



NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at:

(Addresses) _____ (Pin Numbers) _____

in accordance with the Town of Zebulon Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. Once an application has been submitted to the Town, it may be tracked using the Interactive Development Map located on the Town of Zebulon website at https://www.townofzebulon.org/services/planning.

A Neighborhood Meeting is requested because this project will include:

- Conditional Rezoning
Planned Unit Development
Site Plan within the Downtown Core or Downtown Periphery Zoning Districts
Zoning Map Amendment (results in more intensive uses or increased density)
Special Use Permit (Quasi-Judicial Hearing)
*Quasi-Judicial Hearing: The Board of Commissioners cannot discuss the project prior to the public hearing.

The following is a description of the proposed (also see attached map(s) and/or plan sheet(s)):

Estimated Submittal Date: _____

MEETING INFORMATION:

Property Owner(s) Name(s) _____

Applicant(s) _____

Contact Information (e-mail/phone) _____

Meeting Address: _____

Date of Meeting: _____

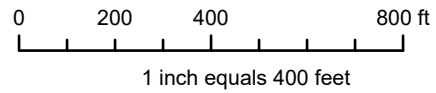
Time of Meeting: _____

Please note: This is a drop in meeting, with no formal start time. Come by any time during the two hour window.

**Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-823-1809. You may also find information about the Zebulon Planning Department and on-going planning efforts at https://www.townofzebulon.org/services/planning



750' of 1620 Arendell Ave



Disclaimer
 iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

Zebulon Animal Hospital Neighborhood Meeting
Notice List

OWNER	ADDR1	ADDR2	SITE_ADDRESS
VILLA, SALVADOR LOPEZ	208 PROCTOR ST	ZEBULON NC 27597-8716	208 PROCTOR ST
SMITH, APRIL E	2013 WILD IRIS DR	ZEBULON NC 27597-8946	2013 WILD IRIS DR
MACHACEK, JOHN D MACHACEK, ELLEN G	209 NOSTALGIA LN	ZEBULON NC 27597-6873	209 NOSTALGIA LN
TRIPP, KATHLEEN K	221 PROCTOR ST	ZEBULON NC 27597-8717	221 PROCTOR ST
PROGRESS RESIDENTIAL 2015-2 BORROWER LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	3004 WILD IRIS DR
QUAD TRI LLC OLIVE, MARTHA L	809 THATCHER WAY	RALEIGH NC 27615-1233	1709 N ARENDELL AVE
QUAD TRI LLC OLIVE, MARTHA L	809 THATCHER WAY	RALEIGH NC 27615-1233	1716 N ARENDELL AVE
QUAD TRI LLC OLIVE, MARTHA L	809 THATCHER WAY	RALEIGH NC 27615-1233	1712 N ARENDELL AVE
BRYANT, DICKEY & JAMES CARROLL	1729 N ARENDELL AVE	ZEBULON NC 27597-8741	0 N ARENDELL AVE
WAKEFIELD BAPTIST CHURCH TRUSTEES	308 PROCTOR ST	ZEBULON NC 27597-8718	313 PROCTOR ST
CREECH, HEDY JORDAN, YVONNE MARTIN	217 NOSTALGIA LN	ZEBULON NC 27597-6873	217 NOSTALGIA LN
JONES, ANGELA T	1002 WATSONIA DR	ZEBULON NC 27597-8927	1002 WATSONIA DR
CREECH, GRADY RAY CREECH, LINDA S	301 FOSTER ST	ZEBULON NC 27597-9072	405 BUNN ST
BOYKIN, JOSEPH VERNON	15354 NC HIGHWAY 96 N	ZEBULON NC 27597-7071	50 GREEN PACE RD
BOYETTE, ROBERT A BOYETTE, WANDA C	507 EDDINS ST	ZEBULON NC 27597-6829	507 EDDINS ST
KEARNEY, RODERICK E	3009 WILD IRIS DR	ZEBULON NC 27597-8948	3009 WILD IRIS DR
GILLIAM, FERDY STEVENSON GILLIAM, JENNIE S	1003 WATSONIA DR	ZEBULON NC 27597-8928	1003 WATSONIA DR
HANDFORD, ASHLEY A HANDFORD, BRENDAN S	1005 WATSONIA DR	ZEBULON NC 27597-8928	1005 WATSONIA DR
BROWN, EULESS III	1007 WATSONIA DR	ZEBULON NC 27597-8928	1007 WATSONIA DR
ZEBULON TOWN OF	1003 N ARENDELL AVE	ZEBULON NC 27597-2309	75 GREEN PACE RD
MORI, MARLEN	219 NOSTALGIA LN	ZEBULON NC 27597-6873	219 NOSTALGIA LN
WILEY, RODERICK JR WILEY, KIMBERLY	2015 WILD IRIS DR	ZEBULON NC 27597-8946	2015 WILD IRIS DR
LANGSTON, GLORIA ANN	214 PROCTOR ST	ZEBULON NC 27597-8716	214 PROCTOR ST
STATE HIGHWAY & PUBLIC WORKS COMM	UNKNOWN	ZEBULON NC 27597	0 N ARENDELL AVE
HICKS, JULIA M	PO BOX 576	ZEBULON NC 27597-0576	1620 N ARENDELL AVE
SHERRON, WYATTE R SHERRON, ILENE H	1116 GRADY RAY RD	WENDELL NC 27591-9046	113 PROCTOR ST
REID, ALVIN L REID, DORIS	3002 WILD IRIS DR	ZEBULON NC 27597-8947	3002 WILD IRIS DR
SULLIVAN, TIMOTHY ALLEN SULLIVAN, EMILY DEANNA	1008 WATSONIA DR	ZEBULON NC 27597-8927	1008 WATSONIA DR
TRI ARC FOOD SYSTEMS INC	4905 WATERS EDGE DR	RALEIGH NC 27606-2405	1513 N ARENDELL AVE
RAMOS, ALEXIS A. RAMOS, RAECHEL	3005 WILD IRIS DR	ZEBULON NC 27597-8948	3005 WILD IRIS DR

Zebulon Animal Hospital Neighborhood Meeting
Notice List

YELLOW DOG INVESTMENTS LLC	2601 STONEWALK CT	ZEBULON NC 27597-5001	103 GREEN PACE RD
DUNSTON, MAURICE	215 NOSTALGIA LN	ZEBULON NC 27597-6873	215 NOSTALGIA LN
GAY, CRYSTAL M	1009 WATSONIA DR	ZEBULON NC 27597-8928	1009 WATSONIA DR
OSORO, PHILOMENA OSORO, DAUDI	1006 WATSONIA DR	ZEBULON NC 27597-8927	1006 WATSONIA DR
LYNCH, ROBIN PAULET	3007 WILD IRIS DR	ZEBULON NC 27597-8948	3007 WILD IRIS DR
WAKEFIELD CENTRAL BAPTIST CHURCH	308 PROCTOR ST	ZEBULON NC 27597-8718	308 PROCTOR ST
NGUYEN, GIANG MINH WILDER, NUOI THI	2011 WILD IRIS DR	ZEBULON NC 27597-8946	2011 WILD IRIS DR
PEARCE, CONNIE M	400 PROCTOR ST	ZEBULON NC 27597-8720	300 EDDINS ST
PEARCE, CONNIE M	400 PROCTOR ST	ZEBULON NC 27597-8720	400 PROCTOR ST
BRANNAN, ANDY CURTIS	2433 NC HWY 39	ZEBULON NC 27597	0 RILEY HILL RD
BRANNAN, ANDY CURTIS	2433 NC HWY 39	ZEBULON NC 27597	1729 N ARENDELL AVE
TWP PCP ZEB RETAIL LLC	445 BISHOP ST NW	ATLANTA GA 30318-4303	1500 N ARENDELL AVE
BOYETTE, KYLE C	507 EDDINS ST	ZEBULON NC 27597-6829	409 LUCAS ST
BLACKWELL, EMILY	213 NOSTALGIA LN	ZEBULON NC 27597-6873	213 NOSTALGIA LN
PROGRESS RESIDENTIAL BORROWER 2 LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	1011 WATSONIA DR
PROGRESS RESIDENTIAL BORROWER 6 LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	1004 WATSONIA DR
JOSTAN INVESTMENTS GROUP LLC	8009 CREEDMOOR RD STE 203	RALEIGH NC 27613-4394	80 GREEN PACE RD
VINES, TIFFANY	3006 WILD IRIS DR	ZEBULON NC 27597-8947	3006 WILD IRIS DR
PROGRESS RESIDENTIAL 2015-2 BORROWER, LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	2006 WILD IRIS DR
GENTEL, JILLIAN HUNTER EDDIN GENTEL, RYAN C	1212 WAKEFIELD FARM RD	ZEBULON NC 27597-7355	3008 WILD IRIS DR
MORENO, MARTIN MENDOZA	204 PROCTOR ST	ZEBULON NC 27597-8716	204 PROCTOR ST
HAMMOND, JEANETTE W HAMMOND, THOMAS	403 PROCTOR ST	ZEBULON NC 27597-8721	403 PROCTOR ST
TESSINEAR, JESSICA W	2217 POINTERS GLEN WAY	WENDELL NC 27591-9163	1704 N ARENDELL AVE
BERUBE, JAMI G HASBROUCK, IAN	200 PROCTOR ST	ZEBULON NC 27597-8716	200 PROCTOR ST
FERNANDEZ, NARCISO JESUS	483 NC 96 HWY E	YOUNGSVILLE NC 27596-8868	1701 N ARENDELL AVE
KUHN, GERALD G KUHN, YARITZA	211 NOSTALGIA LN	ZEBULON NC 27597-6873	211 NOSTALGIA LN
TRUIST BANK	PO BOX 167	WINSTON SALEM NC 27102-0167	49 GREEN PACE RD
GRAND LODGE OF NORTH CAROLINA AF & AM	2921 GLENWOOD AVE	RALEIGH NC 27608-1009	302 FOSTER ST
WOOD, BRIAN K	309 PROCTOR ST	ZEBULON NC 27597-8719	309 PROCTOR ST
QUAD TRI LLC OLIVE, MARTHA L	809 THATCHER WAY	RALEIGH NC 27615-1233	0 N ARENDELL AVE
WILDOR RESTAURANT GROUP LLC	800 SALEM WOODS DR STE 104	RALEIGH NC 27615-3344	1512 N ARENDELL AVE



SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

Project Name: _____

Meeting Address: _____

Date of Meeting: _____ Time of Meeting: _____

Property Owner(s) Names: _____

Applicants: _____

Please summarize the questions/comments and your response from the Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be “Noted” or “No Response”. There has to be documentation of what consideration the neighbor’s concern was given and justification for why no change was deemed warranted.

Question/ Concern #1 **Lot seems small to accommodate 41 parking spaces.**

Applicant Response: _____

Question/ Concern #2 _____

Applicant Response: _____

Question/ Concern #3 _____

Applicant Response: _____

Question/ Concern #4 _____

Applicant Response: _____



AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Elizabeth Wilcox, do hereby declare as follows:
Print Name

1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Master Subdivision Plan, or Special Use Permit.

2. The meeting invitations were mailed to the Zebulon Planning Department, all property owners within 300 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Neighborhood Meeting.

3. The meeting was conducted at 1403 N Arrendell Ave (location/address) on 5/18/2023 (date) from 6:00pm (start time) to 9:00pm (end time).

4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.

5. I have prepared these materials in good faith and to the best of my ability.

5/24/2023 Date By: [Signature]

STATE OF North Carolina
COUNTY OF Durham

Sworn and subscribed before me, Lynn Fontana, a Notary Public for the above State and County, on this the 24th day of May, 2023.

SEAL Lynn Fontana



Notary Public

Lynn Fontana

Print Name

My Commission Expires:

12-13-2025



NEIGHBORHOOD MEETING SIGN-IN SHEET:

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Project Name: Zebulon Animal Hospital
 Meeting Address: 1403 N Arendell Ave, Zebulon, NC
 Date of Meeting: Thursday, May 18, 2023 Time of Meeting: 6:00 - 8:00 PM
 Property Owner(s) Names: Julia M Hicks
 Applicants: DVM Services, LLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	Name/ Organization	Address	Phone#	E-mail
1	<i>Leanne Kinne</i>	<i>413 North St</i>	<i>919 973 8957</i>	<i>lkinne@me.com</i>
2	<i>Della Pease</i>	<i>434 Regan Rd</i>	<i>919 816-2600</i>	<i>peasedella@gmail.com</i>
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Attach Additional Sheets If Necessary.

Please let us know if you would like updates on additional neighborhood meetings, if any, or submission to the Town.

Indicate if you would like plans emailed to you.

Handouts

May 18, 2023

Thank you for coming to the Zebulon Animal Hospital Conditional Zoning Neighborhood Meeting. The Town of Zebulon requires that we send notice to neighbors living within 750 feet of the property.

Please feel free to spend as much or as little time at each station. You may ask questions to any of our team members or submit comment cards.

You can request email versions of the of the attached documents or a notice of the upcoming meetings at the check-in desk.

You can also find information about the project on the Town's website.

<https://www.townofzebulon.org/departments/planning/interactive-development-map>

We appreciate your time!



PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

Development Contacts:		
Project Name:		Zoning:
Location:		
Property PIN(s):		Acreage/Square Feet:
Property Owner:		
Address:		
City:	State:	Zip:
Phone:		Email:
Address:		
City:	State:	Zip:
Phone:	Fax:	Email:
Address:		
City:	State:	Zip:
Phone:	Fax:	Email:
Builder (if known):		
Address:		
City:	State:	Zip:
Phone:	Fax:	Email:



INFORMATION PACKET FOR NEIGHBORHOOD MEETINGS

PROVIDING INPUT TO THE PLANNING BOARD OR BOARD OF COMMISSIONERS:

Each Board of Commissioners meeting agenda includes a Public Forum time when anyone is permitted to speak for three (3) minutes on any topic with the exception of items listed as Public Hearings for that meeting. The Board of Commissioners meets on the 1st Monday of each month at 7:00 p.m. and Joint Public Hearings are scheduled for the 2nd Monday of every Month. (except for holidays, see schedule of meetings at <https://www.townofzebulon.org/agendas-minutes>. You may also contact Board of Commissioners at <https://www.townofzebulon.org/government/board-commissioners>.

PRIVATE AGREEMENTS AND EASEMENT NEGOTIATION:

The Town of Zebulon cannot enforce private agreements between developers and neighbors and is not a party to the easement and right-of-way negotiation that occurs between developers and neighboring property owners for easements or rights-of-way that are necessary to build the project.

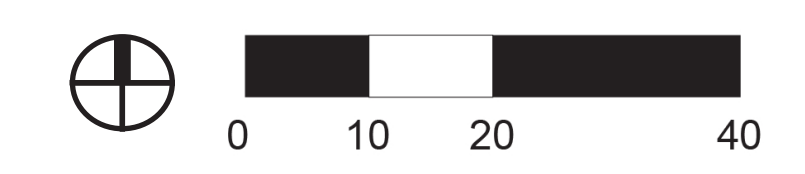
It is recommended that all private agreements be made in writing and that if a property owner feels it necessary, they should obtain private legal counsel in order to protect their interests in both private agreements and during easement negotiations. The only conditions that the Town of Zebulon can enforce are those conditions that are made a part of the conditional zoning of the property by agreement of the developer and the Town.

As an example, if a developer offers to build a fence for a neighbor to mitigate some impact, the Town can only enforce the construction of the fence if the fence becomes a condition of the rezoning. This would occur by the developer offering the condition as part of their conditional zoning application package or at the Joint Public Hearing on the conditional zoning and the Town accepting it as a condition. Private agreements regarding a fence being constructed will not be enforced by the Town.

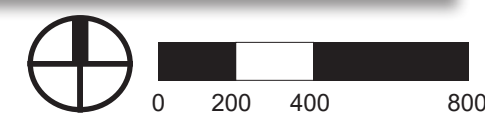
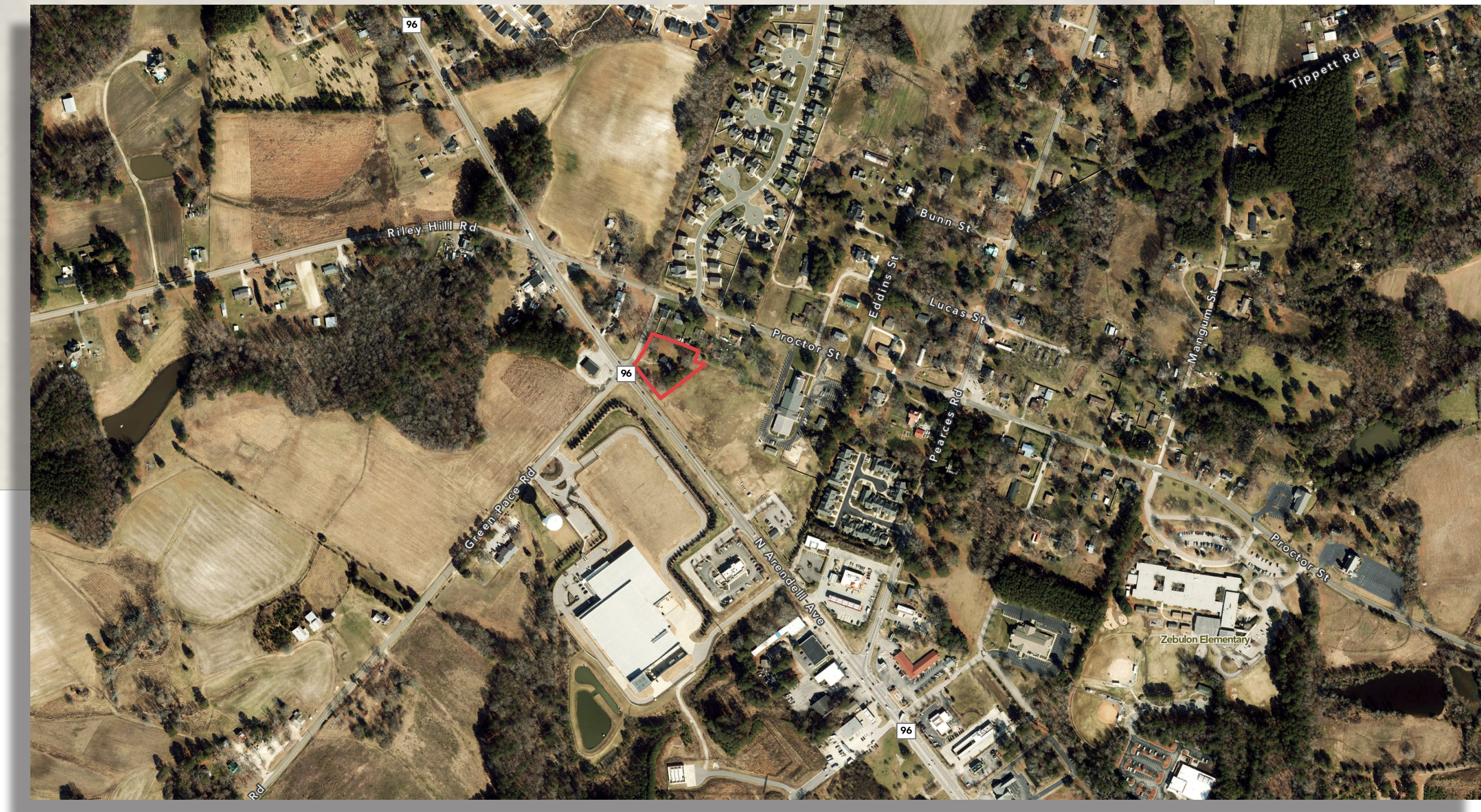
To request that any agreement with a developer is made a part of the conditional zoning at the time of approval, you may ask at the public hearing if the agreement is included in the conditions. If it is not, you may request that the Board of Commissioners not approve the rezoning without the agreement being included in the conditions (note that it is up to Board of Commissioners whether to approve or deny the rezoning but they cannot impose conditions that the applicant does not agree to add). The developer's proposed conditions can be viewed any time after a rezoning is submitted on the Town of Zebulon Interactive Development Map which can be found at: <https://www.townofzebulon.org/services/planning/whats-coming-zebulon>

DOCUMENTATION:

Neighbors to a requested new development and/or rezoning are strongly encouraged to fully document (such as through dated photographs) the condition of their property before any work is initiated for the new development. Stormwater controls installed on developed property are not designed to and will likely not remove 100% of the soil particles transported by stormwater runoff. As a result, creeks and ponds could become cloudy for a period of time after rain events.

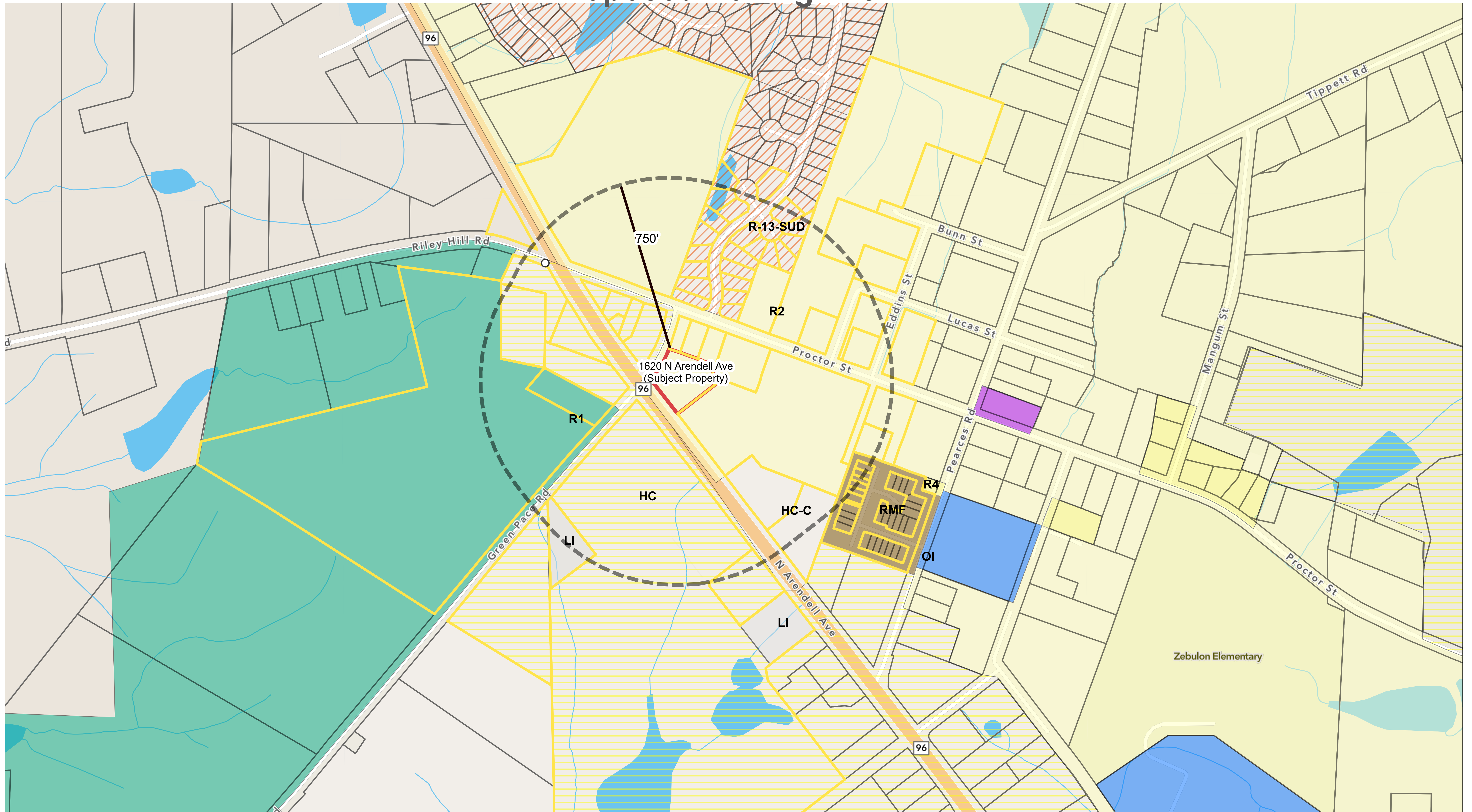


Presentation



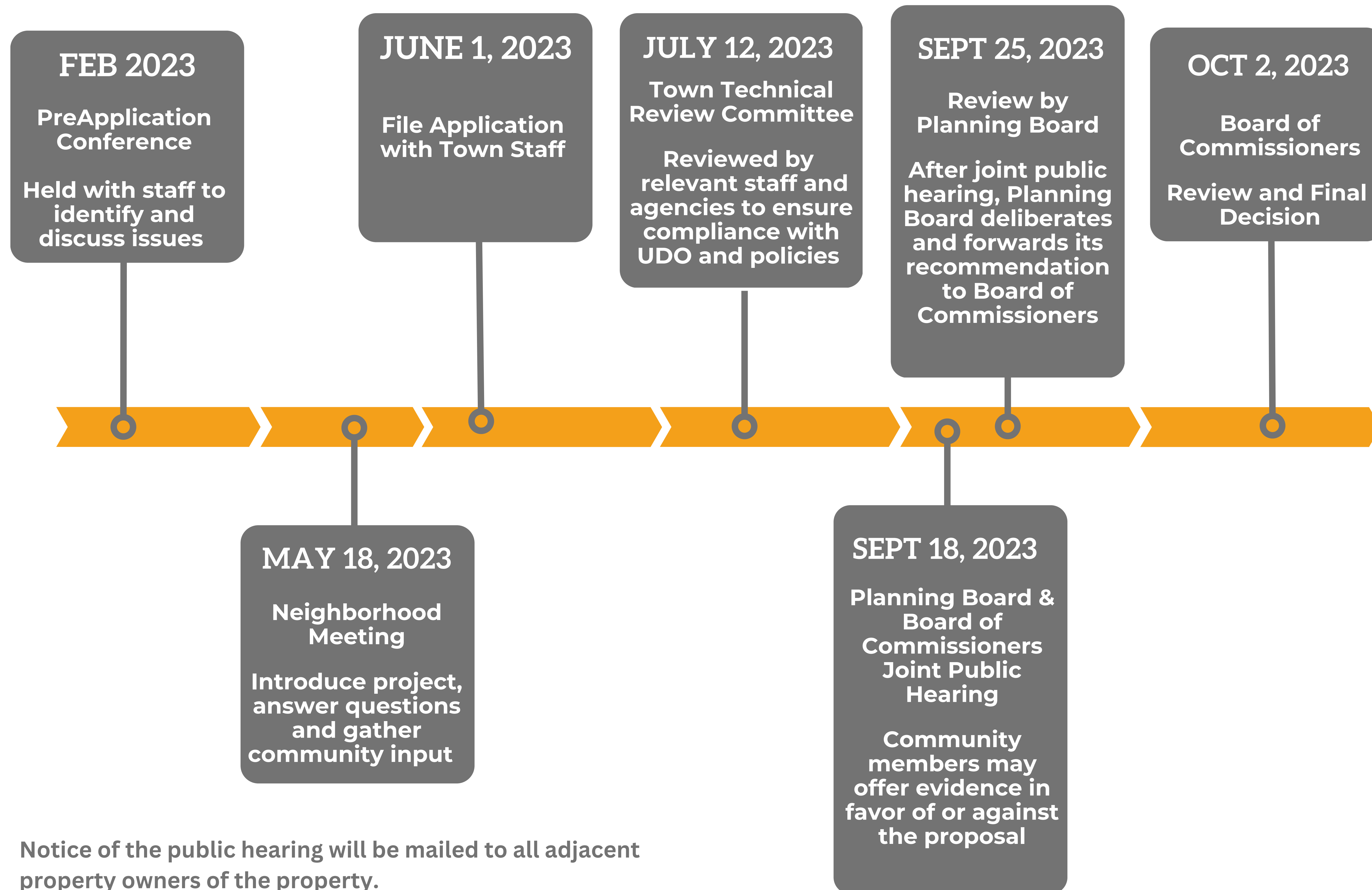
SUBJECT PARCEL

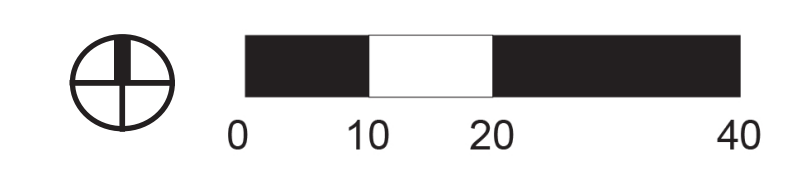
Existing Zoning: R2
Proposed Zoning: HC



Zebulon Animal Hospital Zoning

ZEBULON ANIMAL HOSPITAL CONDITIONAL REZONING ANTICIPATED TIMELINE





Zebulon Animal Hospital Conditional Zoning

Proposed Conditions:

1. Use of the property shall be limited to Veterinary Clinic. Such use will comply with section 4.3.5.RR of the Town Zebulon Unified Development Ordinance, except that outdoor exercise area may be located closet that 200 feet from a lot in a residential zone, provided that it is enclosed by a six-foot tall opaque fence as shown on sheet L400 Planting Plan of the Zebulon Animal Hospital Conditional Zoning Plan Dated June 1, 2023.
2. In order to accommodate the shallow lot width, the 40-wide buffers required along the residentially zoned properties have been reduced; however, in these locations a six-foot tall opaque fence and enhanced landscaping will be provided as shown on Sheet L400 Planting Plan Zebulon Animal Hospital Conditional Zoning Plan Dated June 1, 2023.



N. ARENDELL AVE ELEVATION



GREEN PACE ROAD ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION

Zebulon Animal Hospital Architectural Elevations