

WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS

DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS

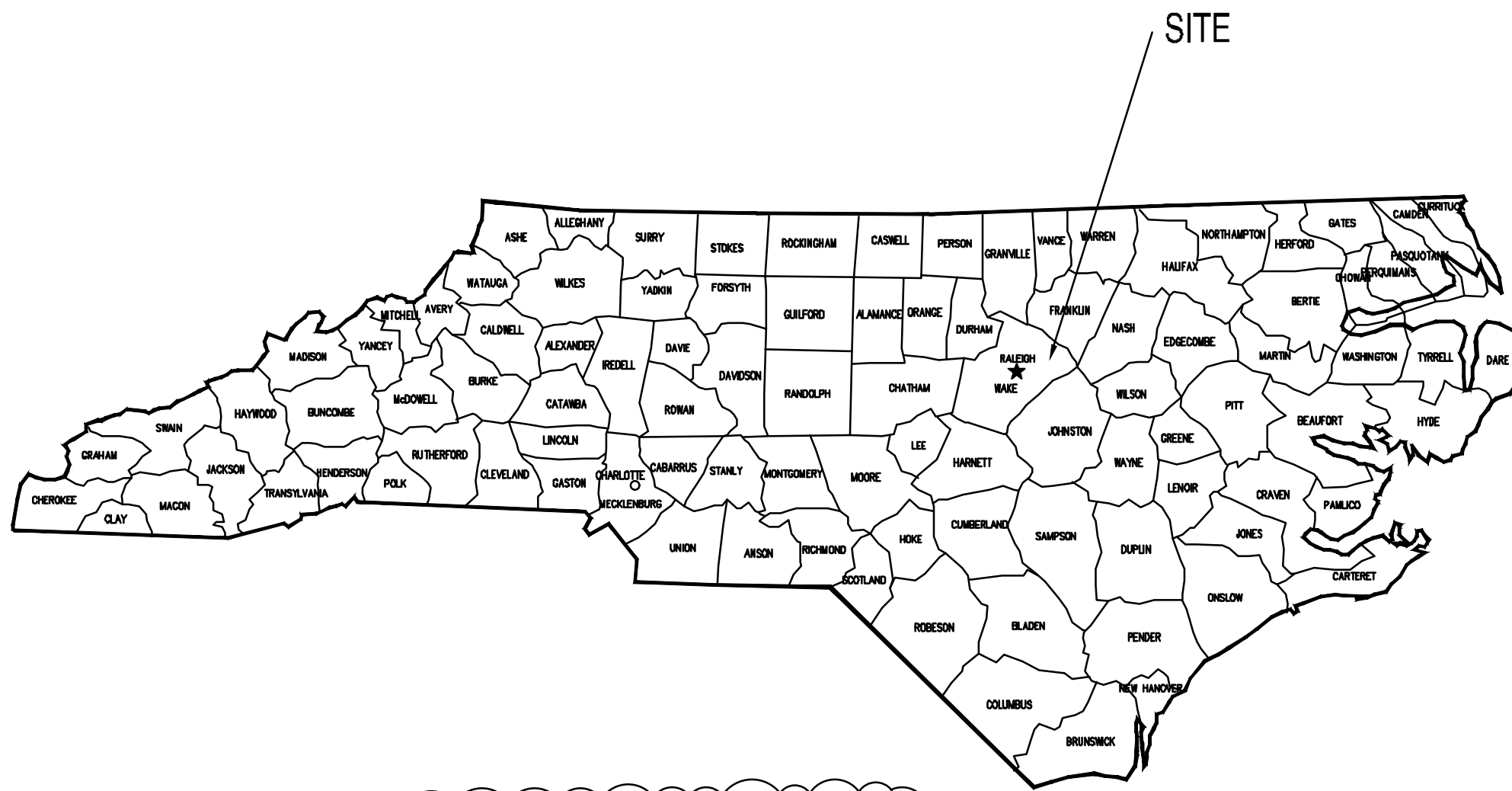
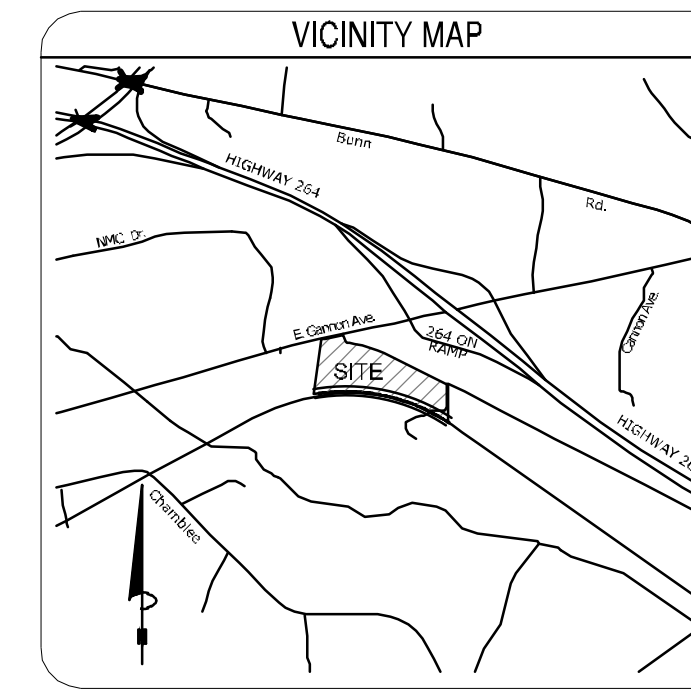
NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS

SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS

STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

CONSTRUCTION DOCUMENTS

Proposed
Tractor Supply
 Old US Highway 264
 Zebulon, North Carolina
 Wake County
 IDT# 782339



DEVELOPER
 Primax Properties, LLC
 Attn. Adam Sellner
 1100 E. Morehead Street
 Charlotte, NC 28204
 704-954-7224
 asellner@primaxproperties.com

CIVIL ENGINEER
 Bowman North Carolina, Ltd.
 4006 Barrett Drive, Suite 104
 Raleigh, NC 27609
 (919) 553-6570
 mlowder@bowman.com
 FIRM# F-1445



IMPERVIOUS SUMMARY TABLE			
ON-SITE AREA = 164,059 SF (3.766 AC)			
BUILDINGS	21,147 SF	0.49 ACRE(S)	12.89 % OF AREA
PAVEMENT	84,200 SF	1.93 ACRE(S)	51.32 % OF AREA
SIDEWALK	6,060 SF	0.14 ACRE(S)	3.69 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	67.91 % OF AREA
GREEN/OPEN SPACE	52,652 SF	1.21 ACRE(S)	32.09 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF	0 ACRE(S)	0.0 % OF AREA
INCREASE IN IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	

DEVELOPMENT DATA	
DEVELOPMENT NAME:	TRACTOR SUPPLY
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC 219 ROYAL FERN RD WILMINGTON, NC 28412
PROPERTY IDENTIFICATION # (PIN):	2705-97-3068 (ORDINANCE 2022-36)
PROPERTY #:	0352494
DEED BOOK/PAGE:	006057 / 00594
EXISTING ZONING:	HC- HEAVY COMMERCIAL (ORDINANCE 2022-36)
FUTURE LAND USE MAP:	GC-GENERAL COMMERCIAL
LATITUDE & LONGITUDE	N35.828782, W-78.293752
TOTAL SITE ACRES:	164,059 SF (3.77 AC) PROPOSED TRACTOR SUPPLY
WATER SERVICE:	PUBLIC - CITY OF RALEIGH
SANITARY SEWER SERVICE:	PUBLIC - CITY OF RALEIGH
INSIDE TOWN LIMITS:	NO - ANNEXATION REQUIRED
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS	
MIN LOT AREA:	6,000 SF
MIN LOT WIDTH:	50 FT
MAX LOT COVERAGE:	80%
MIN OPEN SPACE:	3% OF SITE (4,922SF) 5,000 SF OPEN SPACE PROVIDED ALONG US 264
SIDE SETBACK (STREET):	30 FT
SIDE SETBACK (INTERIOR):	0; 5FT IF PROVIDED
REAR SETBACK:	0 IF ABUTTED BY AN ALLEY; OTHERWISE 25FT 50FT; MAY INCREASE BY 2FT FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100FT IN HEIGHT
MAX BUILDING HEIGHT	25FT
MIN SPACING BETWEEN PRINCIPLE BUILDINGS:	25FT
PARKING REQUIREMENTS:	
RETAIL - 1 SPACE PER 200 SF	
21,147 SF / 200=106 SPACES	
79 SPACES REQUESTED (PARKING STUDY)	
BIKE PARKING - 1 SPACE PER 20 PARKING SPACES	
4 BIKE PARKING SPACES PROVIDED	
TOTAL PROVIDED:	79
PARKING SPACE DIMENSIONS	10' X 19' MIN 8.5' X 18' COMPACT (30% MAX)
MIN DRIVE AISLE	20 FT ONE-WAY, 24 FT TWO-WAY
ACCESSIBLE SPACES PROVIDED:	4
TREE RETENTION	5% OF SITE REQUIRED (8,203SF) 19,000SF OF TREE RETENTION PROPOSED
LANDSCAPE BUFFERS	10FT TYPE A BUFFER (ADJACENT HC) 15FT STREETSCAPE BUFFER ALONG OLD US 264

REZONING - ORDINANCE 2022-36

ORDINANCE 2022-36
 AMENDMENT TO ZONING MAP FOR
 0 Old US 264 (Pin # 2705973068)

The proposed Zoning Map Amendment for approximately 9.8 acres located at 0 Old US 264 with associated Wake County Pin # 2705973068 would be rezoned from R-2 Residential to Heavy Commercial (HC) in accordance with Section 2.2.24 of the Town of Zebulon Unified Development Ordinance and the attached map.

Adopted this the 4th day of April 2022

Glenn L. York
 Glenn L. York - Mayor

Lisa M. Markland
 Lisa M. Markland, CMC - Town Clerk

CURRENT PROPERTY OWNERS
 Bunn Farms, Inc.
 219 Royal Fern Road
 Wilmington, NC 28412

PRECONSTRUCTION NOTE
 A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

SITE PERMITTING APPROVAL

Water and Sewer Permits (If applicable)

The City of Raleigh consents to the connection to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S- _____

STORMWATER MGMT. S- _____

FLOOD STUDY S- _____

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES, ABBREVIATIONS, AND LEGEND
C2.0	DEMOLITION PLAN
C2.1	EROSION CONTROL PLAN - INITIAL
C2.2	EROSION CONTROL PLAN - FINAL
C2.3	NC CONSTRUCTION GENERAL PERMIT (NCG601) NOTES
C3.0	SITE PLAN
C4.0	GRADING & DRAINAGE PLAN
C4.1	ROADWAY PLAN
C5.0	UTILITY PLAN
C6.0	EROSION CONTROL DETAILS
C6.1	EROSION CONTROL DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
C6.4	UTILITY DETAILS
C7.0	LANDSCAPE PLAN
1 OF 14	CONCEPTUAL ELEVATION
2 OF 14	FRONT-RIGHT ELEVATION
3 OF 14	FRONT-RIGHT ELEVATION
4 OF 14	FRONT-RIGHT ELEVATION
5 OF 14	GREENHOUSE CONNECTION
6 OF 14	GREENHOUSE CONNECTION
7 OF 14	REAR ELEVATION - RIGHT SIDE
8 OF 14	LOADING AREA
9 OF 14	REAR ELEVATION - LEFT SIDE
10 OF 14	REAR ELEVATION - LEFT SIDE
11 OF 14	FRONT LEFT ELEVATION
12 OF 14	FRONT LEFT ELEVATION
13 OF 14	FRONT LEFT ELEVATION
14 OF 14	PLAN VIEW
1 OF 1	PARKING LOT LIGHTING LAYOUT

Bowman

Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 553-6570
 bowman.com

TSC
 TRACTOR SUPPLY COMPANY

COVER SHEET
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMAX PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION

PLAN STATUS
 5/26/22 1ST SUBMISSION
 8/1/22 PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C1.0

GENERAL NOTES (CONT.)

- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE PROPOSED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, AND CONFIRMATION AND CONDITION OF EXISTING GROUND SURFACE AND THE CHARACTER OF THE EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUANTITY AND QUALITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED, ANY INACCURACIES OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS MUST BE BOUGHT TO THE OWNER'S ATTENTION IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING ROADS AND UTILITIES WHICH OCCURS AS A RESULT OF THE PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO THE EXISTING RIGHT-OF-WAY.
- ALL STREET CUT AND PATCH WORK IN PUBLIC RIGHT-OF-WAY REQUIRED FOR UTILITIES INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CITY, COUNTY, AND/OR APPROPRIATE GOVERNING AGENCY STANDARDS AND SPECIFICATIONS.
- THE APPROVAL OF THIS PLAN SHALL IN NO WAY GRANT PERMISSION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES.
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THESE PLANS MAKE NO REPRESENTATION AS TO THE SUBSURFACE CONDITIONS AND THE PRESENCE OF SUBSURFACE WATER OR THE NEED FOR SUBSURFACE DRAINAGE FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL NECESSARY INSPECTIONS.
- EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL FINISHED GRADING, SEEDING, SOODING OR PAVING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF WATER.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO BEGINNING OF ANY CONSTRUCTION ON THE PROJECT. IF CONFLICTS ARE DISCOVERED AS A RESULT OF TEST HOLE FINDINGS, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- EXCAVATION SUPPORT SYSTEMS SHALL CONFORM TO THE PROVISIONS OF OSHA CONSTRUCTION STANDARD 29 CFR PART 1926 SUBPART P, OR CURRENT EDITION.
- AT LOCATIONS WHERE THE FINAL SURFACE COURSE OF ASPHALT PAVEMENT IS TO BE FEATHERED INTO THE EXISTING SURFACE COURSE, THE EXISTING SURFACE COURSE IS TO BE SCABLED TO A MINIMUM DEPTH OF 1" AND A TACK COAT APPLIED PRIOR TO FINAL PAVING TO INSURE A SMOOTH, WELL BONDED JOINT.
- ANY NEW PAVEMENT OPENED TO TRAFFIC SHALL RECEIVE A TACK COAT PRIOR TO PLACEMENT OF ANY OVERLYING ASPHALT COURSE.
- ALL SIDEWALKS TO BE 4" THICK CONCRETE UNLESS OTHERWISE SHOWN ON THE PLAN.
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE APPROPRIATE GOVERNING AGENCY.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
- ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE REMOVAL OR RELOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL, TELEPHONE AND CABLE TV LINES AND REMOVAL OF UTILITY POLES, PEDESTALS AND TRANSFORMERS WITH UTILITY COMPANIES AND WITH DEVELOPER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS AND/OR RECONSTRUCTION OF ALL UTILITY COVER (MANHOLE FRAMES AND COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE CONTRACTOR MUST HAVE THE APPROVED CONSTRUCTION DRAWINGS IN POSSESSION PRIOR TO THE START OF CONSTRUCTION. AT LEAST ONE (1) COPY OF THE APPROVED PLANS, WITH REVISIONS, MUST BE KEPT ON-SITE AT ALL TIMES.
- ALL HANDICAP RAMPS SHALL BE BUILT IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE APPROPRIATE GOVERNING AGENCY STANDARDS, NCCOT STANDARDS, AND CURRENT ADA REQUIREMENTS.
- THE STORM DRAIN, STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY ARE NOT ONLY 100% COMPLETE, BUT ALSO THAT 100% OF THE DRAINAGE AREA TO EACH FACILITY IS PERMANENTLY STABILIZED. SEED AND MULCH DOES NOT CONSTITUTE STABILIZATION IN TERMS OF THE CONTRACTOR MAINTENANCE OF THE STORM DRAIN, STORMWATER MANAGEMENT, AND WATER QUALITY FACILITIES. ALL STORM DRAIN, STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES SHALL BE TURNED OVER TO THE OWNER COMPLETELY CLEAN AND FREE FROM ANY CONSTRUCTION RELATED SEDIMENT OR DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL ADA ACCESSIBLE SIDEWALKS MAINTAIN SLOPES NOT TO EXCEED 5% LONGITUDINALLY AND 2% CROSS SLOPES. SLOPES AT ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE A MAXIMUM OF 2%, AND THE MANEUVERING CLEARANCE AT EXTERIOR ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2%.
- DURING CONSTRUCTION, NO TEMPORARY CONNECTIONS TO FIRE HYDRANTS MAY BE MADE WITHOUT THE EXPRESS AUTHORIZATION OF THE UTILITY OWNER.

GENERAL EROSION CONTROL NOTES

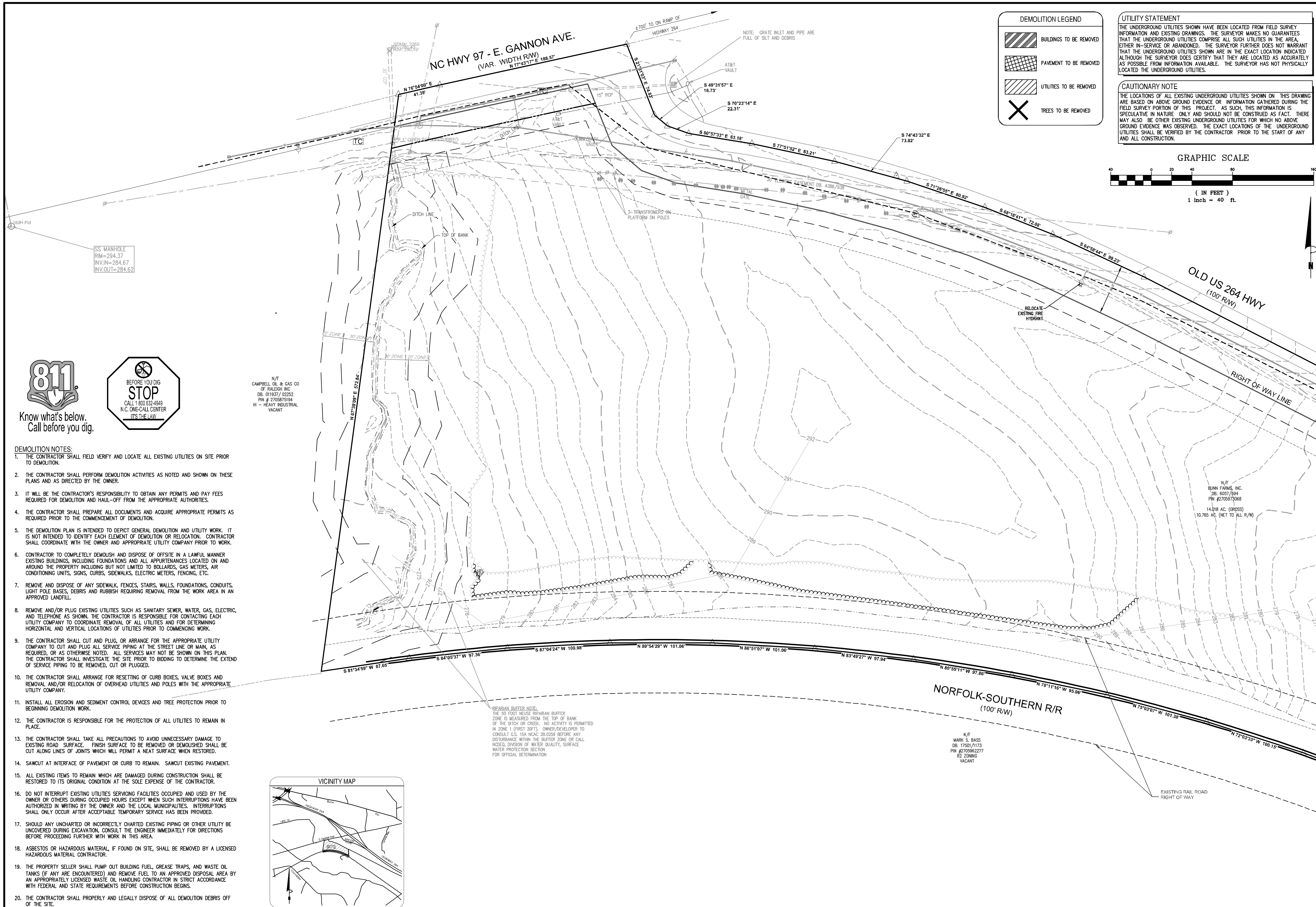
- THE CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOWLINES AND PUBLIC RIGHTS-OF-WAY OF THE APPROPRIATE GOVERNING AGENCY AS A RESULT OF THIS CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION AND CONSTRUCTION OPERATIONS THAT ARE A PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS A PART OF THIS PROJECT.
- ALL DISTURBED AREAS MUST BE HYDRO-MULCHED W/ TACKIFIER AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE NOT OTHERWISE PERMANENTLY STABILIZED.
- THE CONTRACTOR SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS-OF-WAY.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES; OR TO SUPPORT SILT FENCE USED AS AN EROSION CONTROL MEASURE; IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
- IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THE PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMP'S WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP. BUILDUP OF EXCESSIVE SEDIMENT OCCURRING IN FLAT AREAS BEHIND STRAW BALES, AND BEHIND SILT FENCES WILL BE REMOVED PROMPTLY. DISLOCATED STRAW BALES AND COLLAPSED OR TORN SILT FENCES WILL BE IMMEDIATELY REPAIRED.
- THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL OCCUR IN A PREDEFINED CONTAINMENT AREA. THE DISCHARGE OF WATER CONTAINING CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
- EROSION BALES SHALL BE PLACED SUCH THAT RUNOFF WILL NOT FLOW BETWEEN, AROUND OR UNDER BALES. BALES TO BE ANCHORED WITH 2" x 2" x 3' WOODEN STAKES OR TWO PER BALE.
- WHEN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REMOVED, ANY SILT AND SEDIMENT DEPOSITS SHALL BE REMOVED AND SPREAD EVENLY IN OPEN AREAS.
- BEST MANAGEMENT PRACTICES (BMP) DETAILS SHOWN ON THESE PLANS ARE CONCEPTUAL ONLY. ADJUST AS NECESSARY TO FIT FIELD CONDITIONS.
- TEMPORARY SEDIMENT BASINS SHALL BE USED DURING CONSTRUCTION TO CONTAIN ALL RUNOFF FROM THE SITE. IF TRENCH DEWATERING OR GROUND WATER REMOVAL IS REQUIRED, THE SEDIMENT POND OR OTHER APPROVED MEANS SHALL BE USED TO DETAIN ALL WATER PUMPED BY THESE OPERATIONS.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF CONSTRUCTION, GRADING AND LANDSCAPING, INCLUDING THE NAME AND 24 HOUR PHONE NUMBER OF THE RESPONSIBLE PARTY TO CONTACT REGARDING ANY EROSION OR SEDIMENT PROBLEM TO THE APPROPRIATE GOVERNING AGENCY PRIOR TO BEGINNING ANY CONSTRUCTION.
- EROSION CONTROL MEASURES TO BE COORDINATED WITH CONSTRUCTION MANAGER.
- EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH REGULATIONS OF THE APPROPRIATE GOVERNING AGENCY.

GENERAL NOTES

- UTILITY CONFLICTS: ALL EXISTING UTILITIES SHOWN WERE COMPILED USING THE BEST AVAILABLE INFORMATION AND FIELD OBSERVATION. BOWMAN NORTH CAROLINA LTD DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF AND PROTECTING ALL EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN OR SHOWN INCORRECTLY ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IN A TIMELY FASHION TO THE SATISFACTION OF THE APPROPRIATE GOVERNING AGENCY AND THE OWNER OF THE IMPACTED UTILITY AT THE CONTRACTOR'S EXPENSE.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS FOR THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT THE JOB SITE AT ALL TIMES THE APPROPRIATE GOVERNING AGENCY'S PUBLIC WORKS MANUAL, ALL APPROVED EASEMENT AGREEMENTS, AND ONE (1) SIGNED COPY OF THE PLANS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY FOR ANY VARIANCE TO THE ABOVE DOCUMENTS.
- CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARDS, SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND MUST COMPLY WITH OSHA REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER AND ENGINEER OF ANY PROBLEM CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS/HER CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAY AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. THE APPROPRIATE FIRE DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY STREET CLOSURES AND IN THE EVENT THAT ANY FIRE HYDRANTS ARE TO BE TEMPORARILY REMOVED FROM SERVICE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AT LEAST 48 HOURS ADVANCED NOTICE OF ANY TEMPORARILY REMOVED ANY PORTION OF THE EXISTING WATER SYSTEM AND FOR OBSERVATIONS AND/OR INSPECTIONS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS OR OTHER DEVICES NECESSARY FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE COLORADO SUPPLEMENT TO THE MUTCD. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE APPROPRIATE GOVERNING AGENCY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT FOR WORK WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ANY AFFECTED UTILITY COMPANY.
- THE CONTRACTOR SHALL OBTAIN COPIES OF THE "SOILS AND INVESTIGATION" REPORT FROM GEOTECHNICAL ENGINEER ALONG WITH THE "PAVEMENT THICKNESS DESIGN REPORT". THE CONTRACTOR MUST HAVE COPIES OF SAME ON THE SITE AT ALL TIMES.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AS-CONSTRUCTED HORIZONTAL AND VERTICAL CONSTRUCTION INFORMATION, INCLUDING THE LOCATIONS OF ALL SANITARY LINES AND SERVICES, WATER LINES AND SERVICES, AND OTHER UTILITY LINES AND SERVICES TO THE ENGINEER FOR PREPARATION OF AS-BUILT DOCUMENTS.
- LIMITS OF CONSTRUCTION EASEMENTS AND RIGHTS-OF-WAY SHALL BE DELINEATED WITH TEMPORARY STAKING BY THE CONTRACTOR. SAFETY FENCING SHALL BE PER APPROPRIATE GOVERNING AGENCY.
- WHERE EXCAVATION IS REQUIRED UNDER EXISTING ASPHALT OR CONCRETE PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO EFFECT A SMOOTH, STRAIGHT-CUT EDGE. ASPHALT PATCH SHALL BE PER APPROPRIATE GOVERNING AGENCY STANDARDS.
- REFER TO FINAL RECORDED PLAT FOR ACTUAL LOT, TRACT, PARCEL, AND EASEMENT LOCATIONS AND DESIGNATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAYS AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY TO THE PROJECT WORK SITE (SEE THE EROSION CONTROL PLAN). THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY (IF APPLICABLE) TO COMPLETE THE CONSTRUCTION AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER WILL BE PROVIDED BY THE CONTRACTOR TO KEEP WIND EROSION IN CHECK. USE OF WATER AS A DUST PREVENTATIVE SHALL NOT BE PAID FOR SEPARATELY, BUT INCLUDED IN THE COST OF THE WORK.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY THE DEVELOPMENT AND SHALL PROPERLY BARRICADE THE SITE UNTIL CLEAN UP OR REPAIR IS COMPLETE.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO GRADE STREET CORES, RIGHT-OF-WAY TEMPLATES, AND LOTS ACCORDING TO GRADING INSTRUCTIONS SHOWN ON PLANS.
- STREET CONTOURS SHOWN AT PROPOSED STREET LOCATIONS REPRESENT FINISHED GRADE ELEVATION TO TOP OF ASPHALT.
- CONPACTION FILL MATERIAL SHALL BE COMPACTED ACCORDING TO THE APPROPRIATE GOVERNING AGENCY REGULATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- TOLERANCE ROUGH GRADING: TOLERANCE SHALL BE +/- 0.1 FEET.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ALL APPROPRIATE PERMITS FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY HAVE BEEN OBTAINED PRIOR TO GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL TEMPORARY WATER DIVERSION/CONTROL DEVICES AND EROSION CONTROL DEVICES NECESSARY TO PROTECT ADJACENT PROPERTIES, WATERWAYS AND PUBLIC RIGHT-OF-WAY. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF SAID DEVICES THROUGHOUT CONSTRUCTION AND UNTIL THE PERMANENT PROTECTION NECESSARY HAS BEEN COMPLETED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MECHANICAL/ELECTRICAL/PLUMBING/STRUCTURAL PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE OWNER, APPROPRIATE GOVERNING AGENCY, AND/OR THE ARCHITECT/ENGINEER.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- ALL STEPS WITH THREE OR MORE RISERS SHALL HAVE HAND RAILS, PER LOCAL CODE.
- A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF EXISTING ROAD TO PROPOSED CURB AND GUTTER AND/OR PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FENCE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY. REMOVE AND RECONSTRUCT EXISTING PAVEMENT AND/OR CURB AS DICTATED BY FIELD CONDITIONS TO PROVIDE POSITIVE DRAINAGE AT TIE-IN-POINTS.
- OVERLAY OF EXISTING PAVEMENT SHALL BE MINIMUM OF 1 1/2 INCH DEPTH; ANY COST ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE ASSUMED BY THE CONTRACTOR.
- ALL RIGHT-OF-WAY DEDICATED FOR PUBLIC USE SHALL BE CLEAR AND UNENCUMBERED.
- AN AIR QUALITY PERMIT SHALL BE OBTAINED IF REQUIRED.
- ANY LIGHTING SHOWN HEREON IS AS SPECIFIED BY THE CLIENT AND IS INCLUDED FOR INFORMATION PURPOSES ONLY, AS DIRECTED BY THE OWNER AND/OR PUBLIC AGENCY REQUIREMENTS. BOWMAN CONSULTING GROUP, LTD. HAS NOT PERFORMED THE LIGHTING DESIGN, AND THEREFORE DOES NOT WARRANT AND IS NOT RESPONSIBLE FOR THE DEGREE AND/OR ADEQUACY OF ILLUMINATION ON THIS PROJECT.
- THE CONTRACTOR WILL BE REQUIRED TO NOTIFY ALL RESIDENCES WITHIN VICINITY OF THE PROPERTY BOUNDARY TEN (10) DAYS PRIOR TO ANY BLASTING IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY REQUIREMENTS.
- NO BLASTING SHALL BE PERMITTED WITHIN 25' OF EXISTING UTILITY LINES OR STRUCTURES. BLASTING TO BE EXTENDED 25' BEYOND PROPOSED STRUCTURES IF CONDITIONS WARRANT FUTURE EXTENSIONS.
- ALL RETAINING WALLS 4' IN HEIGHT AND OVER (MEASURED FROM BOTTOM OF FOOTER TO TOP OF WALL) REQUIRE A SEPARATE BUILDING PERMIT.
- THE APPROVAL OF THIS PLAN DOES NOT CONSTITUTE THE APPROVAL OF FUTURE WORK.
- ALL HANDICAPPED SPACES SHALL HAVE AN ABOVE GRADE IDENTIFICATION SIGN MEETING APPROPRIATE GOVERNING AGENCY STANDARDS.
- WHERE A PROPOSED PIPE CROSSES OR PARALLELS A STREET OR DRIVE AISLE, THE ASPHALT SHALL BE NEATLY SAWCUT TO FULL DEPTH. AFTER INSTALLATION OF THE PIPE, THE ROADWAY SHALL BE PATCHED IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY STANDARDS.

ABBREVIATIONS

A	AREA OF ARLC	K	SIGHT DISTANCE COEFFICIENT OR RATE OF VERTICAL CURVATURE
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANS. OFFICIALS	Ke	CULVERT ENTRANCE LOSS COEFFICIENT
AB	AS-BUILT	L	LENGTH
AC	ACRE	LAT	LATERAL
AD	ALGEBRAIC DIFFERENCE IN GRADE	LCG	LINEAR FEET
ADJ	ADJACENT	LP	LINEAR FEET
ADGR	AGGREGATE	LP	LINEAR FEET
AND	AHEAD	LL	LOWER LEVEL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	LOS	LINE OF SIGHT
APT	ANGLE POINT	LS	LOW POINT
APPROX	APPROXIMATE	LS	LOADING SPACE
ARCH	ARCHITECTURAL	LT	LEFT
ASPH	ASPHALT	M	MONUMENT FOUND
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MAX	MAXIMUM
AWWA	AMERICAN WATER WORKS ASSOCIATION	ME	MATCH EXISTING
B	BREADTH	MECH	MECHANICAL
BOC	BACK OF CURB	MH	MANHOLE
BF	BASEMENT FLOOR	MI	MILE
BLDG	BUILDING	MIN	MINIMUM
BW	BENCHMARK	MISC	MISCELLANEOUS
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	MPH	MILES PER HOUR
BOV	BLOW OFF VALVE	MS	MEDIAN STRIP
BRG	BEARING	MSL	MEAN SEA LEVEL
BR	BUILDING RESTRICTION LINE	N	NORTHINGS/NORTH
BVCE	BEGINNING VERTICAL CURVE ELEVATION	N/A	NOT APPLICABLE
BVCS	BEGINNING VERTICAL CURVE STATION	NBL	NORTH BOUND LANE
BW	BOTTOM OF WALL	N/F	NOW OR FORMERLY
c-e	CENTER CORRECTION ON VERTICAL CURVE	NFA	NET FLOOR AREA
C	CENTER CORRECTION ON VERTICAL CURVE	N#	NUMBER
CATV	CABLE TELEVISION	NTS	NOT TO SCALE
CBS	CURB AND GUTTER	OC	ON CENTER
CB	CATCH BASIN	OBJ	OBJECT
CBR	CALIFORNIA BEARING RATIO	OD	OUTSIDE DIAMETER
CDOT	CENTER TO CENTER	OH	OVERHANG
CF	COLORADO DEPT. OF TRANSPORTATION	O/H	OVERHEAD
CFE	CUBIC FEET	O/E	OVERHEAD CABLE
CFS	CUBIC FEET PER SECOND	OHE	OVERHEAD ELECTRIC
CG(R)	CURB AND GUTTER (REVERSE SLOPE)	OHT	OVERHEAD TELEPHONE
CHRD	CHORD	P	PERIMETER
CHRRG	CHORD BEARING	P	PROPERTY LINE
CIP	CAST IRON PIPE	P&P	PLAN AND PROFILE
CL	CENTERLINE	PC	POINT OF CURVATURE
CLR	CLEAR	PCC	POINT OF COMPOUND CURVATURE
CM	CUBIC METERS	POR	POINT OF CURB RETURN
CMP	CORRUGATED METAL PIPE	PCEP	POINT OF CURVE EDGE OF PAVEMENT
CMS	CUBIC METERS PER SECOND	PCTC	POINT OF CURVATURE TOP OF CURB
CO	CONTINUOUS	PI	POINT OF INTERSECTION
CONT	CLEAN OUT	PI	PAGE
CO	CONCRETE	PGL	POINT OF GRADE LINE
CS	CURB STOP	PRC	POINT OF REVERSE CURVATURE
CT	COURT	PRELIM	PRELIMINARY
CTR	CENTER	PROP	PROPOSED
CTRL	CONTROL LINE	PT	POINT OF TANGENCY
CTY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
D	DEPTH	POLY	POLYURETHANE CHLORIDE PIPE OR POINT OF VERTICAL CURVATURE
DA	DRAINAGE AREA	PVI	POINT OF VERTICAL INTERSECTION
DB	DEED BOOK	PVT	POINT OF VERTICAL TANGENCY
DB	DIVERSION DIKE	PWMT	PAVED WALKWAY
DET	DETAIL	PRC	POINT OF VERTICAL REVERSE CURVE
DIA	DIAMETER	Q	AMOUNT OF RUNOFF (FLOW RATE)
DIP	DUCTILE IRON PIPE	R	RADIUS
DIS	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIST	DISTANCE	RCR	REDUCER
DL	DOMESTIC LINE	RD	ROAD OR ROOF DRAIN
DM	DROP MANHOLE	REQ	REQUIRED
DM	DOMESTIC	REDD	REQUIRED
DR	DRIVE DRAIN	RET	RETAINING
DRN	DRAINAGE	REV	REVISION
DRNG	DRAINAGE AREA	RFP	ROADWAY GRADING PLAN
DS	DOWN SPOUT	RMA	RESOURCE MANAGEMENT AREA
DU	DWELLING UNITS	ROM	REMOTE OUTSIDE MONITOR
DWG	DRAWING	RPA	RESOURCE PROTECTION AREA
D/W	DRIVEWAY	RR	RAILROAD
EA	EASTING/EAST	RT	ROUTE
EA	EACH	RT	ROUTE
EBL	EAST BOUND LANE	R/W & ROW	RIGHT OF WAY
EC	EROSION CONTROL	S	SPEED OR SLOPE
ECB	EROSION CONTROL BLANKET	SAN	SANITARY SEWER
EG	EDGE OF GUTTER	SANMH	SANITARY SEWER MANHOLE
EGL	ENERGY GRADIENT LINE	SBL	SOUTH BOUND LANE
EL	ELEVATION	SCH	SCHEDULE
ELEC	ELECTRIC	SD	SIGHT DISTANCE
ELEV	ELEVATION	SEC	SECTION
ENGR	ENGINEER	SEW	SEWER
ENT	ENTRANCE	SFF	SQUARE FEET
EOA	EDGE OF ASPHALT	SH	SHOULDER
EOP	EDGE OF CONCRETE	SP	SPACE OR SITE PLAN
EOP	EDGE OF PAVEMENT	SPEC	SPECIFICATIONS
EQUIP	EQUIPMENT	STA	STATION
ESMT	EASEMENT	STD	STANDARD
ETD	EXISTING TO BE DEMOLISHED	STK	STACK
ETR	EXISTING TO REMAIN	STM	STORM SEWER
ETRL	EXISTING TO BE RELOCATED	STMH	STORM SEWER MANHOLE
ETRP	EXISTING TO BE REPLACED	STR	STRUCTURE
EVCE	ENDING VERTICAL CURVE ELEVATION	SVC	SERVICE
EVCS	ENDING VERTICAL CURVE STATION	S/W	SIDEWALK
EW	END WALL	SWM	STORM WATER MANAGEMENT
EX	EXISTING	SS	CROSS SLOPE
EQC	ENVIRONMENTAL QUALITY CORRIDOR	SY	SQUARE YARD
F	FIRE LINE	T	TANGENT
FAR	FLOOR AREA RATIO	TB	TOP OF BANK OR TEST BORING
FCC	FACE OF CURB	TBR	TO BE REMOVED
FD	FLOOR DRAIN	TOC	TOP OF CURB
FES	FLARED END SECTION	TC	TIME OF CONCENTRATION
FF	FIRST FLOOR OR FINISH FLOOR	TE	TELEPHONE
FG	FINISH GRADE	TEL	TEMPORARY
FH	FIRE HYDRANT	TEMP	TEMPORARY
FL	FLOW LINE	TH	TEST HOLE
FND	FOUNDATION	TF	TOP OF FOUNDATION
FOY	FOYER	TF	TOP OF FOUNDATION
FOP	FLOOR PLAN	TP	TEST PIT OR TREE PROTECTION
FPS	FEET PER SECOND	TW	TOP OF WALL OR TALWATER
FS	FIRE SEVERITY OR FACTOR OF SAFETY	TYP	TYPICAL
FT	FOOT OR FEET	UE	UTILITY EASEMENT
G	GAS	UG	UNDERGROUND
GAR	GARAGE	UGE	UNDERGROUND ELECTRIC
GB	GRADE BREAK	UGT	UNDERGROUND TELEPHONE
GFA	GROSS FLOOR AREA	UCC	UNDERGROUND CABLE
GR	GUARD RAIL OR GRATE INLET	UD	UNDERDRAIN
GV	GATE VALVE	UL	UPPER LEVEL
H	HEAD	UP	UTILITY POLE
HC	HANDICAP	USSS	US GEOLOGICAL SURVEY
HB	HORIZONTAL BEND	UTIL	UTILITY
HBP	HOT BITUMINOUS PAVEMENT	V OR VCL	VOLUME
HCL	HYDRAULIC GRADE LINE	V OR VEL	VELOCITY
HRZ	HORIZONTAL	VAN	VAN
HP	HIGH POINT	VB	VERTICAL BEND
HR	HAND RAIL	VC	VERTICAL CURVE
HT	HEIGHT	VF	VERTICAL FOOT
HW	HEADWATER	W	WEIGHT OR WIDTH
I	RAINFALL INTENSITY	WBL	WEST BOUND LANE
ID	INSIDE DIAMETER OR IDENTIFICATION	WL	WATER LINE
IE	INVERT ELEVATION	WM	WATER METER
IN	INCH	WM	WATER METER
INV	INVERT	WM	WATER METER
IP	IRON PIPE	W/TH	WITH THRUST BLOCK
IPF	IRON PIPE FOUND	WSEL	WATER SURFACE ELEVATION
IRS	IRON PIPE SET	WV	WATER VALVE
IRR	IRRIGATION	XING	CROSSING
JB	JUNCTION BOX</		

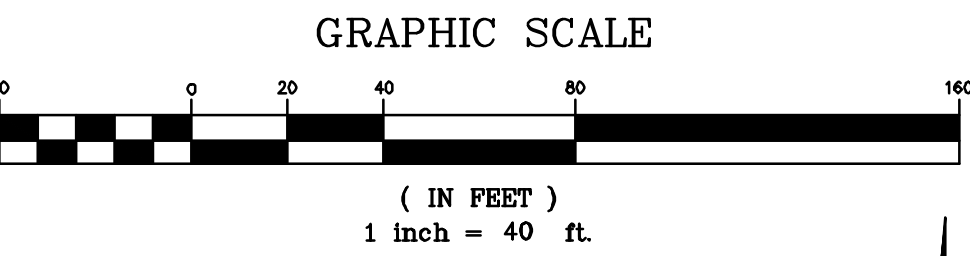


DEMOLITION LEGEND

- BUILDINGS TO BE REMOVED
- PAVEMENT TO BE REMOVED
- UTILITIES TO BE REMOVED
- TREES TO BE REMOVED

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



811
 Know what's below.
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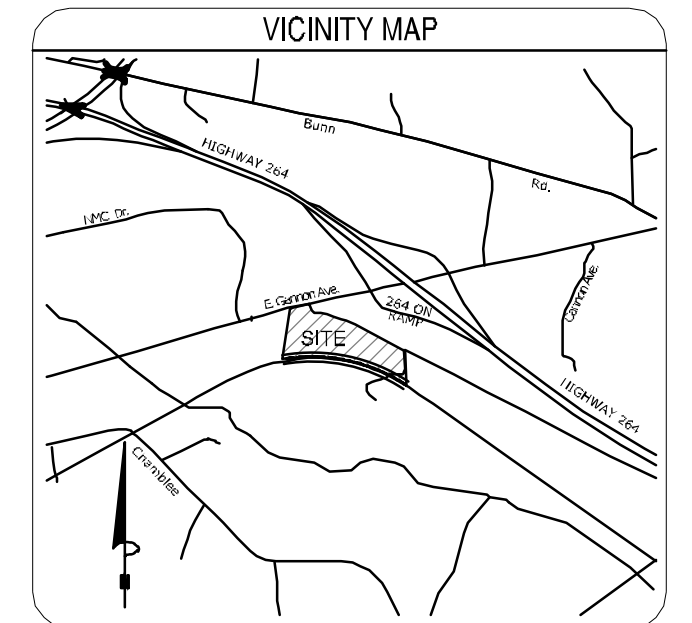
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 DB. 6057/594
 PIN #2705979068
 14.218 AC. (30055)
 10.765 AC. (NET TO ALL R/W)

SEPARATION BUFFER NOTE:
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCEM DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

N/F
 MARK S. BASS
 DB. 13501/1173
 PIN #2705962277
 R2 ZONING
 VACANT



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
 3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
 4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 6. CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
 7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
 8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
 9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
 10. THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
 11. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
 14. SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
 15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 16. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 19. THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 20. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

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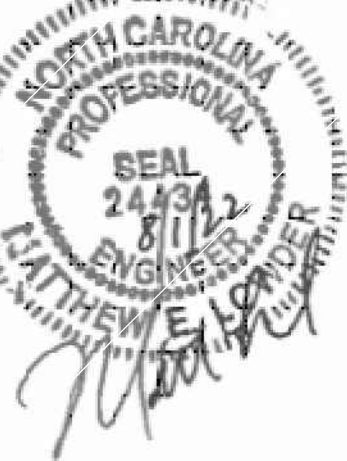
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 4006 BARRETT DR
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 Bowman North Carolina Ltd.

TSC
 TRACTOR SUPPLY COMPANY

DEMOLITION PLAN
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMA
 PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS

5/26/22	1ST SUBMISSION
6/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C2.0**

EROSION CONTROL NARRATIVE:

TRACTOR SUPPLY, TOWN OF ZEBULON, WAKE COUNTY, NC
CONTRACTOR SHALL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MOBILE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS (CLEARING ONLY AS NECESSARY TO INSTALL THESE ITEMS). AFTER DEMOLITION, CLEANING AND SITE GRADING OPERATIONS, STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER RESTORATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT UP TO GRADE. THE SITE AND INLET SHALL BE PREPARED FOR THE PROPOSED BUILDING. THE RIGID GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL THEN BE PERFORMED. BASE STONE WILL THEN BE PLACED AND FINE GRADED. ALL DISTURBED AREAS WILL BE DRESSED AND SEED. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN FINISHING IS TO BEGIN. PAVING AND STRIPING SHALL BE COMPLETED. FINALIZE STORMWATER POND STRUCTURE ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED. THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LAWFUL MANNER. REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND OTHER SEDIMENT CONTROL DEVICES AND REMOVE AND DISPOSED OF IN A LAWFUL MANNER. ACCORDING TO THE GROUND STABILIZATION REQUIREMENTS ON THIS SHEET, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF THE BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LOADED STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES.

CONSTRUCTION NOTE

ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF WAKE COUNTY SPECIFICATIONS AND STANDARD DETAILS

THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LOADED STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES.

SEDIMENT AND EROSION CONTROL NOTES:

- 1. THE EROSION AND SEDIMENTATION CONTROL MEASURES (BMPs) WERE DESIGNED USING WAKE COUNTY AND THE NORTH CAROLINA NDEQ REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
- 2. REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
- 3. EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 4. SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
- 5. TEMPORARY DIVERSION DITCHES AND BERMS SHALL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
- 6. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- 7. SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
- 8. SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
- 9. WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF, SF-PF, OR PF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
- 10. CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
- 11. PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SOLID WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
- 12. CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES. MASS CLEARING AND GRUBBING CAN BEGIN ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
- 13. USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 14. DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPE DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
- 15. MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
- 16. REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
- 17. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
- 18. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- 19. ALL WORK SHALL BE CONFINED TO PERMIT LIMITS SHOWN ON PLANS, UNLESS OTHERWISE NOTED, THE SITE PLAN PROPERTY LIMITS SHALL BE CONSIDERED THE PERMIT LIMITS.
- 20. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE.
- 21. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
- 22. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
- 23. ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
- 24. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
- 25. CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NDEQ OR WAKE COUNTY.

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE BARRIERS SOURCE OR OFF-SITE WASTE MATERIAL DISPOSAL SITE. OFF-SITE DISTURBANCES COUNT TOWARDS THE OVERALL PROJECT DISTURBED AREA AND MUST BE COVERED BY THE PERMIT FOR THIS PROJECT AND/OR THE PERMIT FROM ANOTHER ACTIVE WAKE COUNTY OR NDEQ PERMITTED SITE THAT IS APPROPRIATE FOR THE INTENDED USE (I.E. APPLICABLE MINING REQUIREMENTS). NO OFF-SITE ACTIVITIES SHALL OCCUR UNTIL THE PERMIT FOR THIS PROJECT HAS BEEN MODIFIED TO INCLUDE THE AFFECTED AREAS OR IT HAS BEEN VERIFIED WITH THE EROSION CONTROL INSPECTOR THAT THE OFF-SITE AREAS ARE COVERED UNDER APPLICABLE WAKE COUNTY OR NDEQ PERMITS.

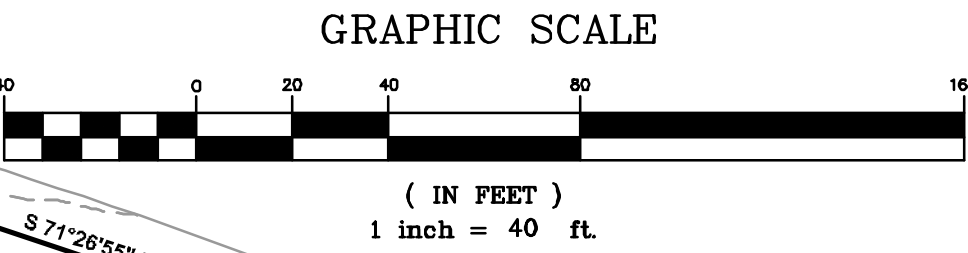
EROSION CONTROL NOTES

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.
- REFER TO DETAIL SHEETS FOR CONSTRUCTION DETAILS OF THE PROPOSED EROSION CONTROL MEASURES TO BE USED IN THE DEVELOPMENT OF THIS SITE.
- REFER TO DETAIL SHEETS FOR TEMPORARY AND PERMANENT SEEDING SCHEDULES FOR PROVIDING GROUND COVER FOR THE DEVELOPMENT.

NORTH CAROLINA CONSTRUCTION GENERAL PERMIT NOTE:

As of April 1, 2019, all new construction activities are required to complete and submit an electronic Notice of Intent (NOI) form requesting a Certificate of Coverage (COC) under the NCG010000 Construction Stormwater General Permit. This form MUST be submitted prior to the commencement of any land disturbing activity on the above named project. The NOI form may be accessed at deq.nc.gov/NCG01. Please direct questions about the NOI form to Annette Lucas at Annette.Lucas@denr.gov or Paul Clark at Paul.Clark@denr.gov.

- After you submit a complete and correct NOI Form, a COC will be emailed to you within three business days. Initially, DEMLR will not charge a fee for coverage under the NCG01 permit. However, on or after May 1, 2019, a \$100 fee will be charged annually. This fee is to be sent to the DEMLR Stormwater Central Office staff in Raleigh.
- Title 15A NCAC 4B .0118(a) and the NCG01 permit require that the following documentation be kept on file at the job site:
- 1. The approved E&S plan as well as any approved deviation.
- 2. The NCG01 permit and the COC, once it is received.
- 3. Records of inspections made during the previous 30 days.
- 4. The Certificate of Approval

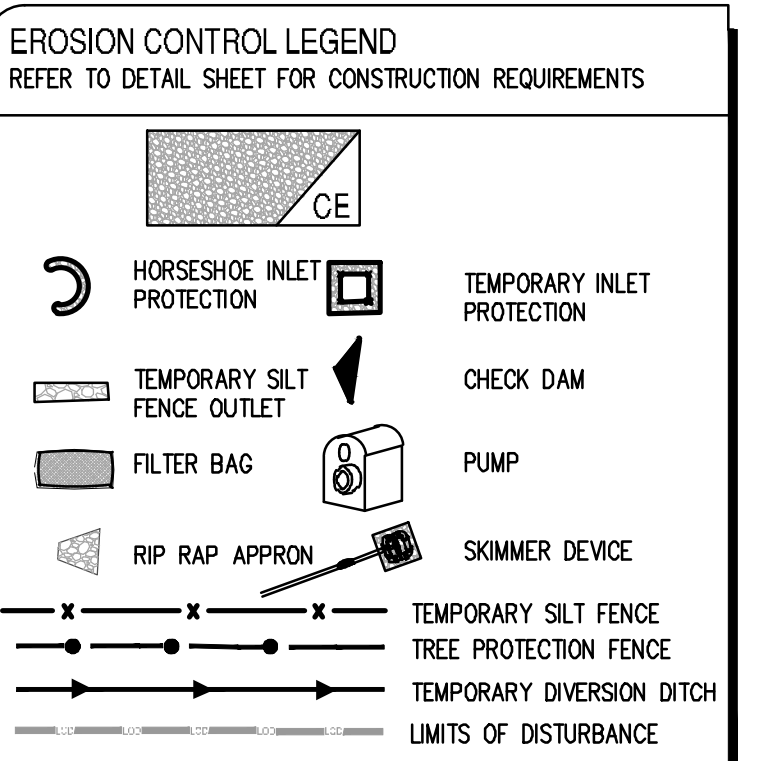


STABILIZATION TIMEFRAME

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
BASIN & TEMPORARY DIVERSION DITCHES	IMMEDIATELY	NONE
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH, AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES

GROUND COVER REQUIREMENTS:

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, ACCORDING TO THE FOLLOWING CHART, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RETAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS ACCORDING TO THE FOLLOWING CHART FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.



WAKE COUNTY CONSTRUCTION SEQUENCE:

- 1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WATERSHED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560. OBTAIN A LAND-DISTURBING PERMIT.
- 2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASINS, WAKE COUNTY SKIMMER BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- 3. CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560 FOR AN ONSITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- 4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- 5. INSTALL STORM SEWER, IF SHOWN, AND PROTECT CATCH BASIN CURB INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. PROTECT AREA DRAIN/YARD INLETS WITH STANDARD INLET PROTECTION. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- 6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. PREPARE A SEEDBED, FERTILIZE, LIME, SEED, MULCH AND ASPHALT TACK ALL DENIED AREAS WITHIN NPDES STABILIZATION TIMEFRAME OF COMPLETION OF ANY PHASE OF CONSTRUCTION OR STOPPAGE OF WORK ON ANY PHASE OF CONSTRUCTION.
- 7. CONTRACTOR TO CONTACT PROJECT ENGINEER BETWEEN SEDIMENT AND EROSION CONTROL PHASES OF DEVELOPMENT AND FOR THE REMOVAL OR CONVERSION OF SEDIMENT AND EROSION CONTROL MEASURES.
- 8. WAKE COUNTY OR JURISDICTIONAL MUNICIPALITY MUST GRANT PERMISSION TO CONVERT THE SEDIMENT BASIN OVER TO STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.
- 9. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560 FOR AN INSPECTION BY THE WATERSHED MANAGER.
- 10. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- 11. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATERSHED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560. OBTAIN A CERTIFICATE OF COMPLETION.

BASIN NOTES
-SKIMMER BASIN DESIGN BASED ON 3 DAYS TO DRAIN.
-BASIN AND DIVERSIONS SHALL BE SEED, MULCHED AND ANCHORED/LINED AND PAVED UPON INSTALLATION OF MEASURES.

NOTE TO CONTRACTOR:
EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO THE BEGINNING OF DEMOLITION & TREE REMOVAL

STOCKPILE DESIGN CRITERIA:

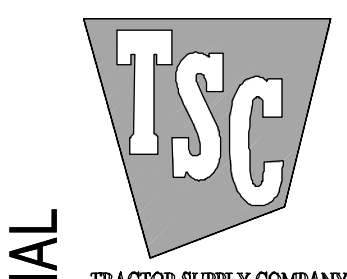
- 1. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
- 2. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- 3. STOCKPILE HEIGHT SHALL NOT EXCEED 35-FEET.
- 4. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- 5. APPROVED BMP'S SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
- 6. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- 7. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
- 8. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDD AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

STOCKPILE MAINTENANCE REQUIREMENTS:

- 1. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- 2. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- 3. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF SEEDS SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- 4. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).



Bowman North Carolina Ltd.
4006 BARRRETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919)555-6570
bowman.com

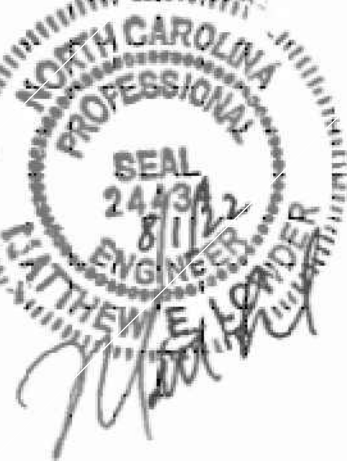


TRACTOR SUPPLY COMPANY

EROSION CONTROL PLAN - INITIAL
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA X PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION



PLAN STATUS

5/26/22	1ST SUBMISSION
6/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL XXX
SCALE	H: 1" = 40' V: 1" = 40'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C2.1

EROSION CONTROL NARRATIVE:

TRACTOR SUPPLY, TOWN OF ZEBULON, WAKE COUNTY, NC
CONTRACTOR SHALL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MOBLIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS (CLEARING ONLY AS NECESSARY TO INSTALL THESE ITEMS). AFTER DEMOLITION, CLEARING AND SITE GRADING OPERATIONS, STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER RESTORATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT UP TO GRADE. THE SITE AND ROADS BE PREPARED FOR THE PROPOSED BUILDING. THE ROUGH GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL THEN BE PERFORMED. BASE STONE WILL THEN BE PLACED AND FINE GRADED. ALL DISTURBED AREAS WILL BE DRESSED AND SEED. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN FINISHING IS TO BEGIN. PAVING AND STRIPING SHALL BE COMPLETED. FINALIZE STORMWATER POND STRUCTURE ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED. THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LAWFUL MANNER. ALL ACTUAL SEDIMENT TRAPS AND OTHER SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF IN A LAWFUL MANNER. ACCORDING TO THE GROUND STABILIZATION REQUIREMENTS ON THIS SHEET, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF THE BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LOADED STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES.

CONSTRUCTION NOTE

ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF WAKE COUNTY SPECIFICATIONS AND STANDARD DETAILS

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE BARRIAGE SOURCE OR OFF-SITE WASTE MATERIAL DISPOSAL SITE. OFF-SITE DISTURBANCES COUNT TOWARDS THE OVERALL PROJECT DISTURBED AREA AND MUST BE COVERED BY THE PERMIT FOR THIS PROJECT AND/OR THE PERMIT FROM ANOTHER ACTIVE WAKE COUNTY OR NCEQ PERMITTED SITE THAT IS APPROPRIATE FOR THE INTENDED USE (I.E. APPLICABLE MINING REQUIREMENTS). NO OFF-SITE ACTIVITIES SHALL OCCUR UNTIL THE PERMIT FOR THIS PROJECT HAS BEEN MODIFIED TO INCLUDE THE AFFECTED AREAS OR IT HAS BEEN KEPT WITH THE EROSION CONTROL INSPECTOR THAT THE OFF-SITE AREAS ARE COVERED UNDER APPLICABLE WAKE COUNTY OR NCEQ PERMITS.

EROSION CONTROL NOTES

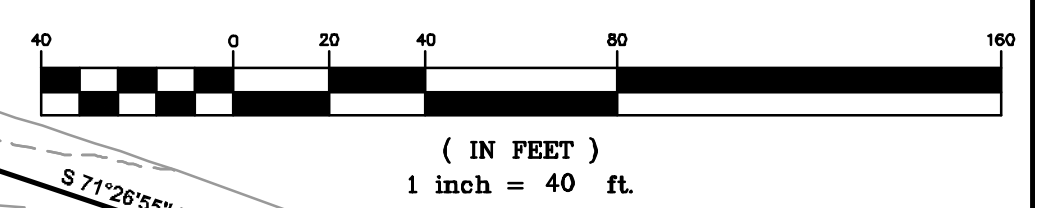
- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.
- REFER TO DETAIL SHEETS FOR CONSTRUCTION DETAILS OF THE PROPOSED EROSION CONTROL MEASURES TO BE USED IN THE DEVELOPMENT OF THIS SITE.
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After you submit a complete and correct NOI Form, a COC will be emailed to you within three business days. Initially, DEMLR will not charge a fee for coverage under the NCGO1 permit. However, on or after May 1, 2019, a \$100 fee will be charged annually. This fee is to be sent to the DEMLR Stormwater Central Office staff in Raleigh.

- Title 15A NCAC 4B .0118(a) and the NCGO1 permit require that the following documentation be kept on file at the job site:
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 2. The NCGO1 permit and the COC, once it is received.
 3. Records of inspections made during the previous 30 days.
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GRAPHIC SCALE



STABILIZATION TIMEFRAME

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
BASIN & TEMPORARY DIVERSION DITCHES	IMMEDIATELY	NONE
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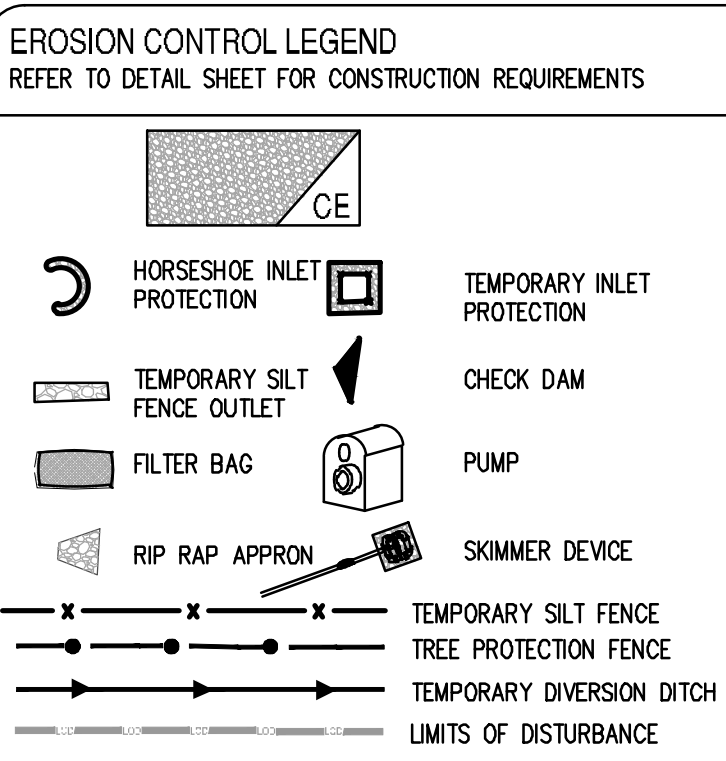
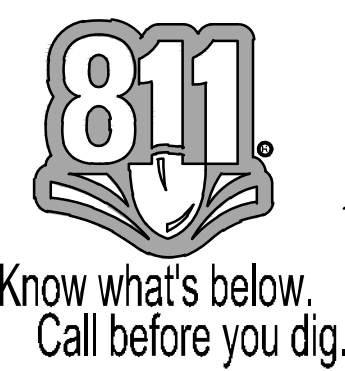
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SEDIMENT AND EROSION CONTROL NOTES:

1. THE EROSION AND SEDIMENTATION CONTROL MEASURES (BMPs) WERE DESIGNED USING WAKE COUNTY AND THE NORTH CAROLINA NCEQ REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NCEQ GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
2. REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
3. EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
4. SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
5. TEMPORARY DIVERSION DITCHES AND BERMS SHALL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
6. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
7. SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
8. SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
9. WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF, SF-PF, OR PF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
10. CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
11. PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SOLID WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
12. CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES. MASS CLEARING AND GRUBBING CAN BEG ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
13. USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPE DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
15. MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
16. REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
17. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
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21. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
22. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
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24. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
25. CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NCEQ OR WAKE COUNTY.



WAKE COUNTY CONSTRUCTION SEQUENCE:

1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WATERSHED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560. OBTAIN A LAND-DISTURBING PERMIT.
2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASINS, WAKE COUNTY SKIMMER BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
3. CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560 FOR AN ONSITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED, ROUGH GRADE SITE.
5. INSTALL STORM SEWER, IF SHOWN, AND PROTECT CATCH BASIN CURB INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. PROTECT AREA DRAIN/YARD INLETS WITH STANDARD INLET PROTECTION. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. PREPARE A SEEDBED, FERTILIZE, LIME, SEED, MULCH AND ASPHALT TACK ALL DENIED AREAS WITHIN NPDES STABILIZATION TIMEFRAME OF COMPLETION OF ANY PHASE OF CONSTRUCTION OR STOPPAGE OF WORK ON ANY PHASE OF CONSTRUCTION.
7. CONTRACTOR TO CONTACT PROJECT ENGINEER BETWEEN SEDIMENT AND EROSION CONTROL PHASES OF DEVELOPMENT AND FOR THE REMOVAL OR CONVERSION OF SEDIMENT AND EROSION CONTROL MEASURES.
8. WAKE COUNTY OR JURISDICTIONAL MUNICIPALITY MUST GRANT PERMISSION TO CONVERT THE SEDIMENT BASIN INTO STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.
9. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560 FOR AN INSPECTION BY THE WATERSHED MANAGER.
10. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
11. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATERSHED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-868-2560. OBTAIN A CERTIFICATE OF COMPLETION.

BASIN NOTES
-SKIMMER BASIN DESIGN BASED ON 3 DAYS TO DRAIN.
-BASIN AND DIVERSIONS SHALL BE SEED, MULCHED AND ANCHORED/LINED AND PAVED UPON INSTALLATION OF MEASURES.

NOTE TO CONTRACTOR:
EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO THE BEGINNING OF DEMOLITION & TREE REMOVAL.

STOCKPILE DESIGN CRITERIA:

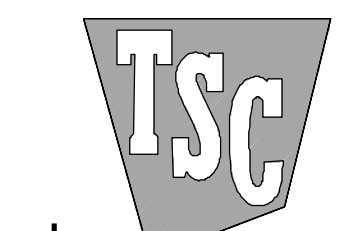
1. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
2. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
3. STOCKPILE HEIGHT SHALL NOT EXCEED 35- FEET.
4. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
5. APPROVED BMP'S SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
6. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
7. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
8. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDD AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

STOCKPILE MAINTENANCE REQUIREMENTS:

1. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
2. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
3. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF SEEDS SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
4. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).



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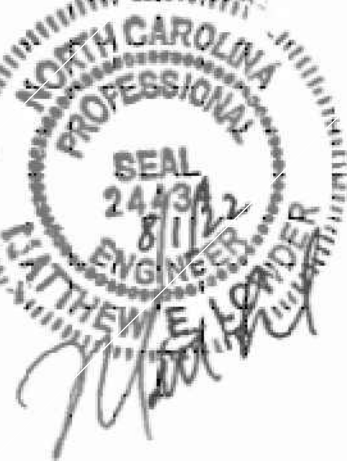


TRACTOR SUPPLY COMPANY

EROSION CONTROL PLAN - FINAL
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION



PLAN STATUS

5/26/22	1ST SUBMISSION
6/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL H: 1" = 40' SCALE V: 1" = 40'
SCALE	
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C2.2

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulch and watered Hydroseeding Roll-on erosion control products with or without temporary grass seed Appropriate erosion control matting Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulch and watered Geotextile fabric such as permanent silt reinforcement matting Hydroseeding Straw or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roll-on erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide oily pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

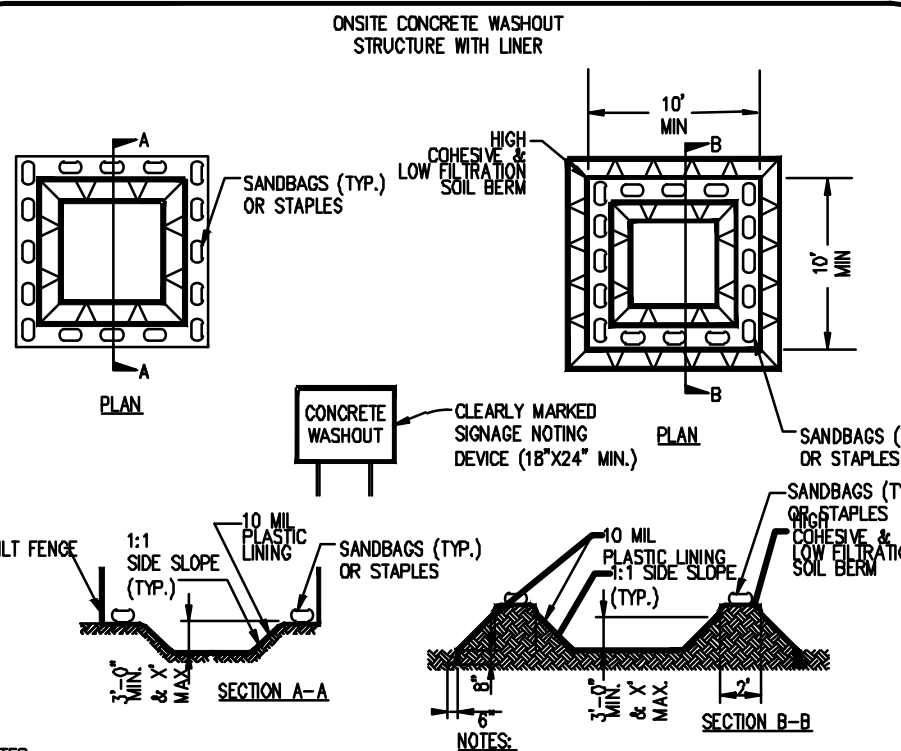
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint wastebats at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid waste in a controlled area.
- Containment must be labeled, stored and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating units.

EROSION STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate erosion-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment control and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with all faces installed along top of slope with a minimum offset of five feet from the toe of slope.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



NOTES:
1. ACTUAL LOCATION DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURE'S CAPACITY.
3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH STORAGE NOTING DEVICE.

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Install, or recycle, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method of product is to be used, contact your approved authority for review and approval. If local standards are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective cut or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground, and install a stone entrance pad in front of the washout. Additional controls may be required by the governing authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove loadings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining loadings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Drainage maintained in good working order	Daily	<ol style="list-style-type: none"> Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no independent rainfall information is available, record the cumulative rain measurement for those unattended days (and the wet/dry state if a rain inspection is needed). Events which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-measuring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the measures inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the measures are operating properly. Description of measures not working properly. Description of corrective actions taken. Identification of the discharge outlets inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the measures are operating properly. Description of corrective actions taken, such as silt fences, blocking of riprap, etc. Indication of whether sediment buildup has occurred. Description, evidence, and date of corrective action taken.
(3) Silt water discharge outlets (SUDs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the SUDs inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the SUDs are operating properly. Description of corrective actions taken, such as silt fences, blocking of riprap, etc. Indication of whether sediment buildup has occurred. Description, evidence, and date of corrective action taken.
(4) Stormwater discharge outlets (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the SDOs inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the SDOs are operating properly. Description of corrective actions taken, such as silt fences, blocking of riprap, etc. Indication of whether sediment buildup has occurred. Description, evidence, and date of corrective action taken.
(5) Stormwater discharge outlets (SDOs) with sediment traps	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the SDOs inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the SDOs are operating properly. Description of corrective actions taken, such as silt fences, blocking of riprap, etc. Indication of whether sediment buildup has occurred. Description, evidence, and date of corrective action taken.
(6) Ground stabilization measures	After each phase of grading	<ol style="list-style-type: none"> Phase of grading in progress. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the ground stabilization measures are operating properly. Description of corrective actions taken, such as silt fences, blocking of riprap, etc. Indication of whether sediment buildup has occurred. Description, evidence, and date of corrective action taken.

NOTE: The rain inspection meets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC Measure has been installed and does not significantly deviate from the location, dimensions and relative elevations shown on the approved EESC Plan.	Initial and date each EESC Measure on a copy of the approved EESC Plan or electronic data and sign an inspection report that lists each EESC Measure shown on the approved EESC Plan. This documentation is required upon the initial installation of the EESC Measures or if the EESC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground covers is located and installed in accordance with the approved EESC Plan.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(d) The maintenance and repair requirements for all EESC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC Measures.	Initial and date a copy of the approved EESC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspection at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

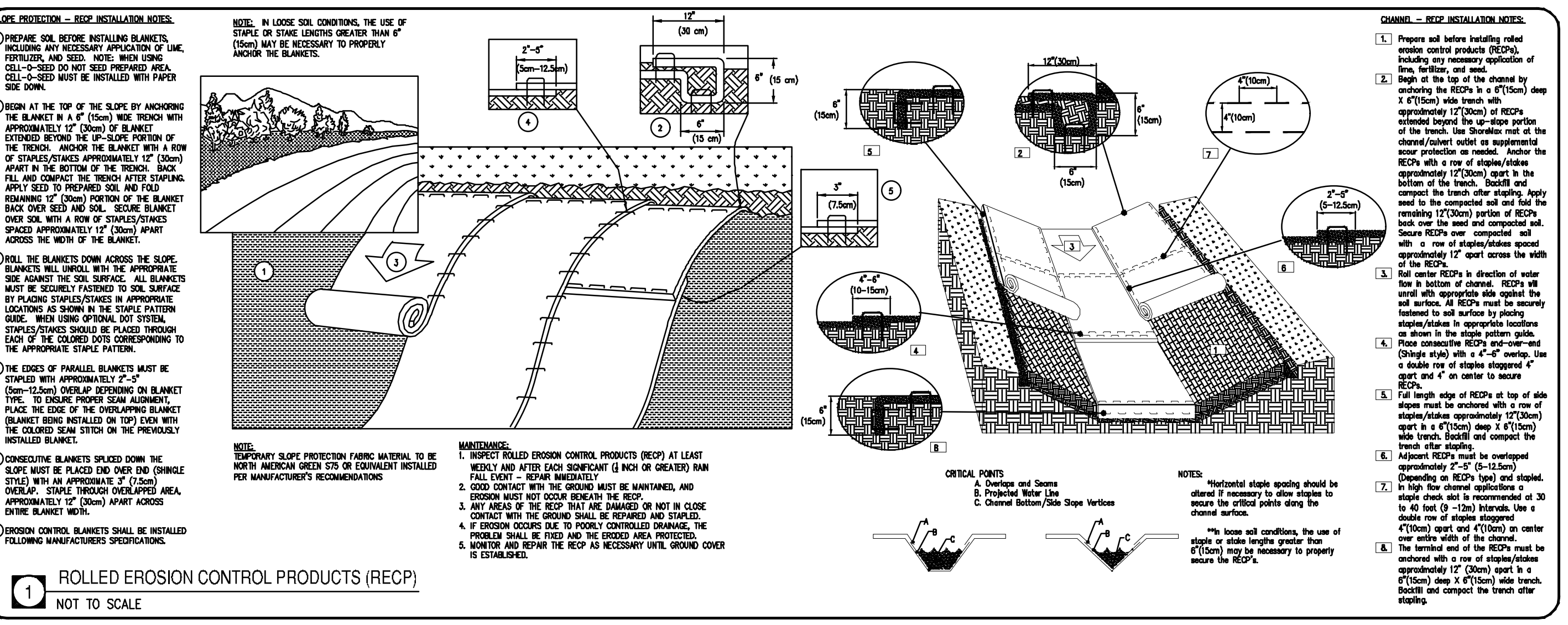
- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-obtainable records in lieu of the required paper copies will be allowed if shown to provide equal access and utility on the hard-copy records.

3. Documentation to be Retained for Three Years
All data used to complete the e-NIS and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

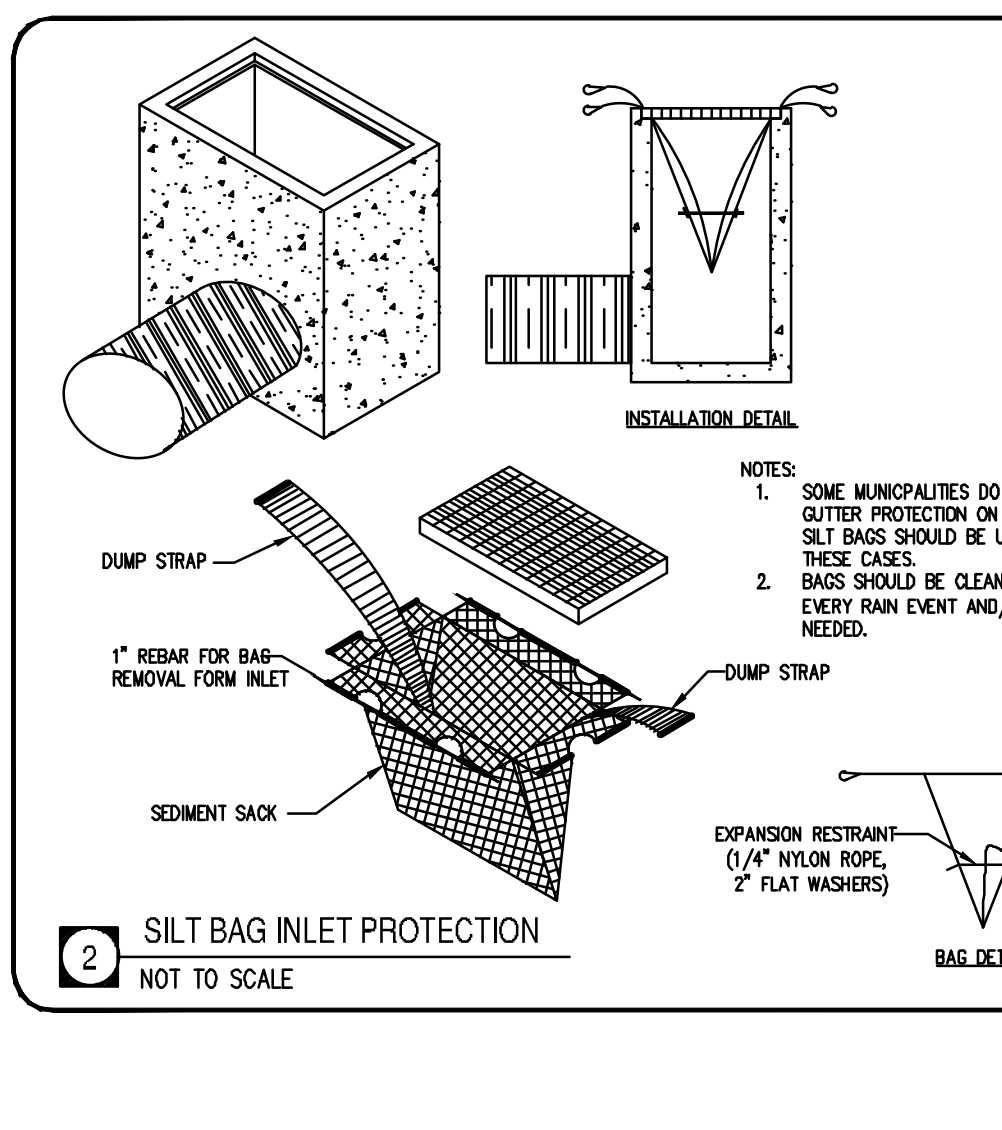
PART II, SECTION G, ITEM (4) DRAIN DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out. Unless this is infeasible, the circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The EESC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the EESC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (4) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, wet traps, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pile is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.



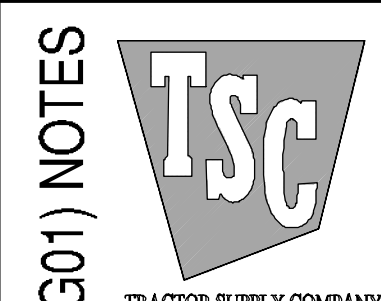
NOTES:
1. Horizontal slope bedding should be obtained if necessary after slope to meet other project goals.
2. Use of RECP on slopes greater than 4:1 may be necessary to properly secure the RECP.
3. RECP shall be installed in accordance with the manufacturer's instructions.



NOTES:
1. SOME MANUFACTURERS DO NOT ALLOW CUTTER PROTECTION IN PUBLIC ROADS. SILT BAGS SHOULD BE USED WITH THESE CASES.
2. BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.



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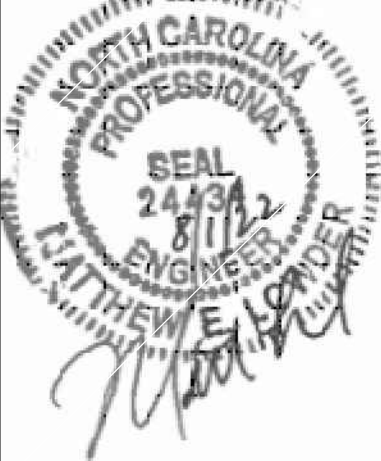


TRACTOR SUPPLY COMPANY

NC CONSTRUCTION GENERAL PERMIT (NCG01) NOTES
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County



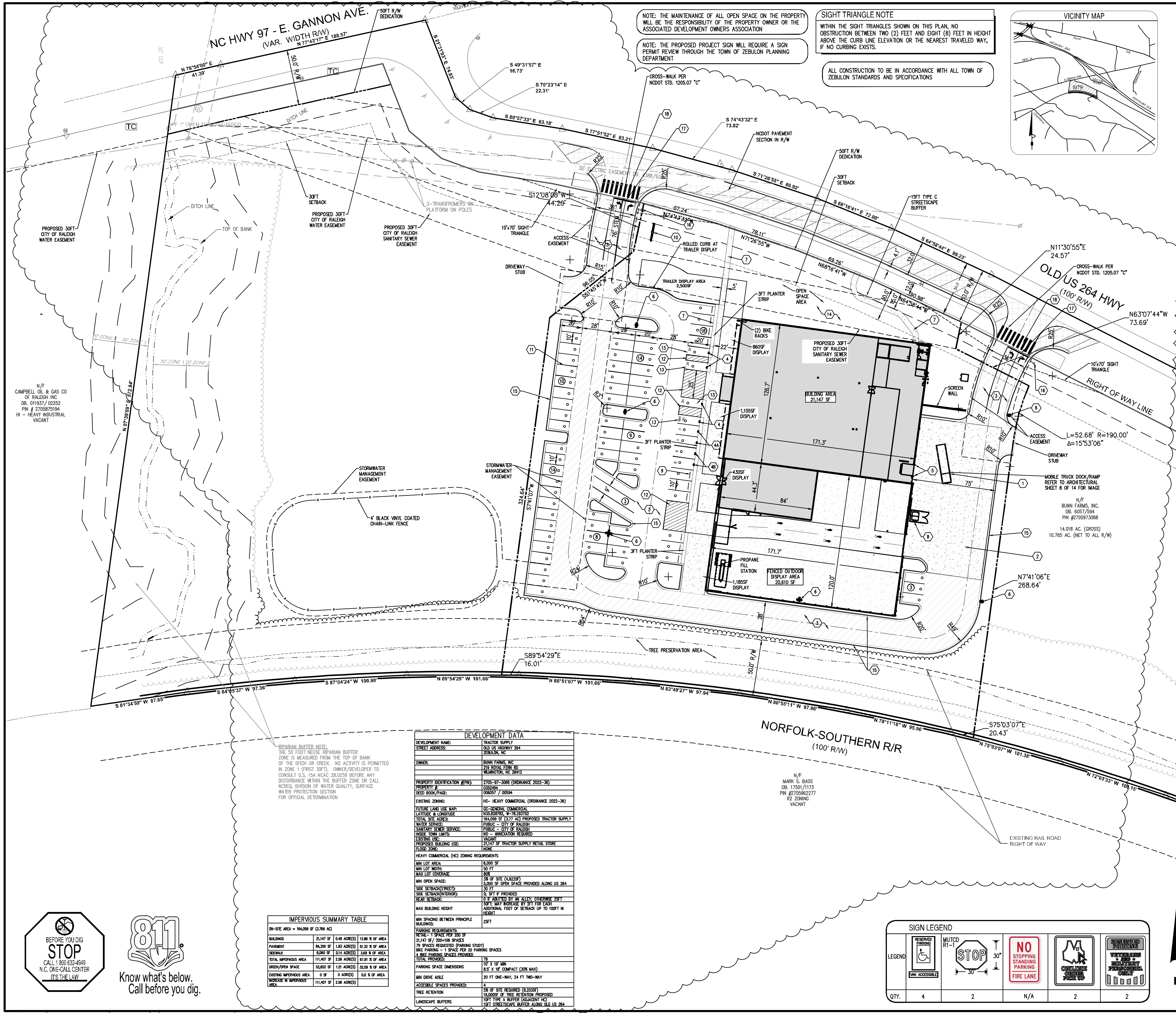
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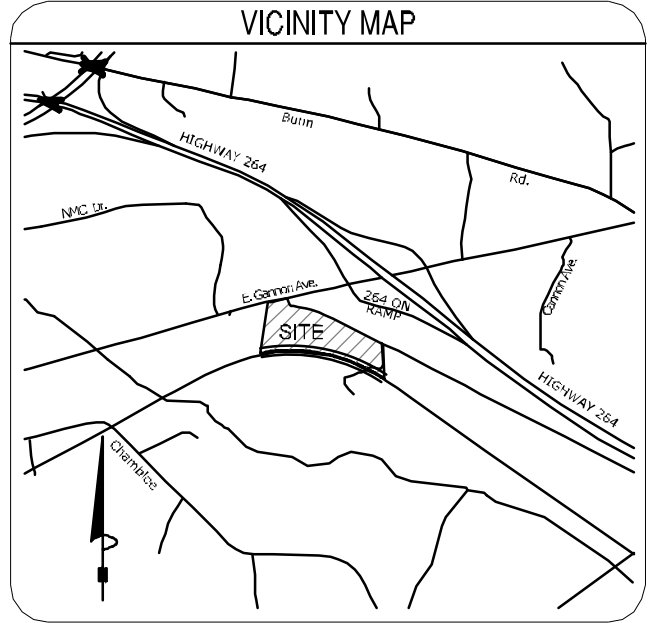
PLAN STATUS	DATE	DESCRIPTION
5/26/22	1ST SUBMISSION	
6/1/22	PER TOWN & RALEIGH REVIEW	

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: N/A V: N/A
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C2.3



- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
 - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND TOWN OF ZEBULON STANDARDS.
 - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)



NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

SIGHT TRIANGLE NOTE
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

- KEYNOTES**
- STEEL DOCK/RAMP - REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
 - CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C1.4 EXPANSION AND CONTROL JOINTS - SEE DETAILS SHEET
 - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET
 - STANDARD DUTY PAVEMENT
 - HEAVY DUTY PAVEMENT
 - NCDOT PAVEMENT SECTION
 - HANDICAP PARKING SIGN - SEE DETAIL SHEET
 - VETERANS PARKING SIGN - SEE DETAIL SHEET
 - ON-LINE PARKING SIGN - SEE DETAIL SHEET
 - BOLLARD - SEE DETAIL SHEET
 - CONCRETE LIGHT POLE BASE
 - CONCRETE SIDEWALK - SEE DETAIL SHEET FOR SIDEWALKS AROUND BUILDING.
 - DUMPSTER ENCLOSURE - REFER TO SHEET
 - 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL SHEET. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK.
 - SIGN (UNDER SEPARATE PERMIT)
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
 - 4" WIDE PARKING DIAGONAL STRIPES
 - ACCESSIBLE PARKING AREA - (PER A.D.A. REQUIREMENTS)
 - NEW GRASS/LANDSCAPE AREA
 - CONCRETE CURB AND GUTTER - SEE DETAIL SHEET
 - STOP SIGN - SEE DETAIL SHEET
 - PAVEMENT MARKINGS
 - NEW CURB CUT, MATCH EXISTING EOP & APPROACH PER LOCAL CODES & SPECS.
 - CONCRETE FLUME - REFER TO DETAIL ON SHEET (NOT USED)
 - PROPOSED PARKING COUNT

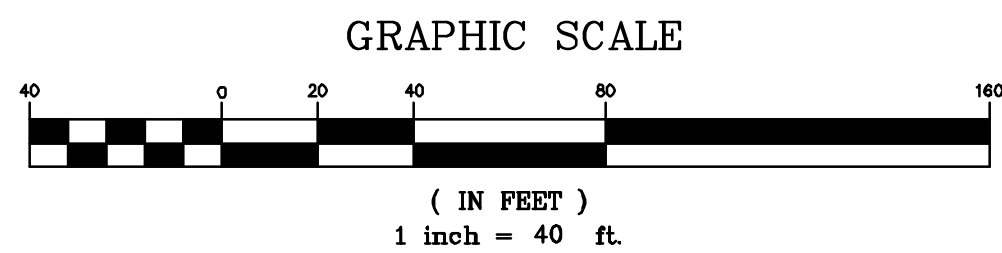
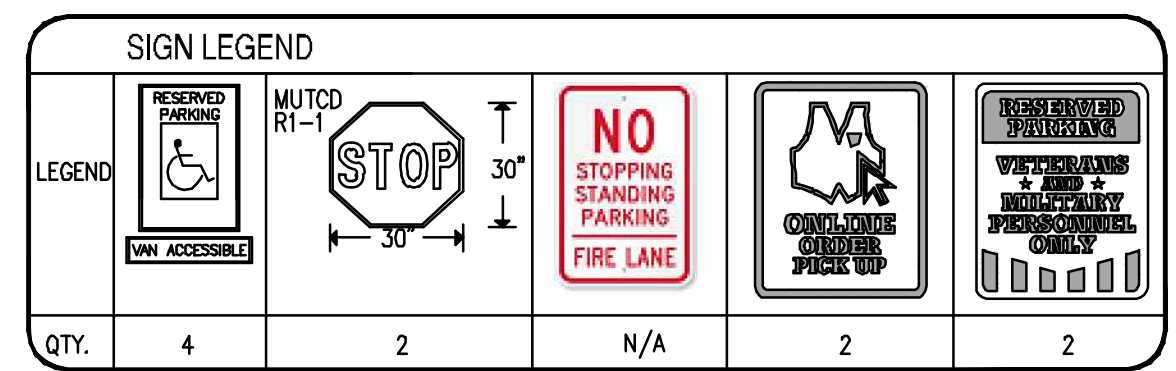
DEVELOPMENT DATA

DEVELOPMENT NAME:	TRACTOR SUPPLY
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC. 218 ROTAL FERN RD. WEAVERTON, NC 28087
PROPERTY IDENTIFICATION # (PID):	2706-07-3008 (ORDINANCE 2022-36)
PROPERTY #:	0355494
DEED BOOK/PAGE:	006057 / 02594
EXISTING ZONING:	HC - HEAVY COMMERCIAL (ORDINANCE 2022-36)
FUTURE LAND USE MAP:	CC - GENERAL COMMERCIAL
LATTICE & LINGUISTIC:	NX-020506 - 7-12-2015
TOTAL SITE ACRES:	144,059 SF (3.377 AC) PROPOSED TRACTOR SUPPLY
WATER SERVICE:	PUBLIC - CITY OF RALEIGH
SANITARY SEWER SERVICE:	PUBLIC - CITY OF RALEIGH
MSDC TOWN LIMITS:	NO - ANNEXATION REQUIRED
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS	
MIN LOT AREA:	6,000 SF
MIN LOT WIDTH:	50 FT
MAX LOT COVERAGE:	50%
MIN OPEN SPACE:	3% OF SITE (4,922SF)
SIDE SETBACK(S) (STREET):	5,000 SF OPEN SPACE PROVIDED ALONG US 264
SIDE SETBACK(S) (INTERIOR):	0 SF IF PROVIDED
SEAL SETBACK:	IS PROVIDED BY W/ ALLEY, OTHERWISE 25FT
MAX BUILDING HEIGHT:	SOFT WALK INCREASE BY 911 FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100FT IN HEIGHT
MIN SPACING BETWEEN PRINCIPLE BUILDINGS:	25FT
PARKING REQUIREMENTS:	
RETAIL - 1 SPACE PER 200 SF	
21,147 SF / 200-SQ FT SPACES	
79 SPACES REQUESTED (PARKING STUDY)	
BIKE PARKING - 1 SPACE PER 20 PARKING SPACES	
4 BIKE PARKING SPACES PROVIDED	
TOTAL PROVIDED:	79
PARKING SPACE DIMENSIONS:	TOP 1' X 10' MIN
MIN DRIVE AISLE:	8.5' X 18' COMPACT (SIDE WALK)
MIN DRIVE WALK:	20 FT ONE-WAY, 24 FT TWO-WAY
ACCESSIBLE SPACES PROVIDED:	4
LANDSCAPE BUFFERS:	10% OF SITE REQUIRED (14,000SF)
100FT TYPE A BUFFER (ADJACENT TO R/W)	
10 FT STREET SCAPE BUFFER ALONG OLD US 264	

IMPERVIOUS SUMMARY TABLE

ON-SITE AREA = 144,059 SF (3.376 AC)	
BUILDINGS	21,147 SF (0.49 ACRES) 12.80 % OF AREA
PAVEMENT	84,200 SF (1.93 ACRES) 58.42 % OF AREA
SEWER/STORM	6,060 SF (0.14 ACRES) 4.21 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF (2.56 ACRES) 77.43 % OF AREA
GREEN/OPEN SPACE	32,652 SF (0.75 ACRES) 22.57 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF (0 ACRES) 0.00 % OF AREA
PROPOSED IMPERVIOUS AREA	111,407 SF (2.56 ACRES)

RIPARIAN BUFFER NOTE:
THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE WHEAT CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 154 NCAIC 28.02259 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDOD, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION



Bowman

Bowman North Carolina Ltd.
4006 BARRIETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 555-6570
bowman.com

TSC

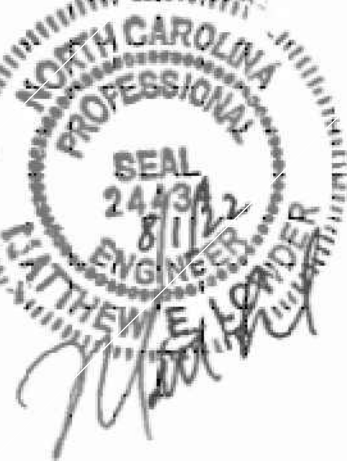
TRACTOR SUPPLY COMPANY

SITE PLAN

Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

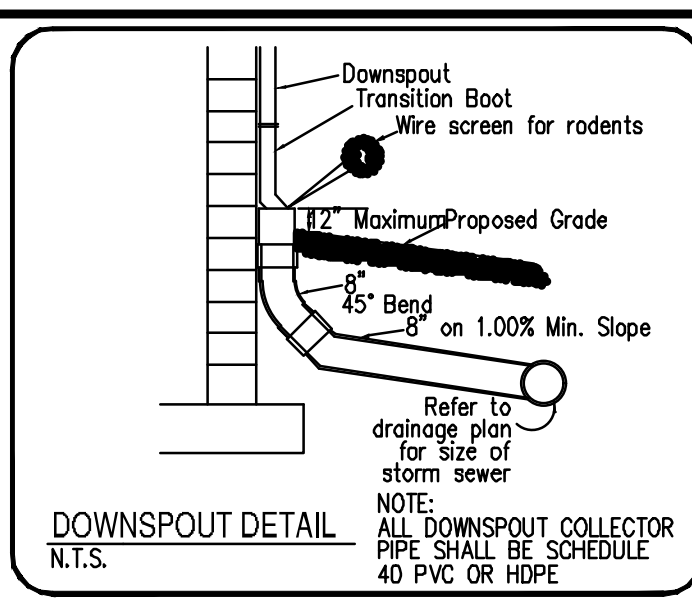
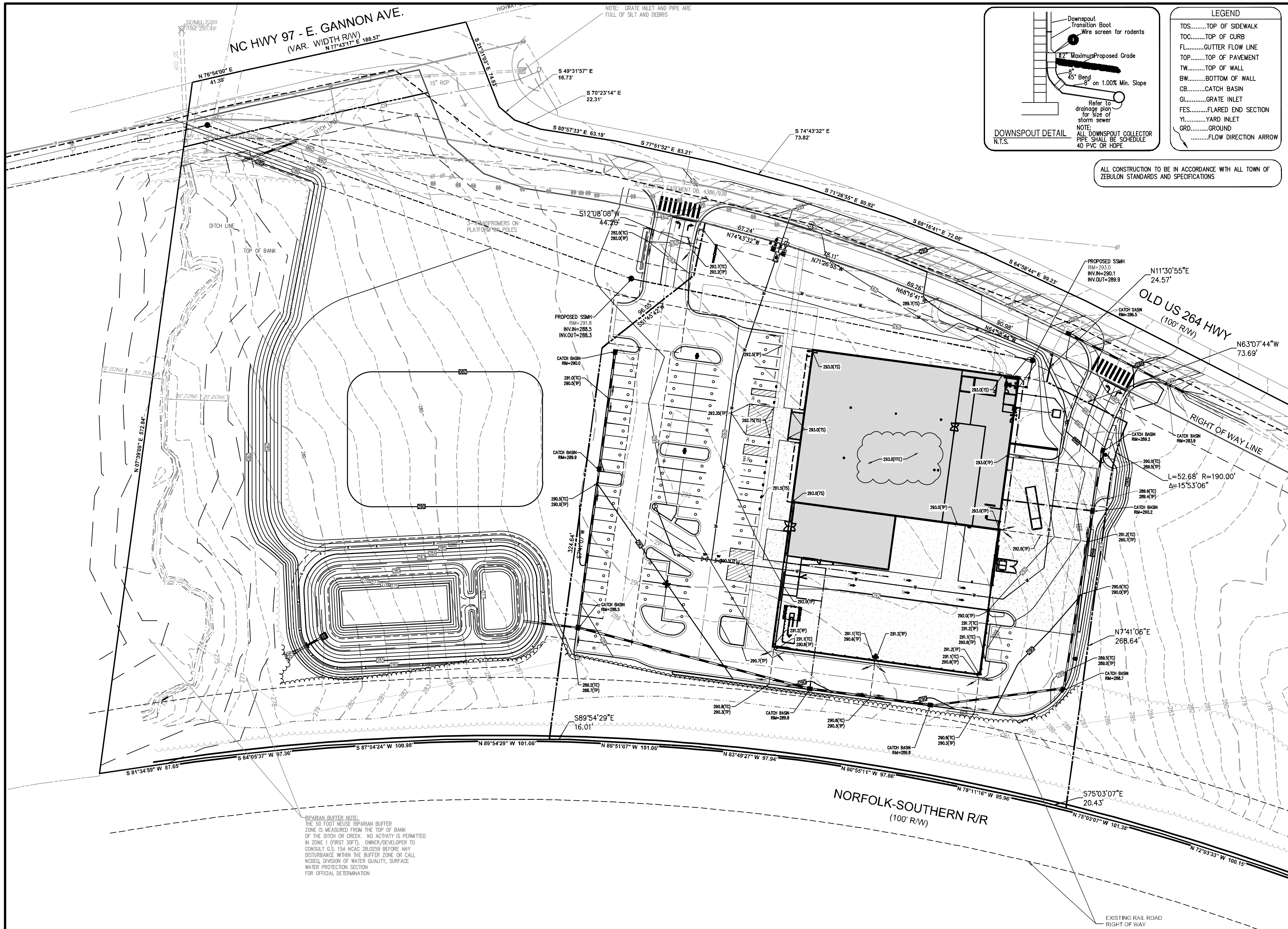


PLAN STATUS

5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C3.0**



LEGEND

- TOS.....TOP OF SIDEWALK
- TOC.....TOP OF CURB
- FL.....GUTTER FLOW LINE
- TOP.....TOP OF PAVEMENT
- TW.....TOP OF WALL
- BW.....BOTTOM OF WALL
- CB.....CATCH BASIN
- GI.....GRATE INLET
- FES.....FLARED END SECTION
- YL.....YARD INLET
- GRD.....GROUND
-FLOW DIRECTION ARROW

- GRADING NOTES:**
- REFER TO THE SITE PLAN FOR RELATED NOTES.
 - ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
 - ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
 - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 - LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
 - THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
 - ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
 - LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
 - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
 - ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
 - EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
 - THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS FOR THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
 - ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

- DRAINAGE NOTES:**
- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
 - PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
 - CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
 - 840.02 - CONCRETE CATCH BASIN
 - 840.03 - FRAME, GRATES, AND HOOD FOR CATCH BASINS
 - 840.14 - CONCRETE DROP INLET
 - 840.04 - CONCRETE OPEN THROAT CATCH BASIN
 - 840.14 - CONCRETE DROP INLET
 - 840.16 - DROP INLET FRAME AND GRATES
 - 840.31 - CONCRETE JUNCTION BOX
 - 840.35 - TRAFFIC BEARING GRATED DROP INLET
 - 840.52 - PRECAST MANHOLE
 - 840.45 - PRECAST DRAINAGE STRUCTURE
 - 838.80 - PRECAST CONCRETE ENDWALL
 - ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) - AASHTO DESIGNATION M252 TYPE S, M284 TYPE S AND MPT-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
 - ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - PRECAST STRUCTURES MAYBE USED AT CONTRACTOR'S OPTION.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
 - RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

IMPERVIOUS SUMMARY TABLE

Category	Area (SF)	Area (ACRE(S))	% OF AREA
ON-SITE AREA = 164,059 SF (3.766 AC)			
BUILDINGS	21,147 SF	0.49 ACRE(S)	12.89 % OF AREA
PAVEMENT	84,200 SF	1.93 ACRE(S)	51.32 % OF AREA
SIDEWALK	6,060 SF	0.14 ACRE(S)	3.69 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	67.91 % OF AREA
GREEN/OPEN SPACE	52,652 SF	1.21 ACRE(S)	32.09 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF	0 ACRE(S)	0.0 % OF AREA
INCREASE IN IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	

RIPARIAN BUFFER NOTE:
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE RIVER OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDEQ, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION.

BEFORE YOU DIG STOP
 CALL 1-800-832-4849
 N.C. ONE-CALL CENTER
 IT'S THE LAW

811
 Know what's below.
 Call before you dig.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.

Bowman
 Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)555-6570
 bowman.com
 Bowman North Carolina Ltd.

TSC
 TRACTOR SUPPLY COMPANY
Grading & Drainage Plan
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

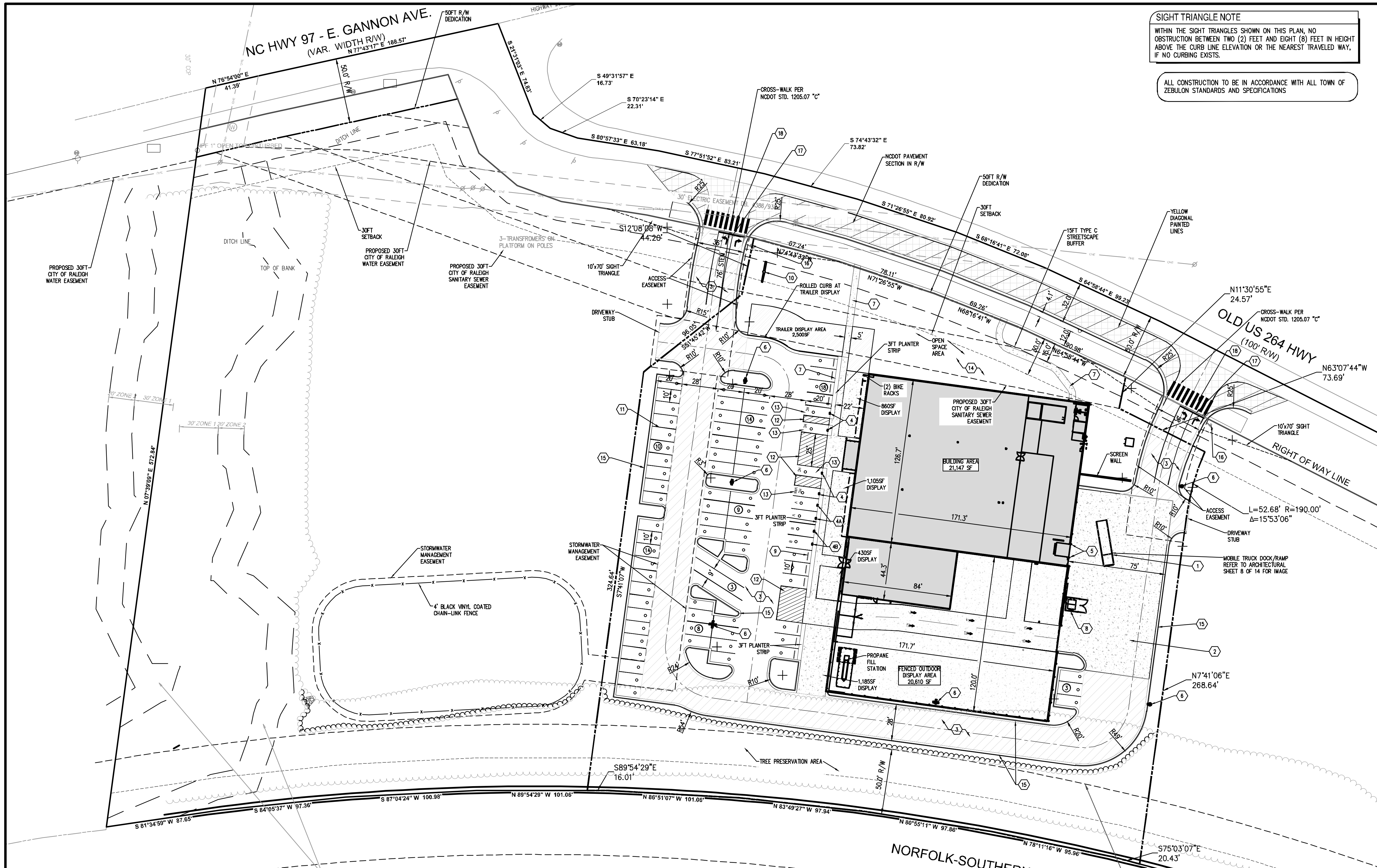
PRIMAX
 PROPERTIES, LLC
 PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION

NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL
 2417
 11/15/2011
 J. B. BARRETT

PLAN STATUS

5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C4.0**



SIGHT TRIANGLE NOTE
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

TRAFFIC CONTROL NOTES:
 THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 8:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10'-CENTER IN RADII, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS

ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

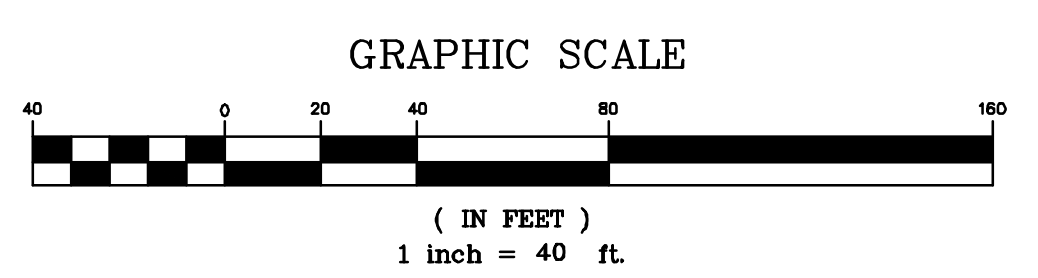
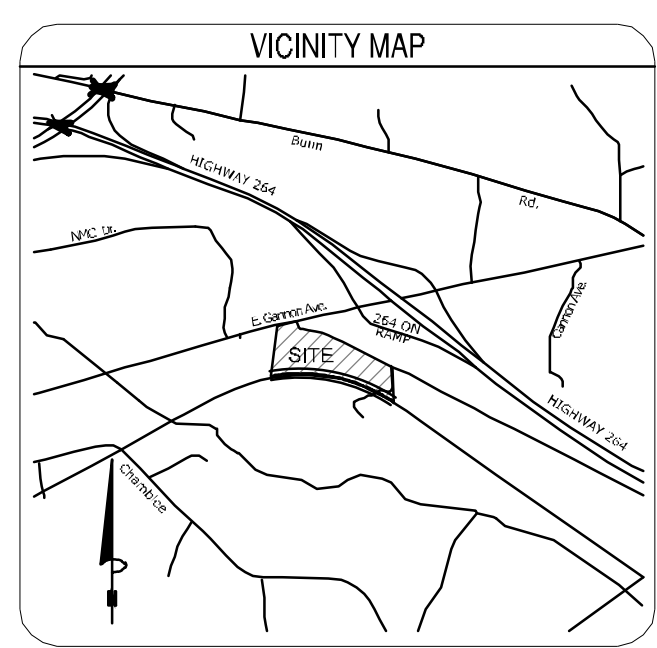
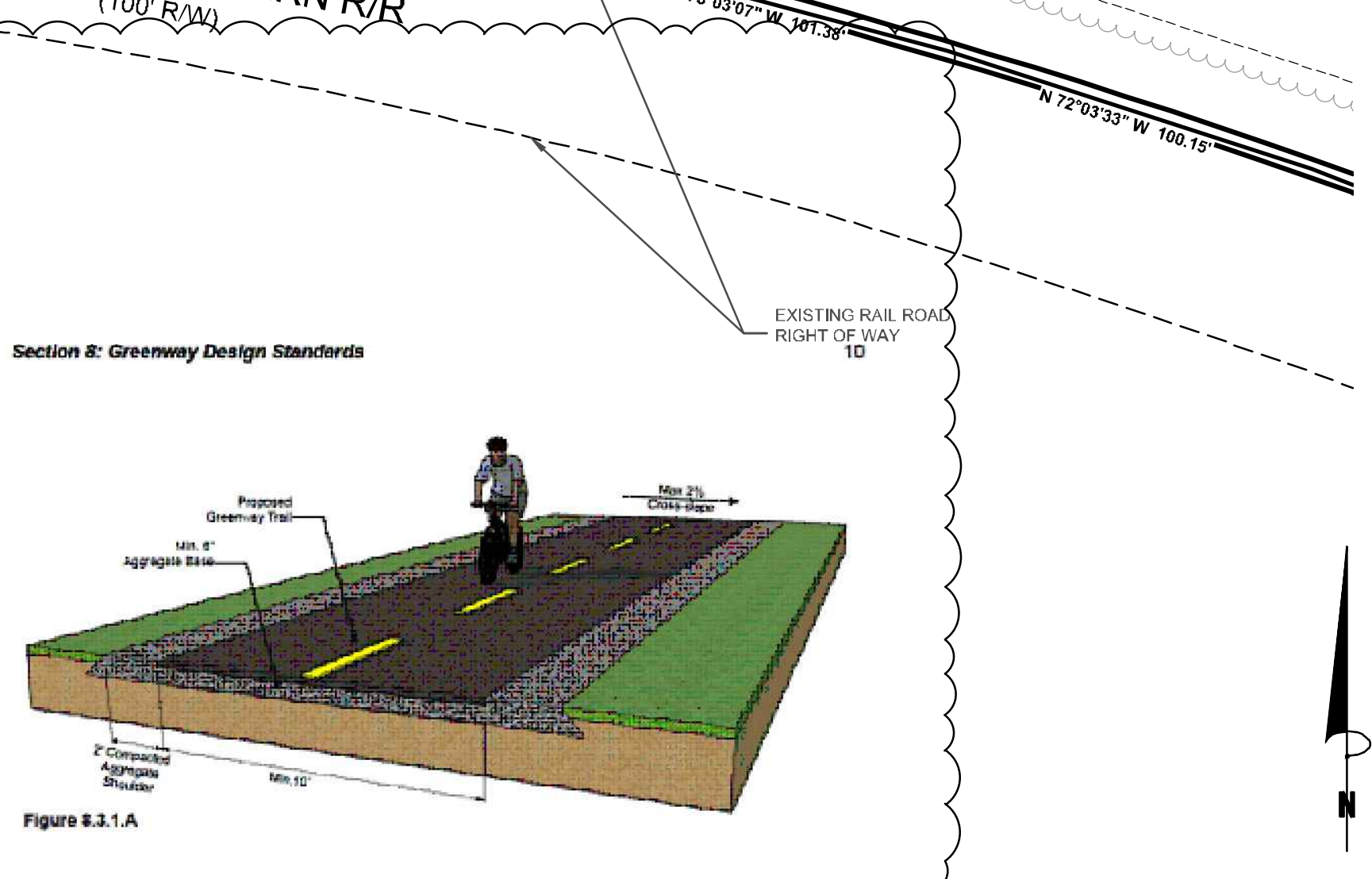
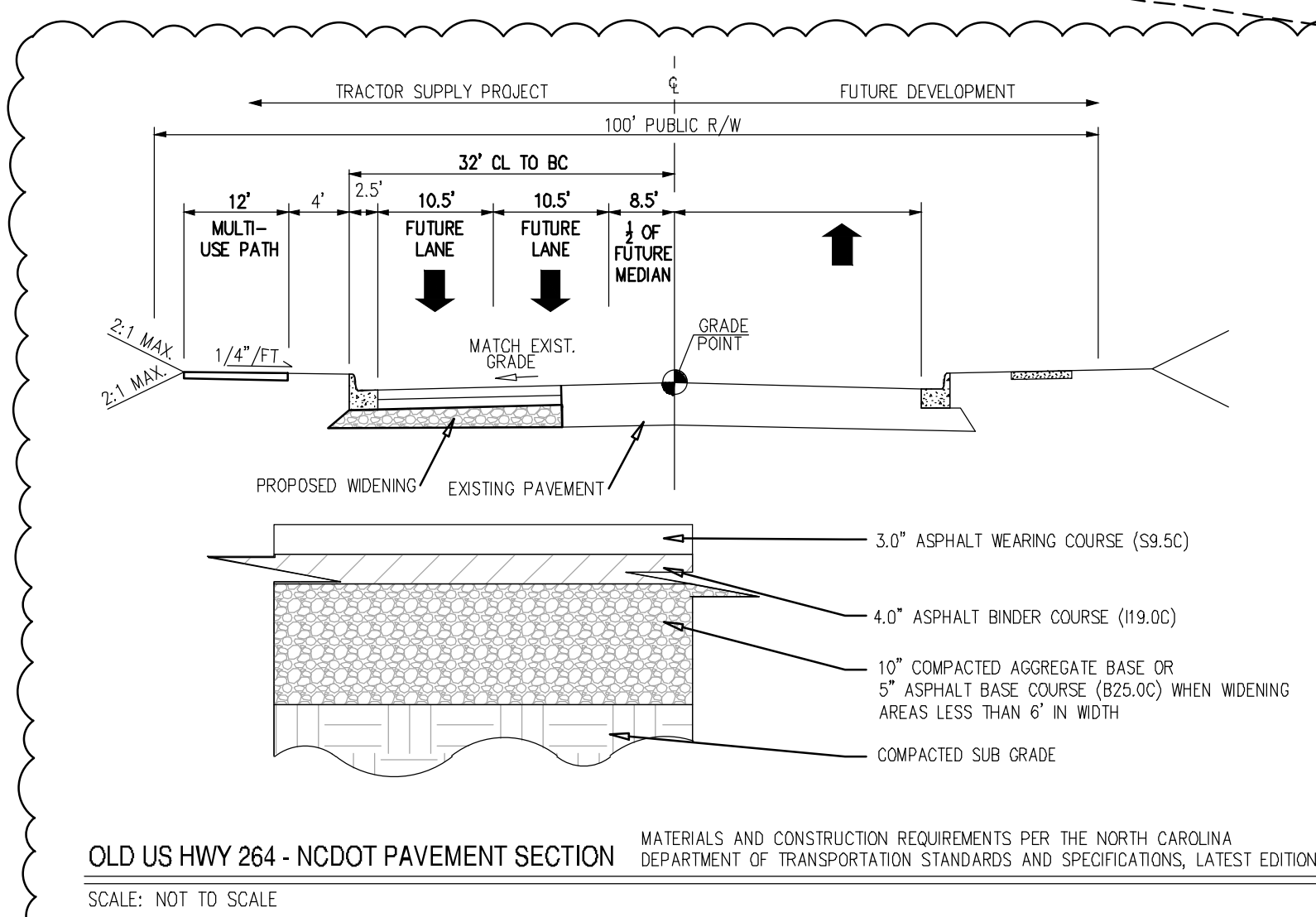
NCDOT ROADWAY STANDARD DRAWINGS TO REFERENCE

- 200.02 METHOD OF CLEARING - METHOD II
- 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
- 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
- 840.71 CONCRETE AND BRICK PIPE PLUG
- 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
- 848.01 CONCRETE SIDEWALK
- 848.05 WHEELCHAIR RAMP - CURB CUT
- 852.01 CONCRETE ISLANDS
- 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
- 1101.01 WORK ZONE ADVANCE WARNING SIGNS
- 1101.02 TEMPORARY LANE CLOSURES
- 1101.04 TEMPORARY SHOULDER CLOSURES
- 1101.05 WORK ZONE VEHICLE ACCESSES
- 1101.11 TRAFFIC CONTROL DESIGN TABLES
- 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
- 1115.01 FLASHING ARROW PANELS
- 1130.01 DRUMS
- 1135.01 CONES
- 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
- 1150.01 FLAGGERS
- 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
- 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
- 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
- 1205.05 PAVEMENT MARKINGS TURN LANES

PAVEMENT MARKING SCHEDULE	
1A	WHITE EDGE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1I	DOUBLE YELLOW CENTERLINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1H	YELLOW LANE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1D	3" WHITE MINI-SKIP LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1C	10' WHITE SKIP LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1E	WHITE SOLID LANE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1A	LEFT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1B	RIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1C	STRAIGHT ARROW (90MIL) NCDOT STD DETAIL 1205.08
1D	COMBO LEFT/STRAIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1E	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1V	YELLOW DIAGONAL LINES (4", 90MIL) NCDOT STD DETAIL 1205.09
1B	3" YELLOW MINI-SKIP LINES (4", 90MIL) NCDOT STD DETAIL 1205.01
1F	YELLOW SKIP CENTER LINES (4", 90MIL) NCDOT STD DETAIL 1205.01
1Z	STOP BAR (24" 90MIL) NCDOT STD DETAIL 1205.01
1	12" YIELD LINE SYMBOL (90MIL) NCDOT STD DETAIL 1205.08 (THIS SHEET)

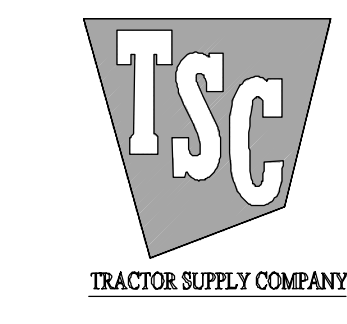
ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS

CONTRACTOR TO INSTALL MARKINGS PER NCDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.



Bowman

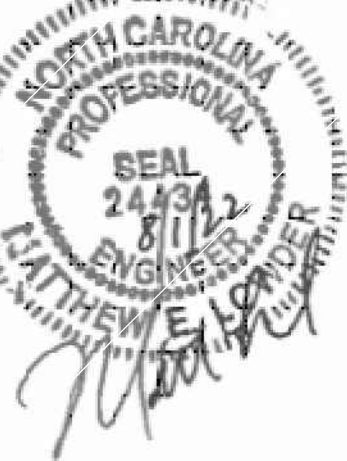
Bowman North Carolina Ltd.
 4006 BARRIETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 955-6570
 bowman.com
 Bowman North Carolina Ltd.



ROADWAY PLAN
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMAX PROPERTIES, LLC

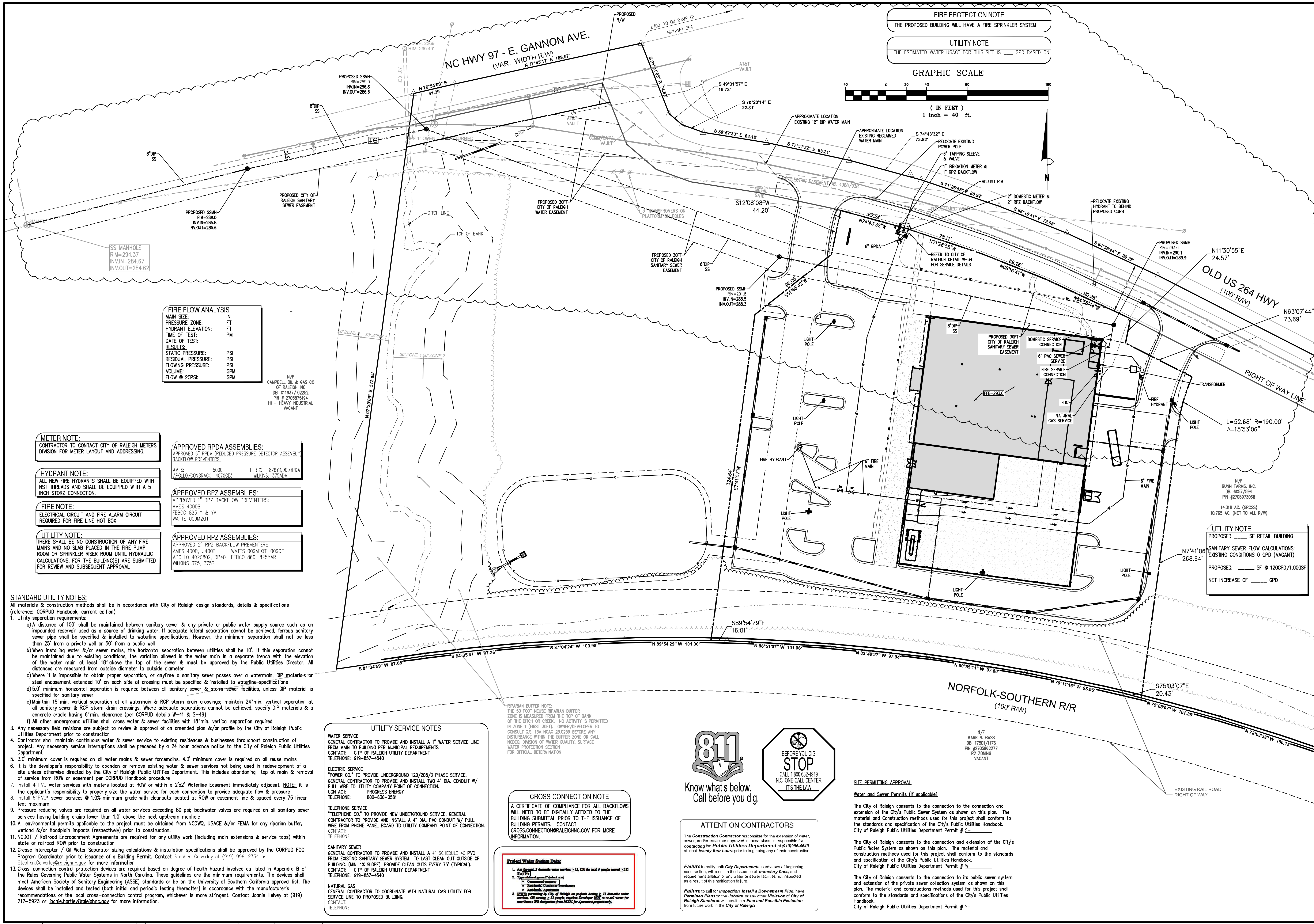
PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS
 5/26/22 1ST SUBMISSION
 8/1/22 PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C4.1**



FIRE PROTECTION NOTE
THE PROPOSED BUILDING WILL HAVE A FIRE SPRINKLER SYSTEM

UTILITY NOTE
THE ESTIMATED WATER USAGE FOR THIS SITE IS ___ GPD BASED ON

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

FIRE FLOW ANALYSIS

MAIN SIZE:	IN
PRESSURE ZONE:	FT
HYDRANT ELEVATION:	FT
TIME OF TEST:	PM
DATE OF TEST:	
RESULTS:	
STATIC PRESSURE:	PSI
RESIDUAL PRESSURE:	PSI
FLOWING PRESSURE:	PSI
VOLUME:	GPM
FLOW @ 20PSI:	GPM

N/F
CAMPBELL OIL & GAS CO
OF RALEIGH INC
DB: 01537/0292
PM # 2705875194
HI - HEAVY INDUSTRIAL
VACANT

METER NOTE:
CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

HYDRANT NOTE:
ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

FIRE NOTE:
ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX.

UTILITY NOTE:
THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL.

APPROVED RPDA ASSEMBLIES:
APPROVED 6" RPDA (TYPICAL) PRESSURE DETECTOR ASSEMBLY BACKFLOW PREVENTERS:
AMES: 5000 FEBCO: 826YD, 909RPDA
APOLLO/CONBRACO: 4070CE3 WILKINS: 375ADA

APPROVED RPZ ASSEMBLIES:
APPROVED 1" RPZ BACKFLOW PREVENTERS:
AMES: 4000R FEBCO: 825 Y & YA WATTS: 009M2QT

APPROVED RPZ ASSEMBLIES:
APPROVED 2" RPZ BACKFLOW PREVENTERS:
AMES: 400B, U400B WATTS: 009M1QT, 009QT
APOLLO: 4020802, RP40 FEBCO: 860, 825YAR WILKINS: 375, 375B

- STANDARD UTILITY NOTES:**
All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18' above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm-sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18' min. vertical separation at all watermain & RCP storm drain crossings; maintain 24' min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6' min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18' min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 4" PVC water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or Stephen.Calverley@raleighnc.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hevey at (919) 212-5923 or joanie.hevey@raleighnc.gov for more information.

UTILITY SERVICE NOTES

WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

SEPARATION BUFFER NOTE:
THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE RIVER OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NEUSE DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION.

CROSS-CONNECTION NOTE
A CERTIFICATE OF COMPLIANCE FOR ALL BACKFLOWS WILL NEED TO BE DIGITALLY AFFIXED TO THE BUILDING SUBMITTAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS. CONTACT CROSS-CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

Protec Water Systems Data:

- Any 2" or larger diameter water service ≥ 1.5, OR the total pipe length ≥ 250
- Any 4" or larger diameter sewer service ≥ 1.5, OR the total pipe length ≥ 250
- Any 6" or larger diameter gas service ≥ 1.5, OR the total pipe length ≥ 250
- Any 8" or larger diameter fire service ≥ 1.5, OR the total pipe length ≥ 250

A. 100% compliance by City of Raleigh on projects starting on or after 1/1/2022. All projects starting on or after 1/1/2022 must have a 100% compliance program in place.



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

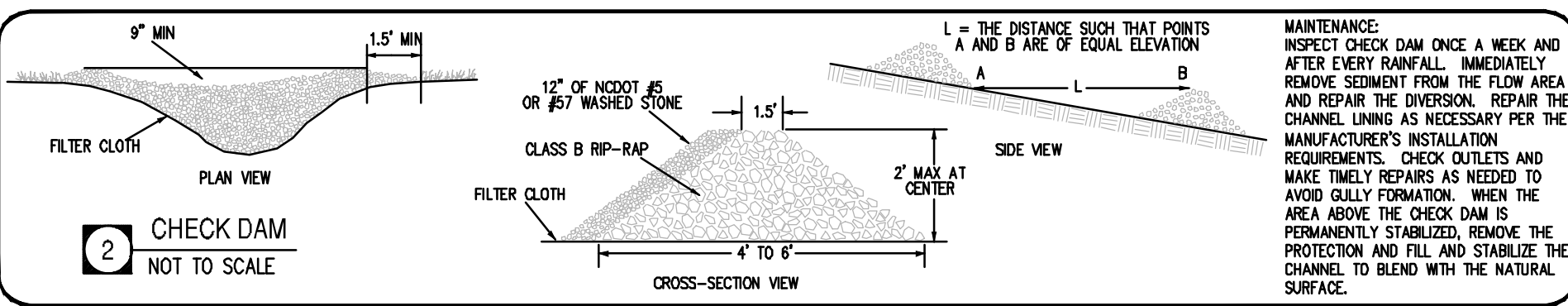
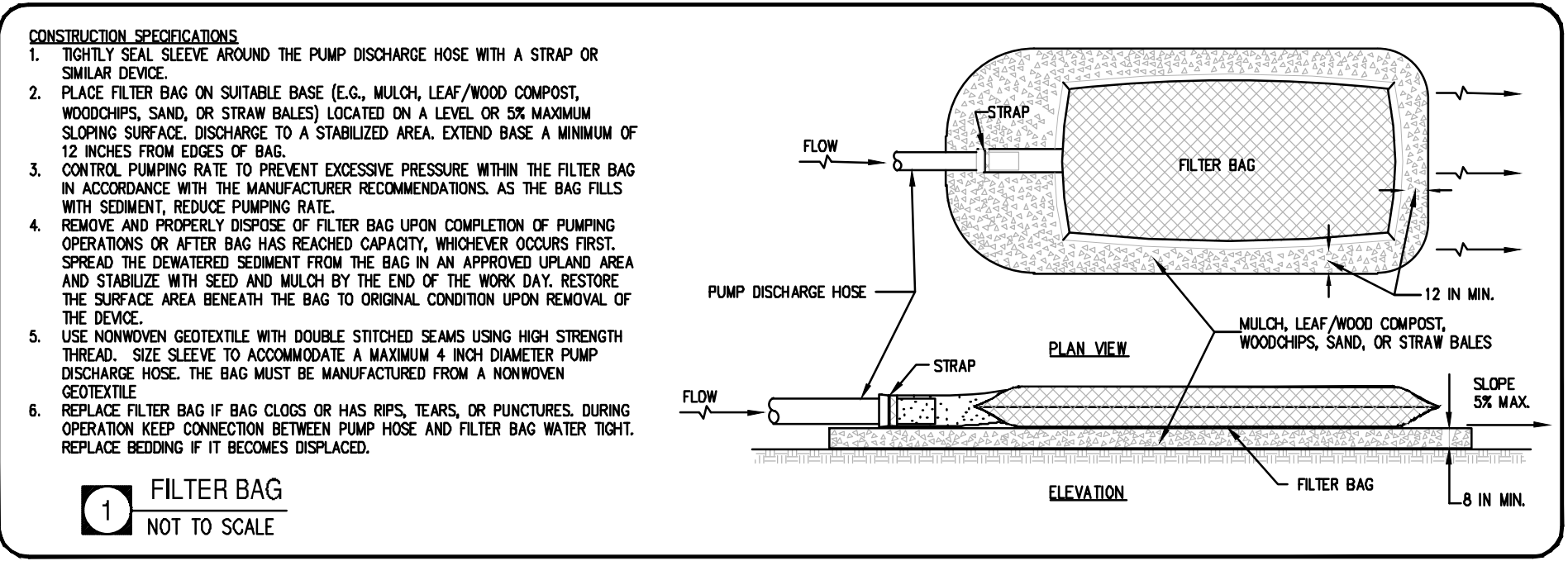
SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____



TEMPORARY SEEDING SPECIFICATIONS/SCHEDULE

Date	Type	Planting Rate
March - Oct	Browntop Millet	40 lbs/acre
Nov. - Feb.	Winter Rye	120 lbs/acre

PERMANENT SEEDING SPECIFICATIONS/SCHEDULE

FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)

Date	Type	Planting Rate
Aug 15 - Nov 1	Deer Tongue	300 lbs/acre
Nov 1 - Mar 1	Deer Tongue & Abruzzi Rye	300 lbs/acre
Mar 1 - Apr 15	Deer Tongue	300 lbs/acre
Apr 14 - Jun 30	Hulled Common Bermuda Grass	25 lbs/acre
Jul 1 - Aug 15	Deer Tongue & Browntop Millet or Sorghum-Sudan Hybrids	240 lbs/acre-Deer Tongue 35 lbs/acre Browntop Millet 30 lbs/acre Sorghum-Sudan Hybrids

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 - 2:1)

Date	Type	Planting Rate
Mar 1 - Jun 1	Switchgrass & use the following combinations:	50 lbs/acre (Switchgrass)
Mar 1 - Apr 15	Add Deer Tongue	240 lbs/acre
Mar 1 - Jun 30	Or add Hulled Common Bermuda Grass	25 lbs/acre
Jun 1 - Sep 1	Deer Tongue & Browntop Millet or Sorghum-Sudan Hybrids	240 lbs/acre Deer Tongue 35 lbs/acre Browntop Millet 30 lbs/acre Sorghum-Sudan Hybrids
Sep 1 - Mar 1	Switchgrass & Deer Tongue	70 lbs/acre Switchgrass 240 lbs/acre Deer Tongue
Nov 1 - Mar 1	Add Abruzzi Rye	25 lbs/acre

CONSULT SAEC ENGINEER FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

*** TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING. OTHERWISE, FESCUE MAY BE SHADED OUT.

3 TEMPORARY SEEDING
NOT TO SCALE

SEEDBED PREPARATION:

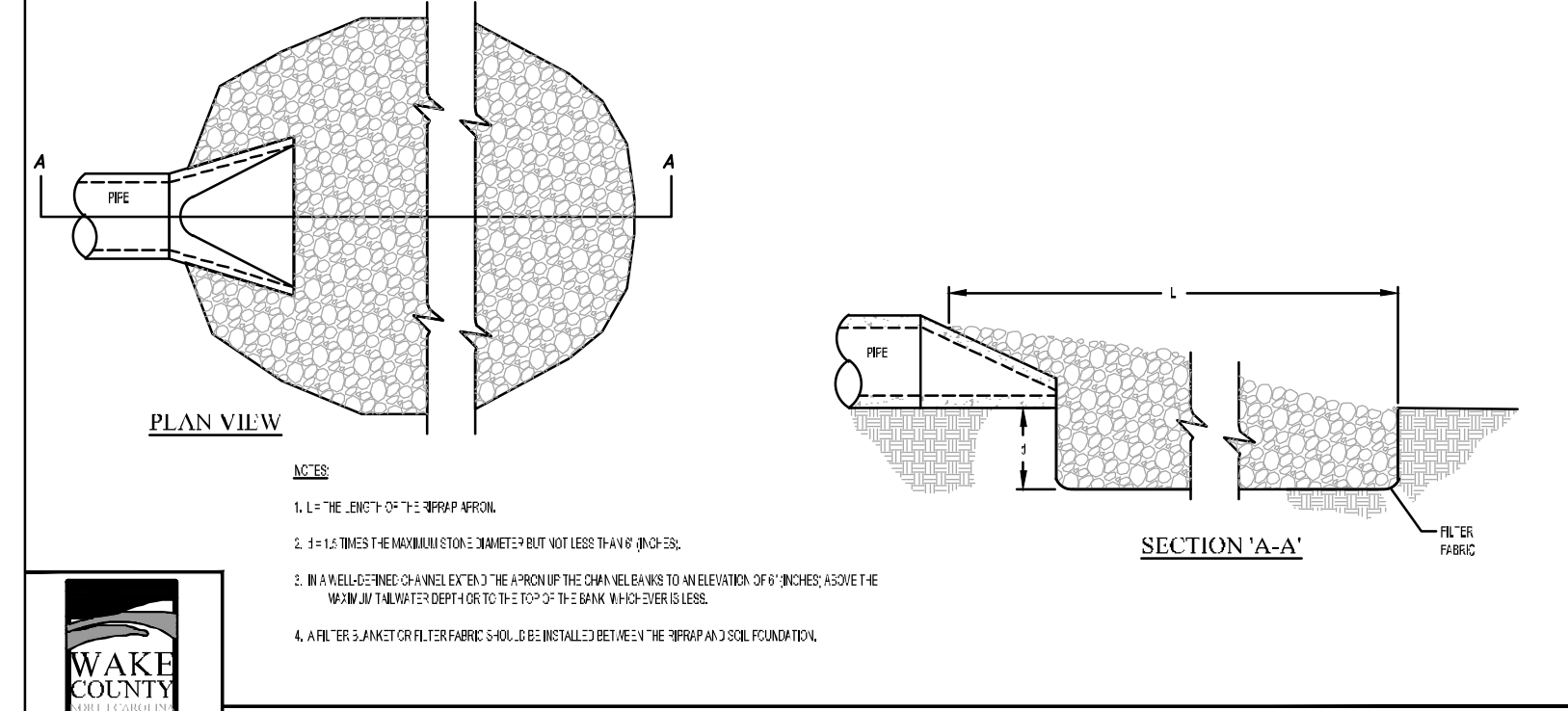
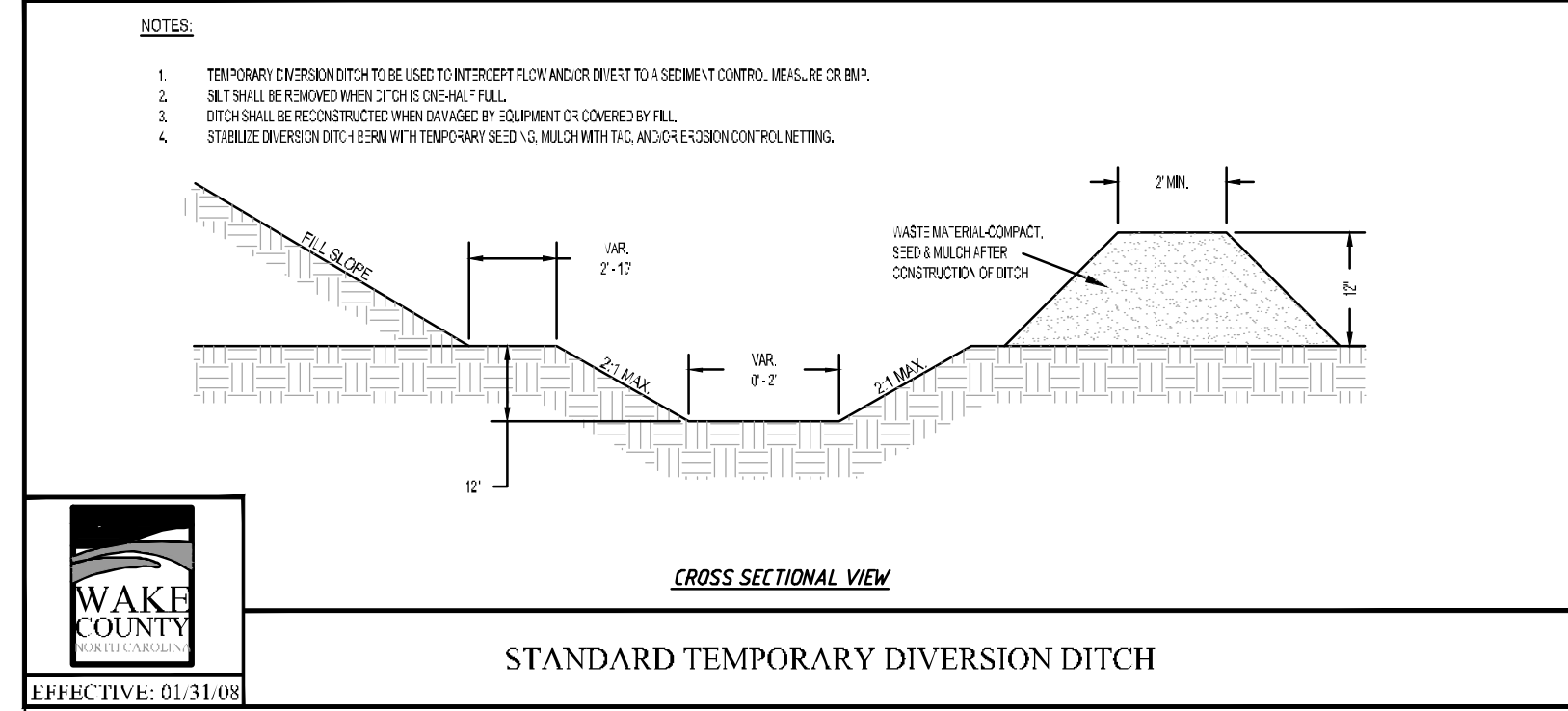
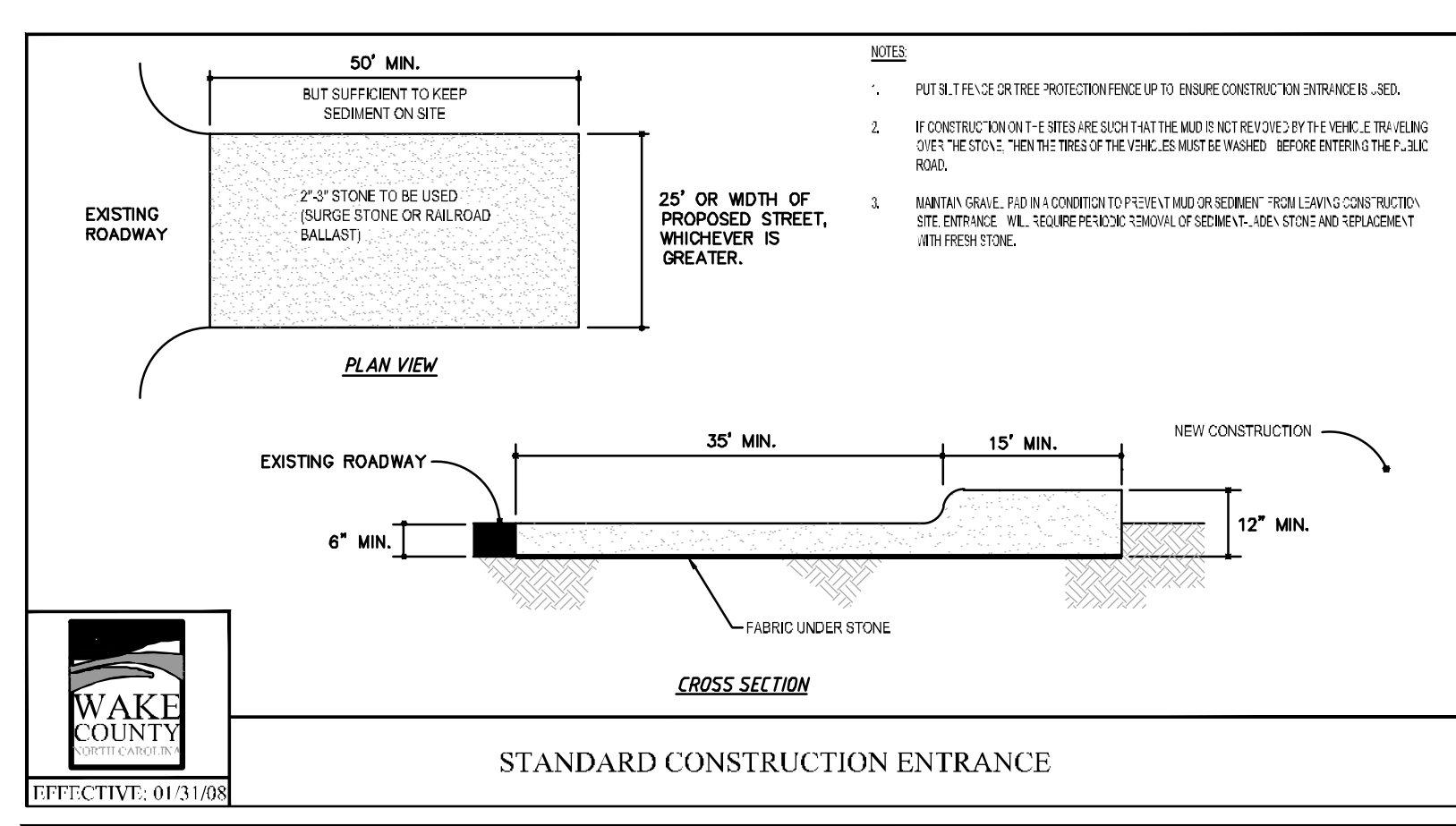
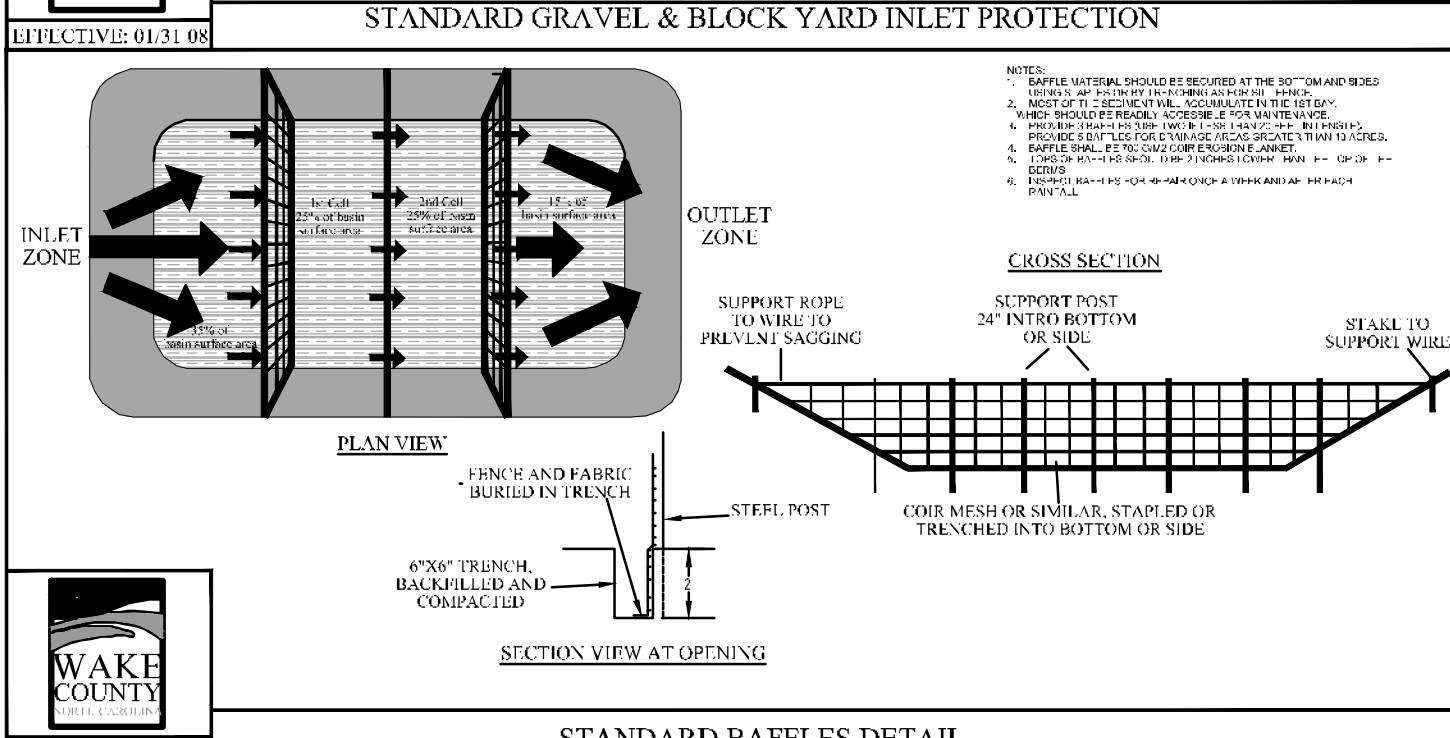
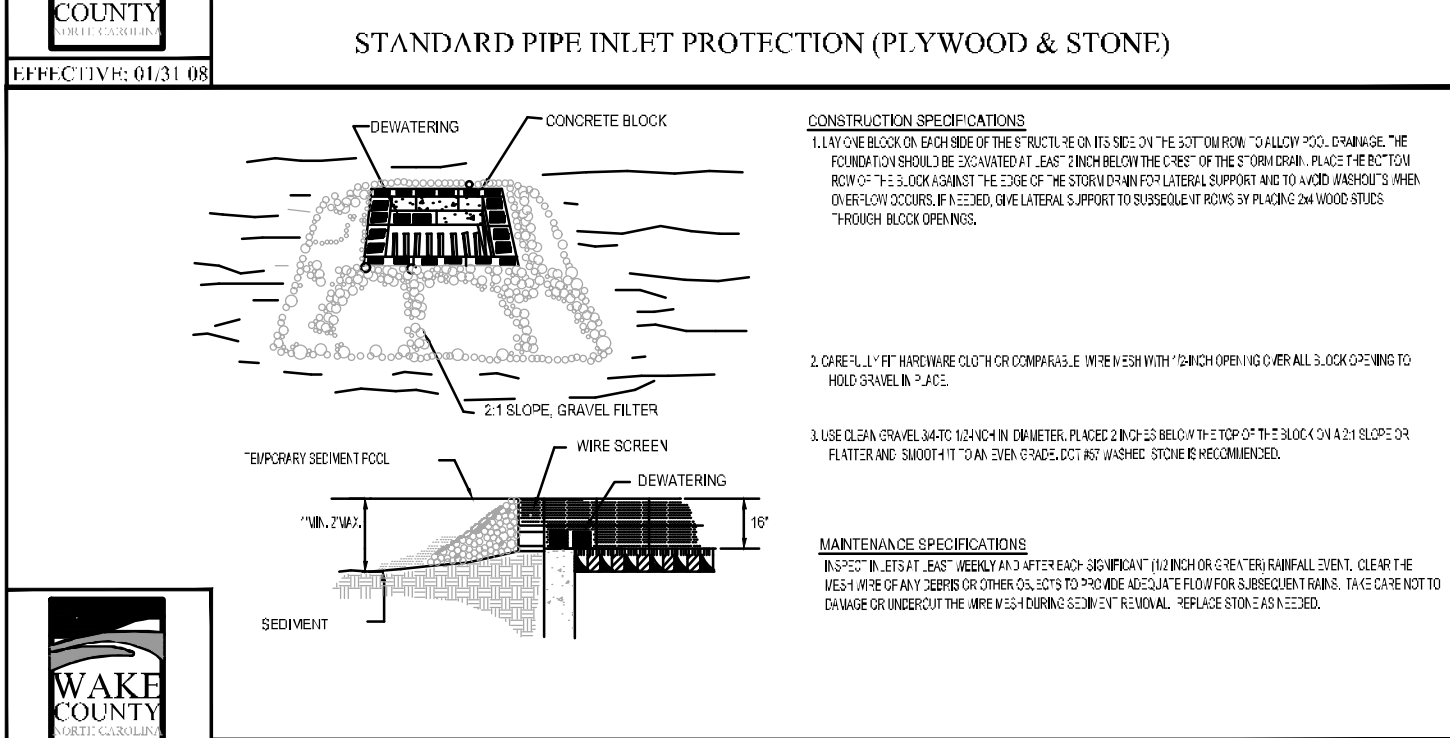
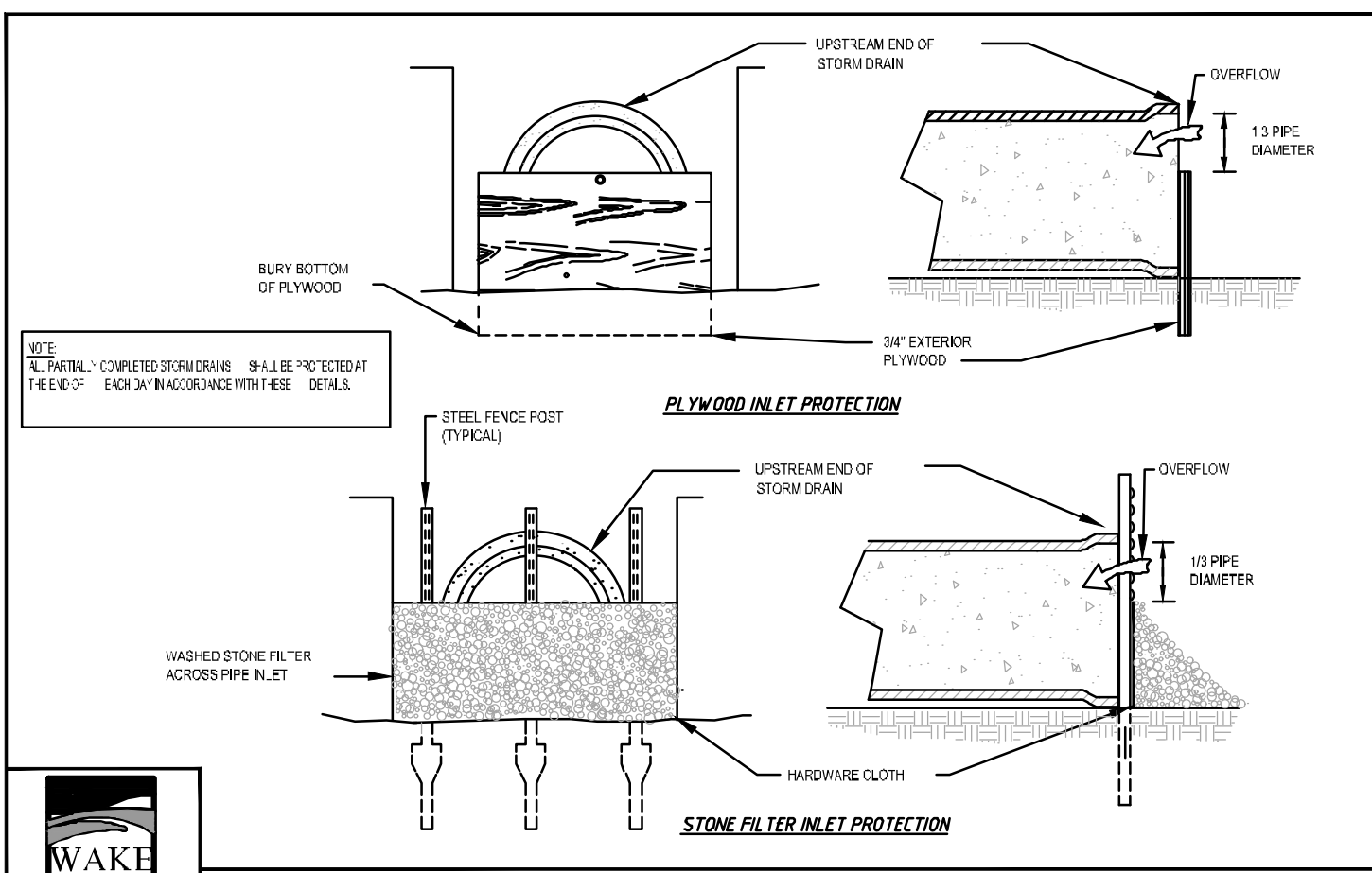
- CHESE, COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL. (SEE SEEDING MIXTURE).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT SAEC ENVIRONMENTAL ENGINEERS ON MAINTENANCE, TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SEEDING MIXTURE:

AGRICULTURE LIMESTONE: 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
 FERTILIZER: 1,000 LBS/ACRE - 10-10-10
 SUPERPHOSPHATE: 500 LBS/ACRE - 20% ANALYSIS
 MULCH: 2 TONS/ACRE - SMALL GRAIN STRAW
 ANCHOR: ASPHALT EMULSION AT 400 GALS/ACRE

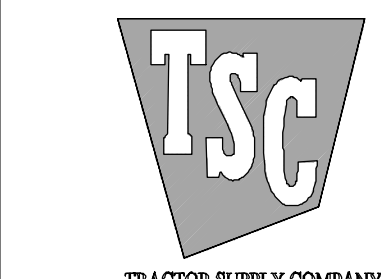
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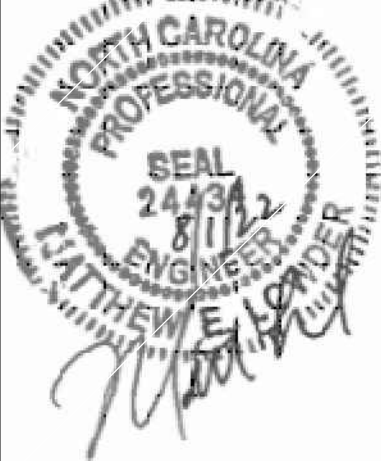
Bowman North Carolina Ltd.
4006 BARRETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 555-6570
bowman.com



EROSION CONTROL DETAILS
TRACTOR SUPPLY COMPANY
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

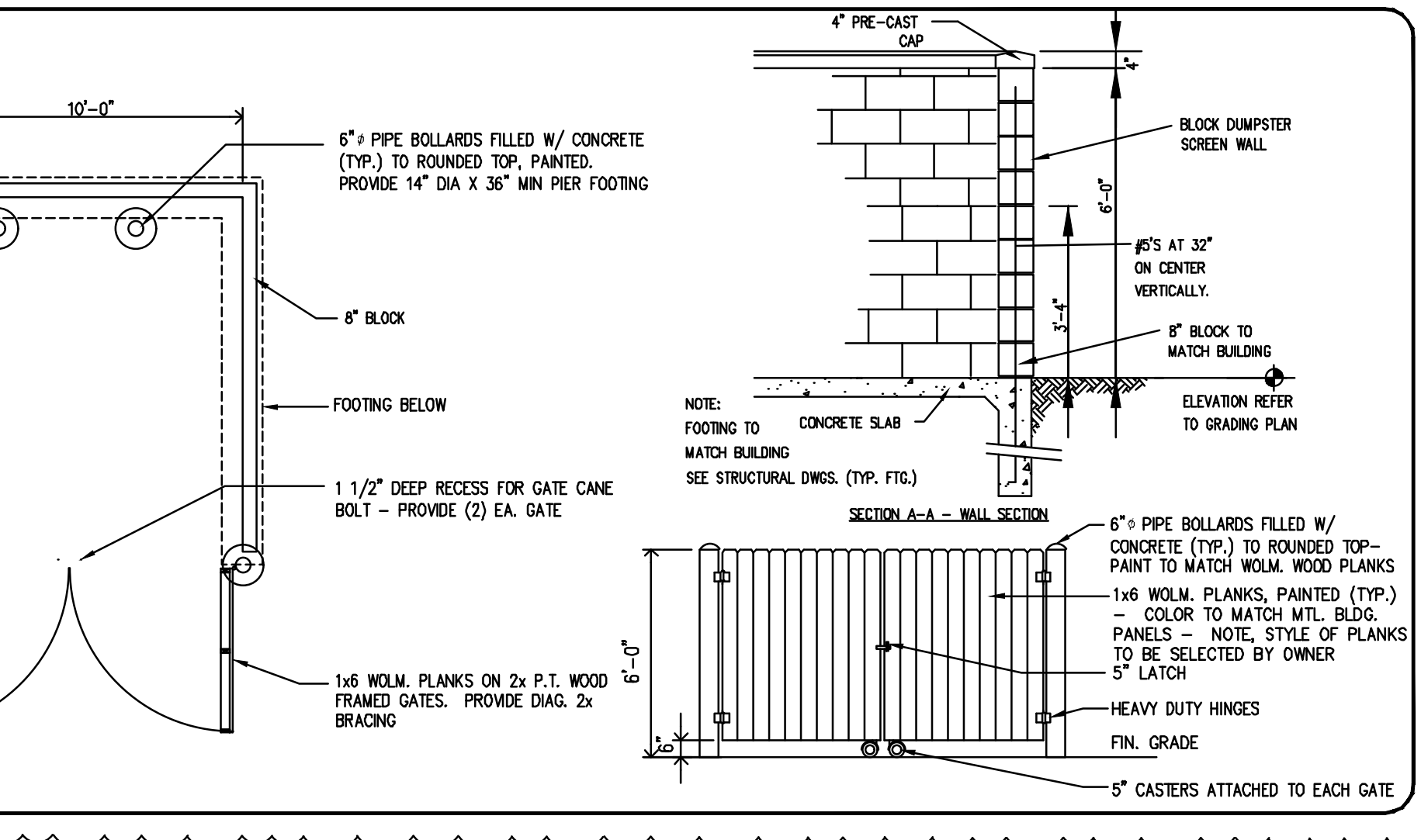
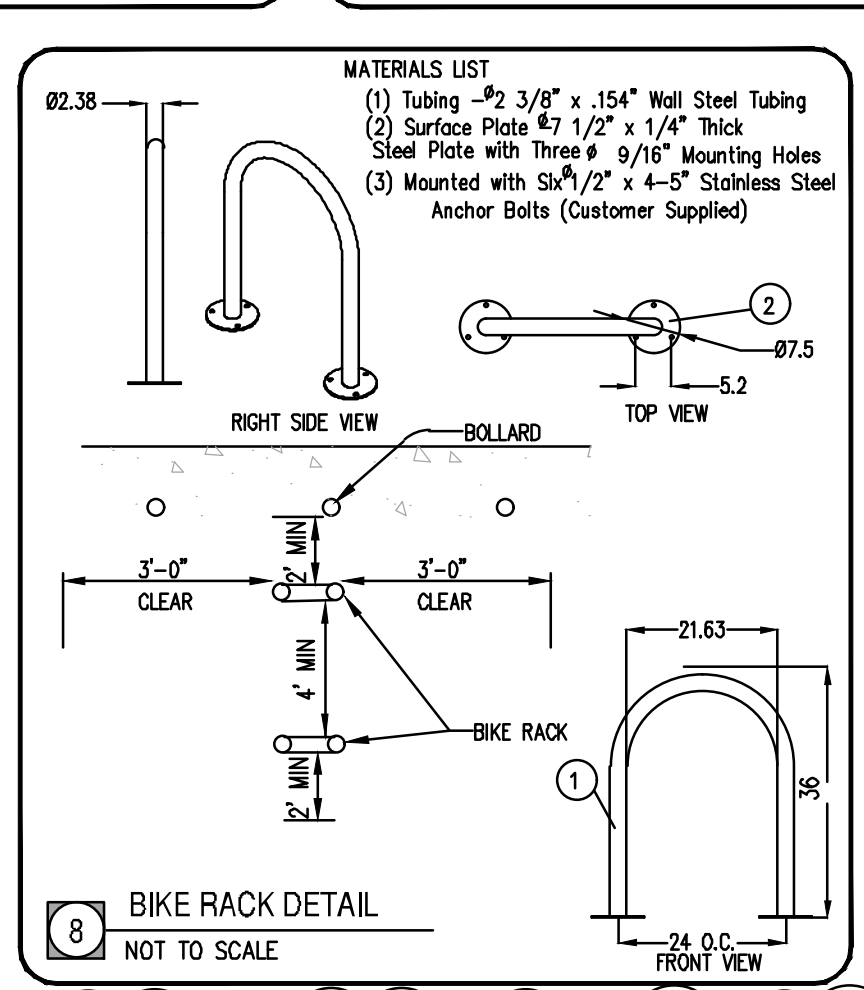
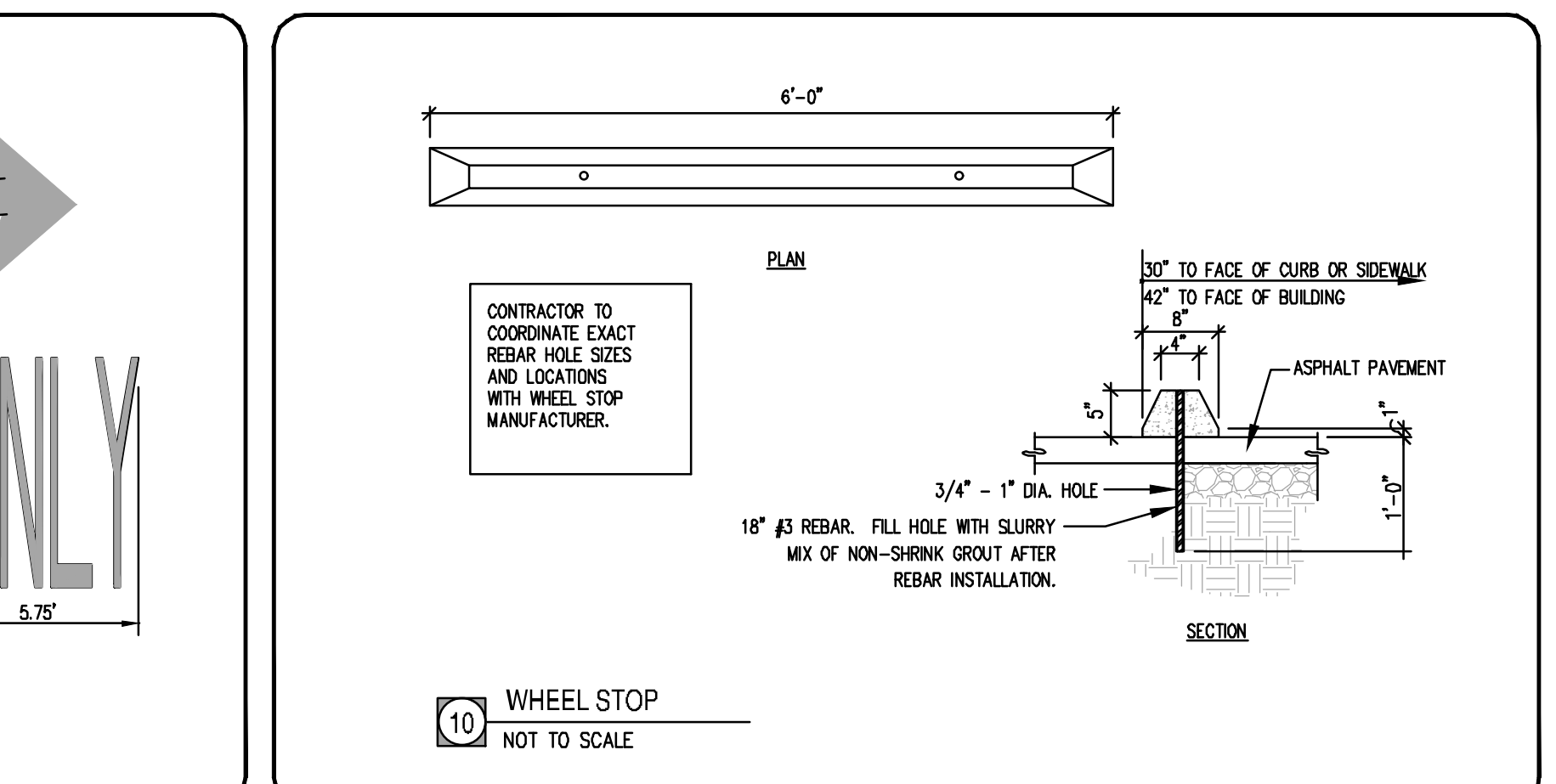
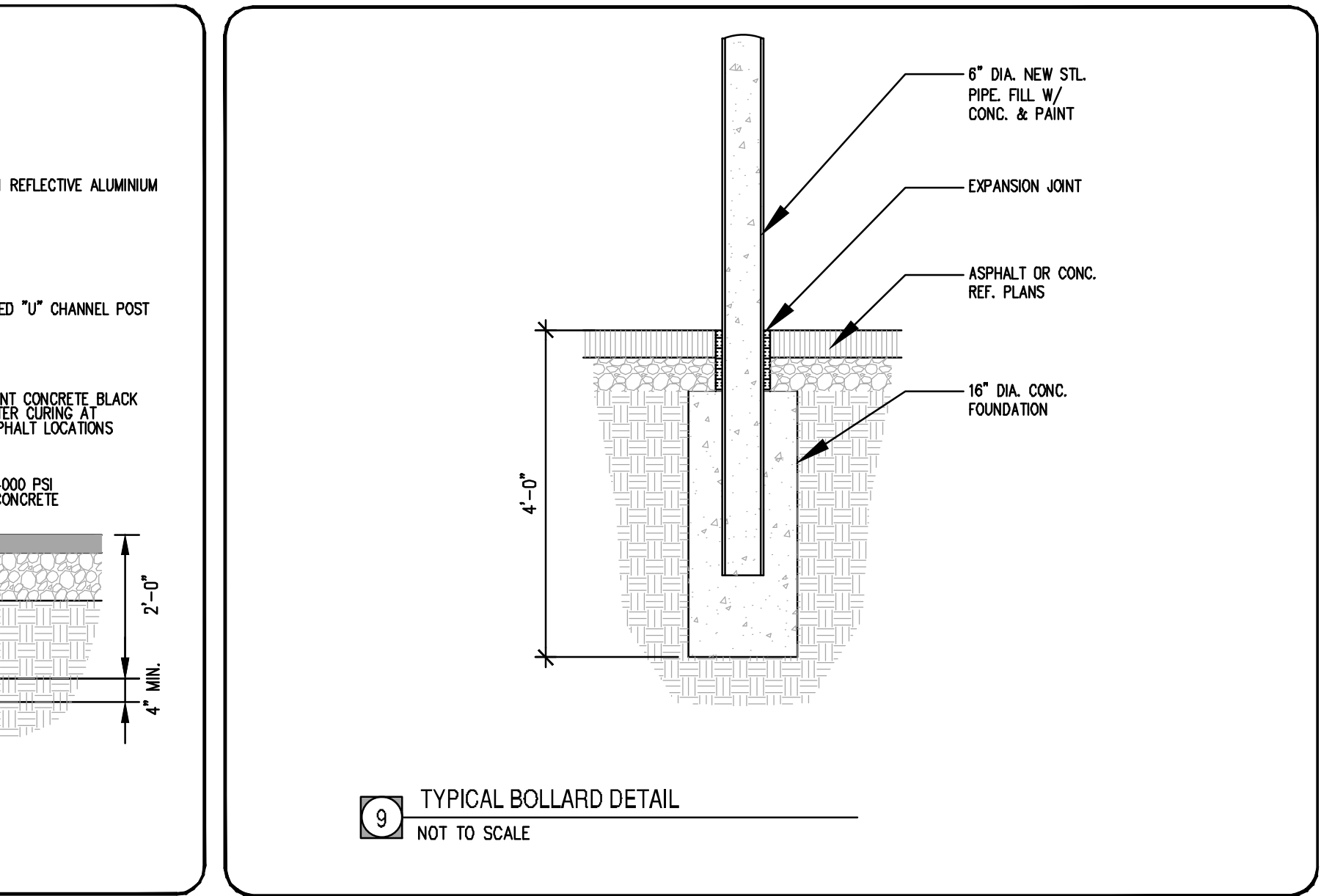
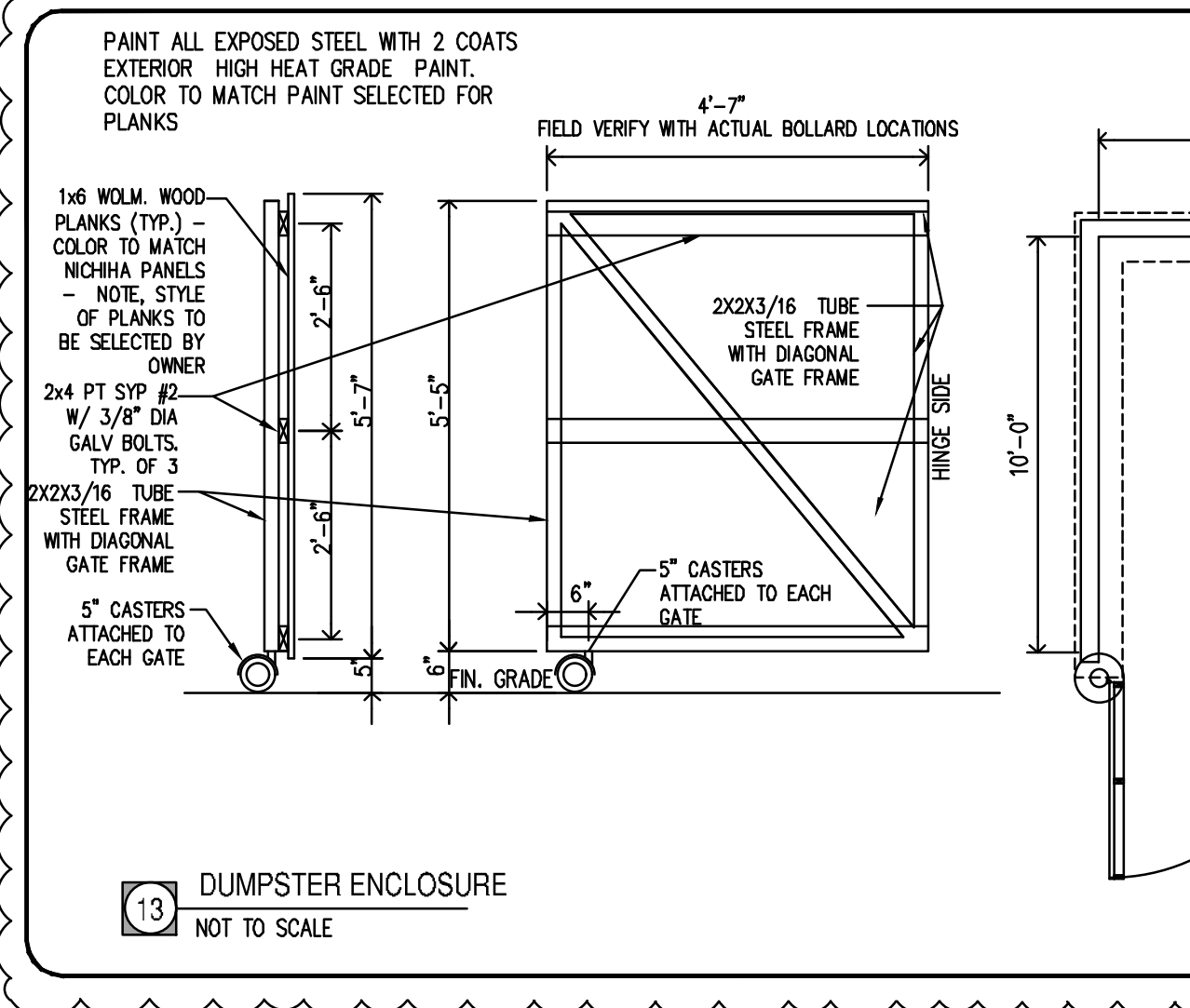
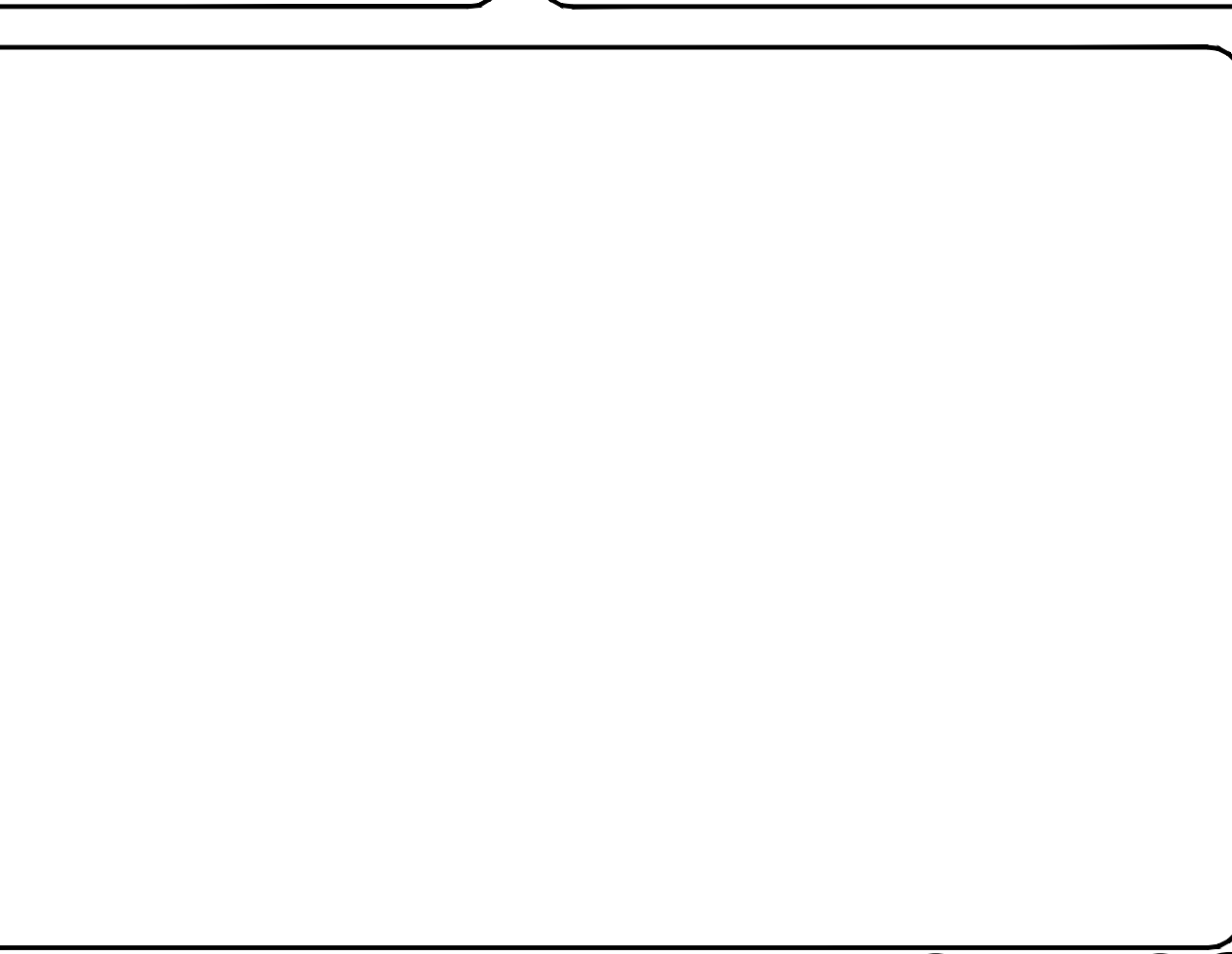
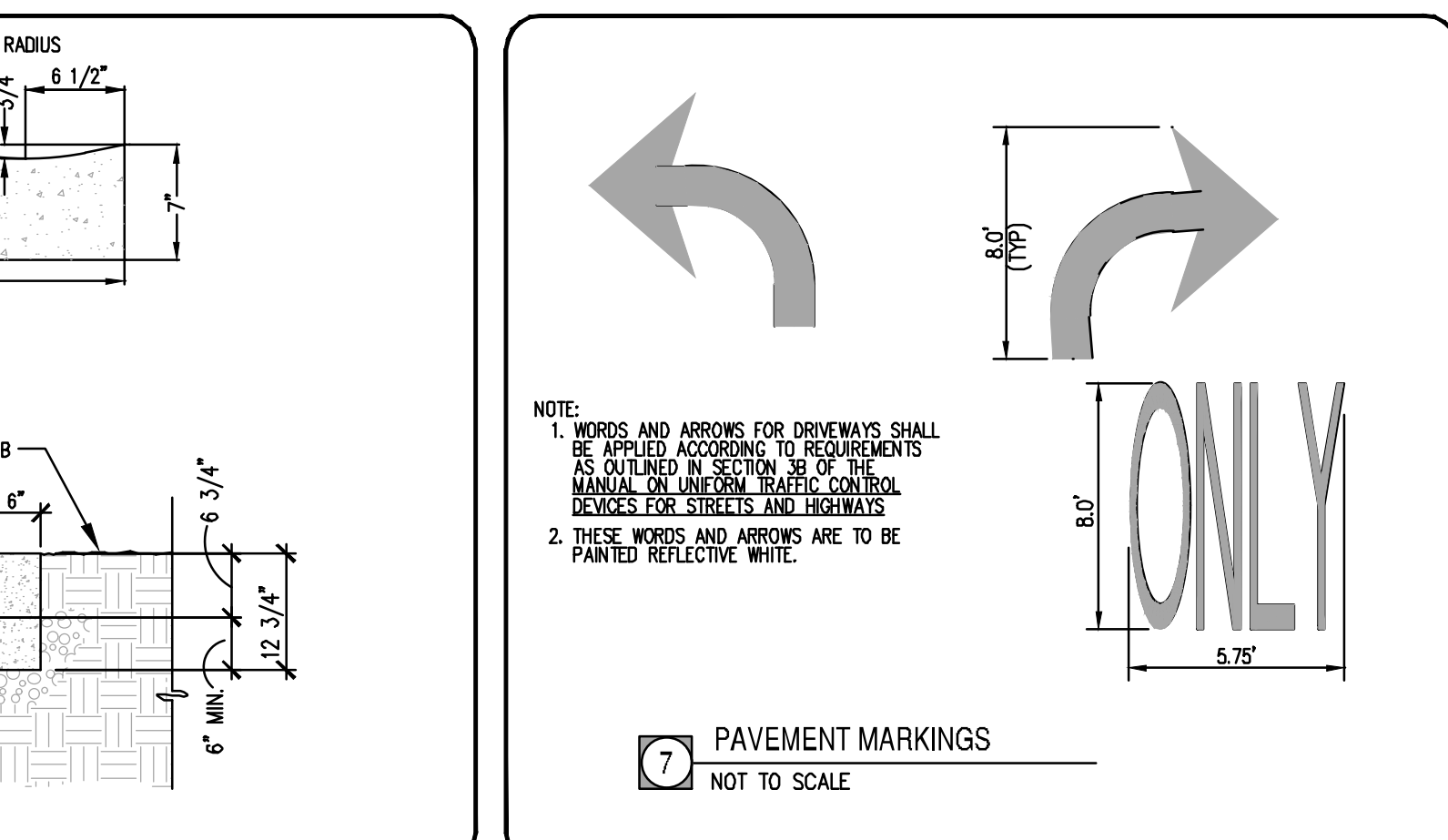
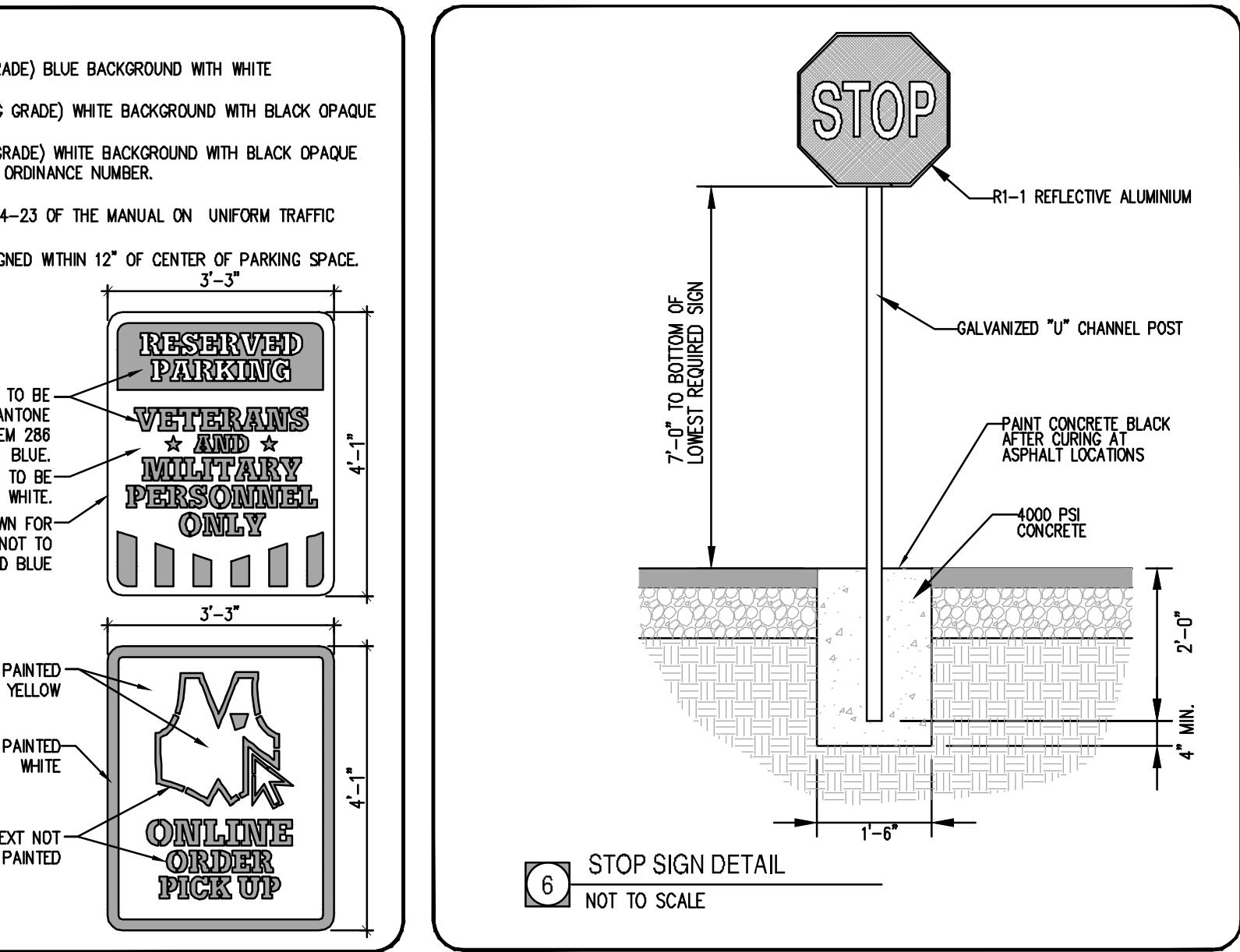
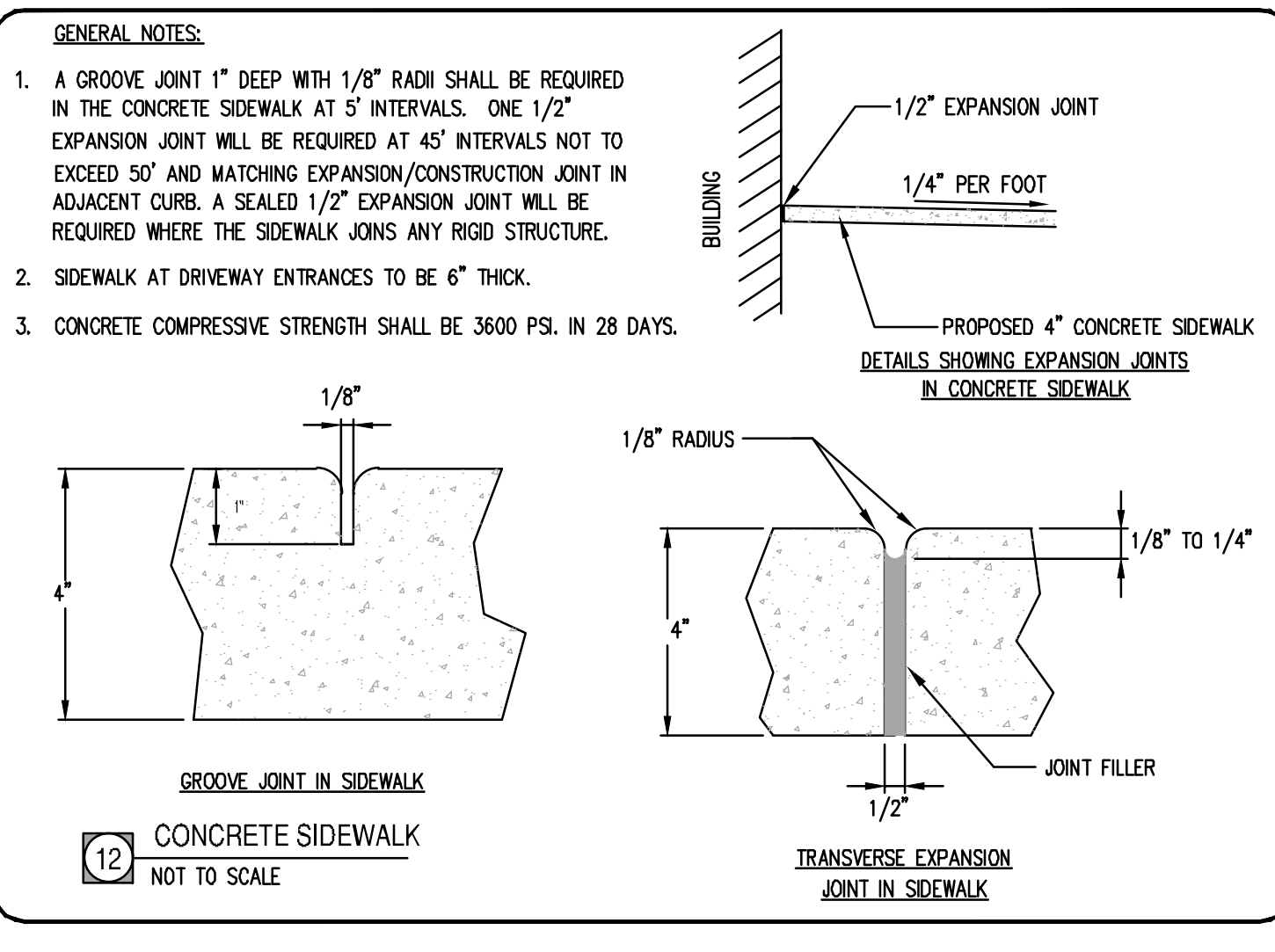
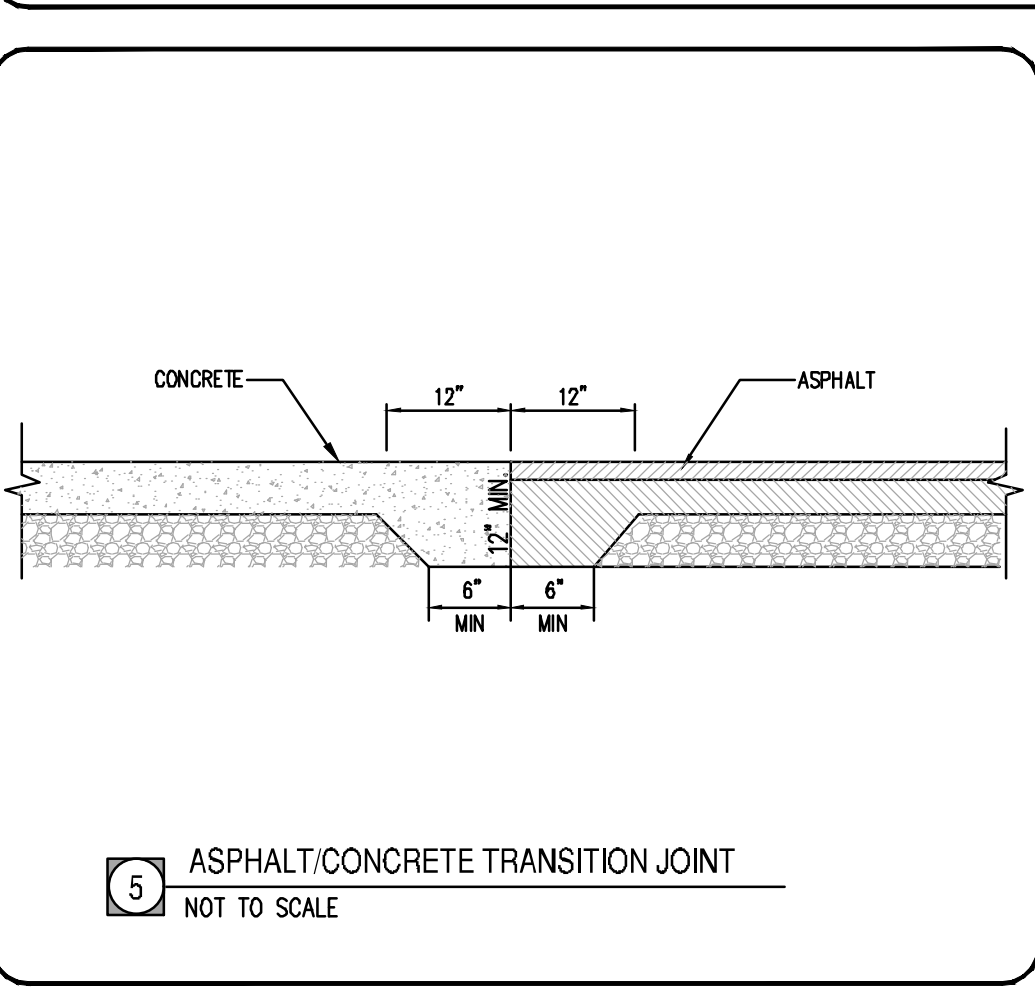
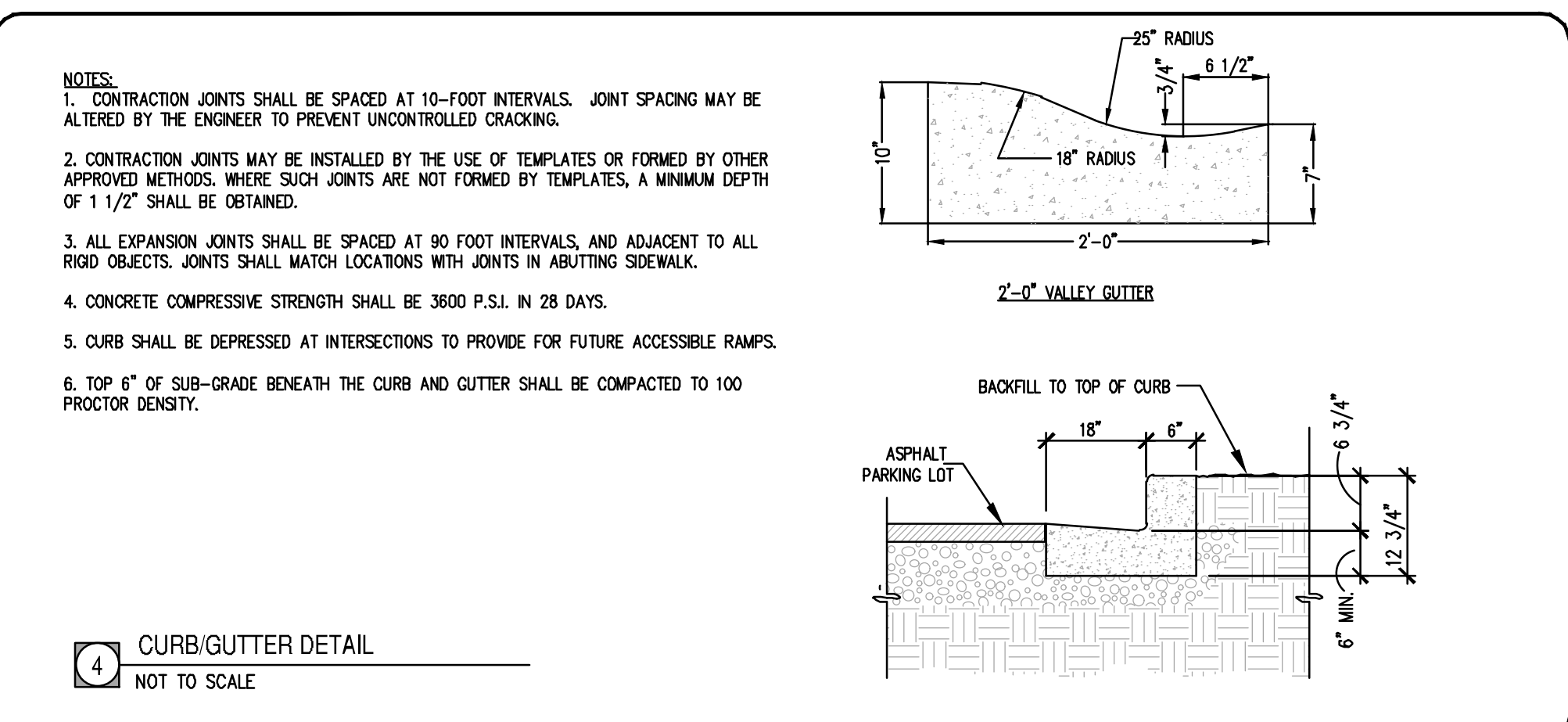
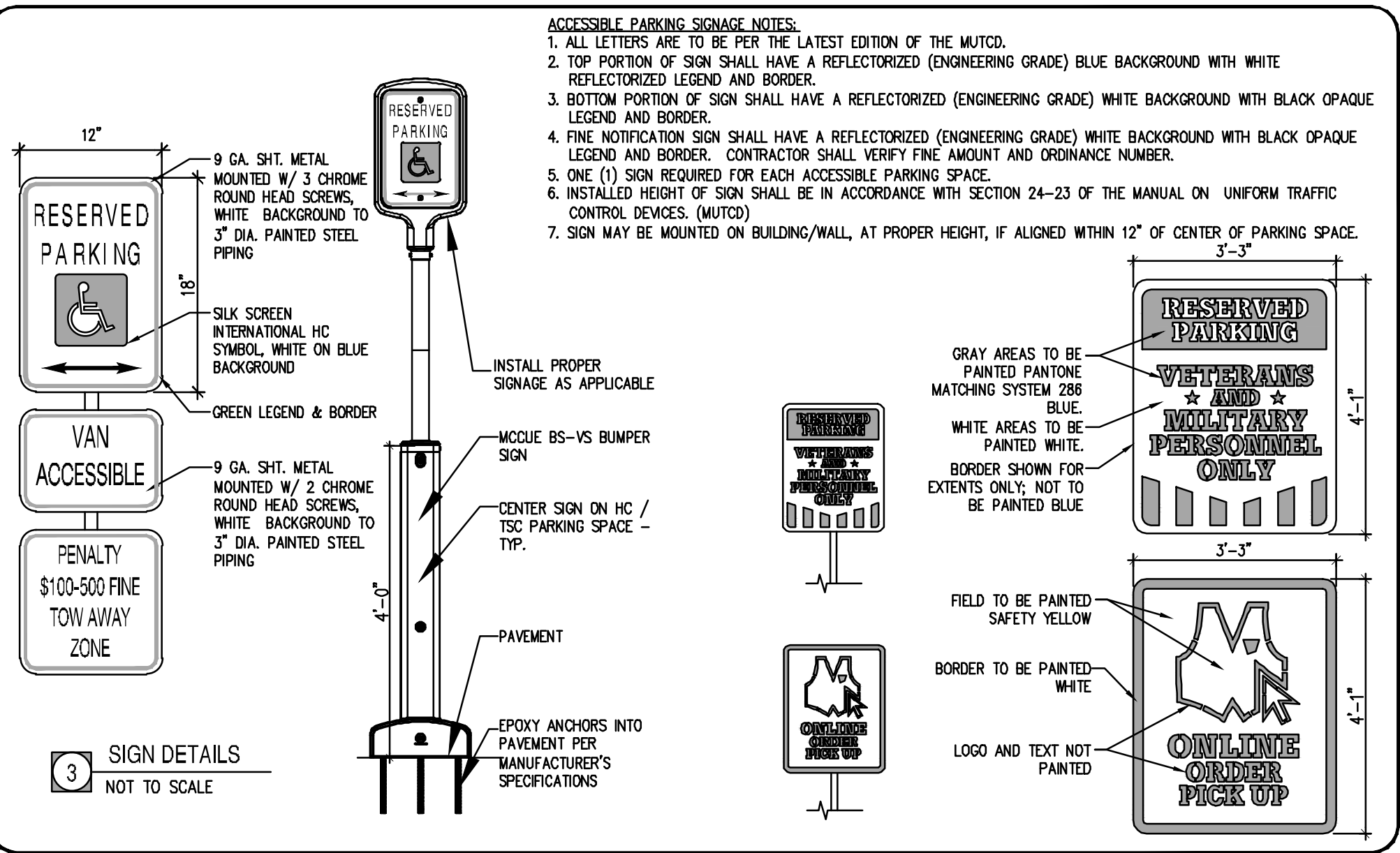
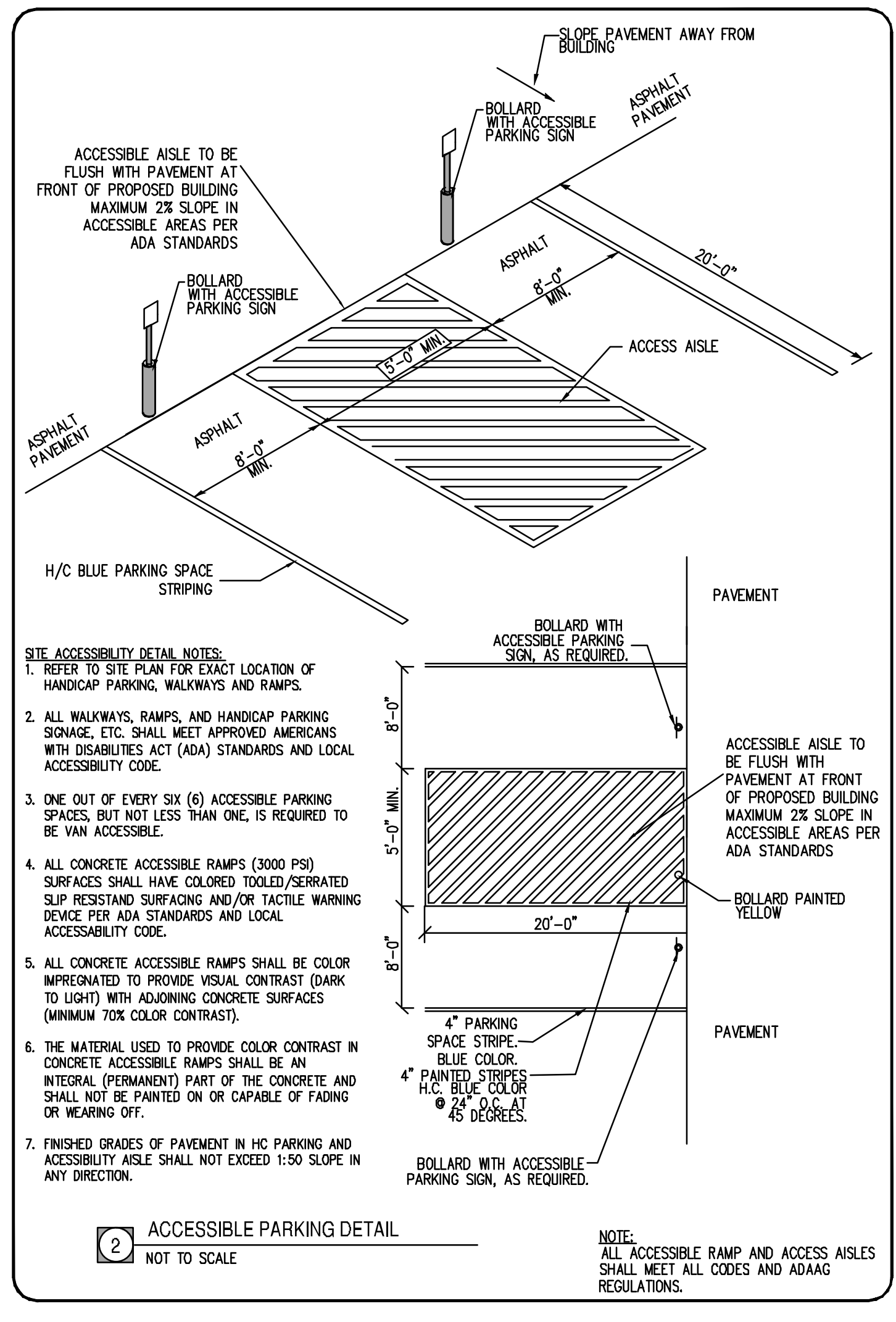
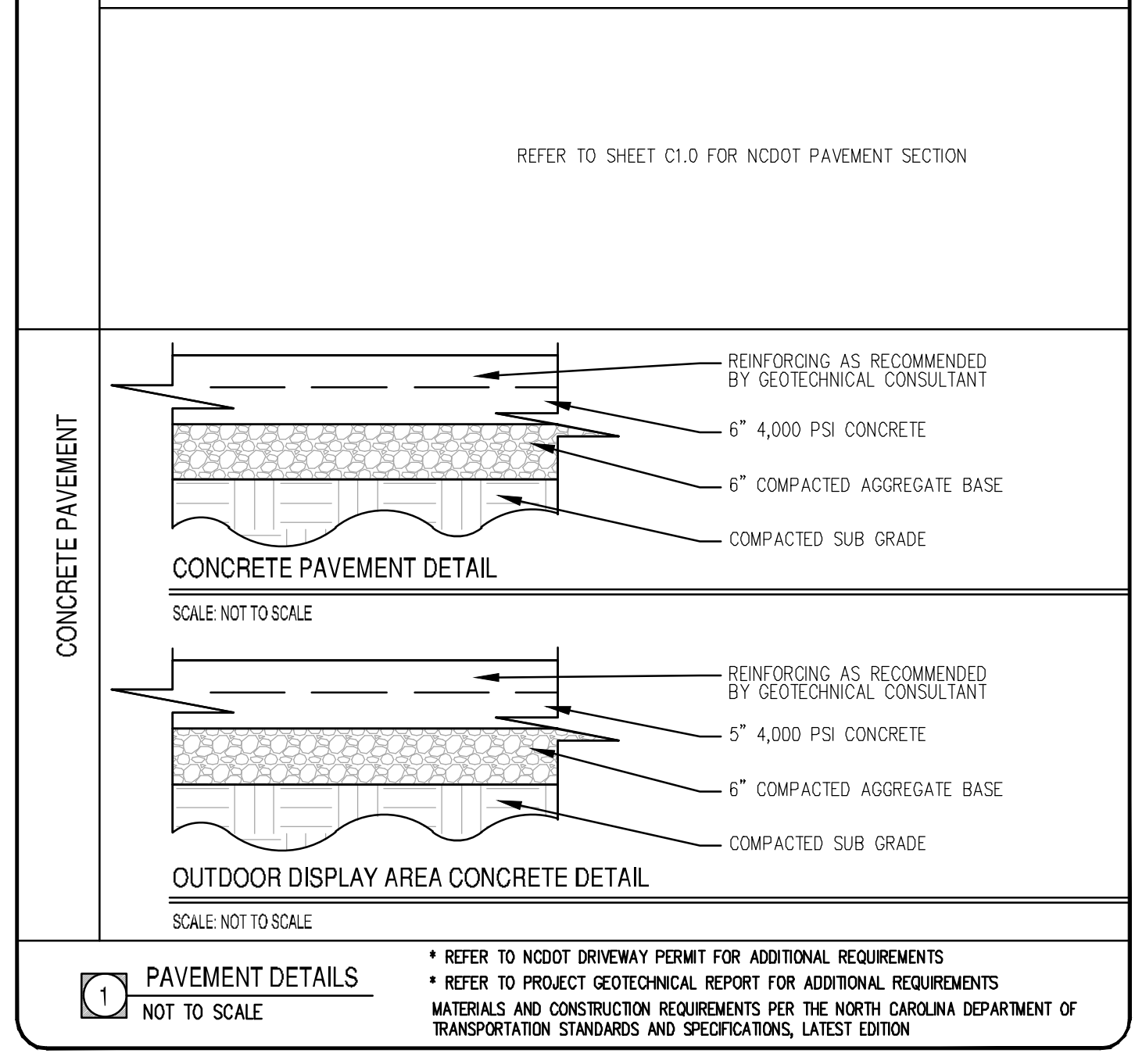
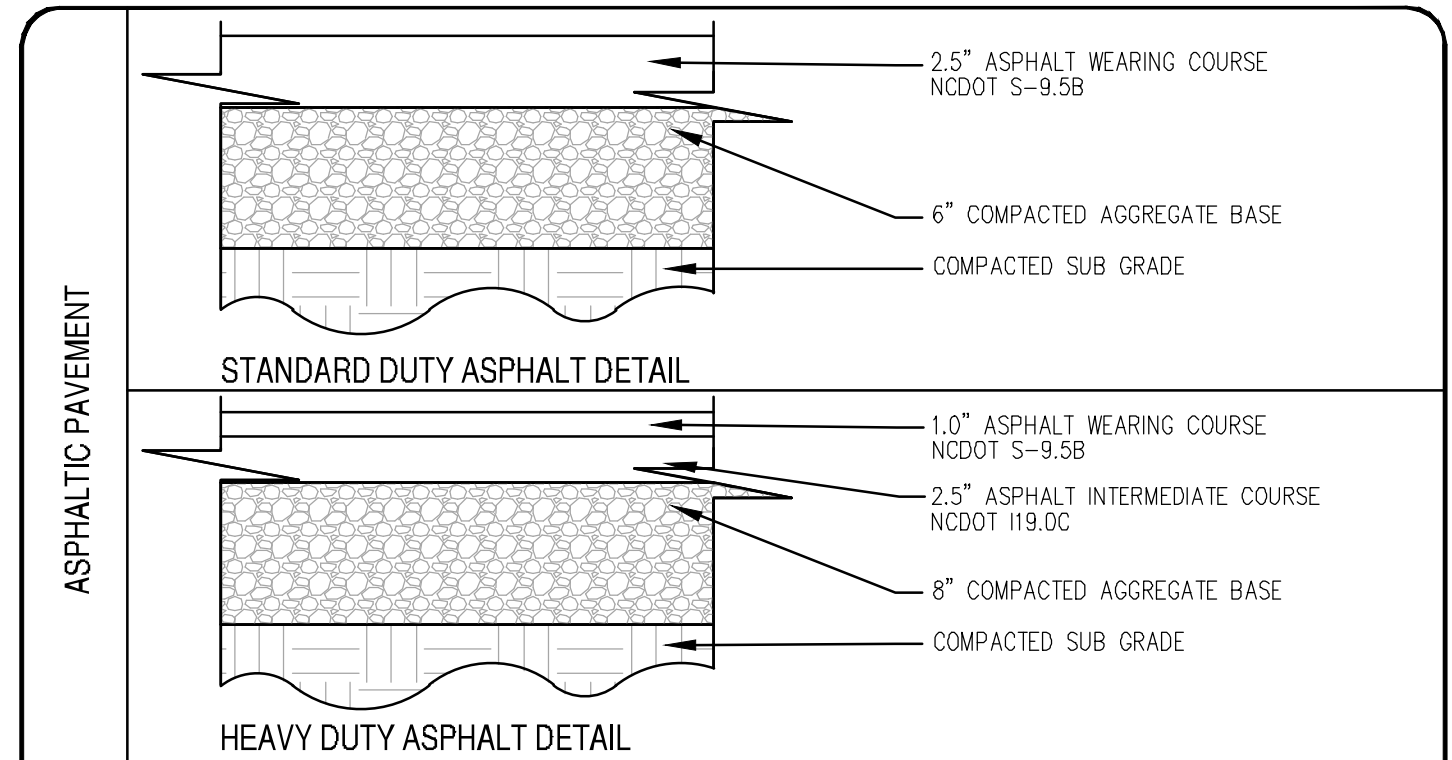


PLAN STATUS

5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: N/A V: N/A
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C6.1



Bowman

Bowman North Carolina Ltd.
4006 BARRIETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 555-6570
bowman.com
Bowman North Carolina Ltd.

TSC
TRACTOR SUPPLY COMPANY

CONSTRUCTION DETAILS

Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

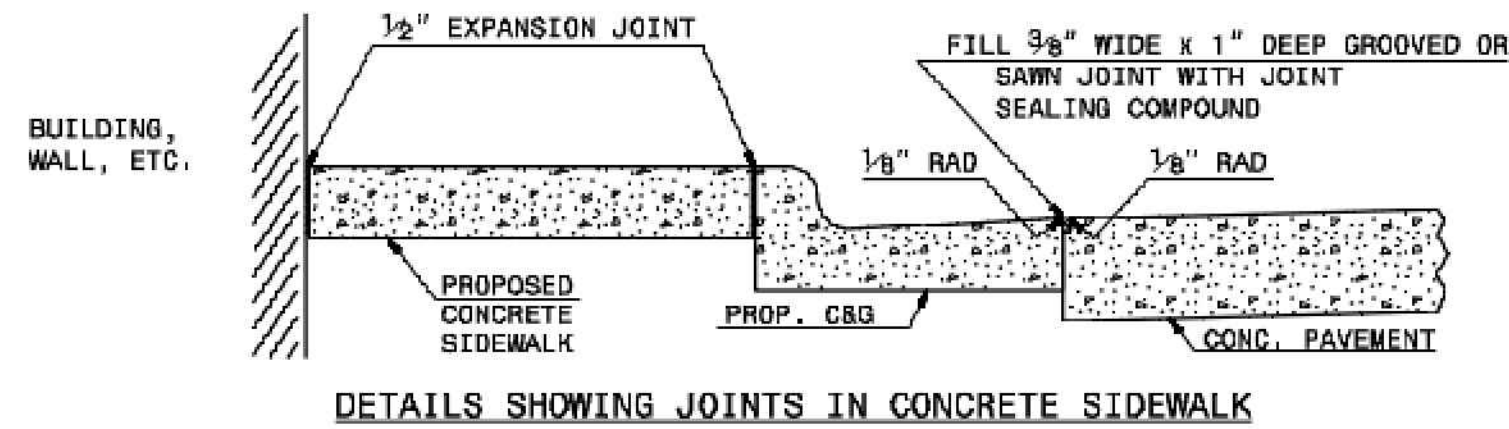
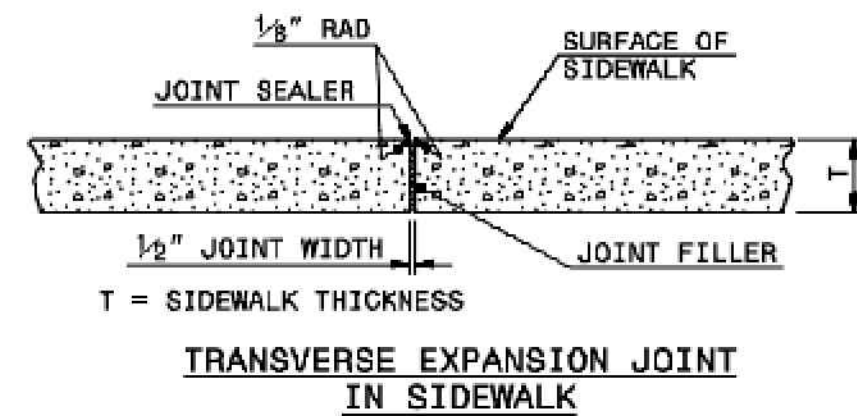
PRELIMINARY DO NOT USE FOR CONSTRUCTION

PLAN STATUS
5/26/22 1ST SUBMISSION
8/1/22 PER TOWN & RALEIGH REVIEW

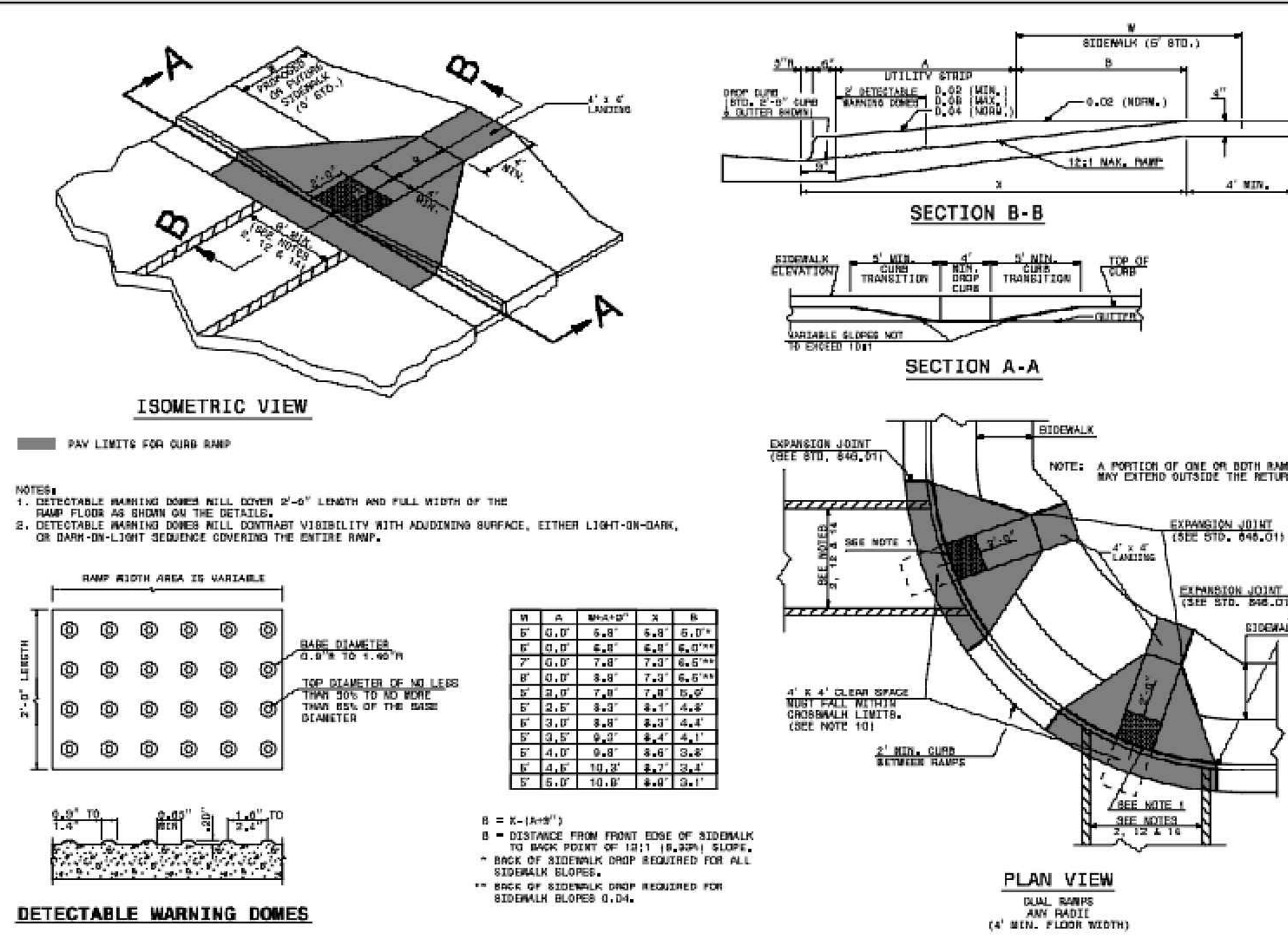
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: NA V: NA
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C6.2**

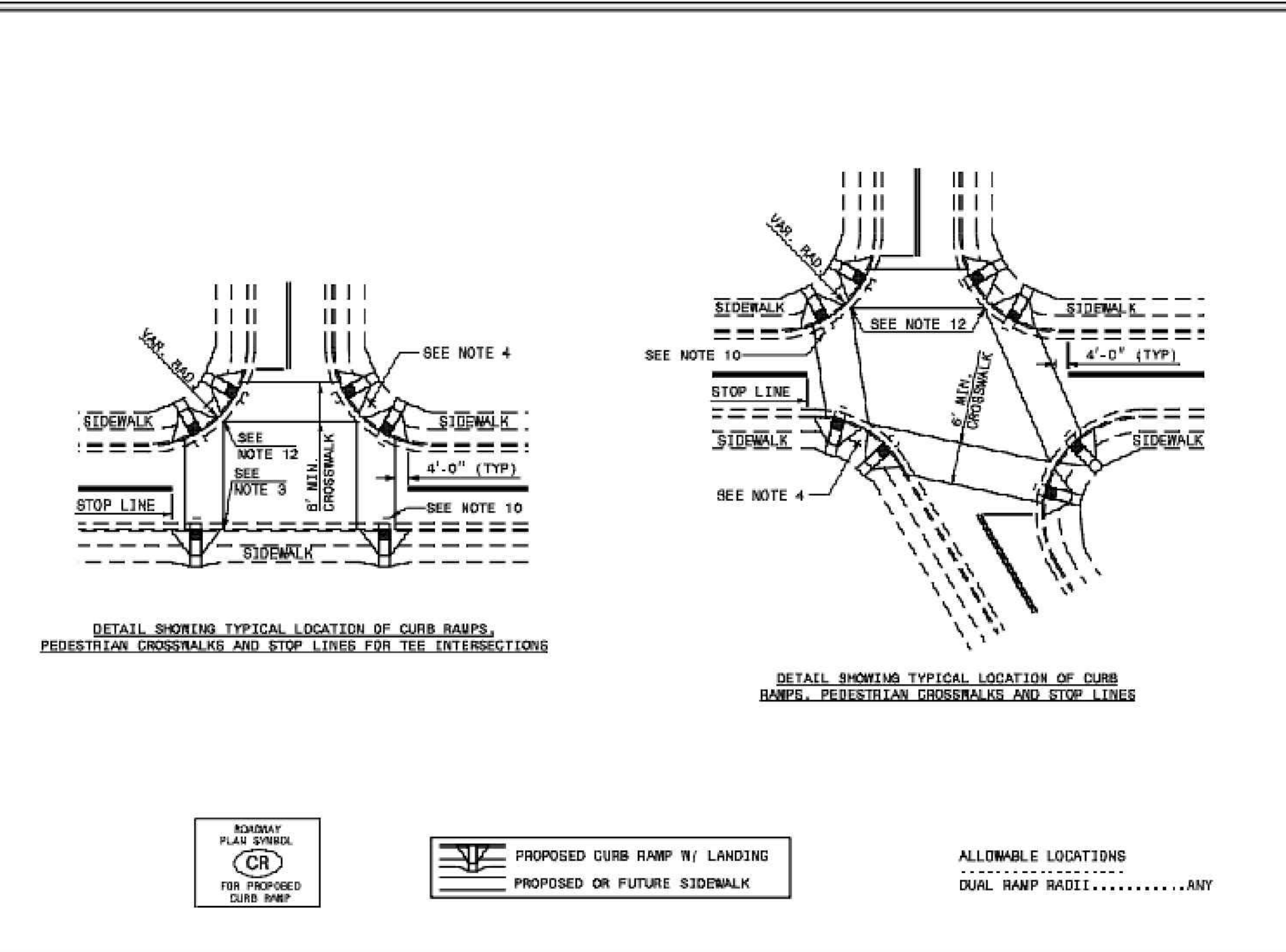
NOTES:
 CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.
 PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK
 SHEET 1 OF 1
848.01



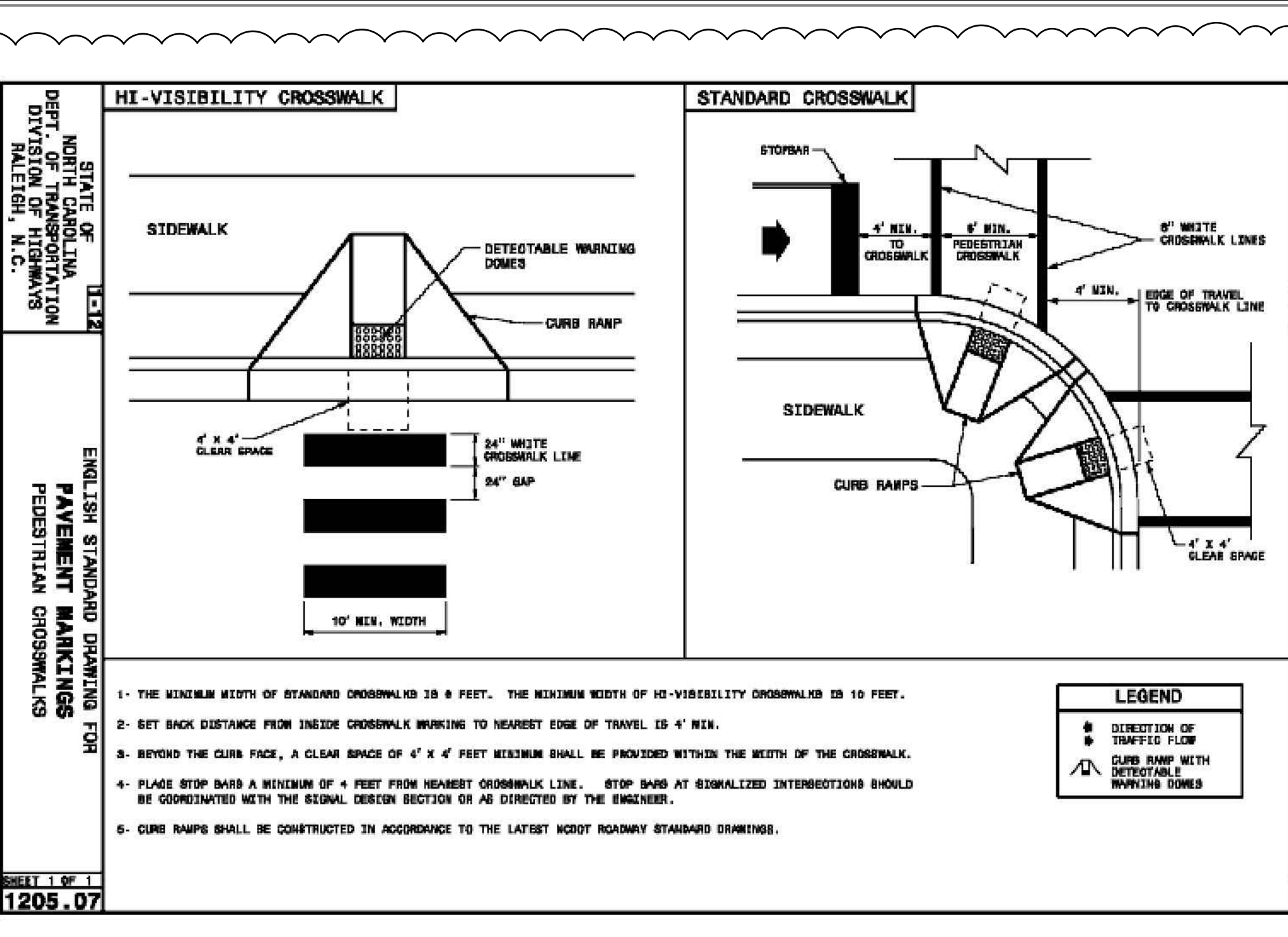
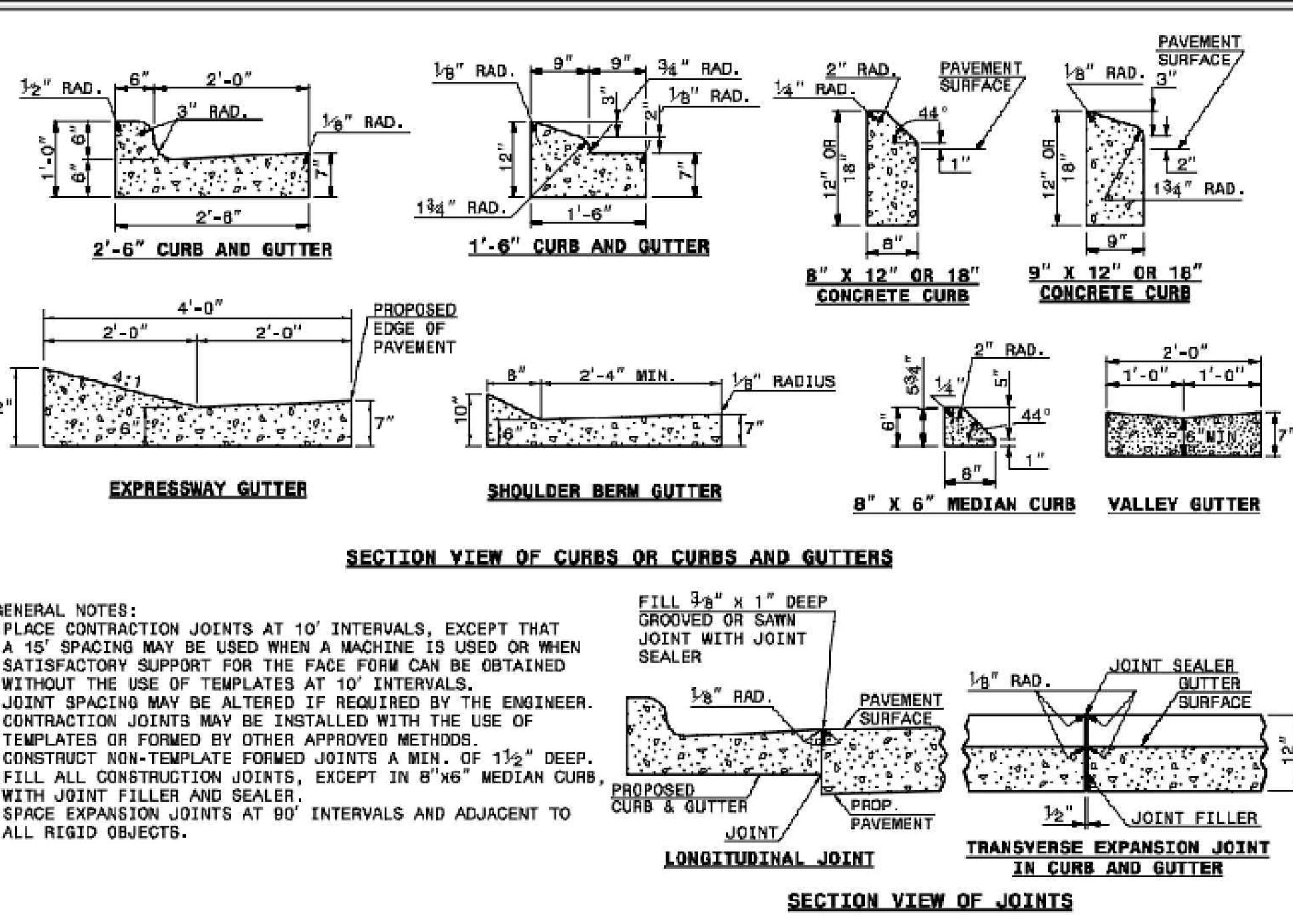
STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER
 SHEET 1 OF 3
848.05



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER
 SHEET 2 OF 3
848.05

NOTES:
 1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
 2. LOCATE CURB RAMP AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMP OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
 3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
 5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
 7. CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
 8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
 9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMP WILL BE 2% MAXIMUM.
 10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
 11. CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
 14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
 15. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS FLAMING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
 17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
 18. CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMPS
 NOTES
 SHEET 3 OF 3
848.05

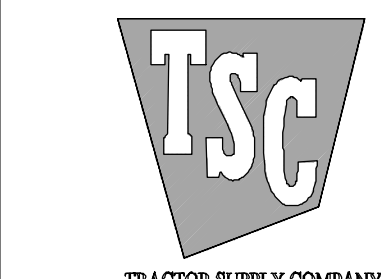


STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CONCRETE CURB, GUTTER AND CURB & GUTTER
 SHEET 1 OF 3
846.01

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ENGLISH STANDARD DRAWING FOR
PAVEMENT MARKINGS
 PEDESTRIAN CROSSWALKS
 SHEET 1 OF 1
1205.07



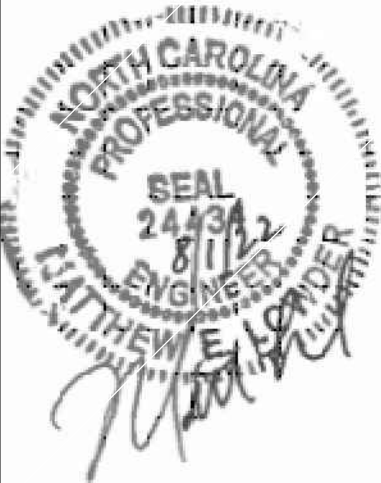
Bowman North Carolina Ltd.
 4006 BARRETT DR.
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)555-6570
 bowman.com
 Bowman North Carolina Ltd.



CONSTRUCTION DETAILS
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

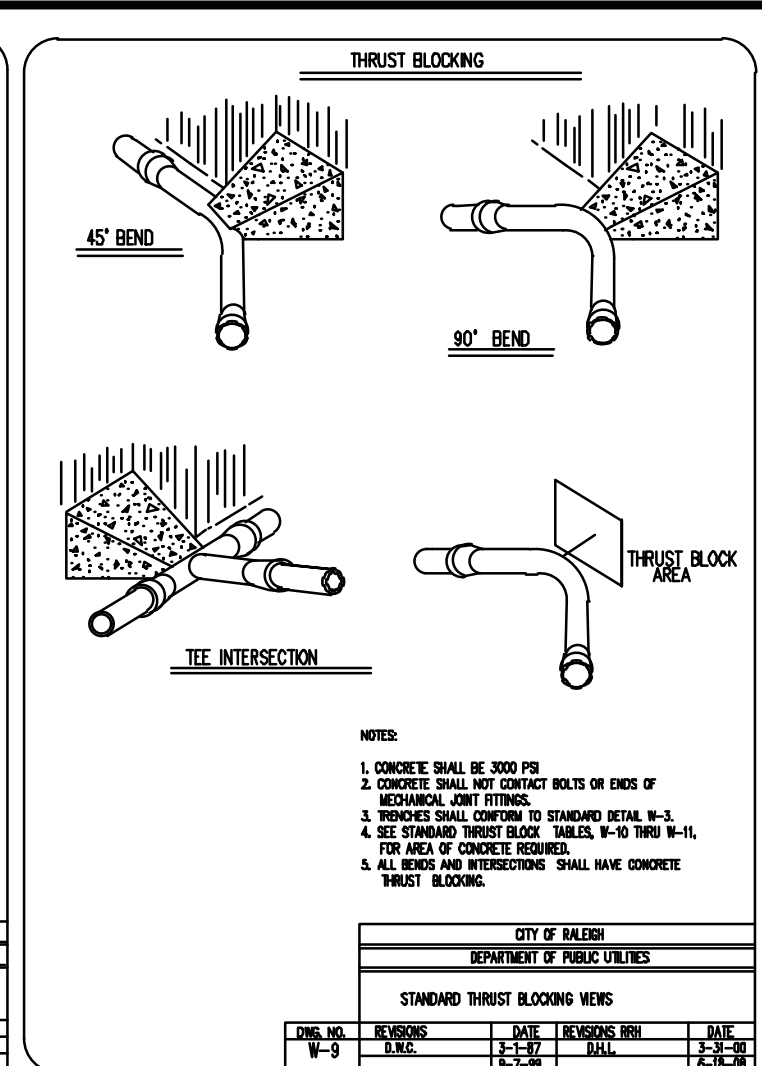
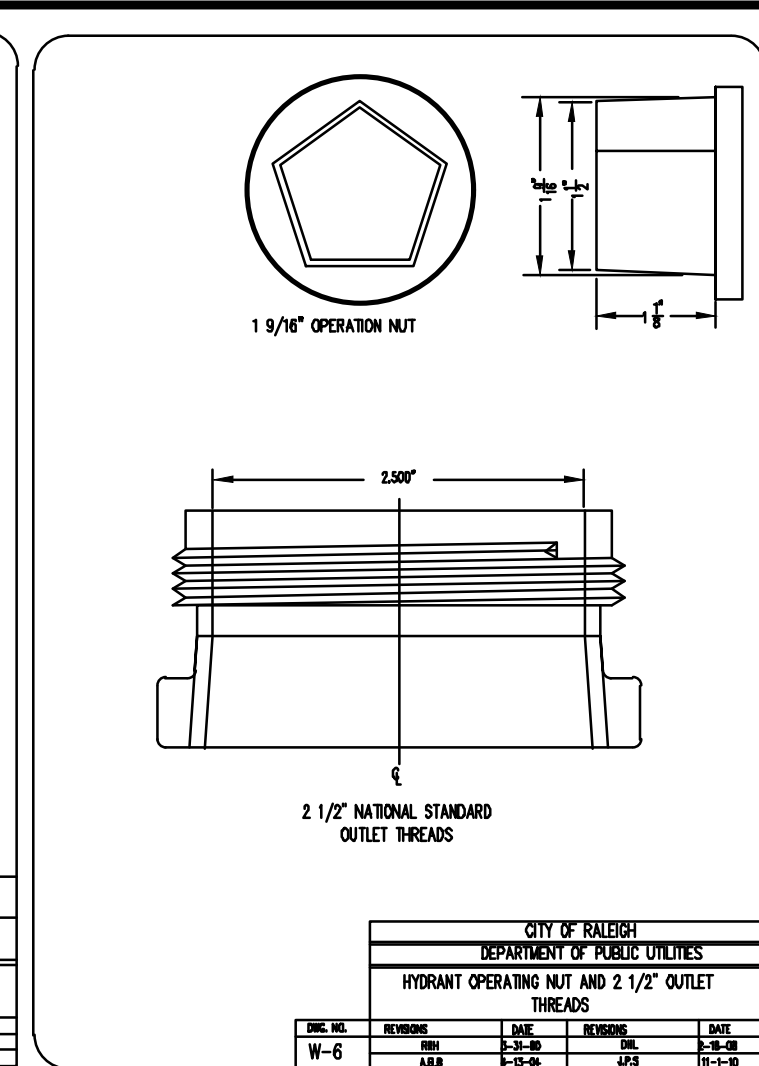
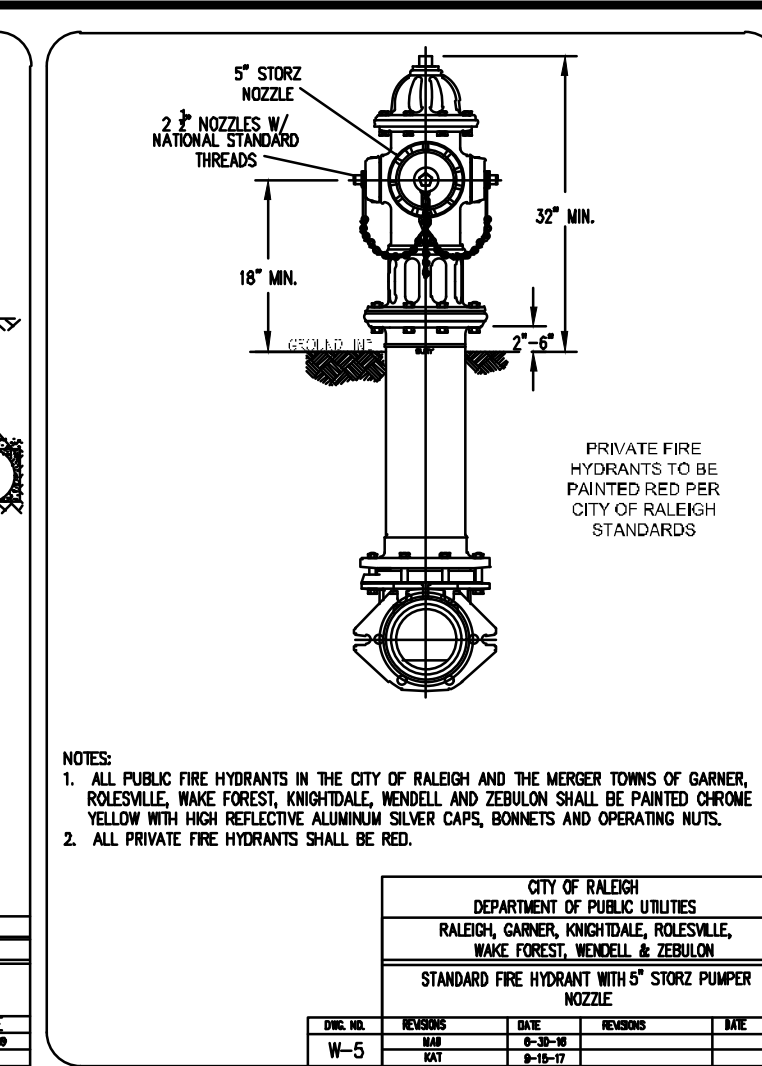
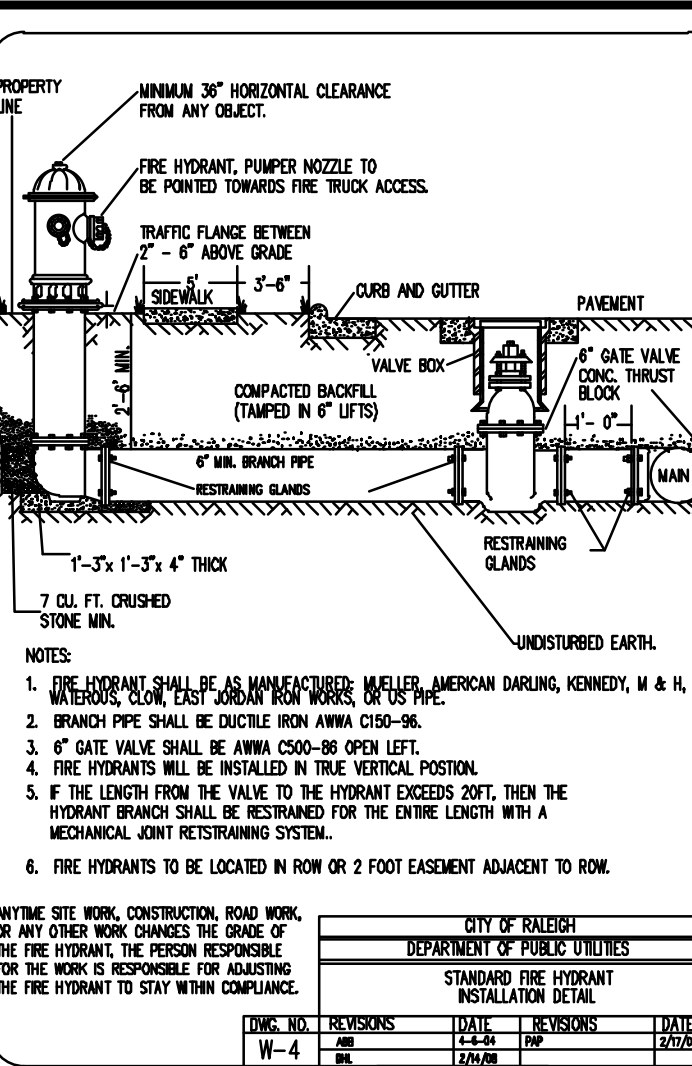
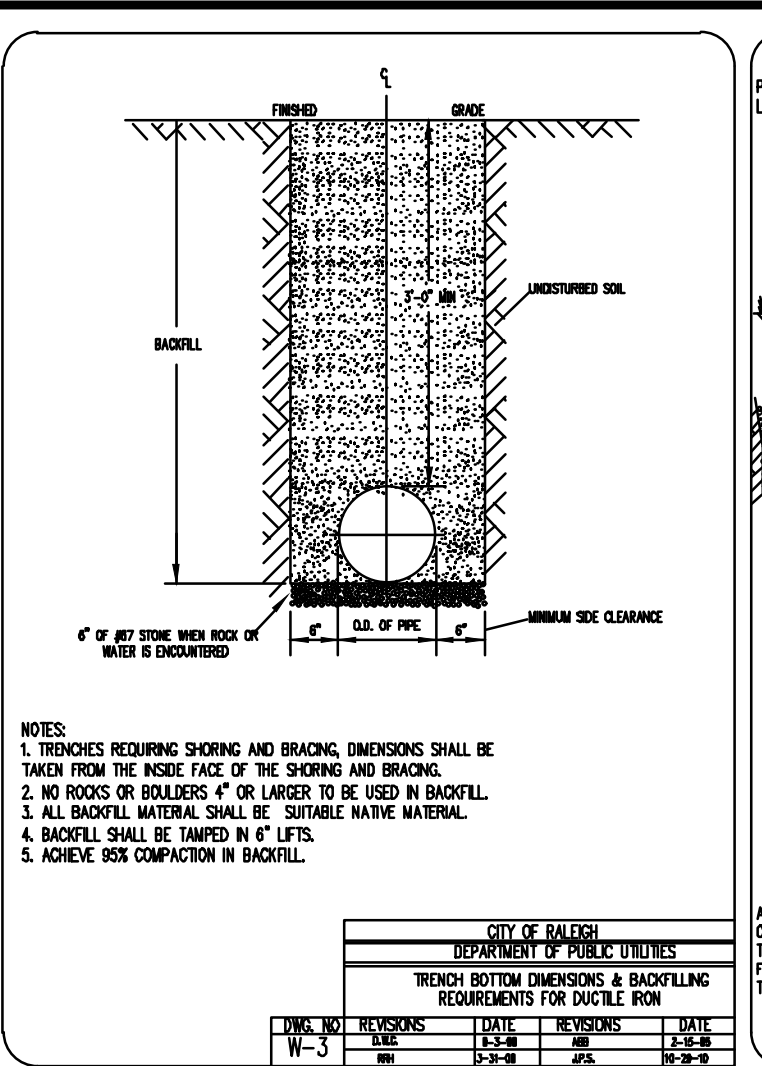
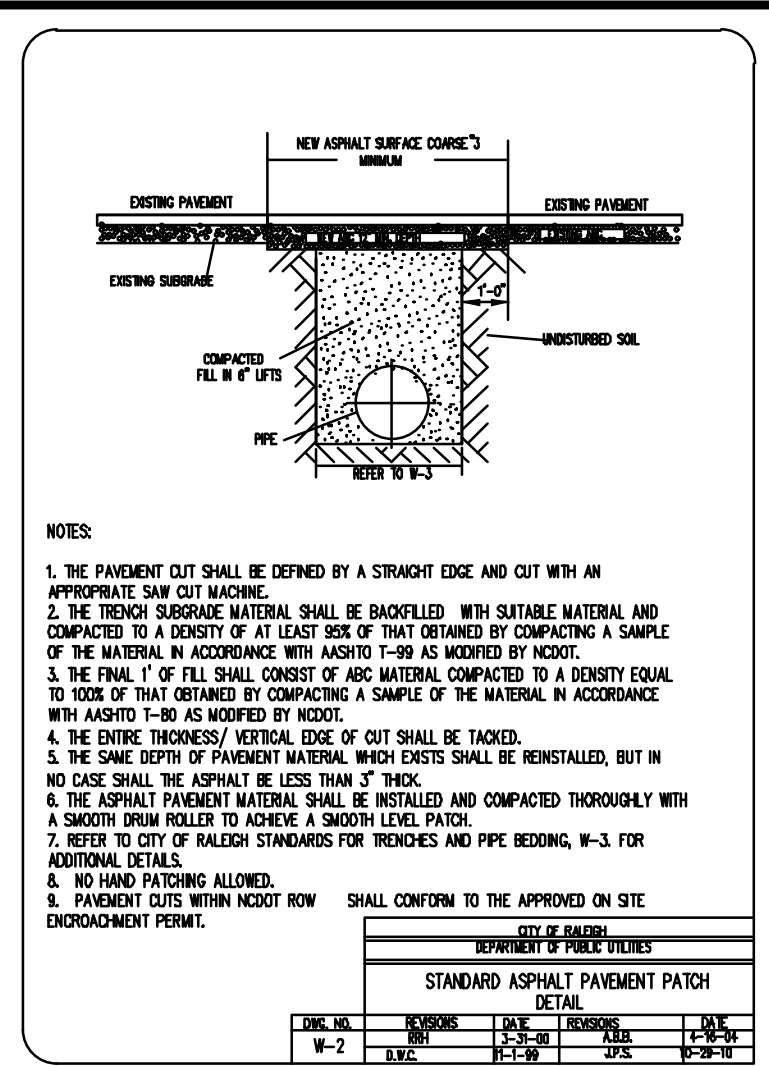
PRIMAX PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



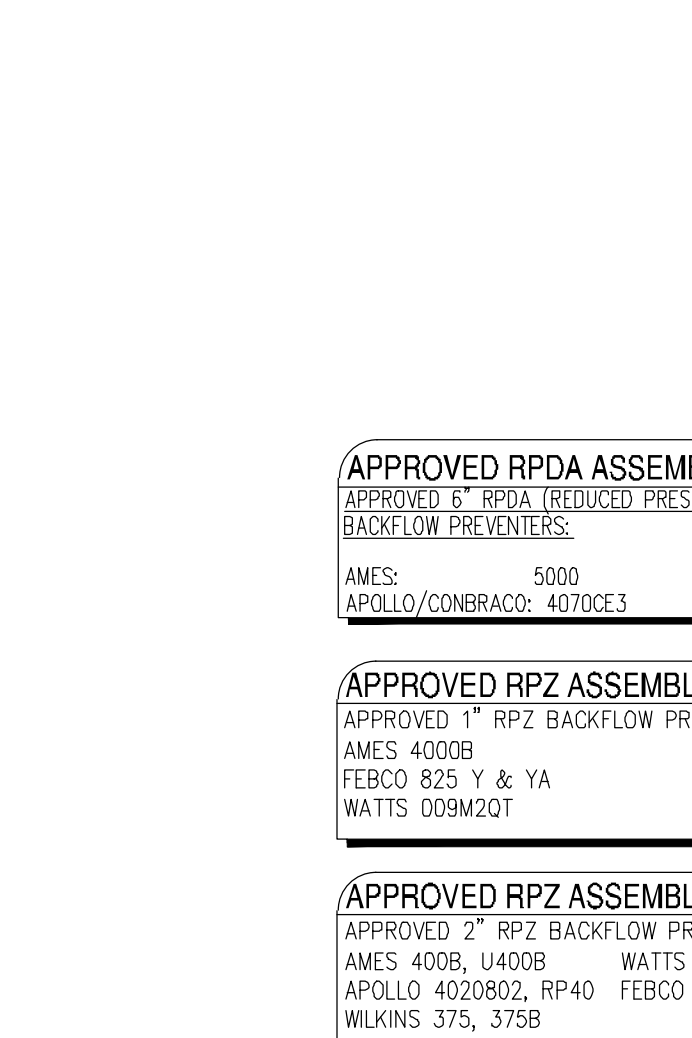
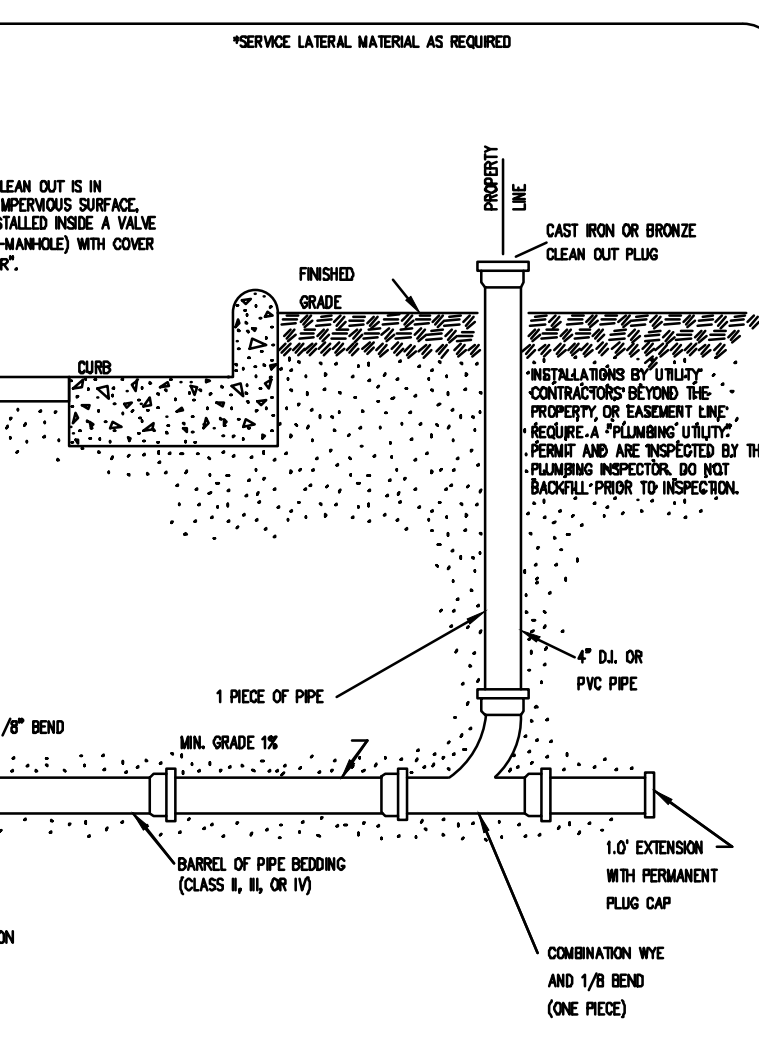
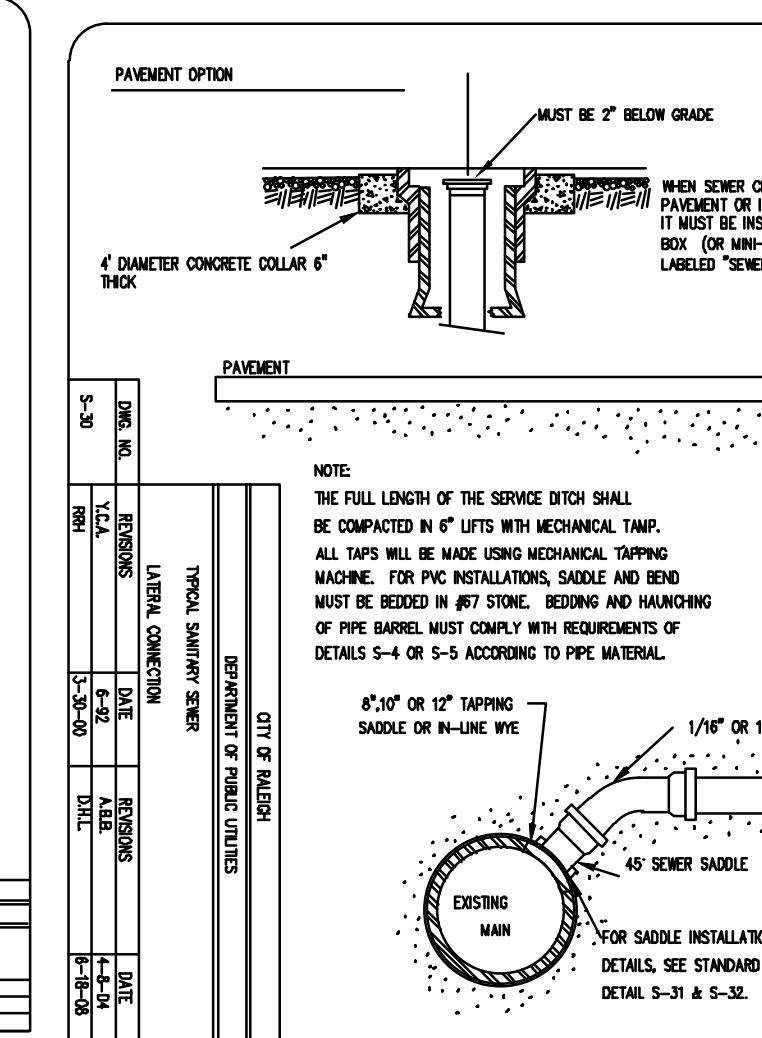
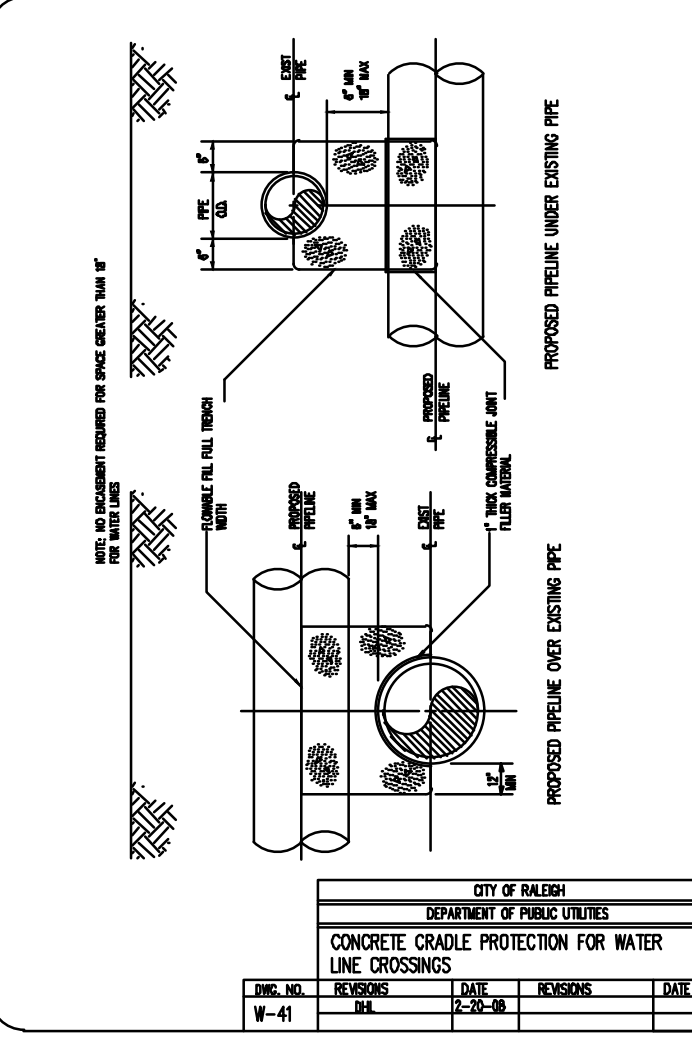
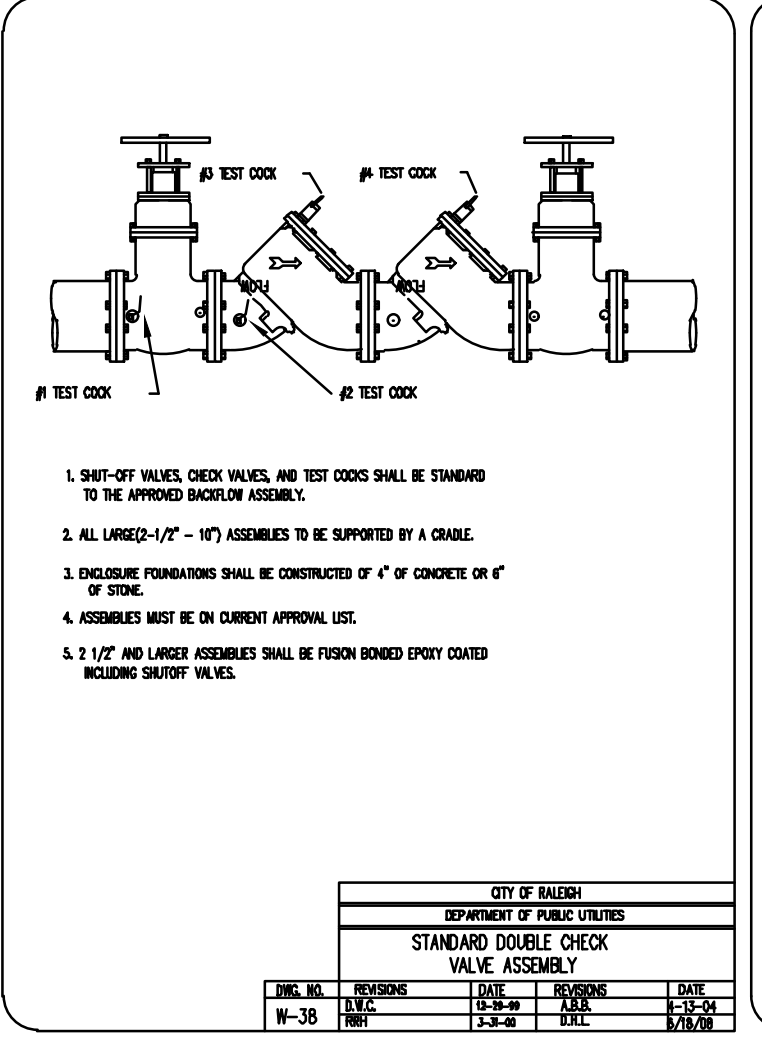
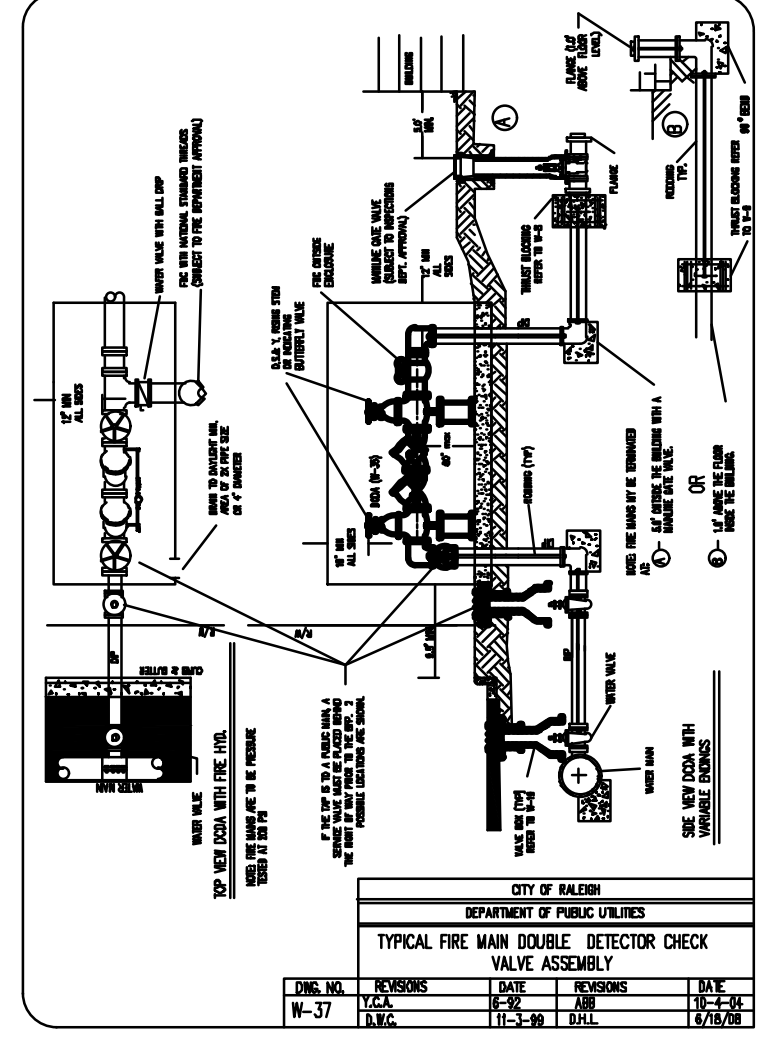
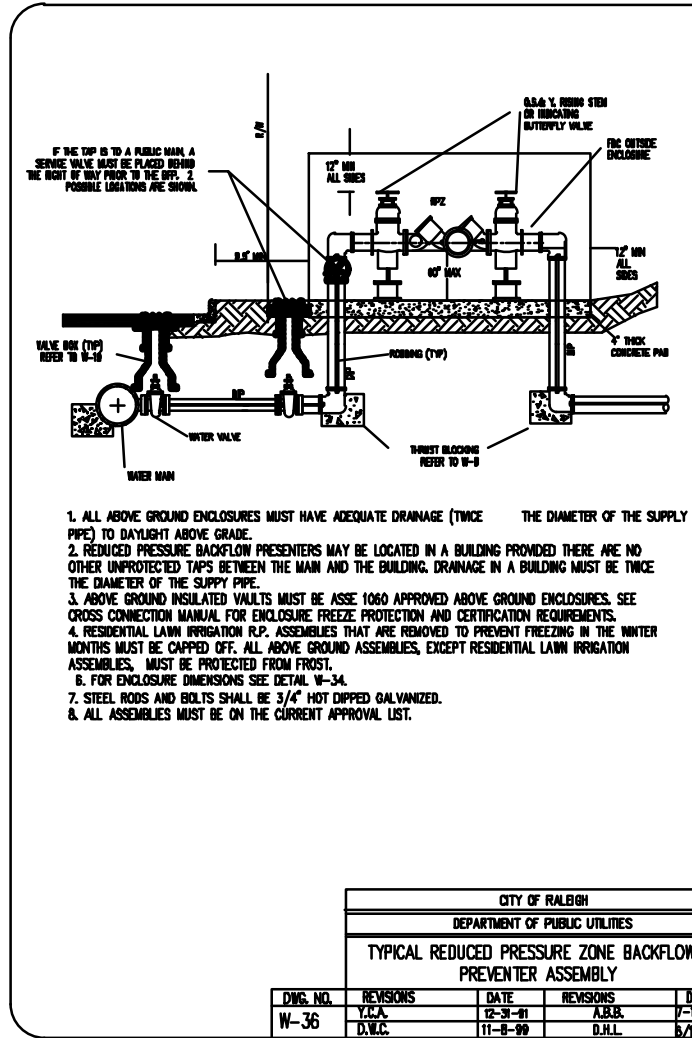
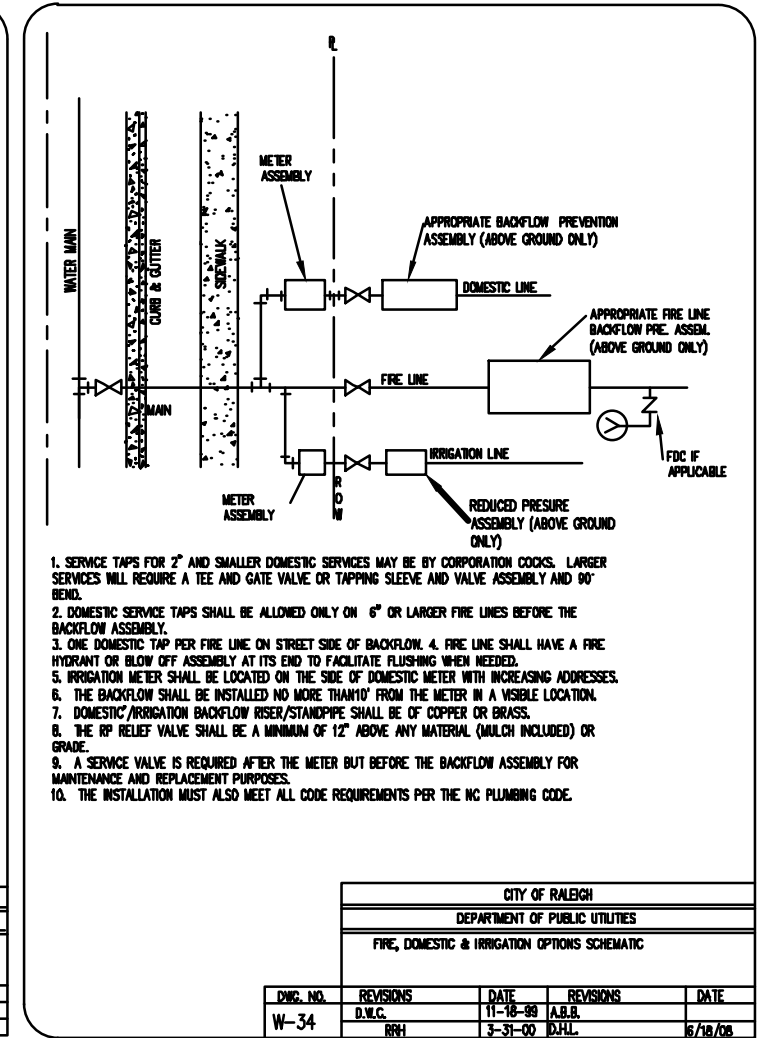
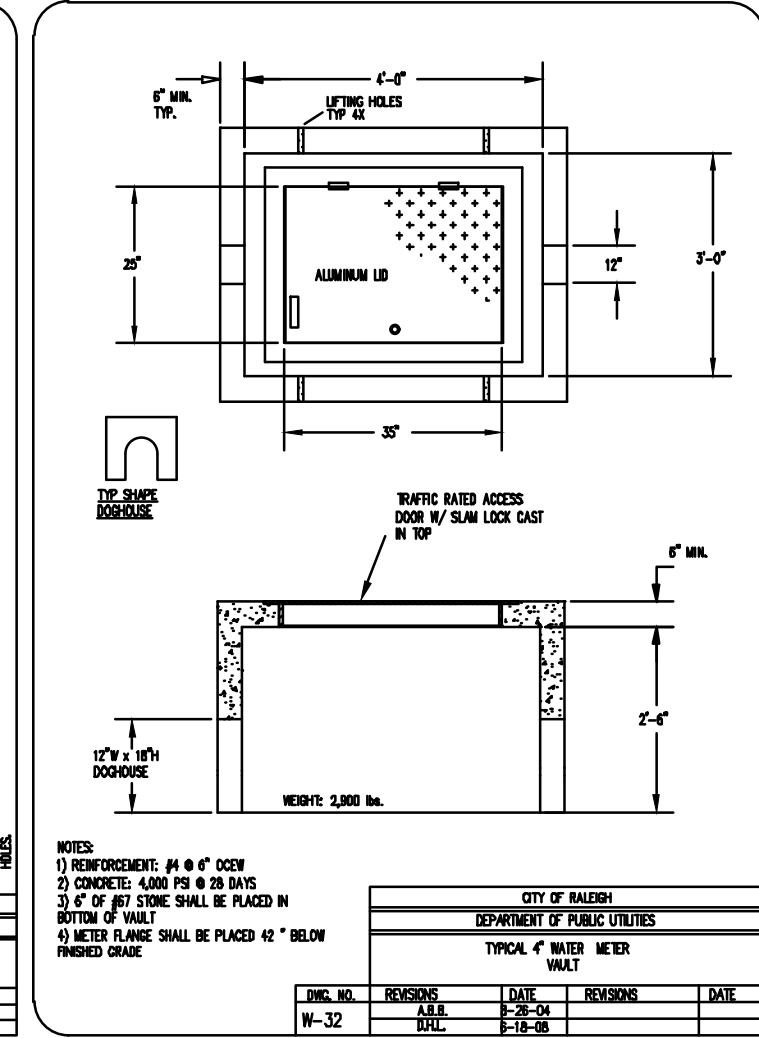
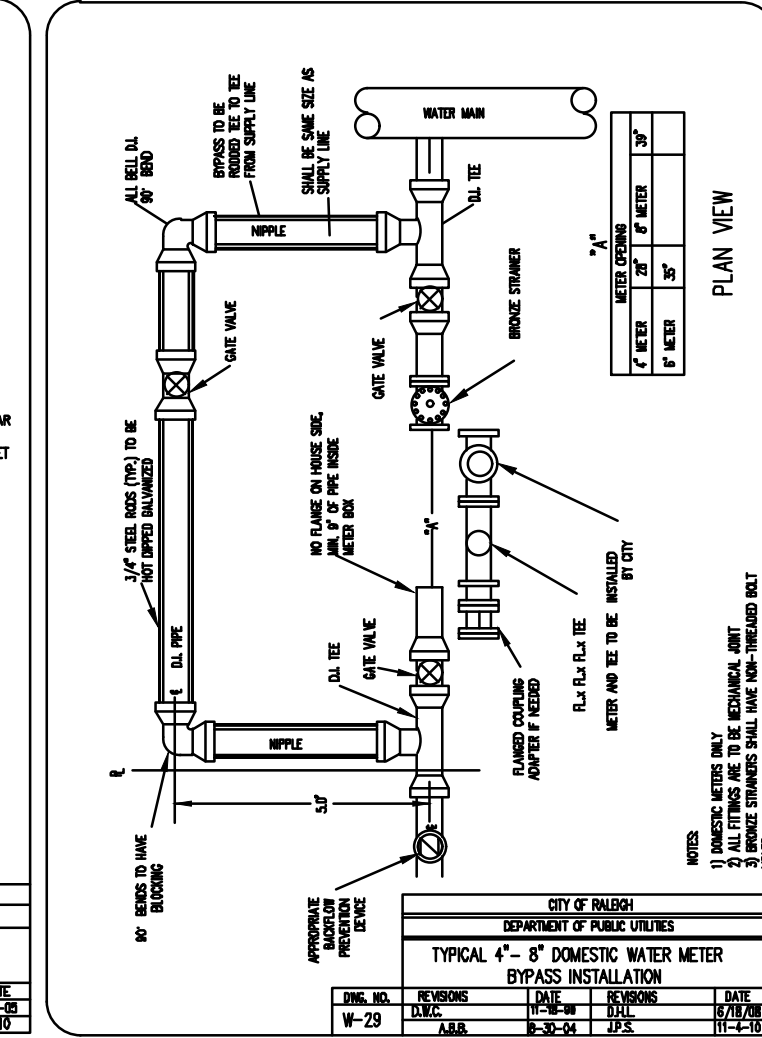
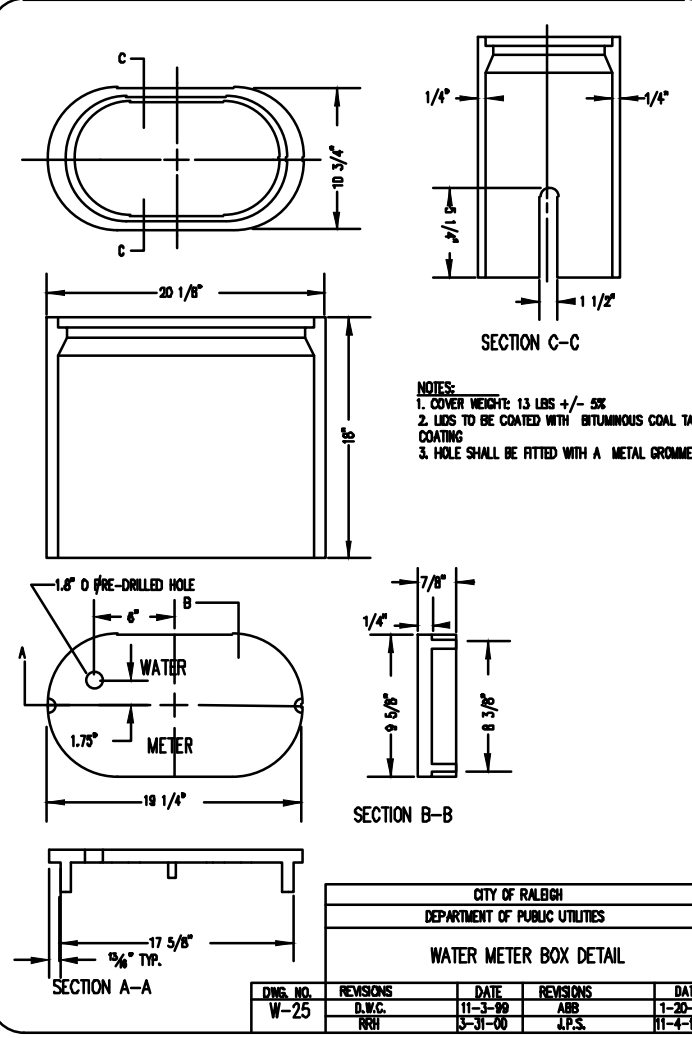
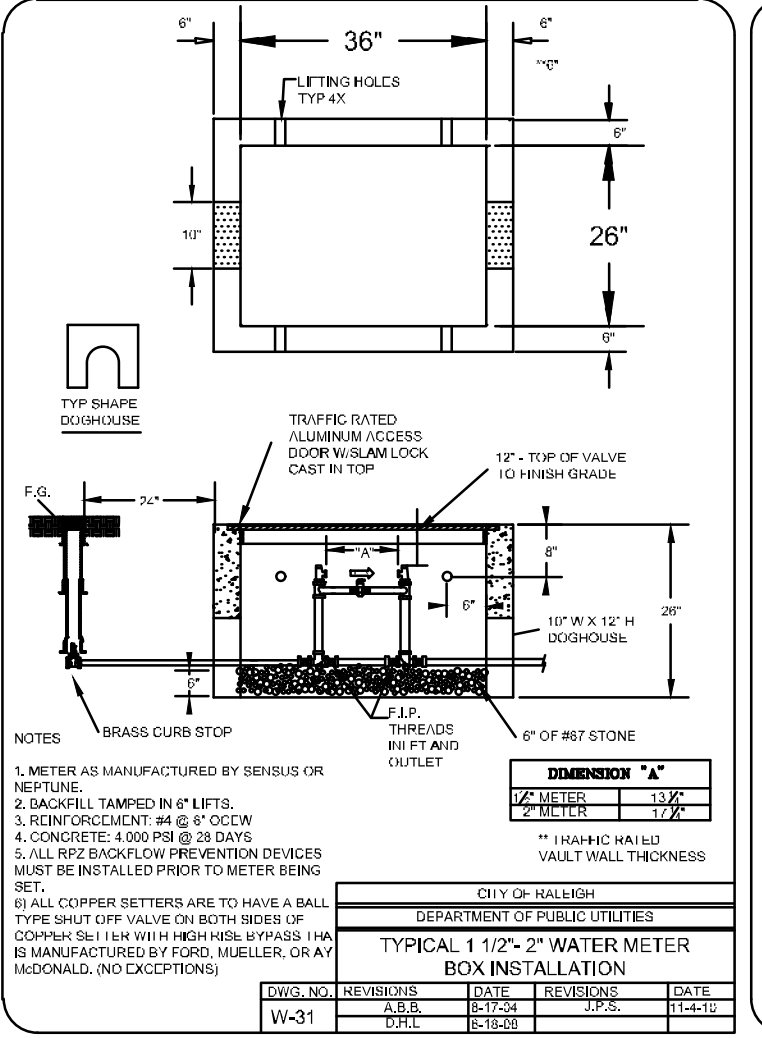
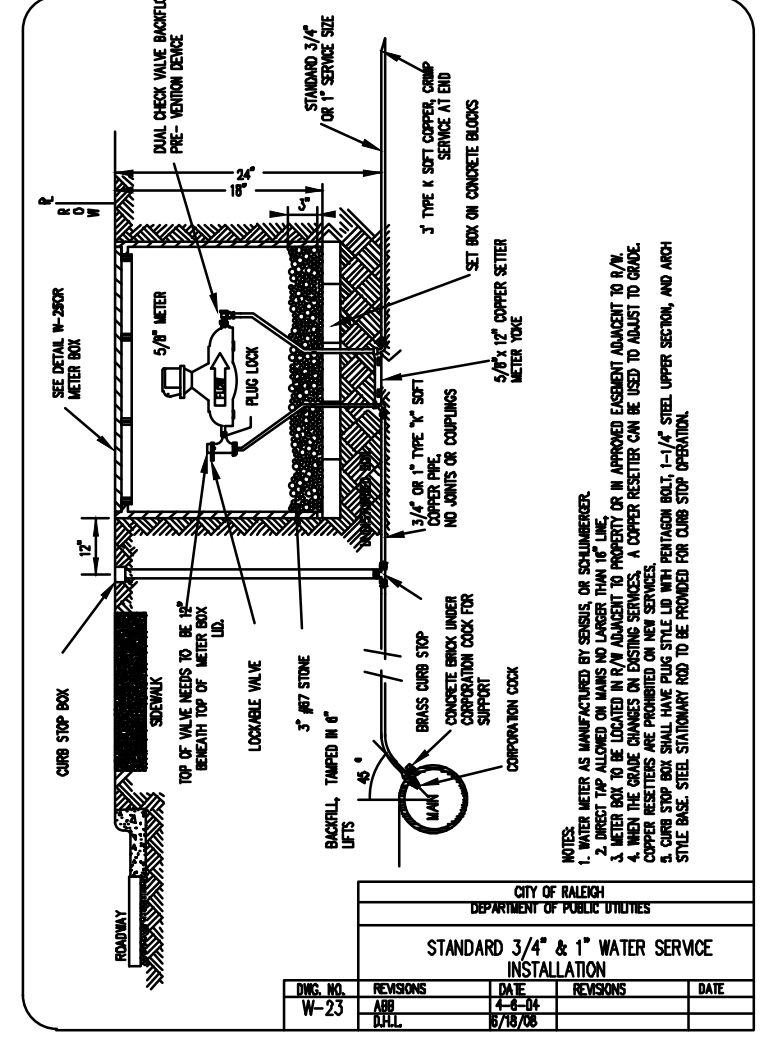
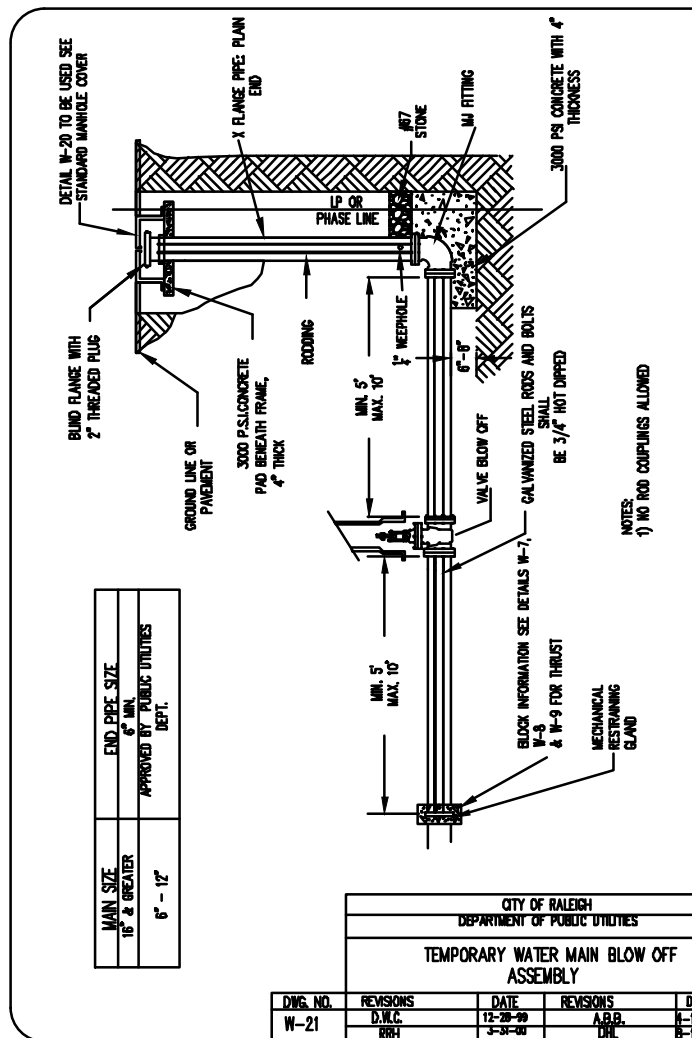
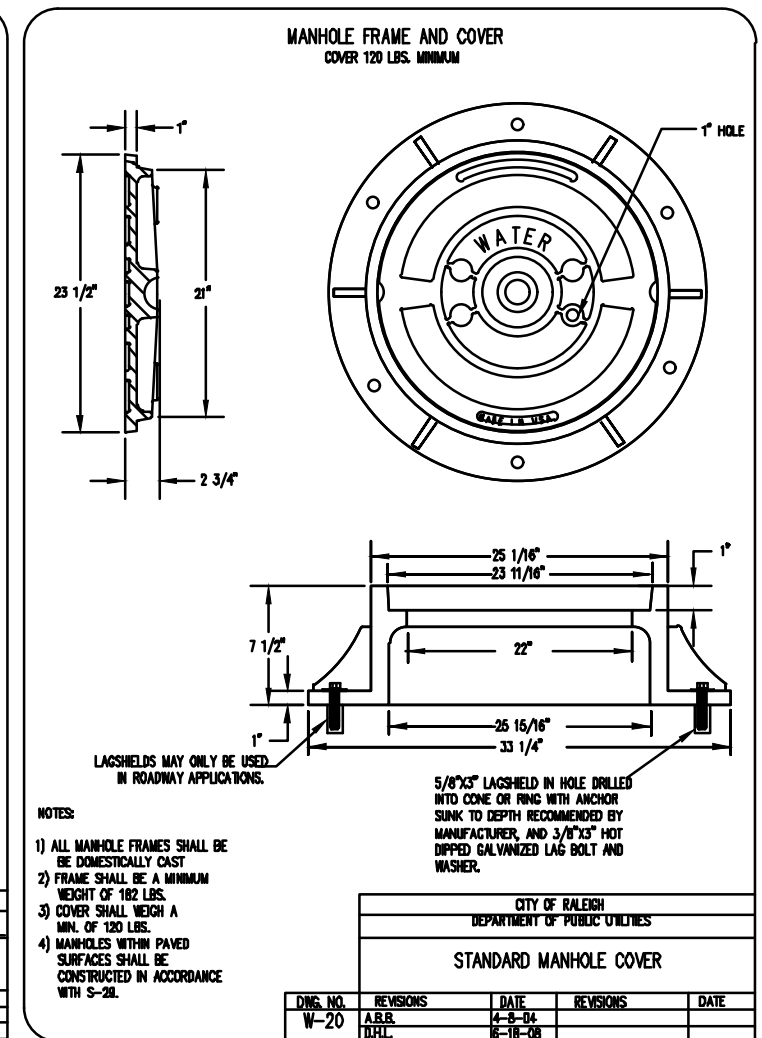
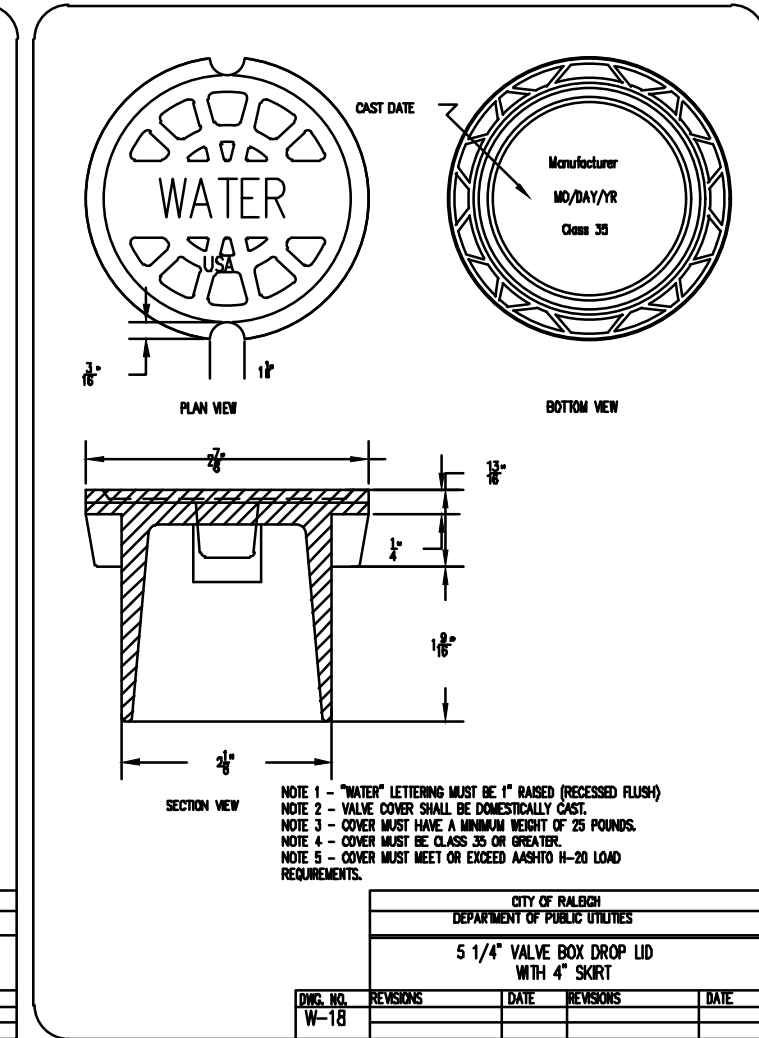
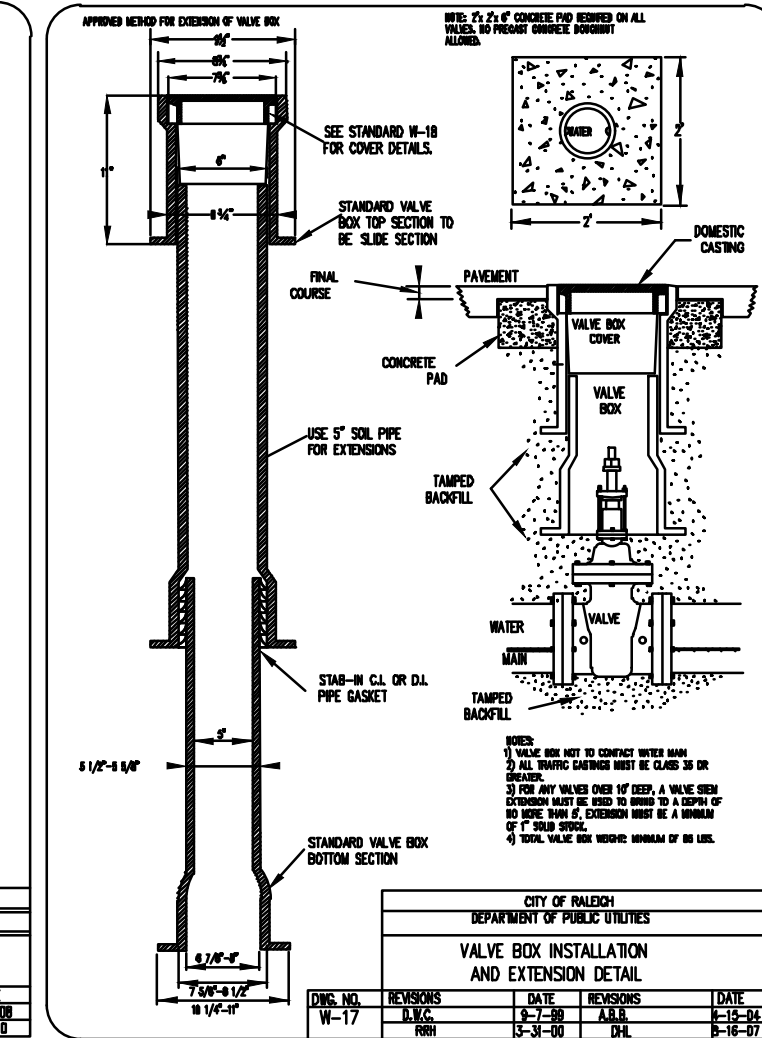
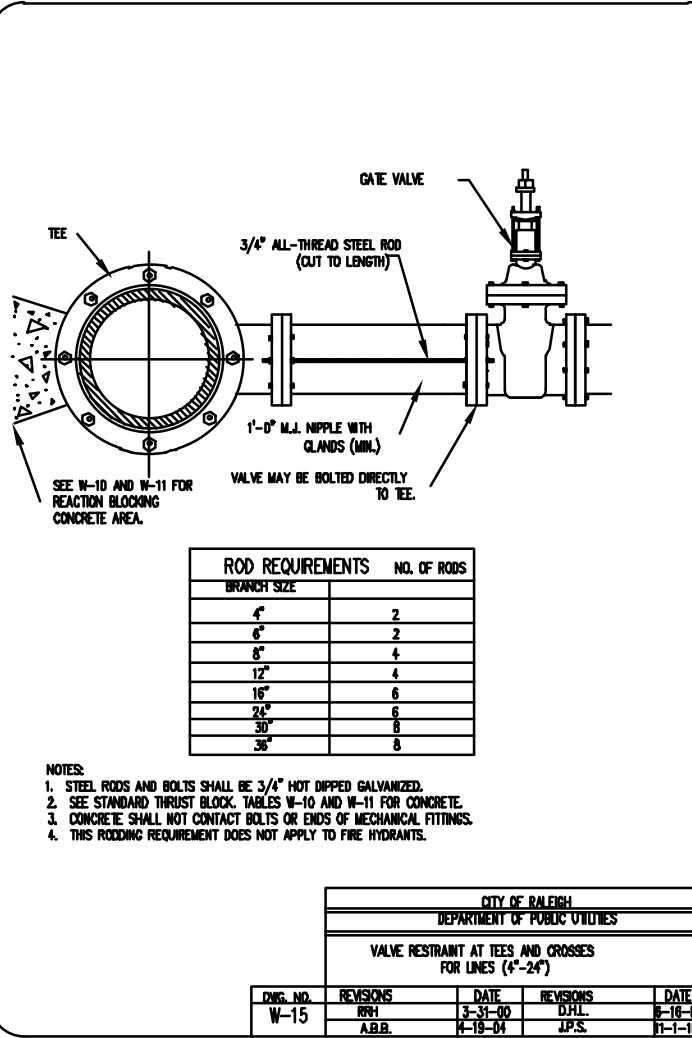
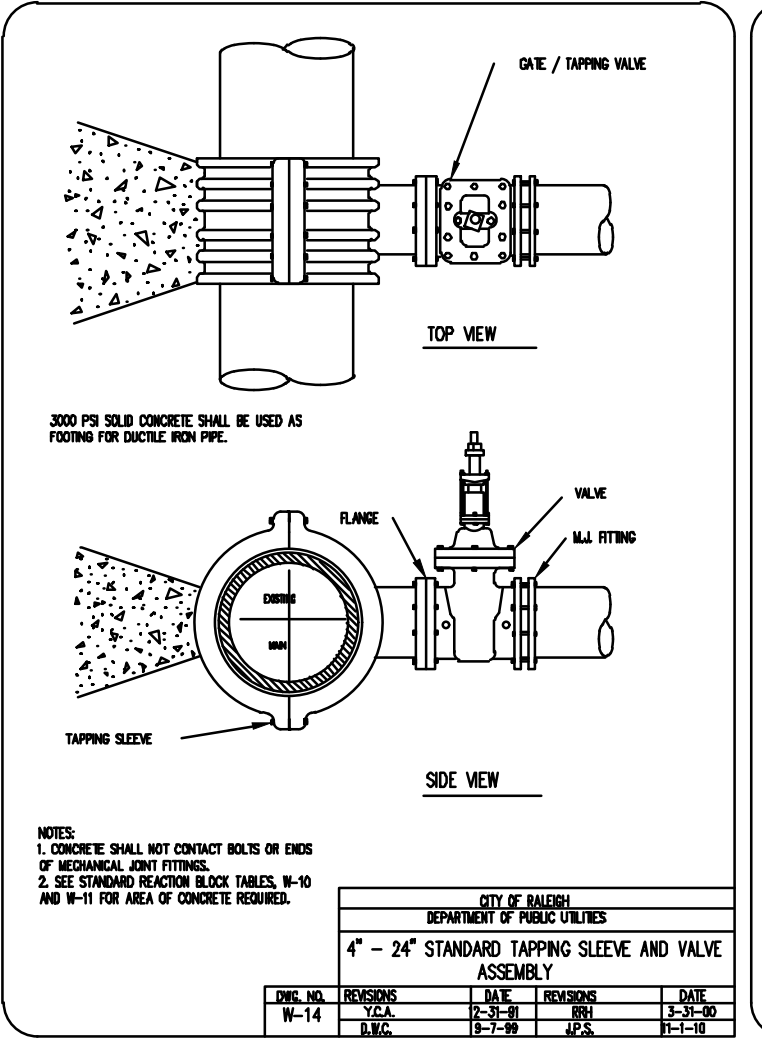
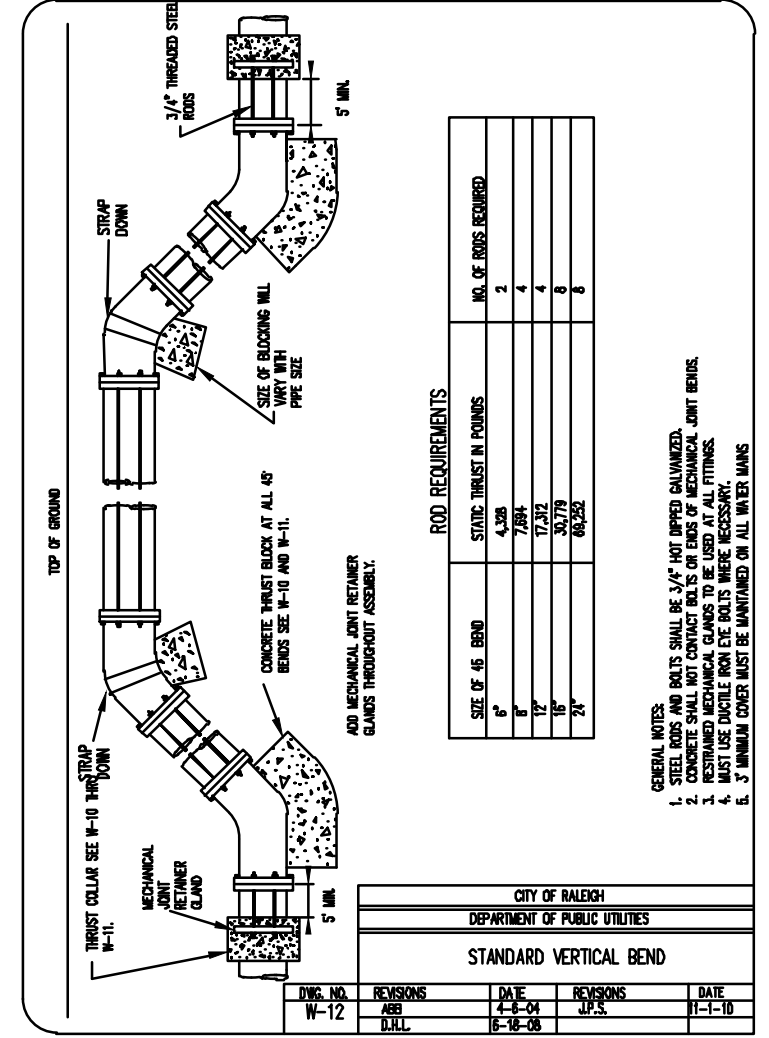
DATE	DESCRIPTION
5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
MEL DESIGN	MEL DRAWN
SCALE	H: NA V: NA
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET C6.3



REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS BASED ON TEST PRESSURE OF 200 PSI	
PIPE SIZE	REACTION BEARING AREA
1/2"	1.5
3/4"	1.5
1"	1.5
1 1/4"	1.5
1 1/2"	1.5
2"	1.5
2 1/2"	1.5
3"	1.5
4"	1.5
6"	1.5
8"	1.5
10"	1.5
12"	1.5
15"	1.5
18"	1.5
21"	1.5
24"	1.5
30"	1.5
36"	1.5
42"	1.5
48"	1.5
60"	1.5
72"	1.5
90"	1.5
108"	1.5
126"	1.5
144"	1.5
162"	1.5
180"	1.5
216"	1.5
252"	1.5
288"	1.5
324"	1.5
360"	1.5
432"	1.5
504"	1.5
576"	1.5
648"	1.5
720"	1.5
810"	1.5
900"	1.5
1008"	1.5
1116"	1.5
1224"	1.5
1332"	1.5
1440"	1.5
1548"	1.5
1656"	1.5
1764"	1.5
1872"	1.5
1980"	1.5
2088"	1.5
2196"	1.5
2304"	1.5
2412"	1.5
2520"	1.5
2628"	1.5
2736"	1.5
2844"	1.5
2952"	1.5
3060"	1.5
3168"	1.5
3276"	1.5
3384"	1.5
3492"	1.5
3600"	1.5
3708"	1.5
3816"	1.5
3924"	1.5
4032"	1.5
4140"	1.5
4248"	1.5
4356"	1.5
4464"	1.5
4572"	1.5
4680"	1.5
4788"	1.5
4896"	1.5
5004"	1.5
5112"	1.5
5220"	1.5
5328"	1.5
5436"	1.5
5544"	1.5
5652"	1.5
5760"	1.5
5868"	1.5
5976"	1.5
6084"	1.5
6192"	1.5
6300"	1.5
6408"	1.5
6516"	1.5
6624"	1.5
6732"	1.5
6840"	1.5
6948"	1.5
7056"	1.5
7164"	1.5
7272"	1.5
7380"	1.5
7488"	1.5
7596"	1.5
7704"	1.5
7812"	1.5
7920"	1.5
8028"	1.5
8136"	1.5
8244"	1.5
8352"	1.5
8460"	1.5
8568"	1.5
8676"	1.5
8784"	1.5
8892"	1.5
9000"	1.5
9108"	1.5
9216"	1.5
9324"	1.5
9432"	1.5
9540"	1.5
9648"	1.5
9756"	1.5
9864"	1.5
9972"	1.5
10080"	1.5

- UTILITY NOTES:
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS.
 - IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
 - WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "Y" SOFT COPPER, ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE GEMENT-LINED DUCTILE IRON PIPE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - GRANITE SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
 - CLEAN-OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
 - ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH, PER CITY OF RALEIGH STANDARDS.
 - LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
 - WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
 - ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
 - DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
 - ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL ASHLEY REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
 - ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z11.1 (AWWA C-151) (CLASS 50).
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWER FACILITIES. A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO MDT SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
 - THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW PLAN GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF RALEIGH AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. COMPENSATION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
 - A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE COVERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 18" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAIN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 18" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAIN.
 - ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
 - THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH UTILITY DEPARTMENT.



APPROVED RPDA ASSEMBLIES:
 APPROVED 6" RPDA (REDUCED PRESSURE DETECTOR ASSEMBLY) BACKFLOW PREVENTERS:
 AMES: 5000 FBCO: 82670,909RPDA
 APOLLO/CONRACO: 4070E3 WILKINS: 375ADA

APPROVED RPZ ASSEMBLIES:
 APPROVED 1" RPZ BACKFLOW PREVENTERS:
 AMES: 4008 FBCO: 825 Y & YA
 WATTS: 009M20T

APPROVED RPZ ASSEMBLIES:
 APPROVED 2" RPZ BACKFLOW PREVENTERS:
 AMES: 4008, 1400B WATTS: 009M10T, 0090T
 APOLLO: 402802, RP40 FBCO: 860, 825YAR
 WILKINS: 375, 375B

PLAN STATUS
 5/26/22 1ST SUBMISSION
 8/1/22 PER TOWN & RALEIGH REVIEW

DATE DESCRIPTION
 MEL DESIGN MEL DRAW XXX CHKD
 SCALE H: 1" = XXX' V: 1" = XXX'

JOB No. 220127-01-001
 DATE May 26, 2022
 FILE No. 220127-D-CP-001

SHEET C6.4

Bowman
 Bowman North Carolina Ltd.
 4008 BARRIETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 555-6570
 bowman.com
 Bowman North Carolina Ltd.

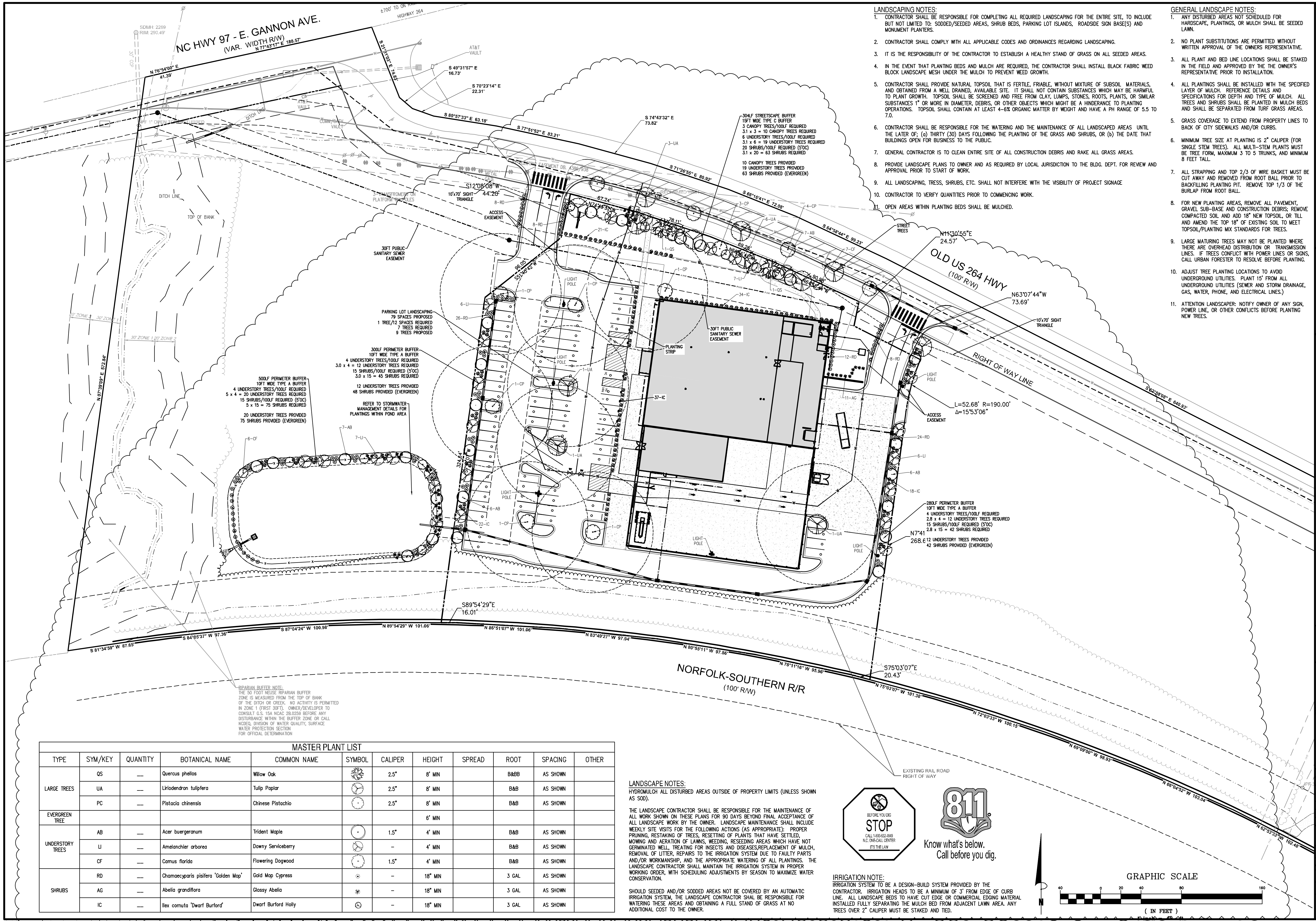
TSC
 TRACTOR SUPPLY COMPANY

UTILITY DETAILS
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMA
 PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION

SEAL
 2022
 NORTH CAROLINA
 PROFESSIONAL
 ENGINEER
 STATE OF NORTH CAROLINA
 EXPIRES 12/31/2023



- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDING AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDING AREAS.
 - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
 - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
 - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
 - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
 - ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
 - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
 - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
 - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
 - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
 - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
 - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).
 - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

30'LF PERIMETER BUFFER - 10FT WIDE TYPE A BUFFER
 4 UNDERSTORY TREES/100LF REQUIRED
 15 SHRUBS/100LF REQUIRED (5'OC)
 5 x 15 = 75 SHRUBS REQUIRED
 20 UNDERSTORY TREES PROVIDED
 75 SHRUBS PROVIDED (EVERGREEN)

30'LF PERIMETER BUFFER - 10FT WIDE TYPE A BUFFER
 4 UNDERSTORY TREES/100LF REQUIRED
 15 SHRUBS/100LF REQUIRED (5'OC)
 3.0 x 15 = 45 SHRUBS REQUIRED
 12 UNDERSTORY TREES PROVIDED
 48 SHRUBS PROVIDED (EVERGREEN)
 REFER TO STORMWATER MANAGEMENT DETAILS FOR PLANTINGS WITHIN POND AREA

30'LF STREETSCAPE BUFFER
 15FT WIDE TYPE C BUFFER
 3 CANOPY TREES/100LF REQUIRED
 3.1 x 3 = 10 CANOPY TREES REQUIRED
 6 UNDERSTORY TREES/100LF REQUIRED
 3.1 x 6 = 19 UNDERSTORY TREES REQUIRED
 20 SHRUBS/100LF REQUIRED (5'OC)
 3.1 x 20 = 63 SHRUBS REQUIRED
 10 CANOPY TREES PROVIDED
 19 UNDERSTORY TREES PROVIDED
 63 SHRUBS PROVIDED (EVERGREEN)

28'LF PERIMETER BUFFER
 10FT WIDE TYPE A BUFFER
 4 UNDERSTORY TREES/100LF REQUIRED
 2.8 x 4 = 12 UNDERSTORY TREES REQUIRED
 15 SHRUBS/100LF REQUIRED (5'OC)
 2.8 x 15 = 42 SHRUBS REQUIRED
 12 UNDERSTORY TREES PROVIDED
 42 SHRUBS PROVIDED (EVERGREEN)

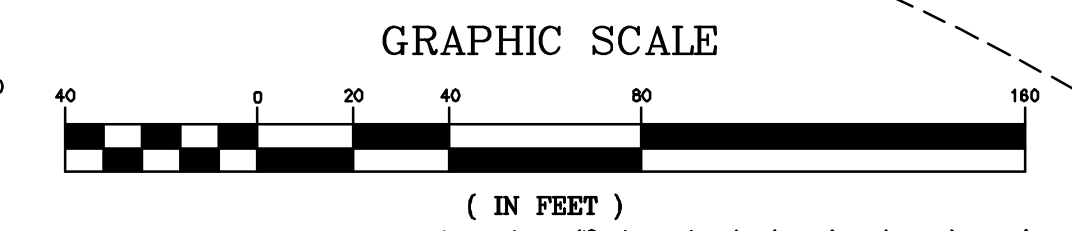
RIPARIAN BUFFER NOTE:
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0259 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDCO, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	OS	—	<i>Quercus phellos</i>	Willow Oak		2.5"	8' MIN		B&B	AS SHOWN	
	UA	—	<i>Liriodendron tulipifera</i>	Tulip Poplar		2.5"	8' MIN		B&B	AS SHOWN	
	PC	—	<i>Pistacia chinensis</i>	Chinese Pistachio		2.5"	8' MIN		B&B	AS SHOWN	
EVERGREEN TREE						6' MIN					
UNDERSTORY TREES	AB	—	<i>Acer buergerianum</i>	Trident Maple		1.5"	4' MIN		B&B	AS SHOWN	
	LI	—	<i>Amelanchier arborea</i>	Downy Serviceberry		—	4' MIN		B&B	AS SHOWN	
	CF	—	<i>Camus florida</i>	Flowering Dogwood		1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	—	<i>Chamaecyparis pisifera 'Golden Map'</i>	Gold Map Cypress		—	18" MIN		3 GAL	AS SHOWN	
	AG	—	<i>Abelia grandiflora</i>	Glossy Abelia		—	18" MIN		3 GAL	AS SHOWN	
	IC	—	<i>Ilex comuta 'Dwarf Burford'</i>	Dwarf Burford Holly		—	18" MIN		3 GAL	AS SHOWN	

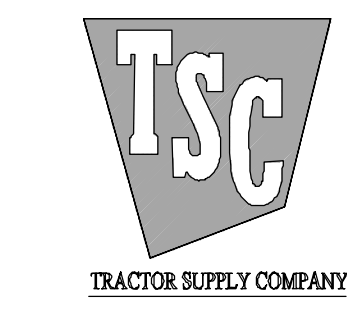
LANDSCAPE NOTES:
 HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



IRRIGATION NOTE:
 IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3' FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.



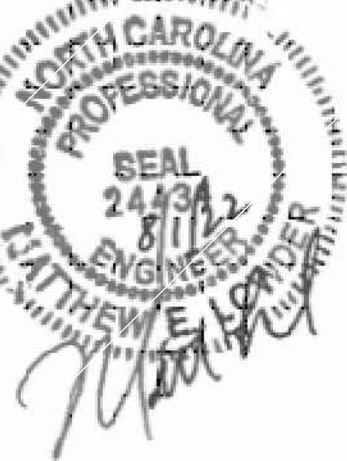
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 Bowman North Carolina Ltd.
 4006 BARRIETT DR
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 Phone: (919) 555-6570
 bowman.com
 Bowman North Carolina Ltd.



LANDSCAPE PLAN
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMA
 PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



DATE	DESCRIPTION
5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW

DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001
SHEET	C7.0

Conceptual Elevation
Zebulon, NC

July 25, 2022



Front-Right Elevation

Proposed List of Materials



Split Face CMU Wall
Painted Urban Putty
SW7532

Split Face CMU Pilaster
Painted Sanderling
SW7513

Smooth Face CMU Band
On All Four Sdies Painted
Safety Red SW4081

29'-6" +/-

Red Gooseneck
Light Fixtures

Galvanized Metal
Roof Panel

Fiber Cement Lap
Siding Painted
Alpaca SW7022

Two Courses Corbelled
Cornice Cap

Top Course To Be Smooth
Face CMU Painted Safety Red
With Red Coping To Match

Galvanized Standing
Seam Awning

Clear Anodized
Alum Storefront

Split Face CMU Base
Painted Sanderling -
SW7513

Split Face CMU Wall Painted
Urban Putty -SW7532



Zebulon, NC.

Front-Right Elevation

UDO Analysis

Section 5.3.4.a.i - Primary Wall contains (2) types of building articulation.
b.ii - Vertical Modulation
b.vi - Primary Building Entrance

Primary Building Entrance
b.i - Change in material & color
b.iii - Feature that extends above roof height
b.iv - projection greater than 5ft.

Vertical Modulation
24" projected pilaster regularly spaced across the full facade.

Section 5.3.6.b Parapet cornice.
Top (2) courses corbel 1 1/2" each.

Section 5.3.7.a.i - Primary Wall Fenestration
a.i - 40% window/doors
a.i - Visually transparent

Facade is 3,000 SF
Windows and storefront shown equals 552SF or 18.5%
This changes to 35% if you figure in the greenhouse

linearly windows are 76' of the 128' facade or 60%
This changes to 70% if you figure in the greenhouse

We would like to request a variance to calculate the % based on linear feet instead of square feet.

Windows are also shown as opaque spandrel glass.

Due to the functional use or the tenants fixture plan, racks of merchandise are stack up against the wall. Visually transparent glass would provide an unsightly and obstructed view.

We would like to request a variance to accept the opaque glazing.



Foundation planting has been moved to edge of parking. Tenant's Sidewalk Display area is hard on plants against the building.

We would like to request a variance to move planting strip as indicate on the plans.



Front-Right Elevation

Proposed List of Materials



Greenhouse Connection

Proposed List of Materials



Greenhouse Connection

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change turns the corner 3'-4" to satisfy Section 5.3.1.F.5.

Vertical modulation of material is flush with adjacent wall. As a tertiary wall it does not need to project.

Due to the greenhouse connection/fabrication to the side masonry wall, this wall is to be constructed with smooth face CMU, painted to match the front of the building.

Corbeling cornice is not feasible due to termination issues.



PRIMAX

TSC TRACTOR SUPPLY CO.

Zebulon, NC.

Rear Elevation Right Side

Proposed List of Materials

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

16' high galvanized chain link fence and sliding gate



Zebulon, NC.

Loading Area

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change occurs at screen wall, required to screen loading area per Section 5.10.5

Painted smooth face CMU from wall with greenhouse construction is to wrap the corner and terminate at a logical point behind the masonry screen wall

Metal panel dumpster enclosure gates painted black



Zebulon, NC.

Rear Elevation Left Side

Proposed List of Materials



Rear Elevation
Left Side

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change occurs behind screen wall, for reasons explained on other elevations

Screen wall, required to screen Loading Area per Section 5.10.5

Section 5.3.4.a.i - Secondary Wall contains (1) types of building articulation.
b.ii - Vertical Modulation

Vertical Modulation
24" projected pilaster regularly spaced across 50% of the facade.

Section 5.3.7.a.i - Secondary Wall Fenestration
b.i - 30% window/doors
b.iii - Articulated wall forms to mimic openings

Facade to screen wall is 1,158 SF
Windows articulation equals 204 SF or 17.6%

linearly the articulation is 34' of the 64' facade or 52%

We would like to request a variance to calculate the % based on linear feet instead of square feet.



Front Left Elevation

Proposed List of Materials



Zebulon, NC.

Section 5.3.4.a.i - Primary Wall contains (2) types of building articulation.
b.ii - Vertical Modulation
b.v - Roof Modulation

Roof Modulation
Parapet illustrates differing planes.
Center parapet simulates a pitched roof with distinct material difference

Vertical Modulation
24" projected pilaster regularly spaced across the full facade.

Section 5.3.7.a.i - Primary Wall Fenestration
a.i - 40% window/doors
a.i - Visually transparent

Facade is 3,156 SF
Windows and storefront shown equals 610SF or 19.5%

linearly windows are 89' of the 175' facade or 50%

We would like to request a variance to calculate the % based on linear feet instead of square feet.

Front Left Elevation

UDO Analysis



Windows are also shown as opaque spandrel glass.

Due to the functional use or the tenants fixture plan, racks of merchandise are stack up against the wall. Visually transparent glass would provide an unsightly and obstructed view.

We would like to request a variance to accept the opaque glazing.



Zebulon, NC.

Front-Left Elevation



Plan View



PRIMAX

TSC TRACTOR SUPPLY CO.

Symbol	Label	Quantity	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	P	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	109.44
	R	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	S	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Triple Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	328.32
	T	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Quad Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	437.76
	K	12	DSXW1-LED-10C-1000-50K-T3M-MVOLT-DDBXD	Lithonia DSXW1 Series Wall Mount LED Unit w/Type T3M Distribution (18ft. and 14ft. Fixture Mounting Heights) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	3898	0.95	38.8
	K1	3	H-15118-97/HL-AHD-27*97/21/LED2/40/D/BCM-M	Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)	LED/4000K (FULL CUTOFF DESIGN)	1170	0.95	21

Statistics							
Description	Symbol	Avg	Max	Min	Max/Avg	Max/Min	Avg/Min
Parking Lot Light Levels	+	1.9 fc	11.7 fc	0.1 fc	6.16	117.0:1	19.0:1
Property Line Light Levels	+	0.3 fc	1.6 fc	0.0 fc	5.33	N/A	N/A

