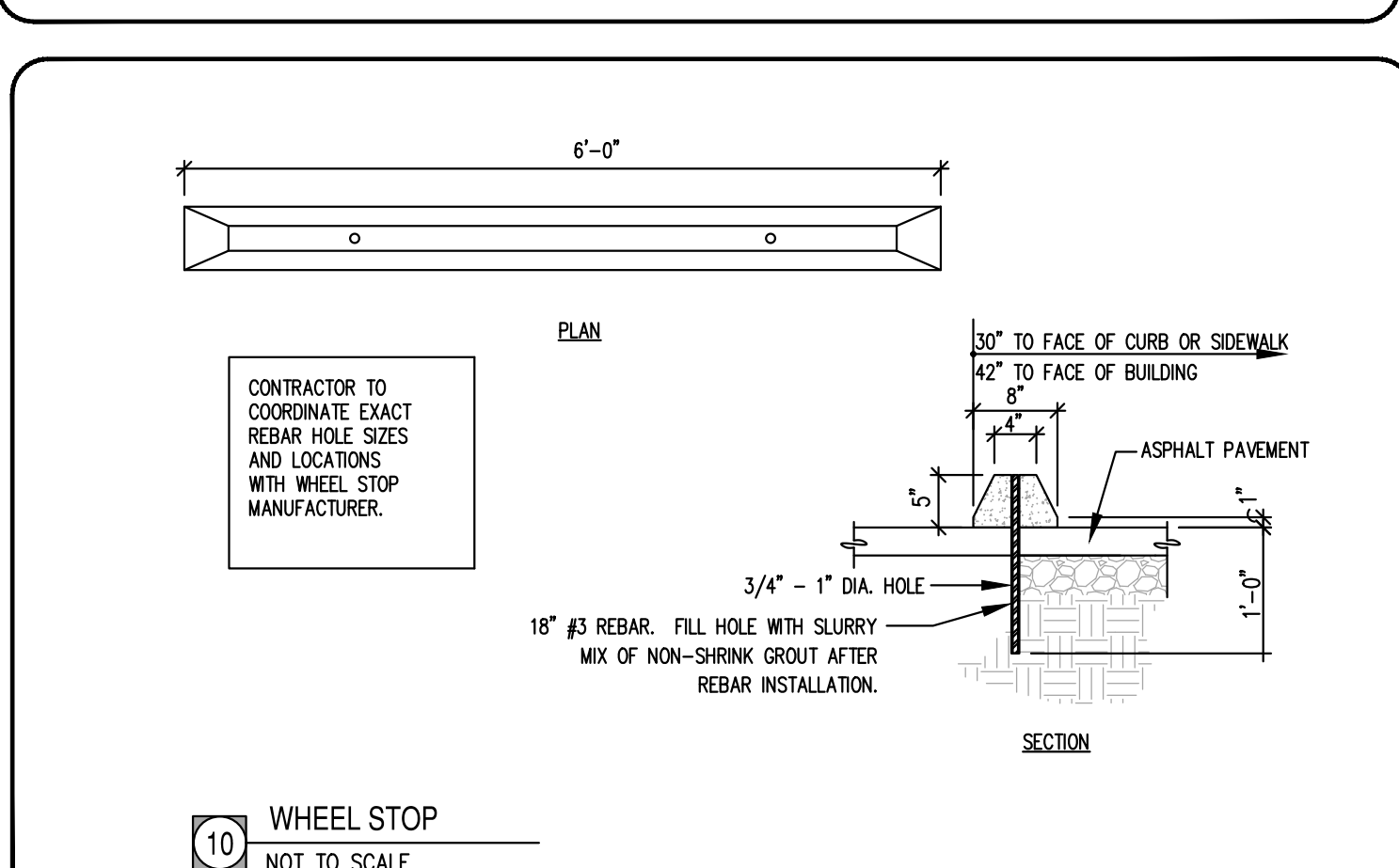
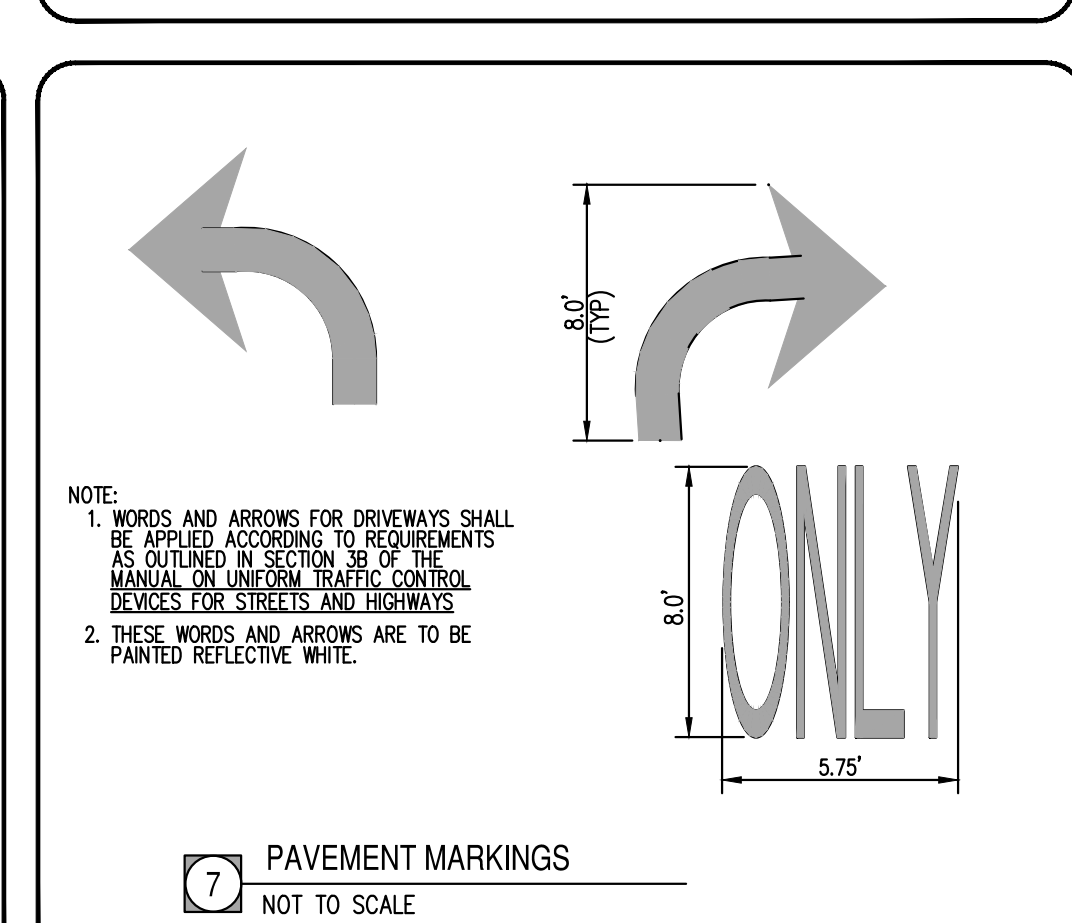
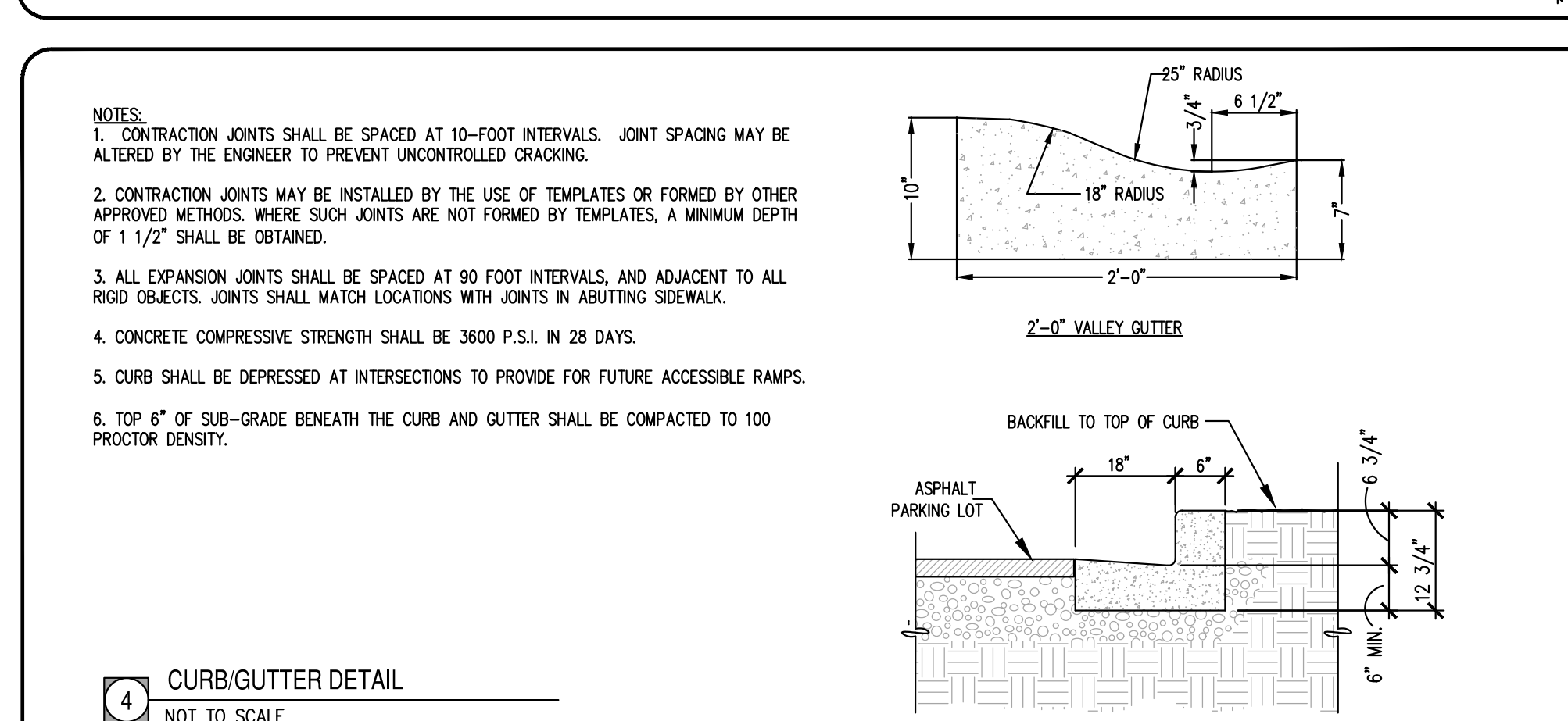
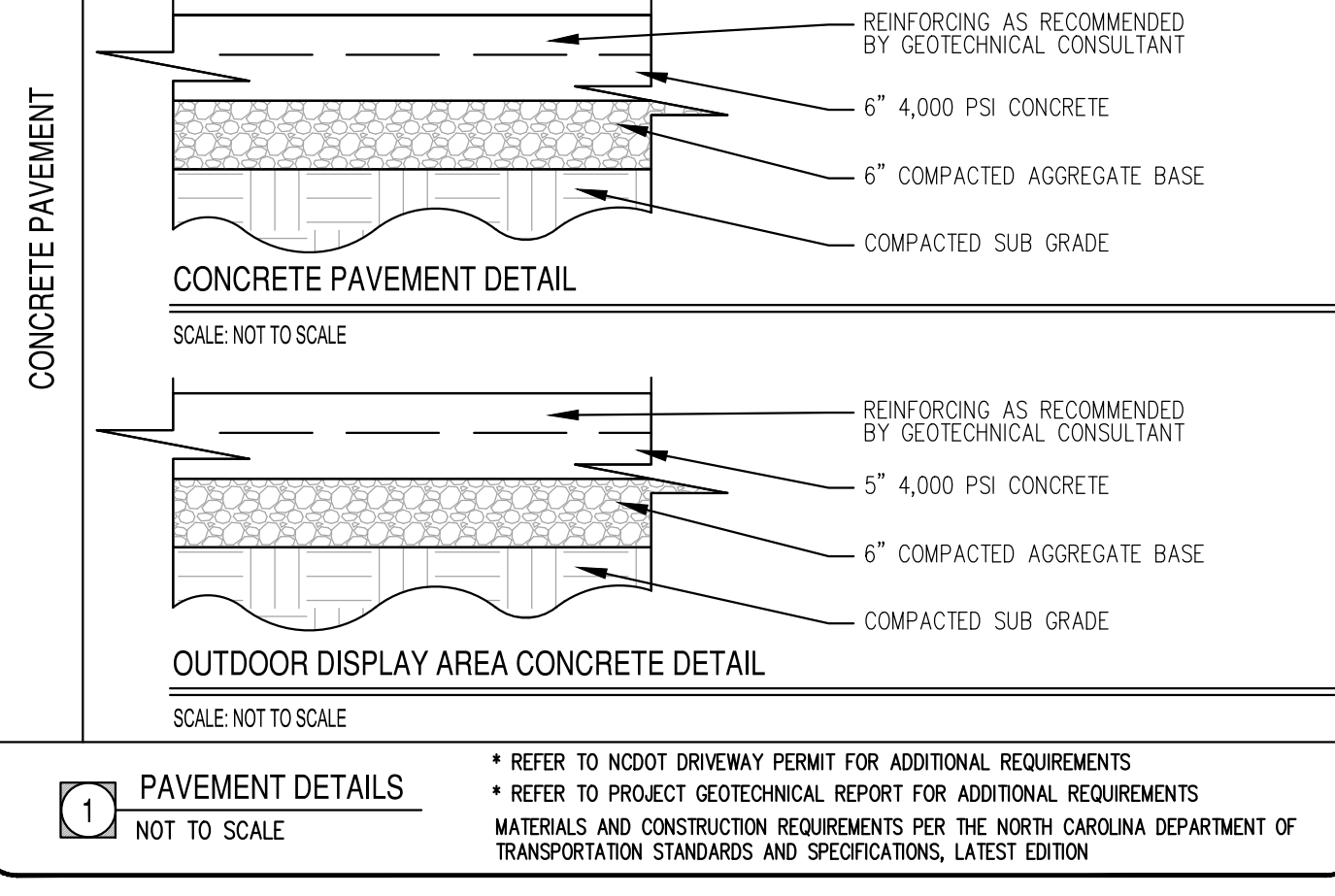
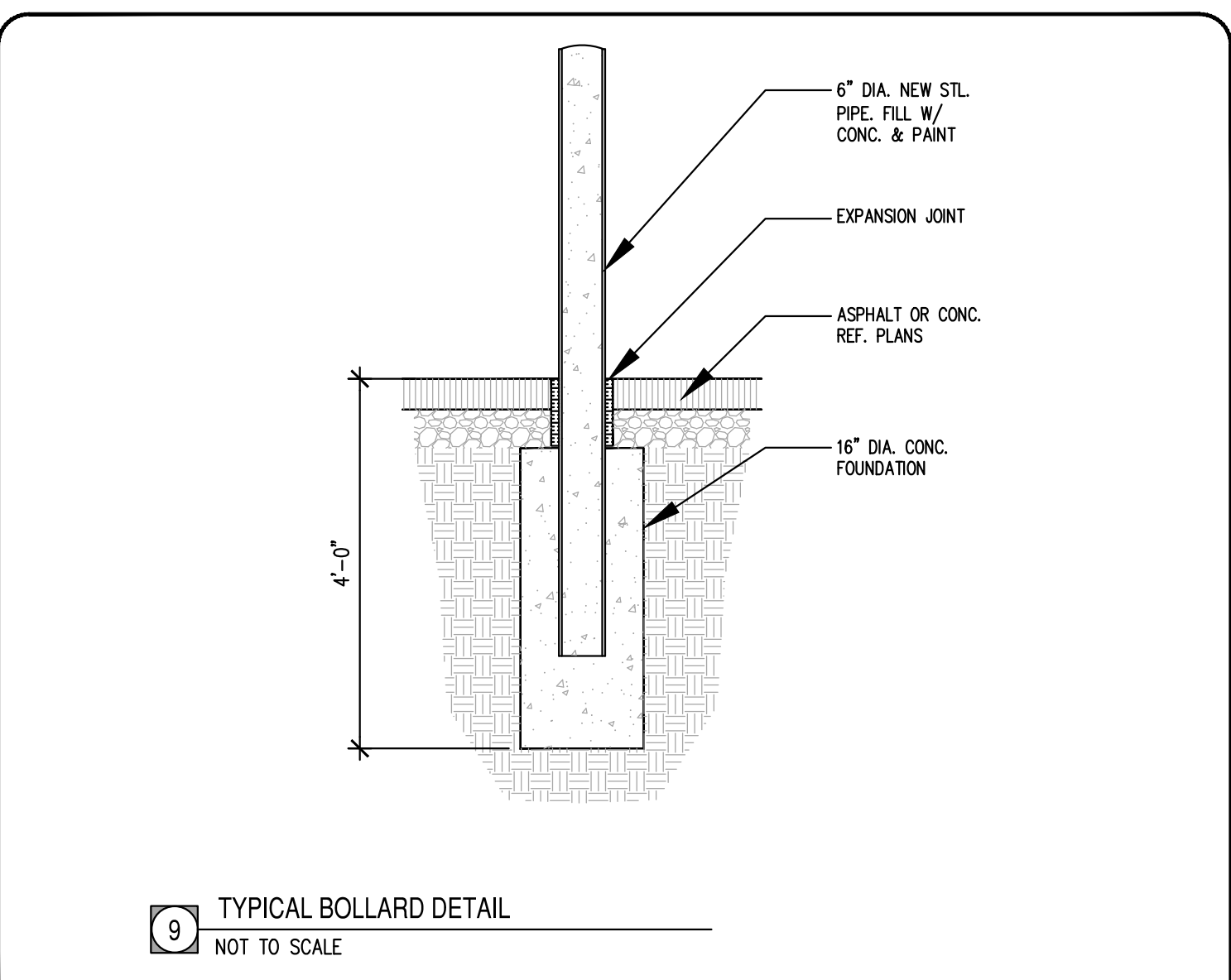
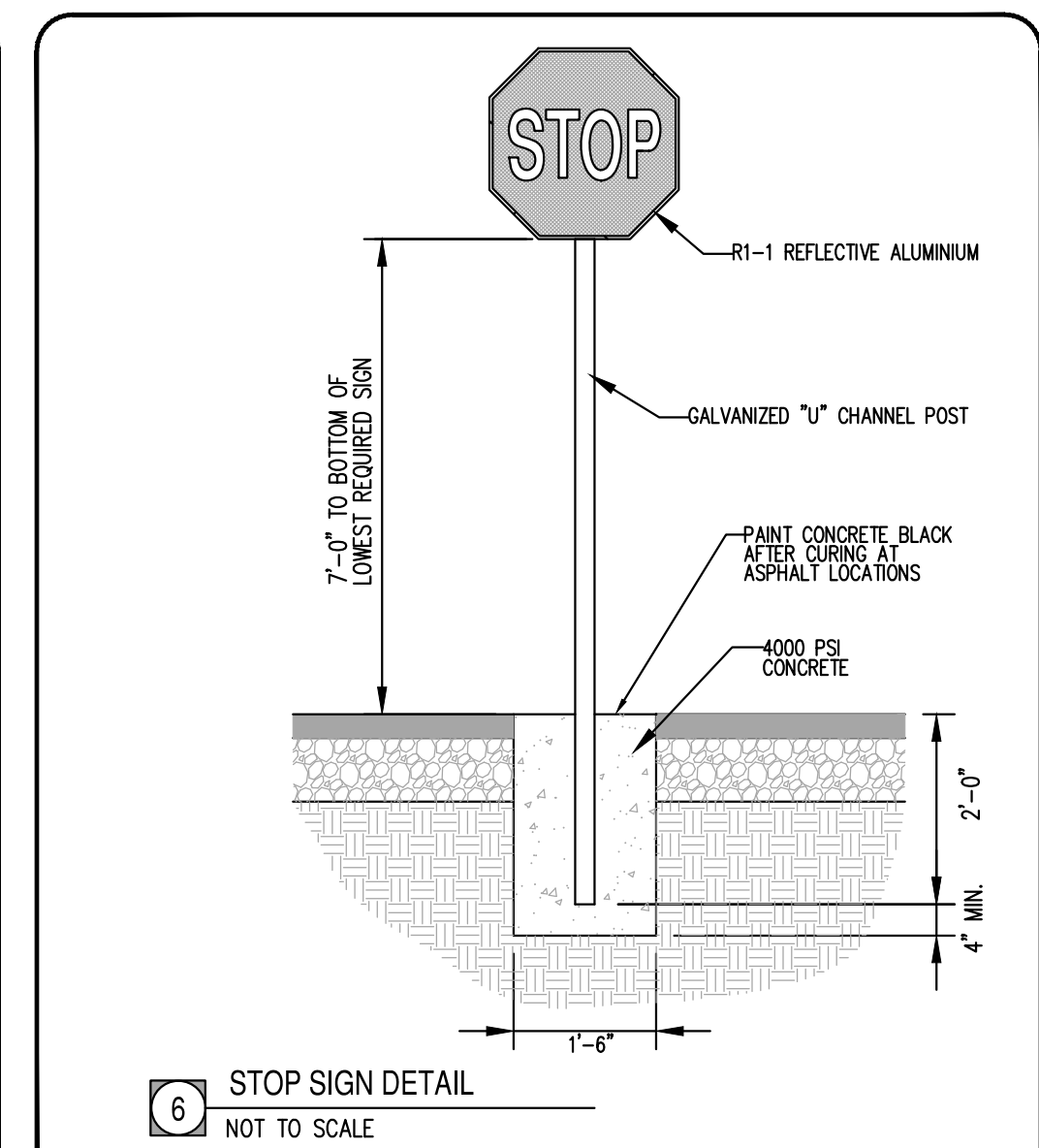
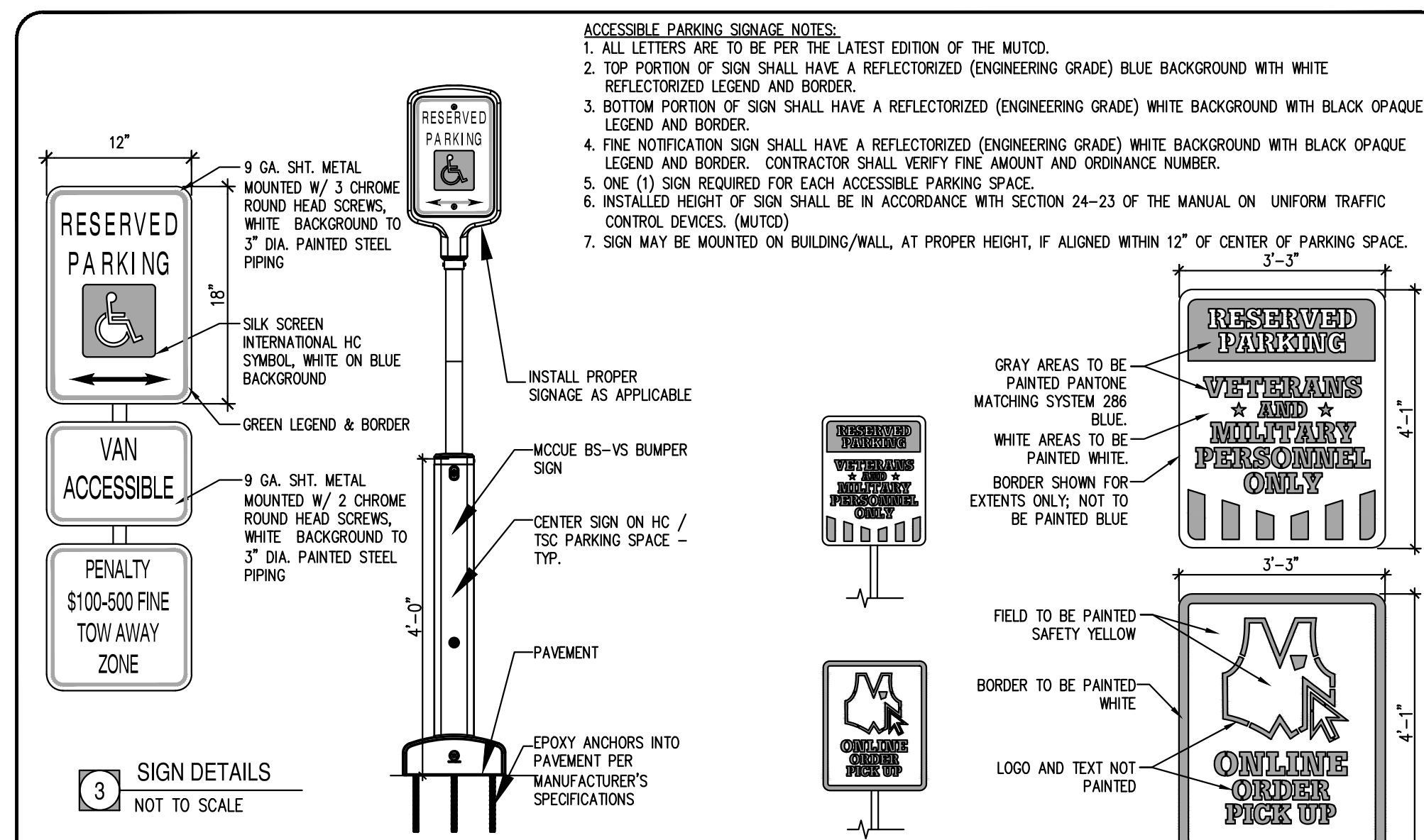
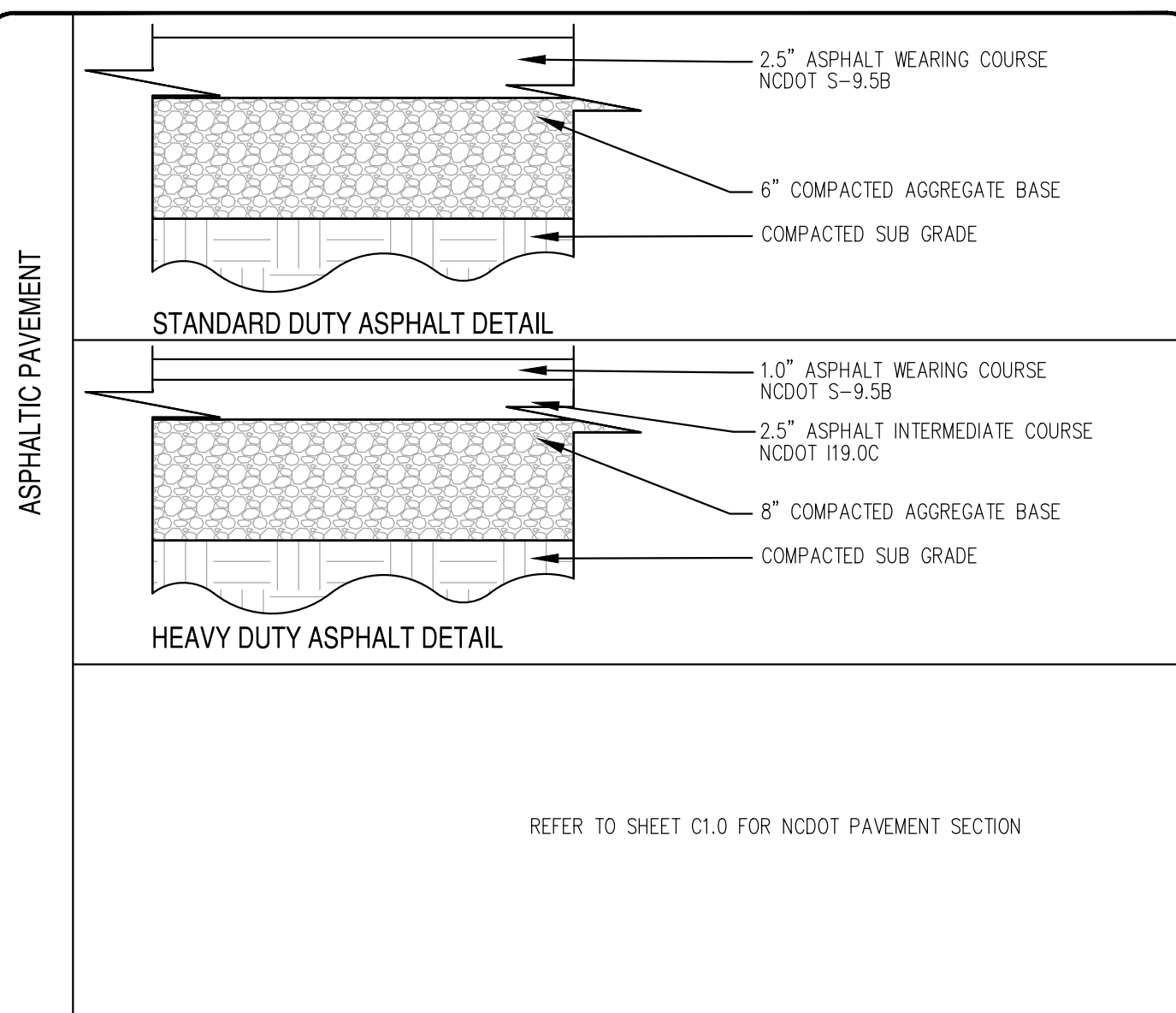
PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

DATE	DESCRIPTION
5/26/22	1ST SUBMISSION

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
SCALE	XXX CHKD
	H: 1" = XXX'
	V: 1" = XXX'

JOB No. 220127-01-001  
DATE May 26, 2022  
FILE No. 220127-D-CP-001

SHEET **C5.0**



# Bowman

4006 BARRETT DR. Suite 104 RALEIGH, NC 27609  
Phone: (919)559-6570  
bowman.com

**TSC**  
TRACTOR SUPPLY COMPANY

**CONSTRUCTION DETAILS**  
Tractor Supply  
Old US Highway 264  
Zebulon, NC Wake County

**PRIMA**  
PROPERTIES, LLC

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

PLAN STATUS		
5/26/22	1ST SUBMISSION	
DATE	DESCRIPTION	
MEL DESIGN	MEL DRAWN	XXX CHKD
SCALE	H: NA	V: NA
JOB No.	220127-01-001	
DATE	May 26, 2022	
FILE No.	220127-D-CP-001	

SHEET **C6.2**

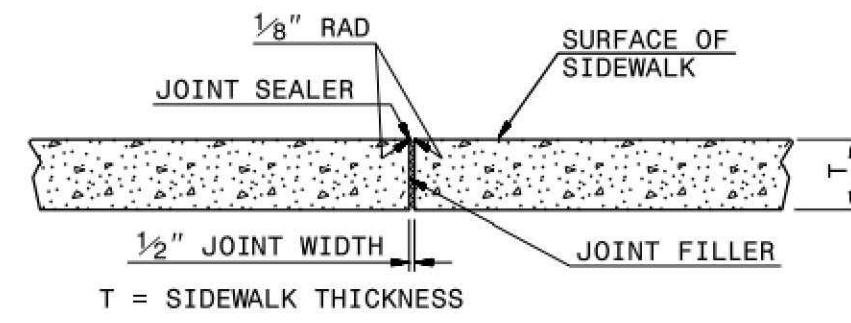


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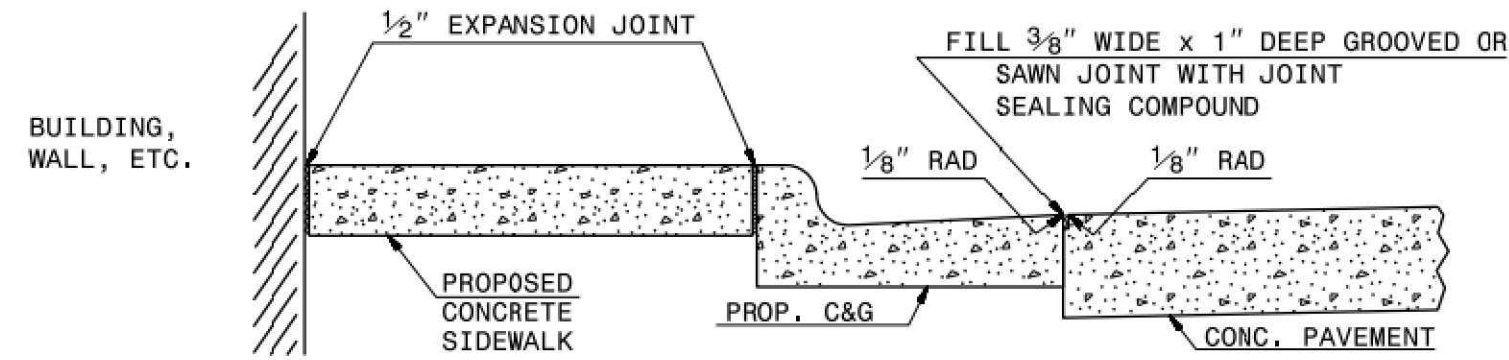
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.

PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

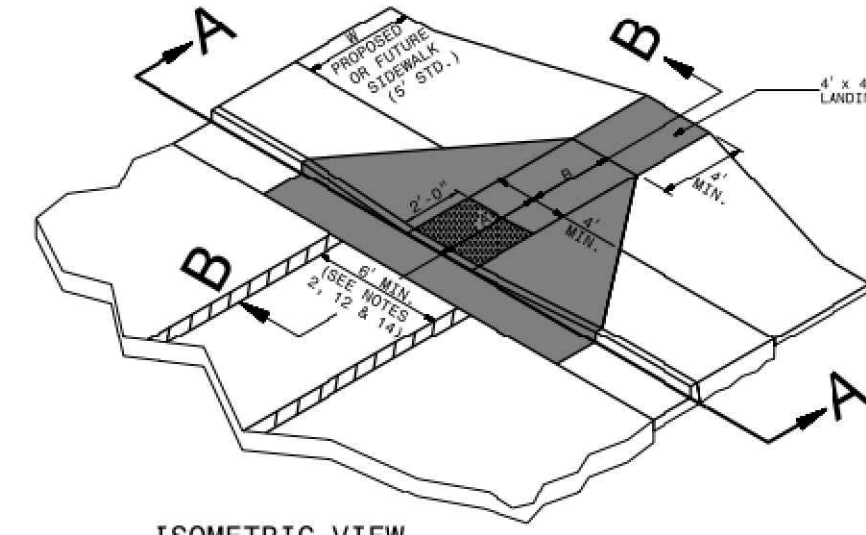
SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



TRANSVERSE EXPANSION JOINT IN SIDEWALK



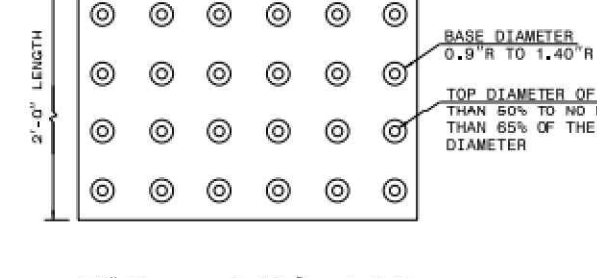
DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK



ISOMETRIC VIEW

NOTES:  
1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.  
2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.

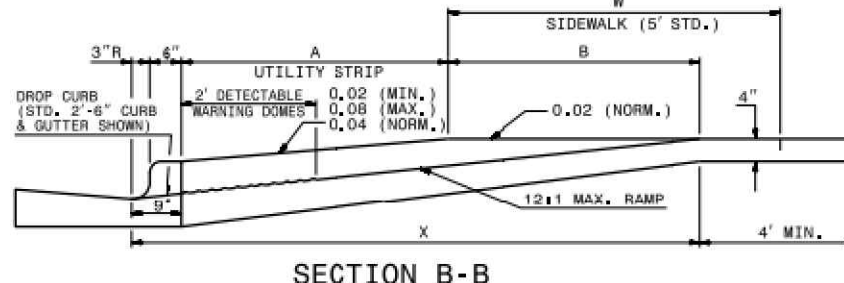
RAMP WIDTH AREA IS VARIABLE



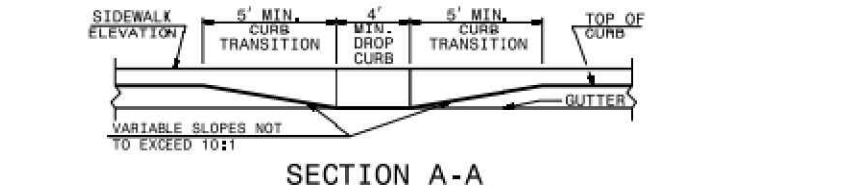
DETECTABLE WARNING DOMES

B	A	W/A-D*	X	R
4.0	5.0	1.6	2.3	3.0
5.0	6.0	1.6	2.3	3.0
6.0	7.0	1.6	2.3	3.0
7.0	8.0	1.6	2.3	3.0
8.0	9.0	1.6	2.3	3.0
9.0	10.0	1.6	2.3	3.0
10.0	11.0	1.6	2.3	3.0
11.0	12.0	1.6	2.3	3.0
12.0	13.0	1.6	2.3	3.0
13.0	14.0	1.6	2.3	3.0
14.0	15.0	1.6	2.3	3.0
15.0	16.0	1.6	2.3	3.0
16.0	17.0	1.6	2.3	3.0
17.0	18.0	1.6	2.3	3.0
18.0	19.0	1.6	2.3	3.0
19.0	20.0	1.6	2.3	3.0

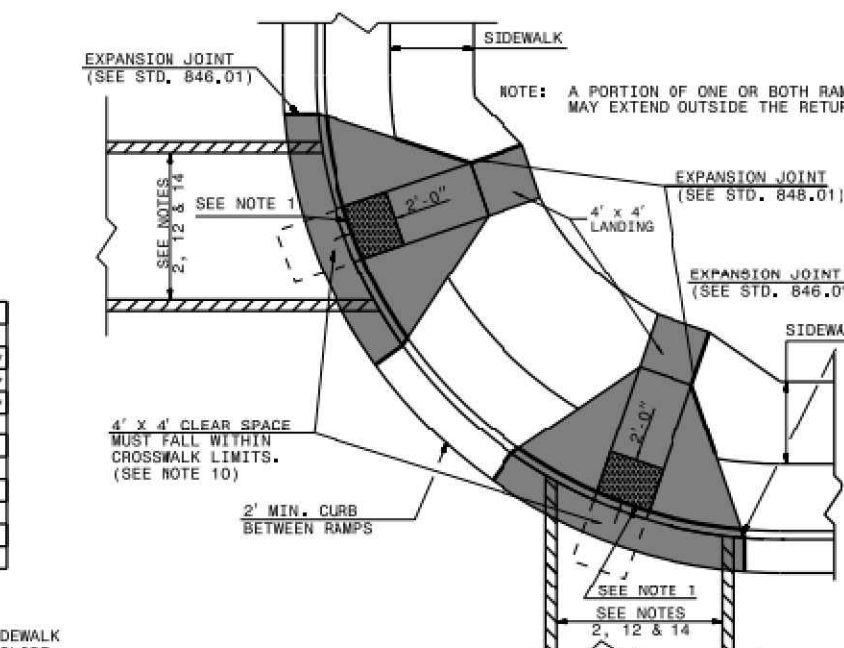
B = X(A+9)  
B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12% (0.20) SLOPE.  
\* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.  
\*\* BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.



SECTION B-B



SECTION A-A



PLAN VIEW

DUAL RAMP ANY RADII (4' MIN. FLOOR WIDTH)

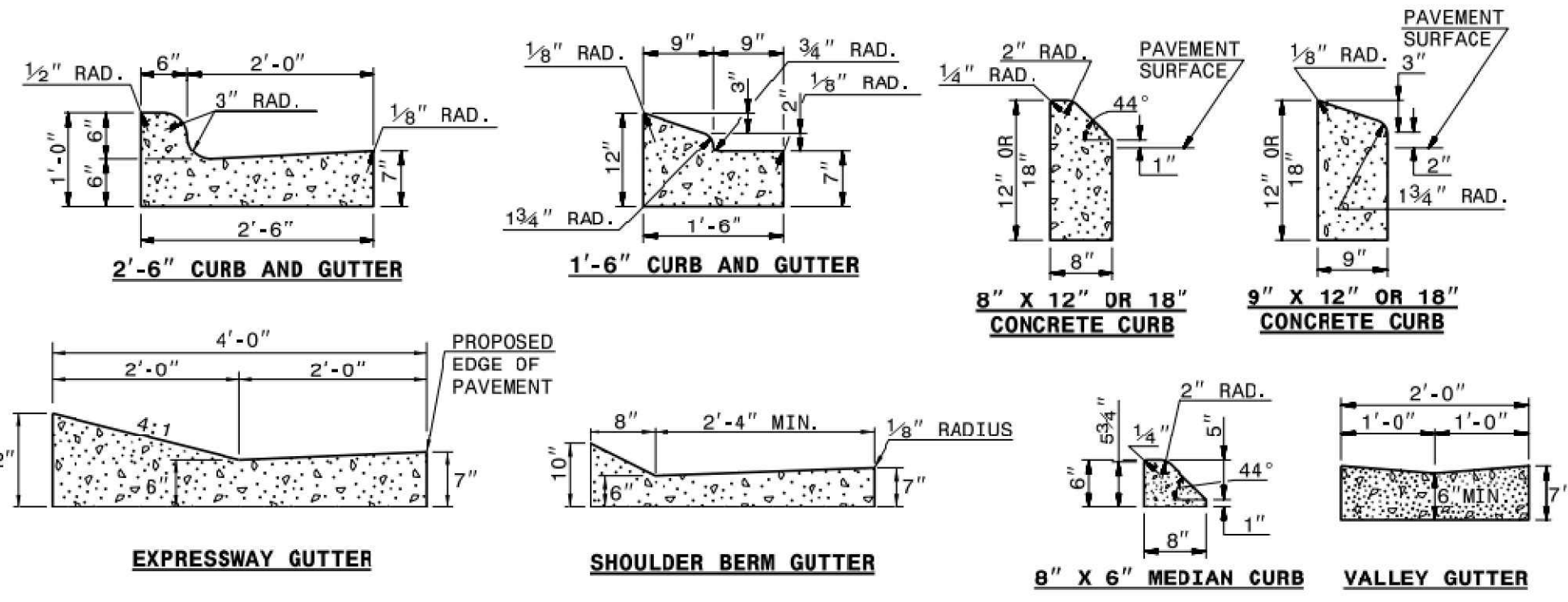
1-1B STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
ROADWAY STANDARD DRAWING FOR CONCRETE SIDEWALK  
SHEET 1 OF 3  
848.01

1-1B STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 1 OF 3  
848.05

NOTES:

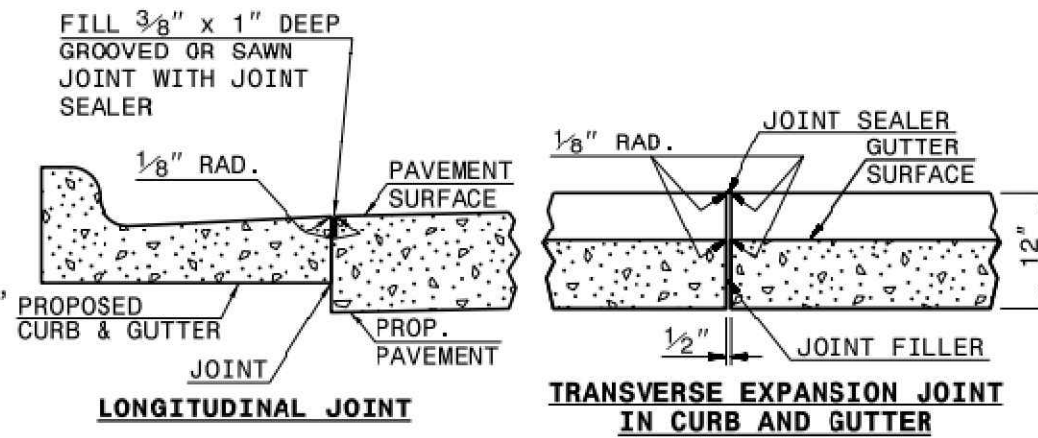
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
- LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
- COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
- SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
- REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
- TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN SIDEWALK.
- CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
- CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
- ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
- CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
- CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
- CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
- SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMPS, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
- CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
- PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
- PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
- CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

1-1B STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
ROADWAY STANDARD DRAWING FOR CURB RAMPS NOTES  
SHEET 3 OF 3  
848.05



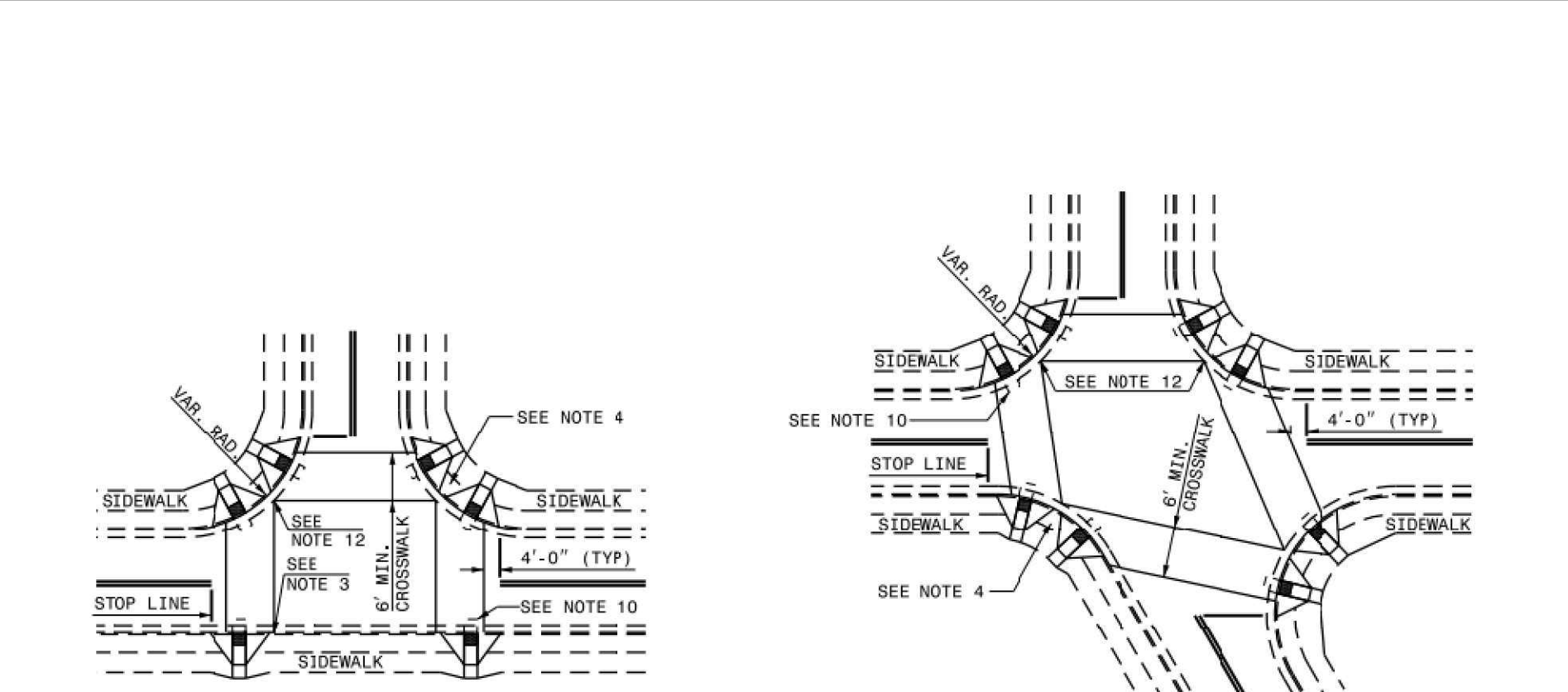
SECTION VIEW OF CURBS OR CURBS AND GUTTERS

GENERAL NOTES:  
-PLACE CONTRACTION JOINTS AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.  
-JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.  
-CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS.  
-CONSTRUCT NON-TEMPLATE FORMED JOINTS A MIN. OF 1 1/2" DEEP. WITH JOINT FILLER AND SEALER.  
-SPACE EXPANSION JOINTS AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

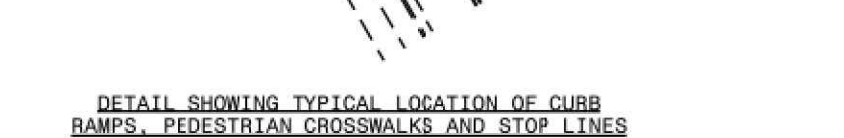


SECTION VIEW OF JOINTS

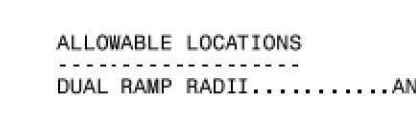
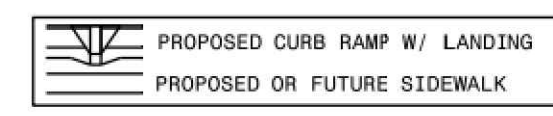
1-1B STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
ROADWAY STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER  
SHEET 1 OF 3  
846.01



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMPS, PEDESTRIAN CROSSWALKS AND STOP LINES FOR TEE INTERSECTIONS



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMPS, PEDESTRIAN CROSSWALKS AND STOP LINES



1-1B STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 2 OF 3  
848.05



Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)553-6570  
bowman.com  
Bowman North Carolina Ltd.



CONSTRUCTION DETAILS  
Tractor Supply  
Old US Highway 264  
Zebulon, NC Wake County

PRIMAX PROPERTIES, LLC

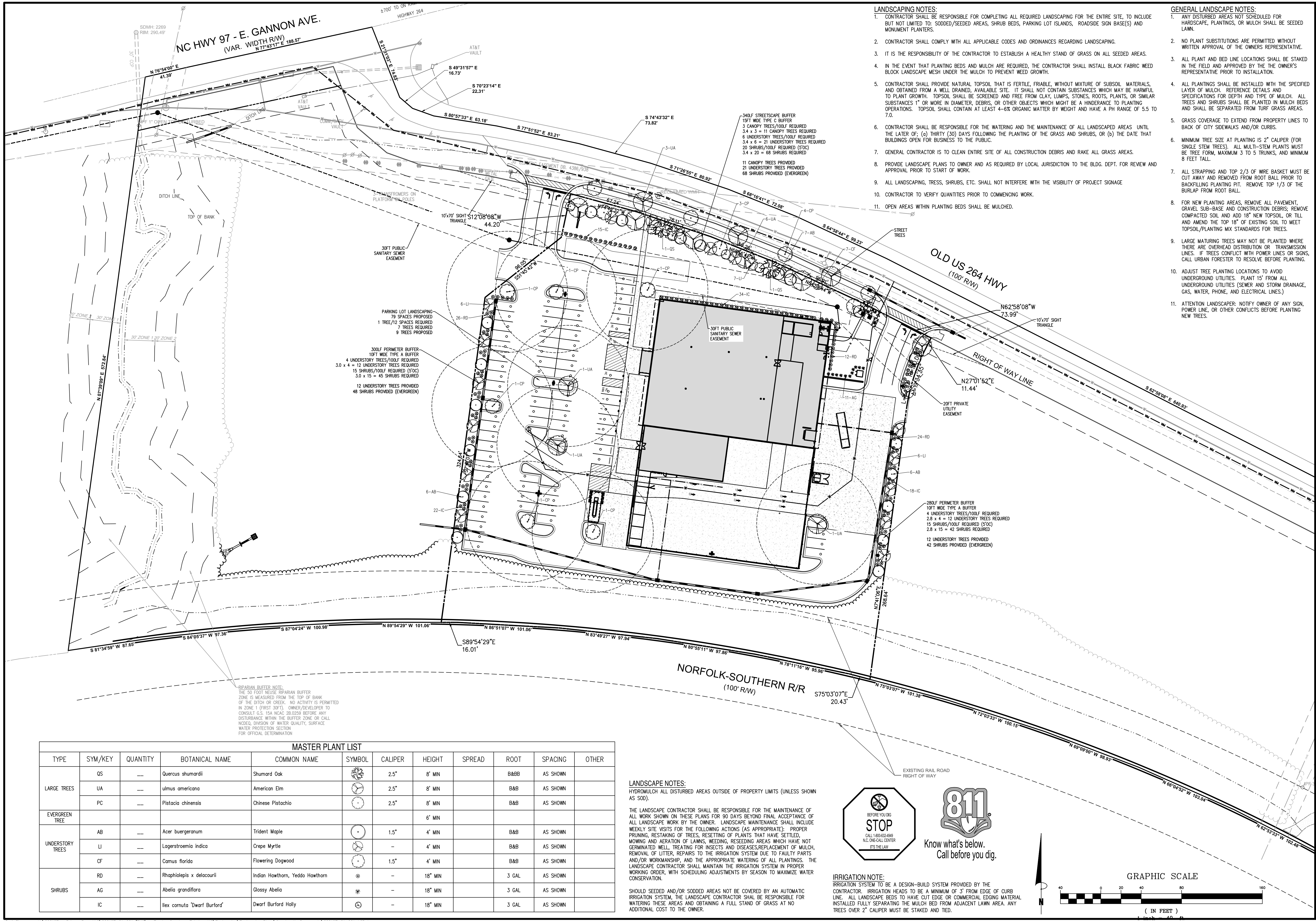
PRELIMINARY DO NOT USE FOR CONSTRUCTION

PLAN STATUS  
5/26/22 1ST SUBMISSION

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
SCALE	H: NA V: NA
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C6.3





- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
  - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
  - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
  - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
  - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
  - ALL LANDSCAPING, TRESS, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE
  - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
  - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
  - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
  - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
  - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
  - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
  - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
  - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
  - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
  - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

**300LF PERIMETER BUFFER**  
 10FT WIDE TYPE A BUFFER  
 4 UNDERSTORY TREES/100LF REQUIRED  
 15 SHRUBS/100LF REQUIRED (5"OC)  
 3.0 x 15 = 45 SHRUBS REQUIRED  
 12 UNDERSTORY TREES PROVIDED  
 48 SHRUBS PROVIDED (EVERGREEN)

**340LF PERIMETER BUFFER**  
 10FT WIDE TYPE C BUFFER  
 3 CANOPY TREES/100LF REQUIRED  
 3.4 x 3 = 11 CANOPY TREES REQUIRED  
 6 UNDERSTORY TREES/100LF REQUIRED  
 3.4 x 8 = 27 UNDERSTORY TREES REQUIRED  
 20 SHRUBS/100LF REQUIRED (5"OC)  
 3.4 x 20 = 68 SHRUBS REQUIRED  
 11 CANOPY TREES PROVIDED  
 21 UNDERSTORY TREES PROVIDED  
 68 SHRUBS PROVIDED (EVERGREEN)

**280LF PERIMETER BUFFER**  
 10FT WIDE TYPE A BUFFER  
 4 UNDERSTORY TREES/100LF REQUIRED  
 2.8 x 4 = 12 UNDERSTORY TREES REQUIRED  
 15 SHRUBS/100LF REQUIRED (5"OC)  
 2.8 x 15 = 42 SHRUBS REQUIRED  
 12 UNDERSTORY TREES PROVIDED  
 42 SHRUBS PROVIDED (EVERGREEN)

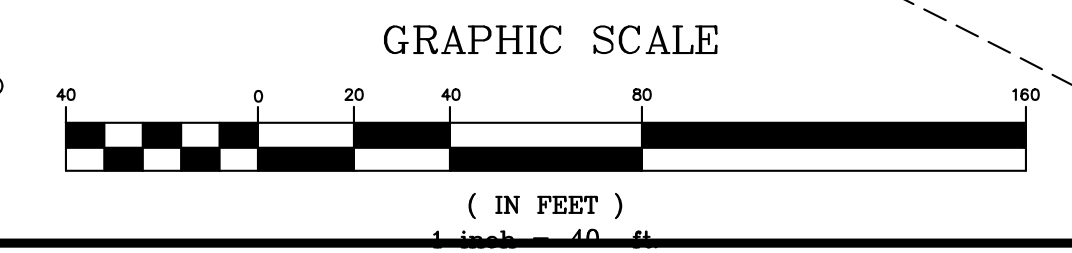
**RIPARIAN BUFFER NOTE:**  
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0259 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDCO, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	QS	—	Quercus shumardii	Shumard Oak		2.5"	8' MIN		B&BB	AS SHOWN	
	UA	—	ulmus americana	American Elm		2.5"	8' MIN		B&B	AS SHOWN	
	PC	—	Pistacia chinensis	Chinese Pistachio		2.5"	8' MIN		B&B	AS SHOWN	
EVERGREEN TREE							6' MIN				
UNDERSTORY TREES	AB	—	Acer buergeranum	Trident Maple		1.5"	4' MIN		B&B	AS SHOWN	
	LI	—	Lagerstroemia indica	Crepe Myrtle		—	4' MIN		B&B	AS SHOWN	
	CF	—	Camus florida	Flowering Dogwood		1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	—	Rhaphiolepis x delacourii	Indian Hawthorn, Yeddo Hawthorn		—	18" MIN		3 GAL	AS SHOWN	
	AG	—	Abelia grandiflora	Glossy Abelia		—	18" MIN		3 GAL	AS SHOWN	
	IC	—	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly		—	18" MIN		3 GAL	AS SHOWN	

**LANDSCAPE NOTES:**  
 HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).  
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.  
 SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



**IRRIGATION NOTE:**  
 IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3" FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.



**Bowman**

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 Bowman North Carolina Ltd.



**LANDSCAPE PLAN**  
 Tractor Supply  
 Old US Highway 264  
 Zebulon, NC Wake County

PRIMAX PROPERTIES, LLC

PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION

PLAN STATUS  
 5/26/22 1ST SUBMISSION

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
	XXX CHKD

SCALE: H: 1" = 40'  
 V: 1" = XXX'  
 JOB No. 220127-01-001  
 DATE May 26, 2022  
 FILE No. 220127-D-CP-001

SHEET **C7.0**

Conceptual Elevation  
Zebulon, NC

May 9, 2022



Front-Right Elevation



PRIMAX

TSC TRACTOR SUPPLY CO.

Front-Right Elevation



Zebulon, NC.

Rear Elevation  
Right Side



Rear Elevation  
Left Side



**PRIMAX**

**TSC TRACTOR  
SUPPLY CO.**



Zebulon, NC.

Front Left Elevation



Symbol	Label	Quantity	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	P	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	109.44
	R	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	S	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Triple Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	328.32
	T	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Quad Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	437.76
	K	12	DSXW1-LED-10C-1000-50K-T3M-MVOLT-DDBXD	Lithonia DSXW1 Series Wall Mount LED Unit w/Type T3M Distribution (18ft. and 14ft. Fixture Mounting Heights) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	3898	0.95	38.8
	K1	3	H-15118-97/HL-AHD-27*97/21/LED2/40/D/BCM-M	Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)	LED/4000K (FULL CUTOFF DESIGN)	1170	0.95	21

Statistics							
Description	Symbol	Avg	Max	Min	Max/Avg	Max/Min	Avg/Min
Parking Lot Light Levels	+	1.9 fc	11.7 fc	0.1 fc	6.16	117.0:1	19.0:1
Property Line Light Levels	+	0.3 fc	1.6 fc	0.0 fc	5.33	N/A	N/A

