

WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS

DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS

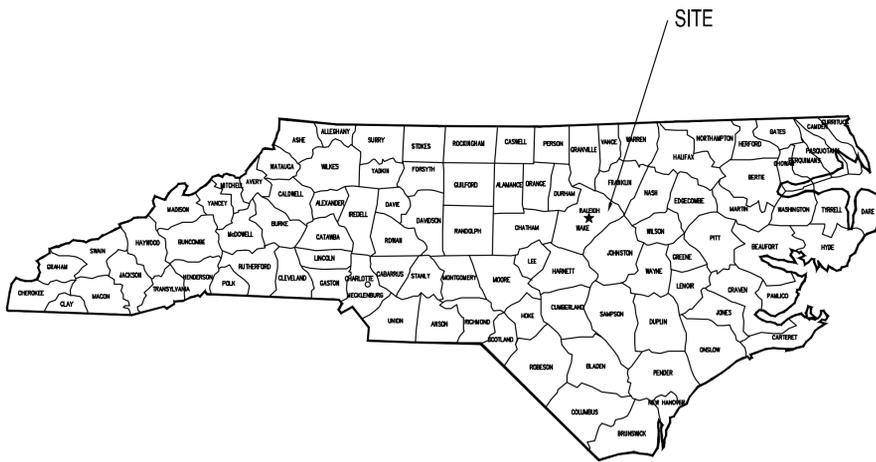
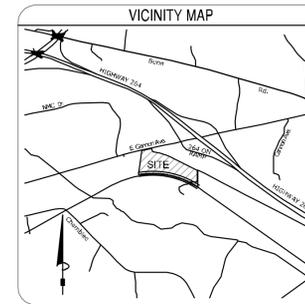
NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS

SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS

STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

CONSTRUCTION DOCUMENTS

Proposed
Tractor Supply
 Old US Highway 264
 Zebulon, North Carolina
 Wake County
 IDT# 782339



IMPERVIOUS SUMMARY TABLE			
ON-SITE AREA = 164,059 SF (3.766 AC)			
BUILDINGS	21,147 SF	0.49 ACRE(S)	12.89 % OF AREA
PAVEMENT	84,200 SF	1.93 ACRE(S)	51.32 % OF AREA
SIDEWALK	6,060 SF	0.14 ACRE(S)	3.69 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	67.91 % OF AREA
GREEN/OPEN SPACE	52,652 SF	1.21 ACRE(S)	32.09 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF	0 ACRE(S)	0.0 % OF AREA
INCREASE IN IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	

DEVELOPMENT DATA	
DEVELOPMENT NAME:	TRACTOR SUPPLY
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC 219 ROYAL FERN RD WILMINGTON, NC 28412
PROPERTY IDENTIFICATION #(PIN):	2705-97-3068 (ORDINANCE 2022-36)
PROPERTY #:	0352494
DEED BOOK/PAGE:	006057 / 00594
EXISTING ZONING:	HC- HEAVY COMMERCIAL (ORDINANCE 2022-36)
FUTURE LAND USE MAP:	GC-GENERAL COMMERCIAL
LATITUDE & LONGITUDE	N35.828782, W-78.293752
TOTAL SITE ACRES:	164,059 SF (3.77 AC) PROPOSED TRACTOR SUPPLY
WATER SERVICE:	PUBLIC - CITY OF RALEIGH
SANITARY SEWER SERVICE:	PUBLIC - CITY OF RALEIGH
INSIDE TOWN LIMITS:	NO - ANNEXATION REQUIRED
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS	
MIN LOT AREA:	6,000 SF
MIN LOT WIDTH:	50 FT
MAX LOT COVERAGE:	80%
MIN OPEN SPACE:	3% OF SITE (4,922SF) 5,000 SF OPEN SPACE PROVIDED ALONG US 264
SIDE SETBACK(STREET):	30 FT
SIDE SETBACK(INTERIOR):	0; 5FT IF PROVIDED
REAR SETBACK:	0 IF ABUTTED BY AN ALLEY; OTHERWISE 25FT 50FT; MAY INCREASE BY 2FT FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100FT IN HEIGHT
MAX BUILDING HEIGHT	
MIN SPACING BETWEEN PRINCIPLE BUILDINGS:	25FT
PARKING REQUIREMENTS:	
RETAIL - 1 SPACE PER 200 SF	
21,147 SF / 200=106 SPACES	
79 SPACES REQUESTED (PARKING STUDY)	
BIKE PARKING - 1 SPACE PER 20 PARKING SPACES	
4 BIKE PARKING SPACES PROVIDED	
TOTAL PROVIDED:	79
PARKING SPACE DIMENSIONS	10' X 19' MIN 8.5' X 18' COMPACT (30% MAX)
MIN DRIVE AISLE	20 FT ONE-WAY, 24 FT TWO-WAY
ACCESSIBLE SPACES PROVIDED:	4
TREE RETENTION	5% OF SITE REQUIRED (8,203SF) 19,000SF OF TREE RETENTION PROPOSED
LANDSCAPE BUFFERS	10FT TYPE A BUFFER (ADJACENT HC) 15FT STREETSCAPE BUFFER ALONG OLD US 264

REZONING - ORDINANCE 2022-36

**ORDINANCE 2022-36
 AMENDMENT TO ZONING MAP FOR
 0 Old US 264 (Pin # 2705973068)**

The proposed Zoning Map Amendment for approximately 9.8 acres located at 0 Old US 264 with associated Wake County Pin # 2705973068 would be rezoned from R-2 Residential to Heavy Commercial (HC) in accordance with Section 2.2.24 of the Town of Zebulon Unified Development Ordinance and the attached map.

Adopted this the 4th day of April 2022

Glenn L. York
 Glenn L. York - Mayor

Lisa M. Markland
 Lisa M. Markland, CMC - Town Clerk

DEVELOPER
 Primax Properties, LLC
 Attn. Adam Sellner
 1100 E. Morehead Street
 Charlotte, NC 28204
 704-954-7224
 asellner@primaxproperties.com

CIVIL ENGINEER
 Bowman North Carolina, Ltd.
 4006 Barrett Drive, Suite 104
 Raleigh, NC 27609
 (919) 553-6570
 mlowder@bowman.com
 FIRM# F-1445

CURRENT PROPERTY OWNERS
 Bunn Farms, Inc.
 219 Royal Fern Road
 Wilmington, NC 28412

PRECONSTRUCTION NOTE
 A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

SITE PERMITTING APPROVAL

Water and Sewer Permits (If applicable)

The City of Raleigh consents to the connection to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

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C2.0	DEMOLITION PLAN
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C2.3	NC CONSTRUCTION GENERAL PERMIT (NG601) NOTES
C3.0	SITE PLAN
C4.0	GRADING & DRAINAGE PLAN
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C5.0	UTILITY PLAN
C6.0	EROSION CONTROL DETAILS
C6.1	EROSION CONTROL DETAILS
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C7.0	LANDSCAPE PLAN
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5 OF 14	GREENHOUSE CONNECTION
6 OF 14	GREENHOUSE CONNECTION
7 OF 14	REAR ELEVATION - RIGHT SIDE
8 OF 14	LOADING AREA
9 OF 14	REAR ELEVATION - LEFT SIDE
10 OF 14	REAR ELEVATION - LEFT SIDE
11 OF 14	LEFT ELEVATION
12 OF 14	LEFT ELEVATION
13 OF 14	FRONT-LEFT ELEVATION
14 OF 14	FRONT-LEFT ELEVATION
1 OF 1	PARKING LOT LIGHTING LAYOUT

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S- _____

STORMWATER MGMT. S- _____

FLOOD STUDY S- _____

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE



Know what's below. Call before you dig.

Bowman

Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 553-6570
 bowman.com



TRACTOR SUPPLY COMPANY

COVER SHEET
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMAX PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS		
5/26/22	1ST SUBMISSION	
8/1/22	PER TOWN & RALEIGH REVIEW	
10/13/22	PER TOWN & RALEIGH REVIEW	
DATE	DESCRIPTION	
MEL DESIGN	MEL DRAWN	XXX CHKD
SCALE	H: 1" = 40'	V: 1" = XXX'
JOB No.	220127-01-001	
DATE	May 26, 2022	
FILE No.	220127-D-CP-001	

SHEET C1.0

GENERAL NOTES (CONT.)

- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE PROPOSED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, AND CONFIRMATION AND CONDITION OF EXISTING GROUND SURFACE AND THE CHARACTER OF THE EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUANTITY AND QUALITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES TO BE ENCOUNTERED, ANY INACCURACIES OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS MUST BE BOUGHT TO THE OWNER'S ATTENTION IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING ROADS AND UTILITIES WHICH OCCURS AS A RESULT OF THE PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO THE EXISTING RIGHT-OF-WAY.
- ALL STREET CUT AND PATCH WORK IN PUBLIC RIGHT-OF-WAY REQUIRED FOR UTILITIES INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CITY, COUNTY, AND/OR APPROPRIATE GOVERNING AGENCY STANDARDS AND SPECIFICATIONS.
- THE APPROVAL OF THIS PLAN SHALL IN NO WAY GRANT PERMISSION FOR THE CONTRACTOR TO TRESPASS ON OFF-SITE PROPERTIES.
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THESE PLANS MAKE NO REPRESENTATION AS TO THE SUBSURFACE CONDITIONS AND THE PRESENCE OF SUBSURFACE WATER OR THE NEED FOR SUBSURFACE DRAINAGE FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL NECESSARY INSPECTIONS.
- EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL FINISHED GRADING, SEEDING, SOODING OR PAVING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF WATER.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO BEGINNING OF ANY CONSTRUCTION ON THE PROJECT. IF CONFLICTS ARE DISCOVERED AS A RESULT OF TEST HOLE FINDINGS, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- EXCAVATION SUPPORT SYSTEMS SHALL CONFORM TO THE PROVISIONS OF OSHA CONSTRUCTION STANDARD 29 CFR PART 1926 SUBPART P, OR CURRENT EDITION.
- AT LOCATIONS WHERE THE FINAL SURFACE COURSE OF ASPHALT PAVEMENT IS TO BE FEATHERED INTO THE EXISTING SURFACE COURSE, THE EXISTING SURFACE COURSE IS TO BE SCABLED TO A MINIMUM DEPTH OF 1" AND A TACK COAT APPLIED PRIOR TO FINAL PAVING TO INSURE A SMOOTH, WELL BONDED JOINT.
- ANY NEW PAVEMENT OPENED TO TRAFFIC SHALL RECEIVE A TACK COAT PRIOR TO PLACEMENT OF ANY OVERLYING ASPHALT COURSE.
- ALL SIDEWALKS TO BE 4" THICK CONCRETE UNLESS OTHERWISE SHOWN ON THE PLAN.
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE APPROPRIATE GOVERNING AGENCY.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
- ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE REMOVAL OR RELOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL, TELEPHONE AND CABLE TV LINES AND REMOVAL OF UTILITY POLES, PEDESTALS AND TRANSFORMERS WITH UTILITY COMPANIES AND WITH DEVELOPER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS AND/OR RECONSTRUCTION OF ALL UTILITY COVER (MANHOLE FRAMES AND COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE CONTRACTOR MUST HAVE THE APPROVED CONSTRUCTION DRAWINGS IN POSSESSION PRIOR TO THE START OF CONSTRUCTION. AT LEAST ONE (1) COPY OF THE APPROVED PLANS, WITH REVISIONS, MUST BE KEPT ON-SITE AT ALL TIMES.
- ALL HANDICAP RAMPS SHALL BE BUILT IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE APPROPRIATE GOVERNING AGENCY STANDARDS, NCCOT STANDARDS, AND CURRENT ADA REQUIREMENTS.
- THE STORM DRAIN, STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY ARE NOT ONLY 100% COMPLETE, BUT ALSO THAT 100% OF THE DRAINAGE AREA TO EACH FACILITY IS PERMANENTLY STABILIZED. SEED AND MULCH DOES NOT CONSTITUTE STABILIZATION IN TERMS OF THE CONTRACTOR MAINTENANCE OF THE STORM DRAIN, STORMWATER MANAGEMENT, AND WATER QUALITY FACILITIES. ALL STORM DRAIN, STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES SHALL BE TURNED OVER TO THE OWNER COMPLETELY CLEAN AND FREE FROM ANY CONSTRUCTION RELATED SEDIMENT OR DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL ADA ACCESSIBLE SIDEWALKS MAINTAIN SLOPES NOT TO EXCEED 5% LONGITUDINALLY AND 2% CROSS SLOPES. SLOPES AT ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE A MAXIMUM OF 2%, AND THE MANEUVERING CLEARANCE AT EXTERIOR ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2%.
- DURING CONSTRUCTION, NO TEMPORARY CONNECTIONS TO FIRE HYDRANTS MAY BE MADE WITHOUT THE EXPRESS AUTHORIZATION OF THE UTILITY OWNER.

GENERAL EROSION CONTROL NOTES

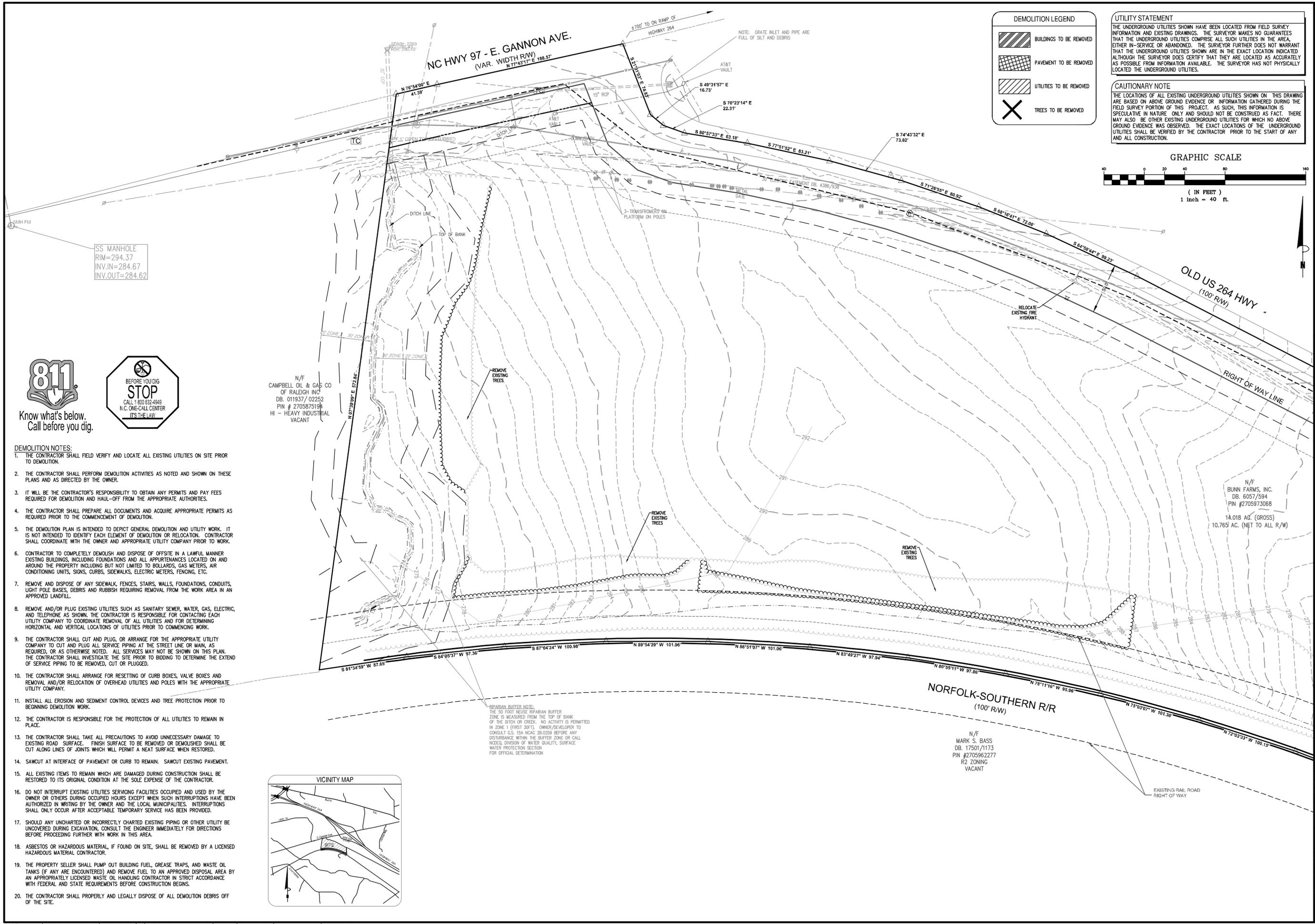
- THE CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOWLINES AND PUBLIC RIGHTS-OF-WAY OF THE APPROPRIATE GOVERNING AGENCY AS A RESULT OF THIS CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION AND CONSTRUCTION OPERATIONS THAT ARE A PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS A PART OF THIS PROJECT.
- ALL DISTURBED AREAS MUST BE HYDRO-MULCHED W/ TACKIFIER AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE NOT OTHERWISE PERMANENTLY STABILIZED.
- THE CONTRACTOR SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS-OF-WAY.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES; OR TO SUPPORT SILT FENCE USED AS AN EROSION CONTROL MEASURE; IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
- IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THE PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMP'S WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP. BUILDUP OF EXCESSIVE SEDIMENT OCCURRING IN FLAT AREAS BEHIND STRAW BALES, AND BEHIND SILT FENCES WILL BE REMOVED PROMPTLY. DISLOCATED STRAW BALES AND COLLAPSED OR TORN SILT FENCES WILL BE IMMEDIATELY REPAIRED.
- THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL OCCUR IN A PREDEFINED CONTAINMENT AREA. THE DISCHARGE OF WATER CONTAINING CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
- EROSION BALES SHALL BE PLACED SUCH THAT RUNOFF WILL NOT FLOW BETWEEN, AROUND OR UNDER BALES. BALES TO BE ANCHORED WITH 2" x 2" x 3' WOODEN STAKES OR TWO PER BALE.
- WHEN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REMOVED, ANY SILT AND SEDIMENT DEPOSITS SHALL BE REMOVED AND SPREAD EVENLY IN OPEN AREAS.
- BEST MANAGEMENT PRACTICES (BMP) DETAILS SHOWN ON THESE PLANS ARE CONCEPTUAL ONLY. ADJUST AS NECESSARY TO FIT FIELD CONDITIONS.
- TEMPORARY SEDIMENT BASINS SHALL BE USED DURING CONSTRUCTION TO CONTAIN ALL RUNOFF FROM THE SITE. IF TRENCH DEWATERING OR GROUND WATER REMOVAL IS REQUIRED, THE SEDIMENT POND OR OTHER APPROVED MEANS SHALL BE USED TO DETAIN ALL WATER PUMPED BY THESE OPERATIONS.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF CONSTRUCTION, GRADING AND LANDSCAPING, INCLUDING THE NAME AND 24 HOUR PHONE NUMBER OF THE RESPONSIBLE PARTY TO CONTACT REGARDING ANY EROSION OR SEDIMENT PROBLEM TO THE APPROPRIATE GOVERNING AGENCY PRIOR TO BEGINNING ANY CONSTRUCTION.
- EROSION CONTROL MEASURES TO BE COORDINATED WITH CONSTRUCTION MANAGER.
- EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH REGULATIONS OF THE APPROPRIATE GOVERNING AGENCY.

GENERAL NOTES

- UTILITY CONFLICTS: ALL EXISTING UTILITIES SHOWN WERE COMPILED USING THE BEST AVAILABLE INFORMATION AND FIELD OBSERVATION. BOWMAN NORTH CAROLINA LTD DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF AND PROTECTING ALL EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN OR SHOWN INCORRECTLY ON THE PLANS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IN A TIMELY FASHION TO THE SATISFACTION OF THE APPROPRIATE GOVERNING AGENCY AND THE OWNER OF THE IMPACTED UTILITY AT THE CONTRACTOR'S EXPENSE.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS FOR THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT THE JOB SITE AT ALL TIMES THE APPROPRIATE GOVERNING AGENCY'S PUBLIC WORKS MANUAL, ALL APPROVED EASEMENT AGREEMENTS, AND ONE (1) SIGNED COPY OF THE PLANS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY FOR ANY VARIANCE TO THE ABOVE DOCUMENTS.
- CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARDS, SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND MUST COMPLY WITH OSHA REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER AND ENGINEER OF ANY PROBLEM CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS/HER CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAY AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. THE APPROPRIATE FIRE DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY STREET CLOSURES AND IN THE EVENT THAT ANY FIRE HYDRANTS ARE TO BE TEMPORARILY REMOVED FROM SERVICE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AT LEAST 48 HOURS ADVANCED NOTICE OF ANY NEED TO SHUT DOWN ANY PORTION OF THE EXISTING WATER SYSTEM AND FOR OBSERVATIONS AND/OR INSPECTIONS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS OR OTHER DEVICES NECESSARY FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE COLORADO SUPPLEMENT TO THE MUTCD. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE APPROPRIATE GOVERNING AGENCY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT FOR WORK WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ANY AFFECTED UTILITY COMPANY.
- THE CONTRACTOR SHALL OBTAIN COPIES OF THE "SOILS AND INVESTIGATION" REPORT FROM GEOTECHNICAL ENGINEER ALONG WITH THE "PAVEMENT THICKNESS DESIGN REPORT". THE CONTRACTOR MUST HAVE COPIES OF SAME ON THE SITE AT ALL TIMES.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AS-CONSTRUCTED HORIZONTAL AND VERTICAL CONSTRUCTION INFORMATION, INCLUDING THE LOCATIONS OF ALL SANITARY LINES AND SERVICES, WATER LINES AND SERVICES, AND OTHER UTILITY LINES AND SERVICES TO THE ENGINEER FOR PREPARATION OF AS-BUILT DOCUMENTS.
- LIMITS OF CONSTRUCTION EASEMENTS AND RIGHTS-OF-WAY SHALL BE DELINEATED WITH TEMPORARY STAKING BY THE CONTRACTOR. SAFETY FENCING SHALL BE PER APPROPRIATE GOVERNING AGENCY.
- WHERE EXCAVATION IS REQUIRED UNDER EXISTING ASPHALT OR CONCRETE PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO EFFECT A SMOOTH, STRAIGHT-CUT EDGE. ASPHALT PATCH SHALL BE PER APPROPRIATE GOVERNING AGENCY STANDARDS.
- REFER TO FINAL RECORDED PLAT FOR ACTUAL LOT, TRACT, PARCEL, AND EASEMENT LOCATIONS AND DESIGNATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL MATERIALS WITHIN DEDICATED RIGHT-OF-WAYS AND ALL MATERIALS AND WORKMANSHIP SHALL MEET THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS OF THE APPROPRIATE GOVERNING AGENCY.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY TO THE PROJECT WORK SITE (SEE THE EROSION CONTROL PLAN). THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY (IF APPLICABLE) TO COMPLETE THE CONSTRUCTION AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER WILL BE PROVIDED BY THE CONTRACTOR TO KEEP WIND EROSION IN CHECK. USE OF WATER AS A DUST PREVENTATIVE SHALL NOT BE PAID FOR SEPARATELY, BUT INCLUDED IN THE COST OF THE WORK.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY THE DEVELOPMENT AND SHALL PROPERLY BARRICADE THE SITE UNTIL CLEAN UP OR REPAIR IS COMPLETE.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO GRADE STREET CORES, RIGHT-OF-WAY TEMPLATES, AND LOTS ACCORDING TO GRADING INSTRUCTIONS SHOWN ON PLANS.
- STREET CONTOURS SHOWN AT PROPOSED STREET LOCATIONS REPRESENT FINISHED GRADE ELEVATION TO TOP OF ASPHALT.
- CONSTRUCTION FILL MATERIAL SHALL BE COMPACTED ACCORDING TO THE APPROPRIATE GOVERNING AGENCY REGULATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- TOLERANCE ROUGH GRADING: TOLERANCE SHALL BE +/- 0.1 FEET.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ALL APPROPRIATE PERMITS FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY HAVE BEEN OBTAINED PRIOR TO GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL TEMPORARY WATER DIVERSION/CONTROL DEVICES AND EROSION CONTROL DEVICES NECESSARY TO PROTECT ADJACENT PROPERTIES, WATERWAYS AND PUBLIC RIGHT-OF-WAY. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF SAID DEVICES THROUGHOUT CONSTRUCTION AND UNTIL THE PERMANENT PROTECTION NECESSARY HAS BEEN COMPLETED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MECHANICAL/ELECTRICAL/PLUMBING/STRUCTURAL PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE OWNER, APPROPRIATE GOVERNING AGENCY, AND/OR THE ARCHITECT/ENGINEER.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- ALL STEPS WITH THREE OR MORE RISERS SHALL HAVE HAND RAILS, PER LOCAL CODE.
- A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF EXISTING ROAD TO PROPOSED CURB AND GUTTER AND/OR PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FULLE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY. REMOVE AND RECONSTRUCT EXISTING PAVEMENT AND/OR CURB AS DICTATED BY FIELD CONDITIONS TO PROVIDE POSITIVE DRAINAGE AT TIE-IN-POINTS.
- OVERLAY OF EXISTING PAVEMENT SHALL BE MINIMUM OF 1 1/2 INCH DEPTH; ANY COST ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE ASSUMED BY THE CONTRACTOR.
- ALL RIGHT-OF-WAY DEDICATED FOR PUBLIC USE SHALL BE CLEAR AND UNENCUMBERED.
- AN AIR QUALITY PERMIT SHALL BE OBTAINED IF REQUIRED.
- ANY LIGHTING SHOWN HEREON IS AS SPECIFIED BY THE CLIENT AND IS INCLUDED FOR INFORMATION PURPOSES ONLY, AS DIRECTED BY THE OWNER AND/OR PUBLIC AGENCY REQUIREMENTS. BOWMAN CONSULTING GROUP, LTD. HAS NOT PERFORMED THE LIGHTING DESIGN, AND THEREFORE DOES NOT WARRANT AND IS NOT RESPONSIBLE FOR THE DEGREE AND/OR ADEQUACY OF ILLUMINATION ON THIS PROJECT.
- THE CONTRACTOR WILL BE REQUIRED TO NOTIFY ALL RESIDENCES WITHIN VICINITY OF THE PROPERTY BOUNDARY TEN (10) DAYS PRIOR TO ANY BLASTING IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY REQUIREMENTS.
- NO BLASTING SHALL BE PERMITTED WITHIN 25' OF EXISTING UTILITY LINES OR STRUCTURES. BLASTING TO BE EXTENDED 25' BEYOND PROPOSED STRUCTURES IF CONDITIONS WARRANT FUTURE EXTENSIONS.
- ALL RETAINING WALLS 4' IN HEIGHT AND OVER (MEASURED FROM BOTTOM OF FOOTER TO TOP OF WALL) REQUIRE A SEPARATE BUILDING PERMIT.
- THE APPROVAL OF THIS PLAN DOES NOT CONSTITUTE THE APPROVAL OF FUTURE WORK.
- ALL HANDICAPPED SPACES SHALL HAVE AN ABOVE GRADE IDENTIFICATION SIGN MEETING APPROPRIATE GOVERNING AGENCY STANDARDS.
- WHERE A PROPOSED PIPE CROSSES OR PARALLELS A STREET OR DRIVE AISLE, THE ASPHALT SHALL BE NEATLY SAWCUT TO FULL DEPTH. AFTER INSTALLATION OF THE PIPE, THE ROADWAY SHALL BE PATCHED IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY STANDARDS.

ABBREVIATIONS

A	AREA OF ARC	K	SIGHT DISTANCE COEFFICIENT OR RATE OF VERTICAL CURVATURE
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANS. OFFICIALS	Ke	CULVERT ENTRANCE LOSS COEFFICIENT
AB	AS-BUILT	L	LENGTH
AC	ACRE	LAT	LATERAL
AD	ALGEBRAIC DIFFERENCE IN GRADE	LCG	LINEAR FEET
ADJ	ADJACENT	LP	LINEAR FEET
ADGR	AGGREGATE	LP	LINEAR FEET
AND	AHEAD	LL	LOWER LEVEL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	LOS	LINE OF SIGHT
APT	ANGLE POINT	LS	LOW POINT
APPROX	APPROXIMATE	LS	LOADING SPACE
ARCH	ARCHITECTURAL	LT	LEFT
ASPH	ASPHALT	M	MONUMENT FOUND
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MAX	MAXIMUM
AWWA	AMERICAN WATER WORKS ASSOCIATION	ME	MATCH EXISTING
B	BREADTH	MECH	MECHANICAL
BOC	BACK OF CURB	MH	MANHOLE
BF	BASEMENT FLOOR	MI	MILE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	MISC	MISCELLANEOUS
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	MPH	MILES PER HOUR
BOV	BLOW OFF VALVE	MS	MEAN STRIP
BRG	BEARING	MSL	MEAN SEA LEVEL
BR	BUILDING RESTRICTION LINE	N	NORTHINGS/NORTH
BVCE	BEGINNING VERTICAL CURVE ELEVATION	N/A	NOT APPLICABLE
BVCS	BEGINNING VERTICAL CURVE STATION	NBL	NORTH BOUND LANE
BW	BOTTOM OF WALL	N/F	NOW OR FORMERLY
c-e	CENTER CORRECTION ON VERTICAL CURVE	NEA	NET FLOOR AREA
C	CENTER CORRECTION ON VERTICAL CURVE	N#	NUMBER
CATV	CABLE TELEVISION	NTS	NOT TO SCALE
CBS	CABLE AND GUTTER	OC	ON CENTER
CB	CATCH BASIN	OBJ	OBJECT
CBR	CALIFORNIA BEARING RATIO	OD	OUTSIDE DIAMETER
CDOT	CENTER TO CENTER	OH	OVERHANG
CF	COLORADO DEPT. OF TRANSPORTATION	O/H	OVERHEAD
CFE	CUBIC FEET	O/E	OVERHEAD CABLE
CFS	CUBIC FEET PER SECOND	OHE	OVERHEAD ELECTRIC
CG(R)	CURB AND GUTTER (REVERSE SLOPE)	OHT	OVERHEAD TELEPHONE
CH	CHORD	P	PERIMETER
CHBRG	CHORD BEARING	P	PROPERTY LINE
CIP	CAST IRON PIPE	P&P	PLAN AND PROFILE
C	CENTERLINE	PC	POINT OF CURVATURE
CLR	CLEAR	PCC	POINT OF COMPOUND CURVATURE
CM	CUBIC METERS	PCR	POINT OF CURB RETURN
CMP	CORRUGATED METAL PIPE	PCEP	POINT OF CURVE EDGE OF PAVEMENT
CMS	CUBIC METERS PER SECOND	PCTC	POINT OF CURVATURE TOP OF CURB
CO	CONTINUOUS	PI	POINT OF INTERSECTION
CONT	CLEAN OUT	PI	PAGE
CO	CONCRETE	PGL	POINT OF GRADE LINE
CS	CURB STOP	PRC	POINT OF REVERSE CURVATURE
CT	COURT	PRELIM	PRELIMINARY
CTR	CENTER	PROP	PROPOSED
CTRL	CONTROL LINE	PT	POINT OF TANGENCY
CTY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
D	DEPTH	POLY	POLYURETHANE CHLORIDE PIPE OR POINT OF VERTICAL CURVATURE
DA	DRAINAGE AREA	PVI	POINT OF VERTICAL INTERSECTION
DB	DEED BOOK	PVT	POINT OF VERTICAL TANGENCY
DB	DIVERSION DIKE	PWMT	PAVED WALKWAY
DET	DETAIL	PRC	POINT OF VERTICAL REVERSE CURVE
DIA	DIAMETER	Q	AMOUNT OF RUNOFF (FLOW RATE)
DIP	DUCTILE IRON PIPE	R	RADIUS
DIR	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIST	DISTANCE	RCR	REDUCER
DL	DOMESTIC LINE	RD	ROAD OR ROOF DRAIN
DM	DROP MANHOLE	REQ	REQUIRED
DM	DOMESTIC	REDO	REQUIRED
DR	DRIVE DRAIN	RET	RETAINING
DRN	DRAINAGE	REV	REVISION
DRNG	DRAINAGE AREA	RFP	ROADWAY GRADING PLAN
DS	DOWN SPOUT	RMA	RESOURCE MANAGEMENT AREA
DU	DWELLING UNITS	ROM	REMOTE OUTSIDE MONITOR
DWG	DRAWING	RPA	RESOURCE PROTECTION AREA
D/W	DRIVEWAY	RR	RAILROAD
EA	EASTING/EAST	RT	ROUTE
EA	EACH	RT	ROUTE
EA	EAST BOUND LANE	R/W & ROW	RIGHT OF WAY
EBL	EAST BOUND LANE	S	SPEED OR SLOPE
EC	EROSION CONTROL	SAN	SANITARY SEWER
ECB	EROSION CONTROL BLANKET	SANMH	SANITARY SEWER MANHOLE
EG	EDGE OF GUTTER	SBL	SOUTH BOUND LANE
EGL	ENERGY GRADIENT LINE	SCH	SCHEDULE
EL	ELEVATION	SD	SIGHT DISTANCE
ELEC	ELECTRIC	SEC	SECTION
ELEV	ELEVATION	SEW	SEWER
ENGR	ENGINEER	SFF	SQUARE FEET
ENT	ENTRANCE	SH	SHOULDER
EOA	EDGE OF ASPHALT	SP	SPACE OR SITE PLAN
EOP	EDGE OF CONCRETE	SPEC	SPECIFICATIONS
EOP	EDGE OF PAVEMENT	STA	STATION
EQUIP	EQUIPMENT	STD	STANDARD
ESMT	EASEMENT	STK	STACK
ETD	EXISTING TO BE DEMOLISHED	STM	STORM SEWER
ETR	EXISTING TO REMAIN	STMH	STORM SEWER MANHOLE
ETRL	EXISTING TO BE RELOCATED	STR	STRUCTURE
ETRP	EXISTING TO BE REPLACED	SVC	SERVICE
EVCE	ENDING VERTICAL CURVE ELEVATION	S/W	SIDEWALK
EVCS	ENDING VERTICAL CURVE STATION	SWM	STORM WATER MANAGEMENT
EW	END WALL	SW	CROSS SLOPE
EX	EXISTING	SY	SQUARE YARD
EQC	ENVIRONMENTAL QUALITY CORRIDOR	T	TANGENT
F	FIRE LINE	TB	TOP OF BANK OR TEST BORING
FAR	FLOOR AREA RATIO	TBR	TO BE REMOVED
FCC	FACE OF CURB	TC	TOP OF CURB
FD	FLOOR DRAIN	TE	TIME OF CONCENTRATION
FES	FLARED END SECTION	TEL	TELEPHONE
FF	FIRST FLOOR OR FINISH FLOOR	TEMP	TEMPORARY
FG	FINISH GRADE	TH	TEST HOLE
FH	FIRE HYDRANT	TF	TOP OF FOUNDATION
FL	FIRE LINE	TFP	TOP OF PIPE
FND	FOUNDATION	TP	TEST PIT OR TREE PROTECTION
FOY	FOYER	TW	TOP OF WALL OR TALWATER
FP	FLOOD PLAIN	TYP	TYPICAL
FPS	FEET PER SECOND	UE	UTILITY EASEMENT
FS	FEET PER FOOT OR FACTOR OF SAFETY	UG	UNDERGROUND
FT	FOOT OR FEET	UGE	UNDERGROUND ELECTRIC
G	GAS	UGT	UNDERGROUND TELEPHONE
GAR	GARAGE	UCC	UNDERGROUND CABLE
GB	GRADE BREAK	UD	UNDERDRAIN
GFA	GROSS FLOOR AREA	UL	UPPER LEVEL
GR	GUARD RAIL OR GRATE INLET	UP	UTILITY POLE
GV	GATE VALVE	USSS	US GEOLOGICAL SURVEY
H	HEAD	UTL	UTILITY
HC	HANDICAP	V	VOLUME
HBI	HORIZONTAL BEND	V OR VCL	VELOCITY
HBP	HOT BITUMINOUS PAVEMENT	V OR VEL	VELOCITY
HCL	HYDRAULIC GRADE LINE	VAN	VAN CAPPED VAN PARKING SPACE
HCRZ	HORIZONTAL	VB	VERTICAL BEND
HP	HIGH POINT	VC	VERTICAL CURVE
HR	HAND RAIL	VF	VERTICAL FOOT
HT	HEIGHT	W	WEIGHT OR WIDTH
HW	HEADWATER	WBL	WEST BOUND LANE
I	RAINFALL INTENSITY	WL	WATER LINE
ID	INSIDE DIAMETER OR IDENTIFICATION	WM	WATER METER
IE	INVERT ELEVATION	WM	WATER METER
IN	INCH	WM	WATER METER
INV	INVERT	W/M OR WM	WATER MAIN
IP	IRON PIPE	W/TB	WITH THRUST BLOCK
IPF	IRON PIPE FOUND	WSEL	WATER SURFACE ELEVATION
IRS	IRON PIPE SET	WV	

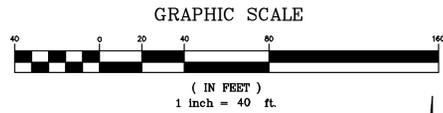


DEMOLITION LEGEND

- BUILDINGS TO BE REMOVED
- PAVEMENT TO BE REMOVED
- UTILITIES TO BE REMOVED
- TREES TO BE REMOVED

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



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 Know what's below.
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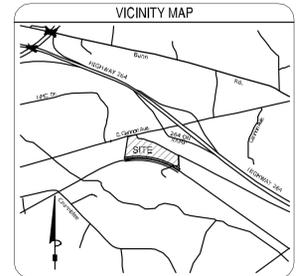
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 DB. 6057/594
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 10.765 AC. (NET TO ALL R/W)

N/F
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 DB. 17501/1173
 PIN #2705962277
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RIPARIAN BUFFER NOTE:
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCEM DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION



- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 - THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
 - THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 - CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
 - REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
 - REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES NOT SHOWN ON THIS PLAN, THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
 - THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
 - INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
 - SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
 - ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 - ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 - THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

Bowman

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 4006 BARRIETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)555-6570
 bowman.com
 Bowman North Carolina Ltd.

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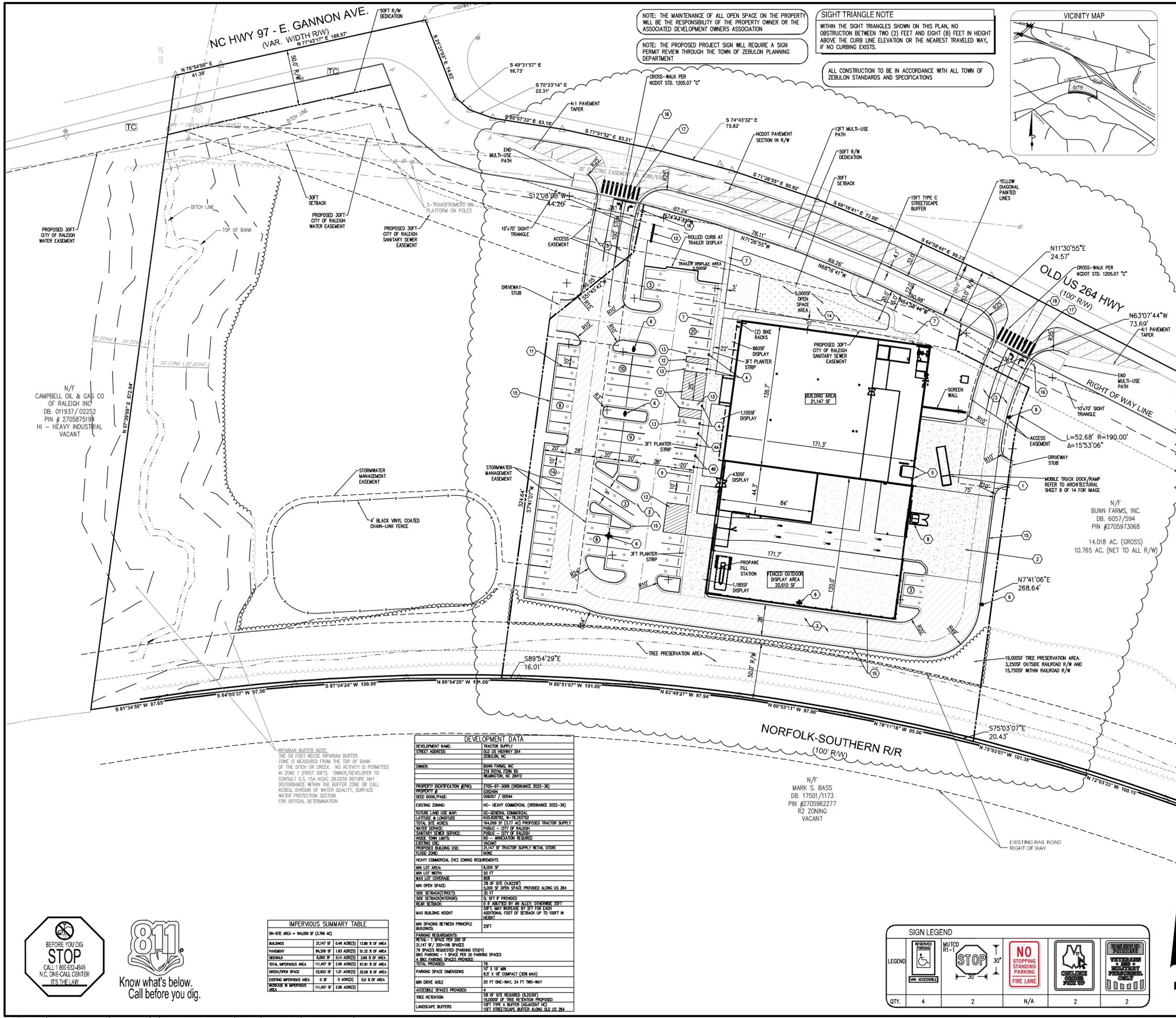
DEMOLITION PLAN
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

PRIMA
 PROPERTIES, LLC
 PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS	
5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
10/13/22	PER TOWN & RALEIGH REVIEW
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

SHEET **C2.0**



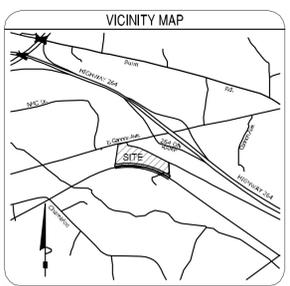
NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

SIGHT TRIANGLE NOTE

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
 - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND TOWN OF ZEBULON STANDARDS.
 - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

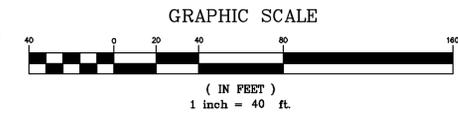
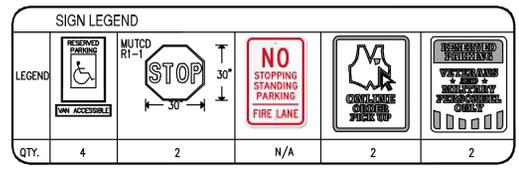
- KEYNOTES**
- STEEL DOCK/RAMP - REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
 - CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C1.4 EXPANSION AND CONTROL JOINTS - SEE DETAILS SHEET
 - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET
 - STANDARD DUTY PAVEMENT
 - HEAVY DUTY PAVEMENT
 - NCDOT PAVEMENT SECTION
 - HANDICAP PARKING SIGN - SEE DETAIL SHEET
 - VETERANS PARKING SIGN - SEE DETAIL SHEET
 - ON-LINE PARKING SIGN - SEE DETAIL SHEET
 - BOLLARD - SEE DETAIL SHEET
 - CONCRETE LIGHT POLE BASE
 - CONCRETE SIDEWALK - SEE DETAIL SHEET FOR SIDEWALKS AROUND BUILDING.
 - DUMPSTER ENCLOSURE - REFER TO SHEET
 - 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL SHEET. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK.
 - SIGN (UNDER SEPARATE PERMIT)
 - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
 - 4" WIDE PARKING DIAGONAL STRIPES
 - ACCESSIBLE PARKING AREA - (PER A.D.A. REQUIREMENTS)
 - NEW GRASS/LANDSCAPE AREA
 - CONCRETE CURB AND GUTTER - SEE DETAIL SHEET
 - STOP SIGN - SEE DETAIL SHEET
 - PAVEMENT MARKINGS
 - NEW CURB CUT, MATCH EXISTING EOP & APPROACH PER LOCAL CODES & SPECS.
 - CONCRETE FLUME - REFER TO DETAIL ON SHEET (NOT USED)
 - PROPOSED PARKING COUNT

DEVELOPMENT DATA

DEVELOPMENT NAME:	TRACTOR SUPPLY
STREET ADDRESS:	OLD US HIGHWAY 264 ZEBULON, NC
OWNER:	BUNN FARMS, INC. 218 ROTAL FERN RD. WEAVERTON, NC 27057
PROPERTY IDENTIFICATION # (PID):	2705-07-3008 (ORDINANCE 2022-36)
PROPERTY #:	0355494
DEED BOOK/PAGE:	006257 / 02594
EXISTING ZONING:	HC - HEAVY COMMERCIAL (ORDINANCE 2022-36)
FUTURE LAND USE MAP:	CC - GENERAL COMMERCIAL
LATTICE & LINGUISTIC:	NX-2020-04-76-221516
TOTAL SITE ACRES:	14.0189 SF (3.177 AC) PROPOSED TRACTOR SUPPLY
WATER SERVICE:	PUBLIC - CITY OF RALEIGH
SANITARY SEWER SERVICE:	PUBLIC - CITY OF RALEIGH
HOUSE TOWN LIMITS:	NO - ANNEXATION REQUIRED
EXISTING USE:	VACANT
PROPOSED BUILDING USE:	21,147 SF TRACTOR SUPPLY RETAIL STORE
FLOOD ZONE:	NONE
HEAVY COMMERCIAL (HC) ZONING REQUIREMENTS	
MIN LOT AREA:	6,000 SF
MIN LOT WIDTH:	50 FT
MIN LOT DEPTH:	50 FT
MAX LOT COVERAGE:	50%
MIN OPEN SPACE:	3% OF SITE (4,822SF)
SIDE SETBACKS (STREET):	3,000 SF OPEN SPACE PROVIDED ALONG US 264
MIN OPEN SPACE:	30 FT
SIDE SETBACKS (INTERIOR):	0 SF IF PROVIDED
SEAL SETBACK:	0.5' MINIMUM BY WALKWAY OVERLAP. 25FT
SEAL SETBACK:	50% W/ INCREASE BY 911 FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100FT IN HEIGHT
MAX BUILDING HEIGHT:	25FT
MIN SPACING BETWEEN PRINCIPLE BUILDINGS:	25FT
PARKING REQUIREMENTS:	
RETAIL - 1 SPACE PER 200 SF	
21,147 SF / 200-H SPACES	
79 SPACES REQUESTED (PARKING STUDY)	
BIKE PARKING - 1 SPACE PER 200 PARKING SPACES	
4 BIKE PARKING SPACES PROVIDED	
TOTAL PROVIDED:	79
PARKING SPACE DIMENSIONS:	TOP 1'0" MIN
MIN DRIVE AISLE:	8.5' X 18' COMPACT (SIDE WALK)
MIN DRIVE AISLE:	20 FT ONE-WAY, 24 FT TWO-WAY
ACCESSIBLE SPACES PROVIDED:	4
TREE RETENTION:	1% OF SITE REQUIRED (14,019 SF)
10,000 SF OF TREE RETENTION PROPOSED	
LANDSCAPE BUFFERS:	10FT TYPE C BUFFER (ADJACENT HC) 15FT SIDEWALK BUFFER (ADJACENT OLD US 264

IMPERVIOUS SUMMARY TABLE

ON-SITE AREA = 14,019 SF (3.78 AC)	
BUILDINGS	25,147 SF (0.69 ACRES) 12.80 % OF AREA
PAVING	84,200 SF (2.43 ACRES) 61.32 % OF AREA
SEWER	6,040 SF (0.14 ACRES) 3.89 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF 2.58 ACRES 87.81 % OF AREA
GREEN/OPEN SPACE	52,802 SF 1.21 ACRES 38.20 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF 0 ACRES 0.0 % OF AREA
PROPOSED IMPERVIOUS AREA	111,407 SF 2.58 ACRES



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PLAN STATUS

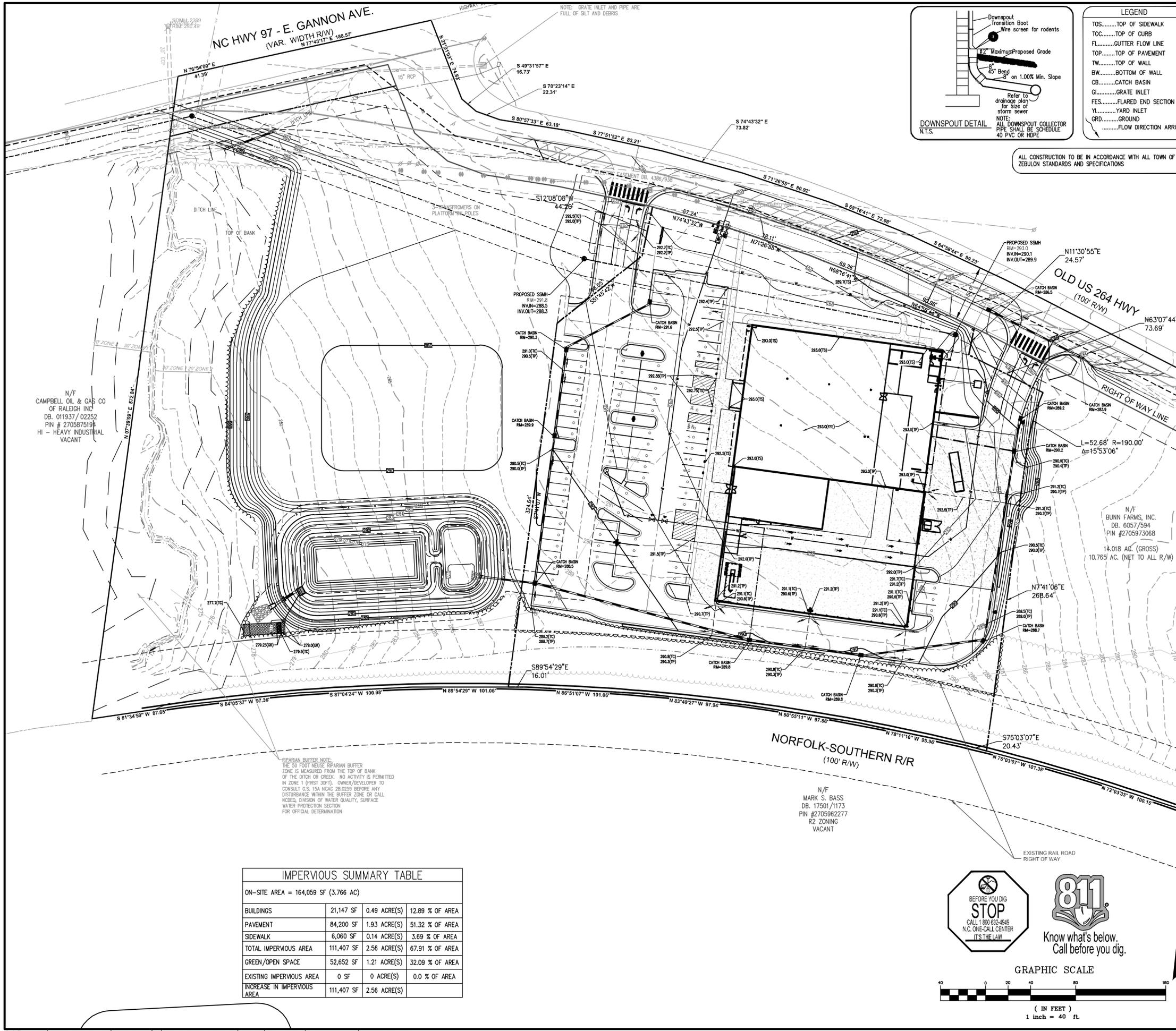
5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
10/13/22	PER TOWN & RALEIGH REVIEW

DATE DESCRIPTION

MEL DESIGN	MEL DRAWN	XXX CHKD
SCALE	H: 1" = 40'	V: 1" = XXX'

JOB No. 220127-01-001
DATE May 26, 2022
FILE No. 220127-D-CP-001

SHEET **C3.0**



- GRADING NOTES:**
1. REFER TO THE SITE PLAN FOR RELATED NOTES.
 2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
 3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
 4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
 6. THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 7. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
 8. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
 9. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
 10. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
 11. LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
 12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
 13. ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
 14. EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
 15. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
 16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PERTAINING TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
 17. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 18. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
 19. ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
 20. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
 21. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 22. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 23. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 24. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
 25. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

- DRAINAGE NOTES:**
1. A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
 2. PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
 3. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
 4. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
 - 840.02 - CONCRETE CATCH BASIN
 - 840.03 - FRAME, GRATES, AND HOOD FOR CATCH BASINS
 - 840.14 - CONCRETE DROP INLET
 - 840.04 - CONCRETE OPEN THROAT CATCH BASIN
 - 840.14 - CONCRETE DROP INLET
 - 840.16 - DROP INLET FRAME AND GRATES
 - 840.31 - CONCRETE JUNCTION BOX
 - 840.35 - TRAFFIC BEARING GRATED DROP INLET
 - 840.52 - PRECAST MANHOLE
 - 840.45 - PRECAST DRAINAGE STRUCTURE
 - 838.80 - PRECAST CONCRETE ENDWALL
 5. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
 6. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) - AASHTO DESIGNATION M252 TYPE S, M284 TYPE S AND MPT-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
 7. ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
 8. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
 9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 11. PRECAST STRUCTURES MAYBE USED AT CONTRACTOR'S OPTION.
 12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 13. STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
 14. RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

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GRADING & DRAINAGE PLAN

Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

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IMPERVIOUS SUMMARY TABLE

ON-SITE AREA = 164,059 SF (3.766 AC)

Category	Area (SF)	Area (Acres)	% of Total Area
BUILDINGS	21,147 SF	0.49 ACRE(S)	12.89 % OF AREA
PAVEMENT	84,200 SF	1.93 ACRE(S)	51.32 % OF AREA
SIDEWALK	6,060 SF	0.14 ACRE(S)	3.69 % OF AREA
TOTAL IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	67.91 % OF AREA
GREEN/OPEN SPACE	52,652 SF	1.21 ACRE(S)	32.09 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF	0 ACRE(S)	0.0 % OF AREA
INCREASE IN IMPERVIOUS AREA	111,407 SF	2.56 ACRE(S)	

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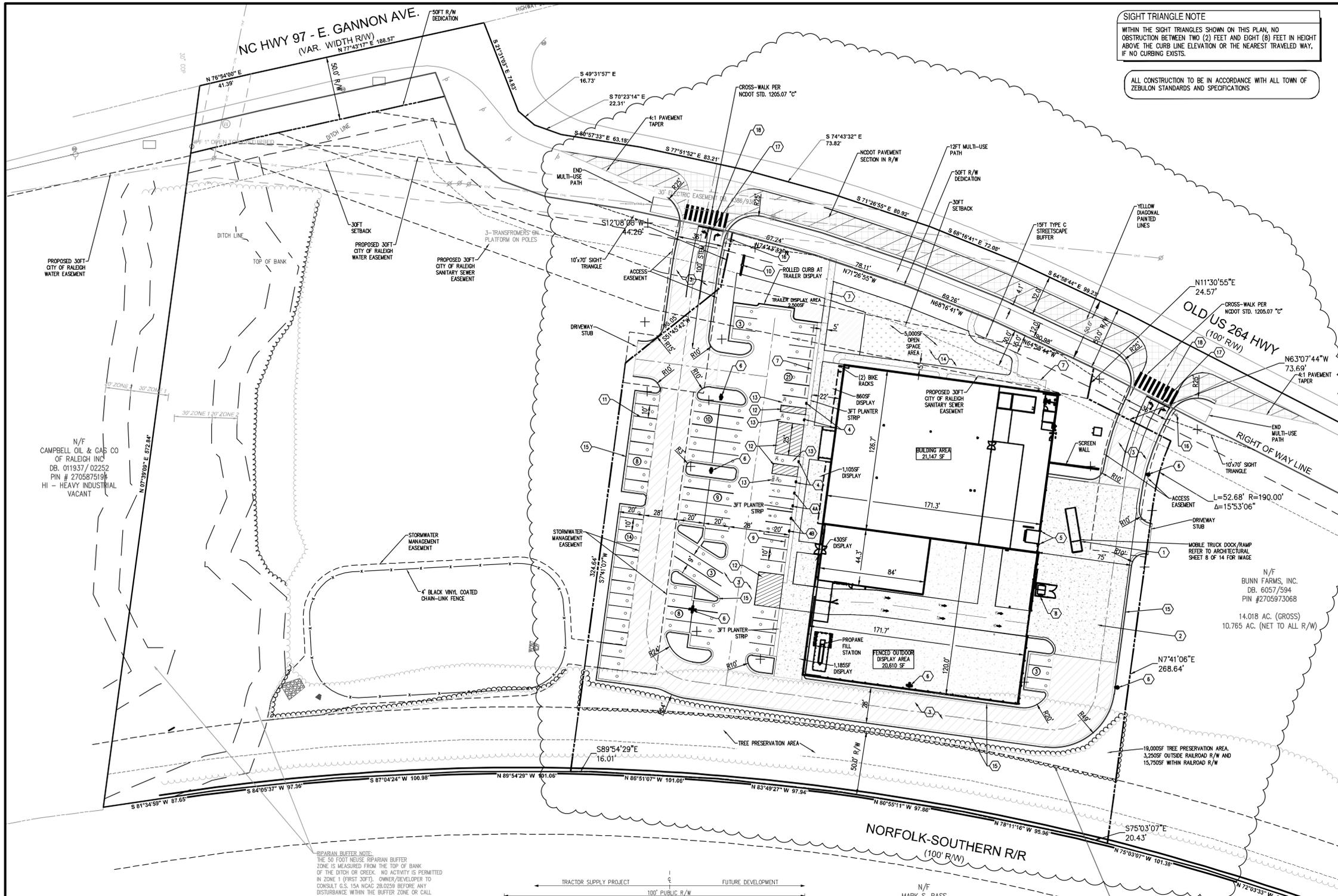
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GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

PLAN STATUS

DATE	DESCRIPTION
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8/1/22	PER TOWN & RALEIGH REVIEW
10/13/22	PER TOWN & RALEIGH REVIEW
DATE	DESCRIPTION
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SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

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SIGHT TRIANGLE NOTE
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

TRAFFIC CONTROL NOTES:
 THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 8:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10'-CENTER IN RADII, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

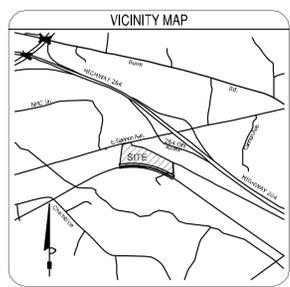
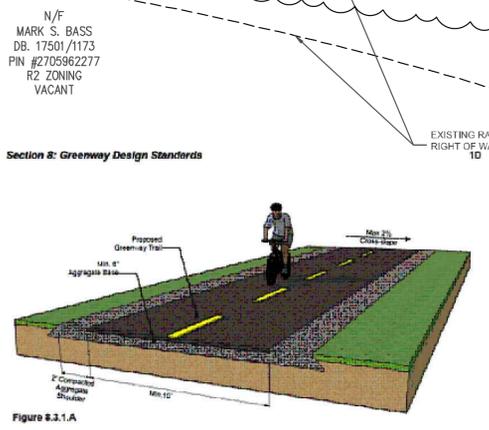
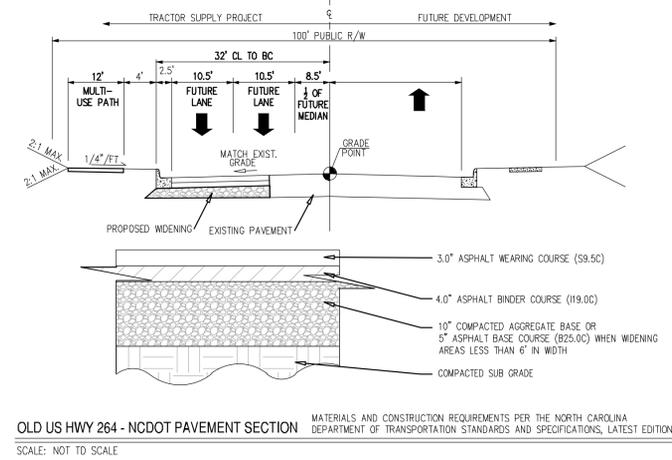
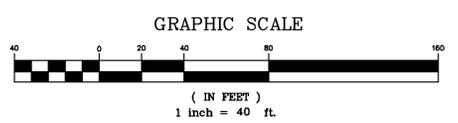
DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS

ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

NCDOT ROADWAY STANDARD DRAWINGS TO REFERENCE

- 200.02 METHOD OF CLEARING - METHOD II
- 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
- 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
- 840.71 CONCRETE AND BRICK PIPE PLUG
- 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
- 848.01 CONCRETE SIDEWALK
- 848.05 WHEELCHAIR RAMP - CURB CUT
- 852.01 CONCRETE ISLANDS
- 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
- 1101.01 WORK ZONE ADVANCE WARNING SIGNS
- 1101.02 TEMPORARY LANE CLOSURES
- 1101.04 TEMPORARY SHOULDER CLOSURES
- 1101.05 WORK ZONE VEHICLE ACCESSES
- 1101.11 TRAFFIC CONTROL DESIGN TABLES
- 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
- 1115.01 FLASHING ARROW PANELS
- 1130.01 DRUMS
- 1135.01 CONES
- 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
- 1150.01 FLAGGERS
- 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
- 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
- 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
- 1205.05 PAVEMENT MARKINGS TURN LANES

PAVEMENT MARKING SCHEDULE	
1A	WHITE EDGE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1B	DOUBLE YELLOW CENTERLINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1C	YELLOW LANE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1D	5" WHITE MINI-SKIP LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1E	10" WHITE SKIP LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1F	WHITE SOLID LANE LINE (4", 90MIL) NCDOT STD DETAIL 1205.01
1G	LEFT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1H	RIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1I	STRAIGHT ARROW (90MIL) NCDOT STD DETAIL 1205.08
1J	COMBO LEFT/STRAIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1K	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90MIL) NCDOT STD DETAIL 1205.08
1L	YELLOW DIAGONAL LINES (4", 90MIL) NCDOT STD DETAIL 1205.09
1M	5" YELLOW MINI-SKIP LINES (4", 90MIL) NCDOT STD DETAIL 1205.01
1N	YELLOW SKIP CENTER LINES (4", 90MIL) NCDOT STD DETAIL 1205.01
1O	STOP BAR (24" 90MIL) NCDOT STD DETAIL 1205.01
1P	12" YIELD LINE SYMBOL (90MIL) NCDOT STD DETAIL 1205.08 (THIS SHEET)



RIPARIAN BUFFER NOTE:
 THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE RIVER OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 104 NCAC 2B.0229 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDEQ, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION



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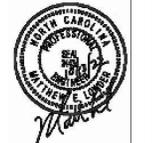
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ROADWAY PLAN
 Tractor Supply
 Old US Highway 264
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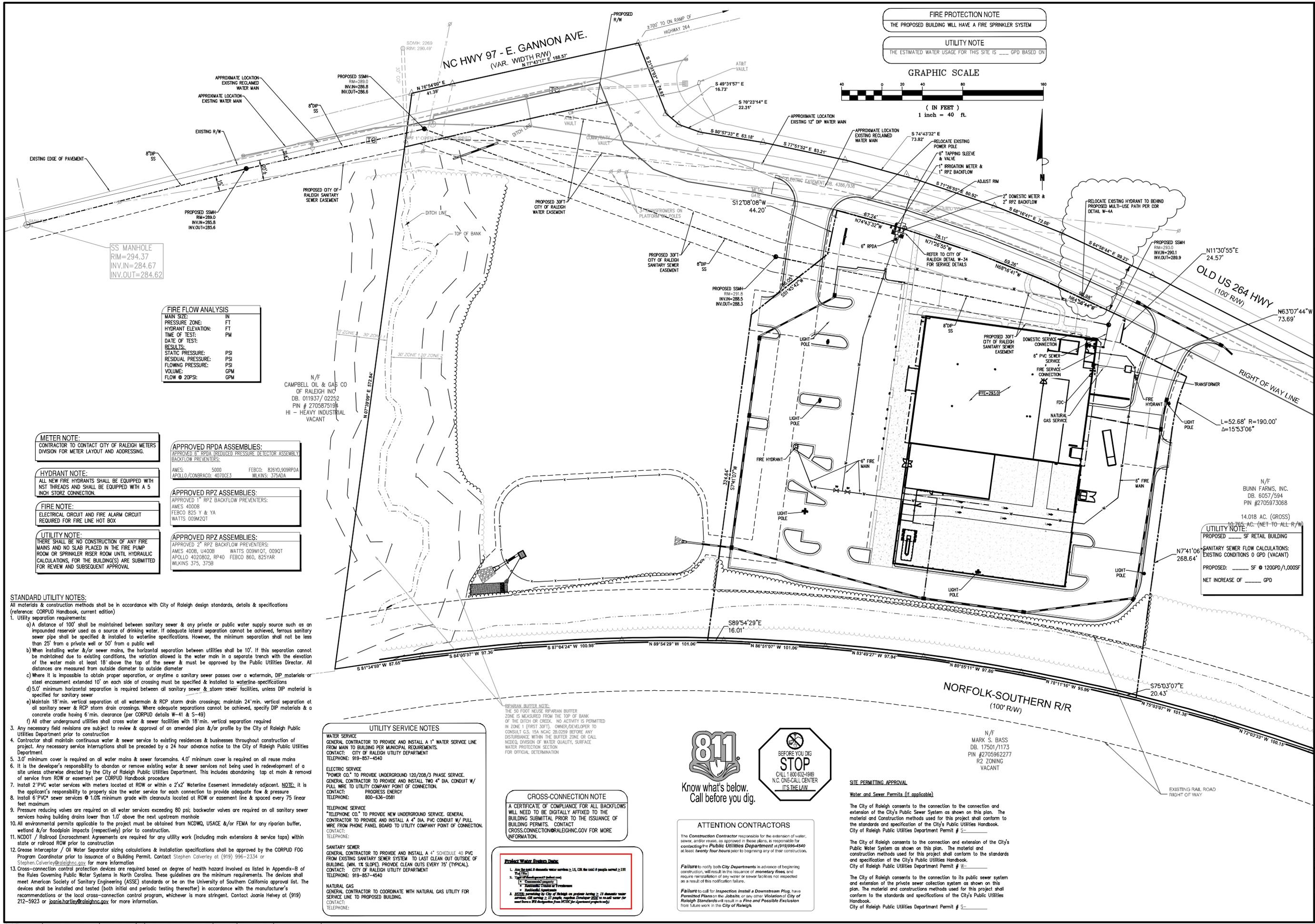
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FIRE PROTECTION NOTE
THE PROPOSED BUILDING WILL HAVE A FIRE SPRINKLER SYSTEM

UTILITY NOTE
THE ESTIMATED WATER USAGE FOR THIS SITE IS ___ GPD BASED ON

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

FIRE FLOW ANALYSIS

MAIN SIZE:	IN
PRESSURE ZONE:	FT
HYDRANT ELEVATION:	FT
TIME OF TEST:	PM
DATE OF TEST:	
RESULTS:	
STATIC PRESSURE:	PSI
RESIDUAL PRESSURE:	PSI
FLOWING PRESSURE:	PSI
VOLUME:	GPM
FLOW @ 20PSI:	GPM

METER NOTE:
CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

HYDRANT NOTE:
ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

FIRE NOTE:
ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX.

UTILITY NOTE:
THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS, FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL.

APPROVED RPDA ASSEMBLIES:
APPROVED 6" RPDA (REDUCED PRESSURE DETECTOR ASSEMBLY) BACKFLOW PREVENTERS:
AMES: 5000 FBCO: 826YD,909RPDA
APOLLO/CONBRACO: 4070CE3 WILKINS: 375ADA

APPROVED RPZ ASSEMBLIES:
APPROVED 1" RPZ BACKFLOW PREVENTERS:
AMES: 4000B FBCO: 825 Y & YA
WATTS: 009M2QT

APPROVED RPZ ASSEMBLIES:
APPROVED 2" RPZ BACKFLOW PREVENTERS:
AMES: 400B, U400B WATTS: 009M1QT, 009QT
APOLLO: 4020802, RP40 FBCO: 860, 825YAR
WILKINS: 375, 375B

STANDARD UTILITY NOTES:
All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).

1. Utility separation requirements:
a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm-sewer facilities, unless DIP material is specified for sanitary sewer.
e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.

UTILITY SERVICE NOTES

WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-836-0581

TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: TELEPHONE CO.
TELEPHONE:

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT:
TELEPHONE:

CROSS-CONNECTION NOTE
A CERTIFICATE OF COMPLIANCE FOR ALL BACKFLOWS WILL NEED TO BE DIGITALLY AFFIXED TO THE BUILDING SUBMITTAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS. CONTACT CROSS-CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

Protect Water System Data:

- Any day that 8 domestic water services ≥ 1.5 CR the cost is 10000.00
- Any day that 16 domestic water services ≥ 1.5 CR the cost is 20000.00
- Any day that 24 domestic water services ≥ 1.5 CR the cost is 30000.00
- Any day that 32 domestic water services ≥ 1.5 CR the cost is 40000.00
- Any day that 40 domestic water services ≥ 1.5 CR the cost is 50000.00
- Any day that 48 domestic water services ≥ 1.5 CR the cost is 60000.00
- Any day that 56 domestic water services ≥ 1.5 CR the cost is 70000.00
- Any day that 64 domestic water services ≥ 1.5 CR the cost is 80000.00
- Any day that 72 domestic water services ≥ 1.5 CR the cost is 90000.00
- Any day that 80 domestic water services ≥ 1.5 CR the cost is 100000.00



ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SITE PERMITTING APPROVAL
Water and Sewer Permits (if applicable)
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

Bowman

Bowman North Carolina Ltd.
4006 BARRIETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 955-6570
bowman.com

TSC
TRACTOR SUPPLY COMPANY

UTILITY PLAN
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

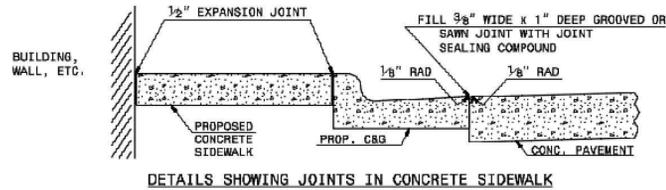
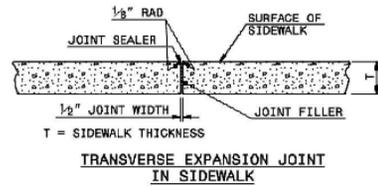
PLAN STATUS

5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
10/13/22	PER TOWN & RALEIGH REVIEW
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN
MEL DESIGN	XXX CHKD
SCALE	H: 1" = XXX'
	V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001

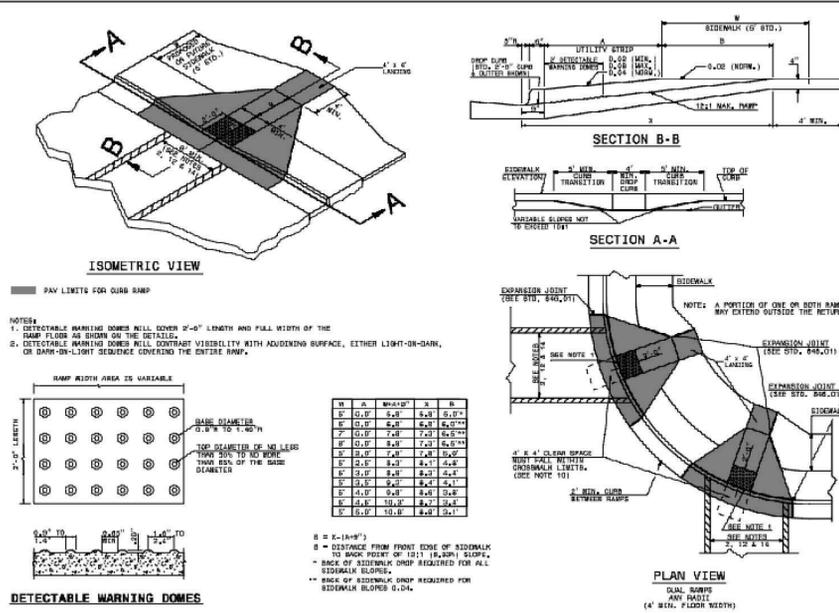


SHEET C5.0

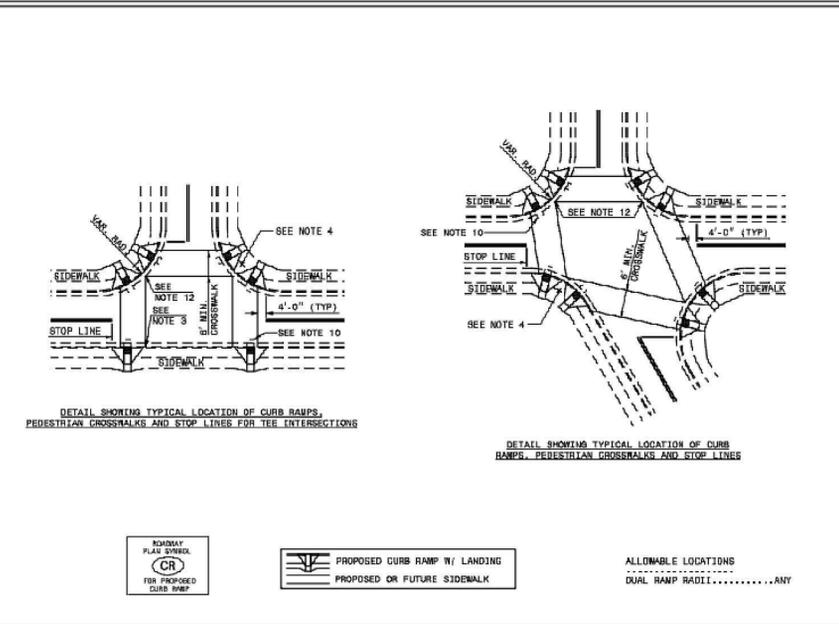
NOTES:
 CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.
 PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK
 SHEET 1 OF 1
848.01



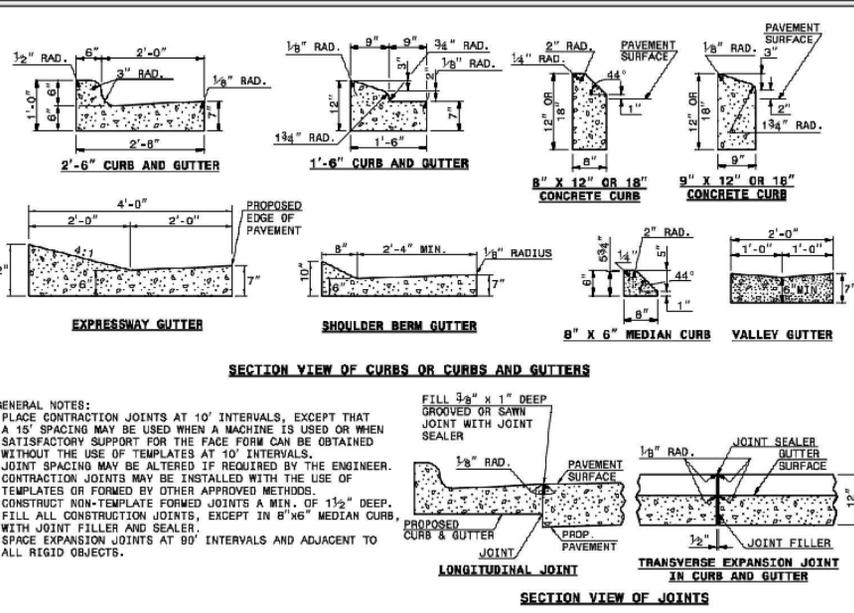
STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER
 SHEET 1 OF 3
848.05



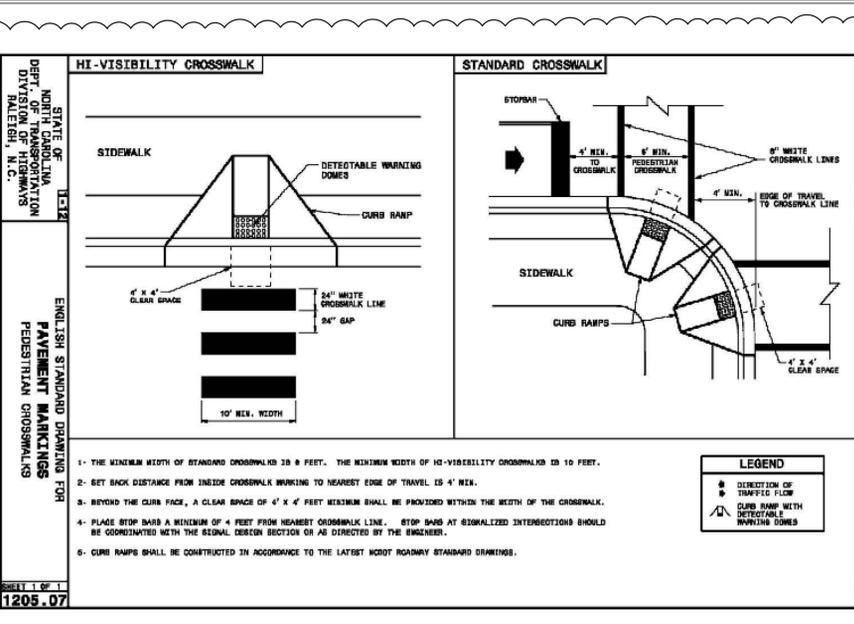
STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMP
 PROPOSED CURB AND GUTTER
 SHEET 2 OF 3
848.05

- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
 - LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
 - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
 - REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 - TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
 - CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
 - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
 - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
 - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
 - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
 - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
 - CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS FLAMING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
 - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
 - CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMPS
 NOTES
 SHEET 3 OF 3
848.05



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CONCRETE CURB, GUTTER AND CURB & GUTTER
 SHEET 1 OF 3
846.01



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ENGLISH STANDARD DRAWING FOR
PAVEMENT MARKINGS
 PEDESTRIAN CROSSWALKS
 SHEET 1 OF 1
1205.07



Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919)555-6570
 bowman.com
 Bowman North Carolina Ltd.



CONSTRUCTION DETAILS
 Tractor Supply
 Old US Highway 264
 Zebulon, NC Wake County

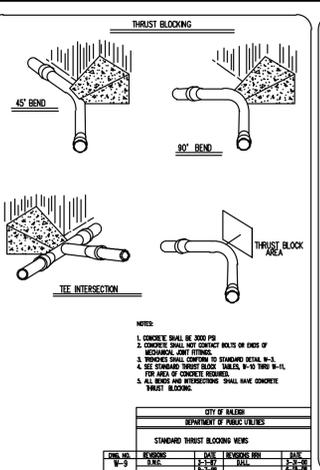
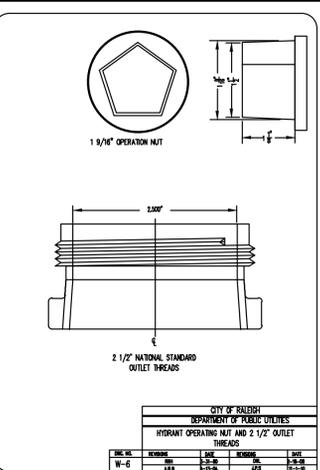
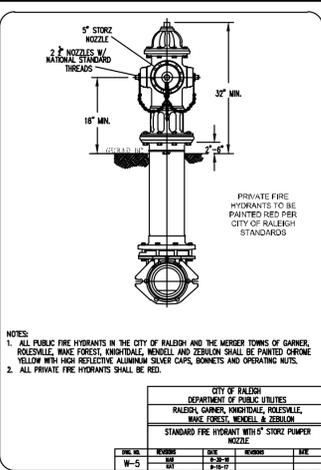
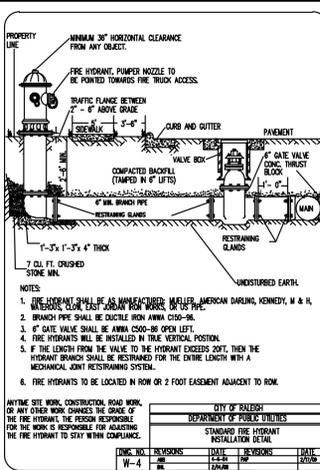
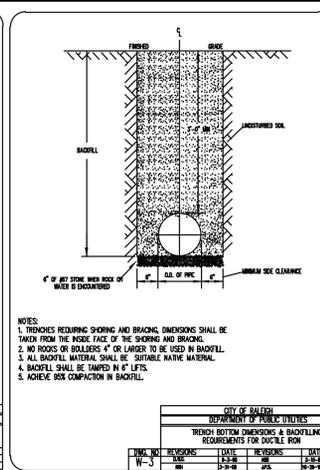
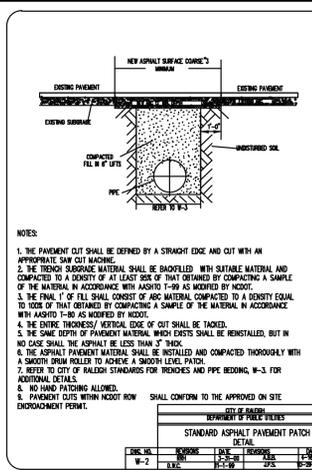
PRIMAX
 PROPERTIES, LLC

PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



DATE	DESCRIPTION	
5/26/22	1ST SUBMISSION	
8/1/22	PER TOWN & RALEIGH REVIEW	
10/13/22	PER TOWN & RALEIGH REVIEW	
MEL DESIGN	MEL DRAWN	XXX CHKD
SCALE	H: NA V: NA	
JOB No.	220127-01-001	
DATE	May 26, 2022	
FILE No.	220127-D-CP-001	

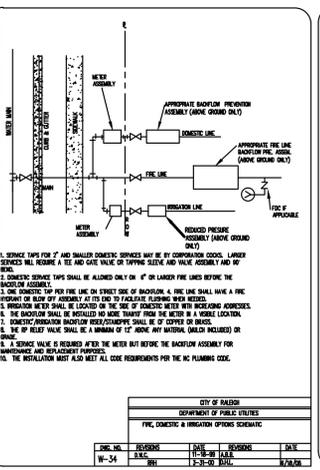
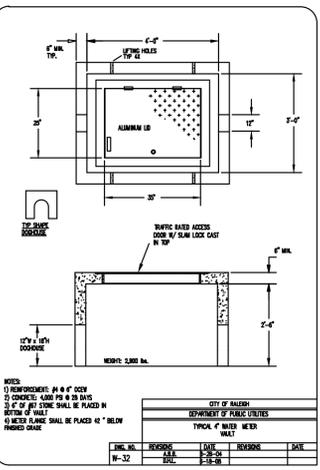
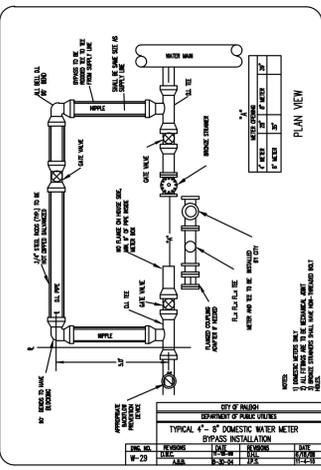
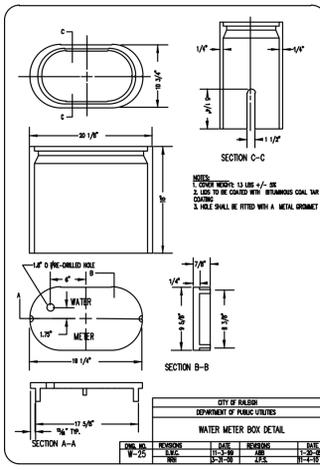
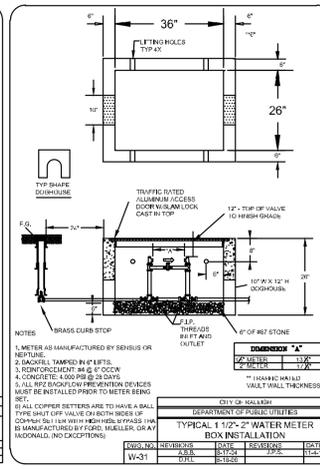
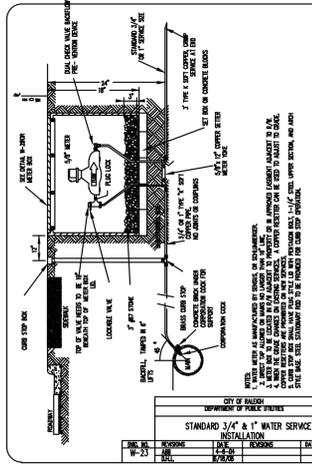
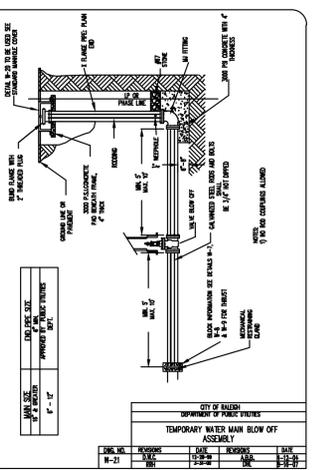
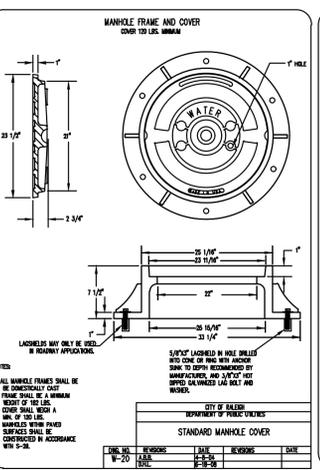
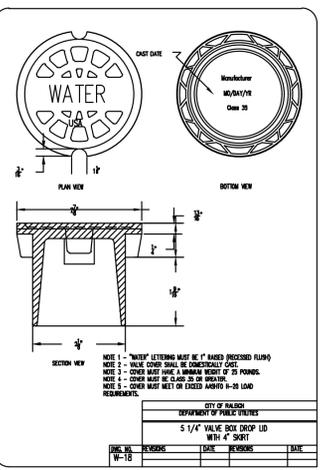
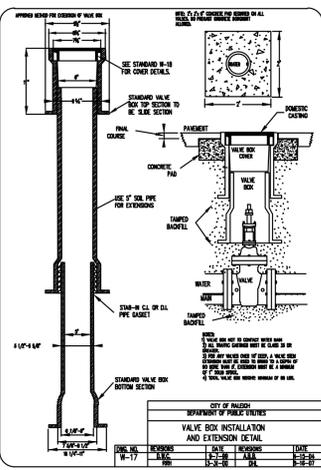
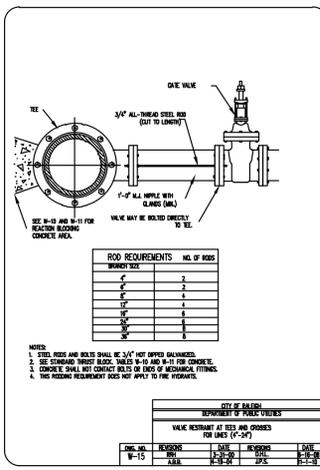
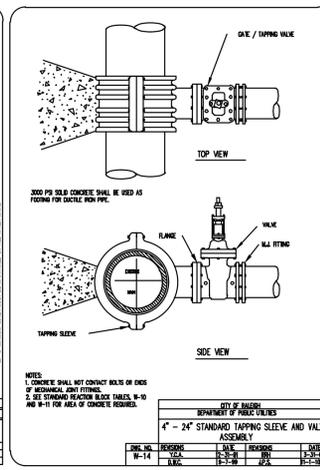
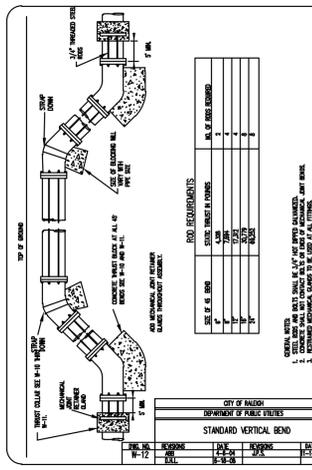
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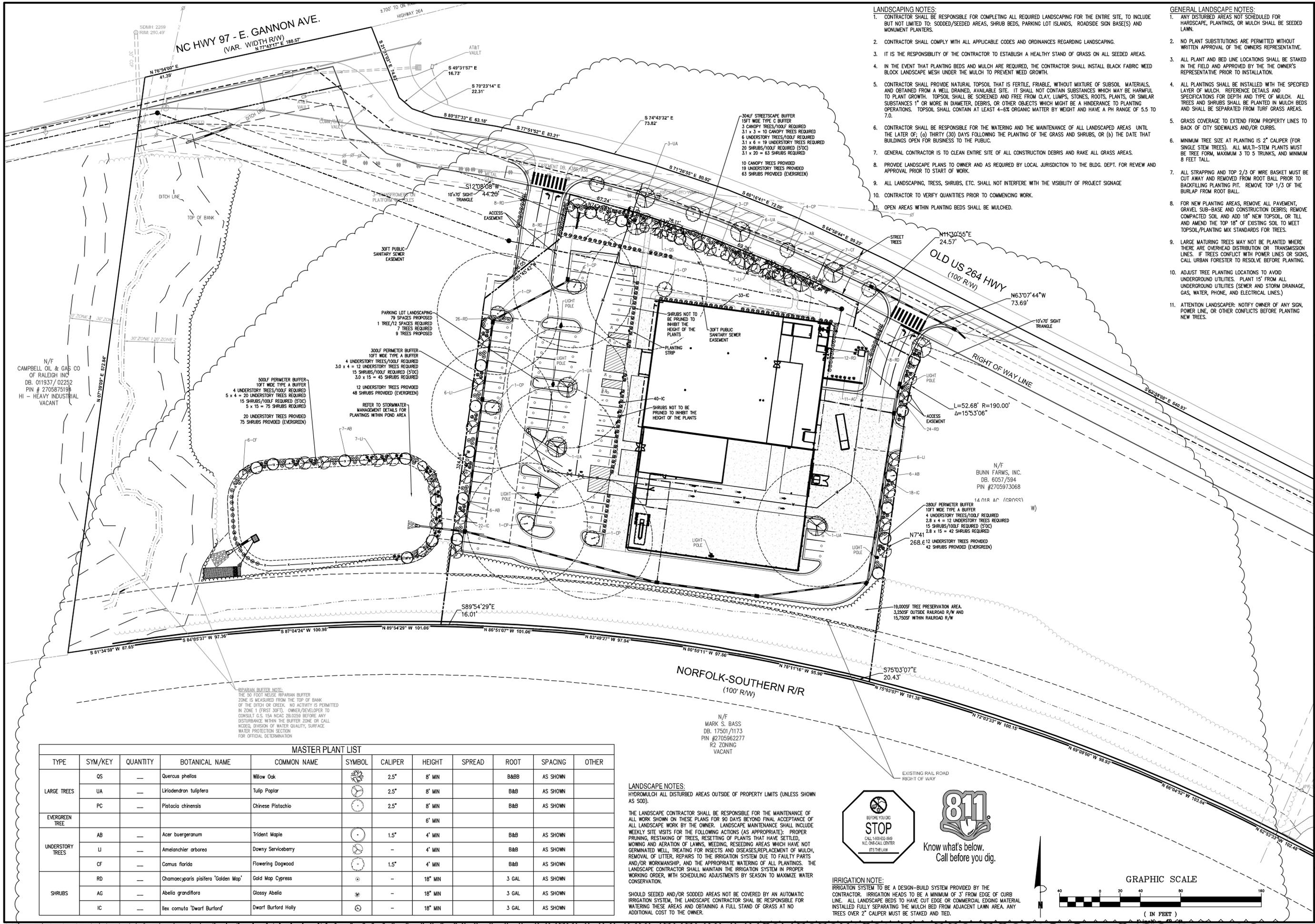


REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS

PIPE SIZE	MINIMUM REACTION BEARING AREA (SQ. FT.)	MINIMUM REACTION BEARING AREA (SQ. FT.)	MINIMUM REACTION BEARING AREA (SQ. FT.)	MINIMUM REACTION BEARING AREA (SQ. FT.)	MINIMUM REACTION BEARING AREA (SQ. FT.)
1/2"	1	1	1	1	1
3/4"	1	1	1	1	1
1"	1	1	1	1	1
1 1/4"	1	1	1	1	1
1 1/2"	1	1	1	1	1
2"	1	1	1	1	1
2 1/2"	1	1	1	1	1
3"	1	1	1	1	1
3 1/2"	1	1	1	1	1
4"	1	1	1	1	1
4 1/2"	1	1	1	1	1
5"	1	1	1	1	1
5 1/2"	1	1	1	1	1
6"	1	1	1	1	1
6 1/2"	1	1	1	1	1
7"	1	1	1	1	1
7 1/2"	1	1	1	1	1
8"	1	1	1	1	1
8 1/2"	1	1	1	1	1
9"	1	1	1	1	1
9 1/2"	1	1	1	1	1
10"	1	1	1	1	1
10 1/2"	1	1	1	1	1
11"	1	1	1	1	1
11 1/2"	1	1	1	1	1
12"	1	1	1	1	1
12 1/2"	1	1	1	1	1
13"	1	1	1	1	1
13 1/2"	1	1	1	1	1
14"	1	1	1	1	1
14 1/2"	1	1	1	1	1
15"	1	1	1	1	1
15 1/2"	1	1	1	1	1
16"	1	1	1	1	1
16 1/2"	1	1	1	1	1
17"	1	1	1	1	1
17 1/2"	1	1	1	1	1
18"	1	1	1	1	1
18 1/2"	1	1	1	1	1
19"	1	1	1	1	1
19 1/2"	1	1	1	1	1
20"	1	1	1	1	1
20 1/2"	1	1	1	1	1
21"	1	1	1	1	1
21 1/2"	1	1	1	1	1
22"	1	1	1	1	1
22 1/2"	1	1	1	1	1
23"	1	1	1	1	1
23 1/2"	1	1	1	1	1
24"	1	1	1	1	1
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25"	1	1	1	1	1
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26"	1	1	1	1	1
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27"	1	1	1	1	1
27 1/2"	1	1	1	1	1
28"	1	1	1	1	1
28 1/2"	1	1	1	1	1
29"	1	1	1	1	1
29 1/2"	1	1	1	1	1
30"	1	1	1	1	1

- UTILITY NOTES:**
1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS.
 2. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
 3. WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "K" SOFT COPPER, ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE GEMENT-LINED DUCTILE IRON PIPE OF CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 4. GRANTY SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
 5. CLEAN-OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
 6. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH, PER CITY OF RALEIGH STANDARDS.
 7. LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
 9. WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
 10. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
 11. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
 12. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
 13. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
 14. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL ASHRAE REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 15. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
 16. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 17. CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 18. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 19. PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
 20. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z11.1 (AWWA C-151) (CLASS 50).
 21. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 22. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 23. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 24. ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWER FACILITIES. A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO NCOTD SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
 25. THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW PLAN GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF RALEIGH AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. COMPENSATION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
 26. A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE COVERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 18" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAIN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 18" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10' FROM WATER-MAIN.
 27. ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
 28. THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH UTILITY DEPARTMENT.





- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
 - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
 - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
 - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
 - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
 - ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
 - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
 - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.
- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
 - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
 - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
 - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
 - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).
 - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

N/F
CAMPBELL OIL & GAS CO
OF RALEIGH INC
DB. 011937 / 02252
PIN # 2705875196
HI - HEAVY INDUSTRIAL
VACANT

N/F
BUNN FARMS, INC.
DB. 6057/584
PIN #2705973068

N/F
MARK S. BASS
DB. 17501/1173
PIN #2705962277
R2 ZONING
VACANT

RIPARIAN BUFFER NOTE:
THE 50 FOOT NEUSE RIPARIAN BUFFER ZONE IS MEASURED FROM THE TOP OF BANK OF THE DITCH OR CREEK. NO ACTIVITY IS PERMITTED IN ZONE 1 (FIRST 30FT). OWNER/DEVELOPER TO CONSULT G.S. 15A NCAC 2B.0259 BEFORE ANY DISTURBANCE WITHIN THE BUFFER ZONE OR CALL NCDCO, DIVISION OF WATER QUALITY, SURFACE WATER PROTECTION SECTION FOR OFFICIAL DETERMINATION

MASTER PLANT LIST

TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	OS	—	<i>Quercus phellos</i>	Willow Oak		2.5"	8' MIN		B&B	AS SHOWN	
	UA	—	<i>Liriodendron tulipifera</i>	Tulip Poplar		2.5"	8' MIN		B&B	AS SHOWN	
	PC	—	<i>Pistacia chinensis</i>	Chinese Pistachio		2.5"	8' MIN		B&B	AS SHOWN	
EVERGREEN TREE						6' MIN					
UNDERSTORY TREES	AB	—	<i>Acer buergerianum</i>	Trident Maple		1.5"	4' MIN		B&B	AS SHOWN	
	LI	—	<i>Amelanchier arborea</i>	Downy Serviceberry		—	4' MIN		B&B	AS SHOWN	
	CF	—	<i>Camus florida</i>	Flowering Dogwood		1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	—	<i>Chamaecyparis pisifera</i> 'Golden Map'	Gold Map Cypress		—	18" MIN		3 GAL	AS SHOWN	
	AG	—	<i>Abelia grandiflora</i>	Glossy Abelia		—	18" MIN		3 GAL	AS SHOWN	
	IC	—	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly		—	18" MIN		3 GAL	AS SHOWN	

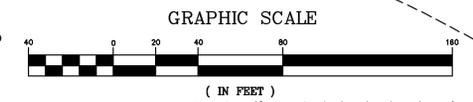
LANDSCAPE NOTES:
HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



IRRIGATION NOTE:
IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3' FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.



Bowman

Bowman North Carolina Ltd.
4006 BARRETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919) 555-6570
bowman.com
Bowman North Carolina Ltd.



LANDSCAPE PLAN
Tractor Supply
Old US Highway 264
Zebulon, NC Wake County

PRIMA
PROPERTIES, LLC

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION



PLAN STATUS	
5/26/22	1ST SUBMISSION
8/1/22	PER TOWN & RALEIGH REVIEW
10/13/22	PER TOWN & RALEIGH REVIEW
DATE	DESCRIPTION
MEL DESIGN	MEL DRAWN XXX CHKD
SCALE	H: 1" = 40' V: 1" = XXX'
JOB No.	220127-01-001
DATE	May 26, 2022
FILE No.	220127-D-CP-001
SHEET	C7.0

Conceptual Elevation
Zebulon, NC

October 14, 2022



Front Elevation



Zebulon, NC.

Front Elevation

UDO Analysis

Section 5.3.4.a.i - Primary Wall contains (2) types of building articulation.
b.ii - Vertical Modulation
b.vi - Primary Building Entrance

Primary Building Entrance
b.i - Change in material & color
b.iii - Feature that extends above roof height
b.iv - projection greater than 5ft.

Vertical Modulation
24" projected pilaster regularly spaced across the full facade.

Section 5.3.7.a.i - Primary Wall Fenestration
a.i - 40% window/doors - Request 10% Reduction
a.i - Visually transparent - Request Use of Partial Spandrel Glass

Facade is 2,530 SF. to roof line at 19'-8"
40% area equals 1,012 SF. (-10%) = 910.80 SF
Windows above awnings:
4'-8"x3'-4" x 12 windows = 186.60 SF
Windows below awnings:
4'-8"x8'-4" x 12 windows = 466.56 SF.
Storefront entrance:
27'-7" x 10'-0" = 275.16 SF
Fenestration as shown = 928.32 SF > 910.80 SF

Section 5.3.6.b Parapet cornice.
Top (2) courses corbel 1 1/2" each.

Windows above the awnings and storefront entrance are clear vision glass
Windows below awnings are shown as opaque spandrel glass, due to racking and fixtures inside the building.



Front-Right Elevation



PRIMAX

TSC TRACTOR SUPPLY CO.

Greenhouse Connection



Split Face CMU Pilaster
Painted Sanderling
SW7513

Two Course Corbelled
Cornice Cap

Smooth Face CMU Wall
Painted Urban Putty
SW7532

Clear polycarbonate
panel @ gabled ends

Clear poly sheet covering
pre-fab greenhouse

PRIMAX

8' high black chainlink
fence and gate

TSC TRACTOR
SUPPLY CO.

Zebulon, NC.

Greenhouse Connection

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change turns the corner 3'-4" to satisfy Section 5.3.1.F.5.

Vertical modulation of material is flush with adjacent wall. As a tertiary wall it does not need to project.

Due to the greenhouse connection/fabrication to the side masonry wall, this wall is to be constructed with smooth face CMU, painted to match the front of the building.



PRIMAX

TSC TRACTOR SUPPLY CO.

Zebulon, NC.

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Rear Elevation Right Side

UDO Analysis

8' high black chain link fence and sliding gate



Zebulon, NC.

Loading Area

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change occurs at screen wall, required to screen loading area per Section 5.10.5

Painted smooth face CMU to match primary building face, from logical point behind the masonry screen wall to wrapping the corner and terminate at front of greenhouse

Smooth face CMU painted Sanderling SW7513

Metal panel dumpster enclosure gates painted black

Section 5.3.1.H - Dumpster Enclosure Design
1. Constructed of same block as primary building
2. Gates metal panels painted black



Zebulon, NC.

Rear Elevation Left Side



Zebulon, NC.

Rear Elevation Left Side

UDO Analysis

Section 5.3.4.a.i - Tertiary Wall contains no building articulation.

Material change occurs behind screen wall, for reasons explained on other elevations

Screen wall, required to screen Loading Area per Section 5.10.5

Section 5.3.4.a.i - Secondary Wall contains (1) type of building articulation.

b.ii - Vertical Modulation

Vertical Modulation
24" projected pilaster regularly spaced across 50% of the secondary facade.

Section 5.3.7.a.i - Secondary Wall Fenestration

b.i - 30% window/doors - **Request 10% Reduction**
b.iii - Articulated wall forms to mimic openings that also include awnings

Facade is 1,029 SF. to roof line at 16'-0"
30% area equals 308.7 SF. (-10%) = 278.1 SF

Accents above red band:
4'-0"x2'-8" x 8 accents = 85.33 SF.

Shutters below awnings:
4'-0"x6'-8" x 8 shutters = 213.33 SF

Mock Fenestration = **298.66 SF** > 278.1 SF

Painted split face CMU accents to mimic clerestory windows above awning

Decorative shutters below accent band to mimic spandrel glass windows with awnings



Zebulon, NC.

Left Elevation



Fiber cement lap siding
painted Alpaca SW7022

Split face CMU pilaster
painted Sanderling SW7513

Split face CMU wall
painted Urban Putty
SW7532

Galvanized metal
roof panels

Smooth face CMU band
painted Safety Red with
coping to match on top course

Two course corbeled
cornice cap



Zebulon, NC.

Left Elevation

UDO Analysis

Section 5.3.4.a.i - Primary Wall contains (2) types of building articulation.

b.ii - Vertical Modulation
b.v - Roof Modulation

Roof Modulation

Parapet illustrates differing planes.
Center parapet simulates a pitched roof with distinct material difference

Vertical Modulation

24" projected pilaster regularly spaced across the full facade.

Section 5.3.7.a.i - Primary Wall Fenestration

a.i - 40% window/doors - **Request 10% Reduction**
a.i - Visually transparent - **Request Use of Partial Spandrel Glass**

Windows below awnings are shown as opaque spandrel glass, due to racking and fixtures inside the building.

Facade is 3,126 SF. to roof line from at 19'-8" in front to 16'-0" in the back.

40% area equals 1,250 SF. (-10%) = 1125 SF

Windows above awnings = 175.05

Windows below awnings = 311.10

Storefront below awning = 640.00

Fenestration as shown = **1,126.15 SF > 1,125 SF**

Windows above the awnings are clear vision glass



Bay "A"

Windows above accent band:
3'-8"x2'-8" x 4 windows = 39.08 SF

Storefront below accent band:
10'-0"x10'-0" x 2 = 200.00 SF.

Fenestration for Bay "A" = **239.08 SF**

Bay "B"

Windows above awning:
4'-8"x2'-0" x 4 windows = 37.33 SF

Windows below awning:
4'-8"x8'-4" x 4 windows = 155.55 SF.

Fenestration for Bay "B" = **192.88 SF**

Bay "C"

Storefront below accent band:
24'-0"x10'-0" = 240.00 SF.

Fenestration for Bay "C" = **240 SF**

Total Area

239.08 + 192.88 + 240 + 205.31
+248.88 = **1,126.15 SF**

Bay "D"

Windows above awning:
4'-8"x2'-8" x 4 windows = 49.76 SF

Windows below awning:
4'-8"x8'-4" x 4 windows = 155.55 SF.

Fenestration for Bay "D" = **205.31 SF**

Bay "E"

Windows above accent band:
3'-8"x3'-4" x 4 windows = 48.88 SF

Storefront below accent band:
10'-0"x10'-0" x 2 = 200.00 SF.

Fenestration for Bay "E" = **248.88 SF**



Zebulon, NC.

Front-Left Elevation



Zebulon, NC.

Front-Left Elevation

Trees removed for clarity



Symbol	Label	Quantity	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	P	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	109.44
	R	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	S	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Triple Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	328.32
	T	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Quad Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/2ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	437.76
	K	12	DSXW1-LED-10C-1000-50K-T3M-MVOLT-DDBXD	Lithonia DSXW1 Series Wall Mount LED Unit w/Type T3M Distribution (18ft. and 14ft. Fixture Mounting Heights) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	3898	0.95	38.8
	K1	3	H-15118-97/HL-AHD-27*97/21/LED2/40/D/BCM-M	Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)	LED/4000K (FULL CUTOFF DESIGN)	1170	0.95	21

Statistics							
Description	Symbol	Avg	Max	Min	Max/Avg	Max/Min	Avg/Min
Parking Lot Light Levels	+	1.9 fc	11.7 fc	0.1 fc	6.16	117.0:1	19.0:1
Property Line Light Levels	+	0.3 fc	1.6 fc	0.0 fc	5.33	N/A	N/A

