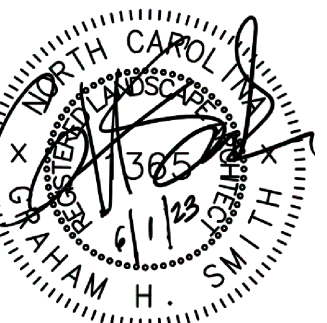
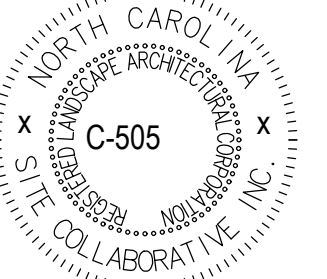


ZEBULON ANIMAL HOSPITAL

CONDITIONAL ZONING PLAN



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ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC
1620 N. ARENDELL AVE., ZEBULON, NC

PROJECT NUMBER:
22091

PROJECT PHASE:
CONDITIONAL ZONING PLAN
DATE: 06.01.2023

SHEET TITLE:
COVER

SHEET NUMBER:

L000



VICINITY MAP



SHEET INDEX	
L000	COVER
L100	EXISTING CONDITIONS
L200	SITE PLAN
L300	GRADING PLAN
L400	PLANTING PLAN
SW1	CONCEPTUAL STORMWATER PLAN
	N ARENDELL AVE. ELEVATION
	GREEN PACE ROAD ELEVATION
	NORTHEAST ELEVATION
	SOUTHEAST ELEVATION

UTILITY ALLOCATION POLICY COMPLIANCE

- BASE POINTS:
SINGLE USE OFFICE - 30 POINTS
- BONUS POINTS:
CATEGORY 1 - NON-CONFORMITY ABATEMENT AND PUBLIC INFRASTRUCTURE IMPROVEMENTS (0)
- CATEGORY 2 - GREEN DEVELOPMENT STANDARDS/BUILDING AND SITE DESIGN (10)
- SECTION 2B - PARKING
 - EV CHARGING STATION (TWO PORT) - 5 POINTS (SEE SHEET L200)
 - SECTION 2C - STORMWATER SCMS (MAX 10)
 - BIORETENTION - 5 POINTS. (SEE SHEET L300)
- CATEGORY 3 - OUTDOOR ENHANCEMENT (12)
- SECTION 3A - OUTDOOR ENHANCEMENT (MAX 12)
 - PLANTING POLLINATOR GARDEN - 3 POINTS (SEE SHEET L400)
 - INSTALLATION OF NATIVE SHADE TREE SPECIES - 9 POINTS (SEE SHEET L400)
- CATEGORY 4 - AMENITIES (8)
- SECTION 4G - ADDITIONAL URBAN OPEN SPACE ENHANCEMENTS (WITHIN NON-RESIDENTIAL ZONING DISTRICTS) - MAX 10 POINTS
 - FOUNTAIN (DECORATIVE) - 2 POINTS (SEE SHEET L200)
 - CANOPY INCLUDING FIXED PERMANENT SEATING - 2 POINTS (SEE SHEET L200)
 - DRINKING FOUNTAIN WITH PET FOUNTAIN - 2 POINTS (SEE SHEET L200)
 - LITTLE FREE LIBRARY - 1 POINT (SEE SHEET L200)
 - ALL WEATHER BULLETIN BOARD - 1 POINT (SEE SHEET L200)
- CATEGORY 5 - AFFORDABLE HOUSING - MAX 10 POINTS (0)
- CATEGORY 6 - OTHER - MAX 5 POINTS (0)

POINT SUMMARY:

BASE	30 POINTS
CATEGORY 1	0 POINTS
CATEGORY 2	10 POINTS
CATEGORY 3	12 POINTS
CATEGORY 4	8 POINTS
CATEGORY 5	0 POINTS
CATEGORY 6	0 POINTS
TOTAL	60 POINTS

1620 N. ARENDELL AVE.
ZEBULON, NC

DATE: JUNE 1, 2023

CONTACT INFORMATION

APPLICANT
DVM SERVICES REALTY, LLC
 325 NASH STREET E
 WILSON, NC 27893
 CONTACT: BRIAN WOOD
 PHONE: 252.237.1375
 EMAIL: BRIANWOOD@THEVETSPETS.COM

OWNER
JULIA M. HICKS
 PO BOX 576
 ZEBULON, NC 27597
 PHONE: 919.931.6752
 EMAIL: DALLAS@DALLASPEARCEREALTY.COM

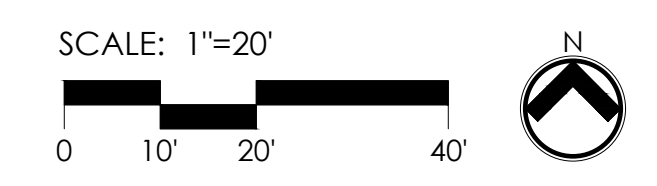
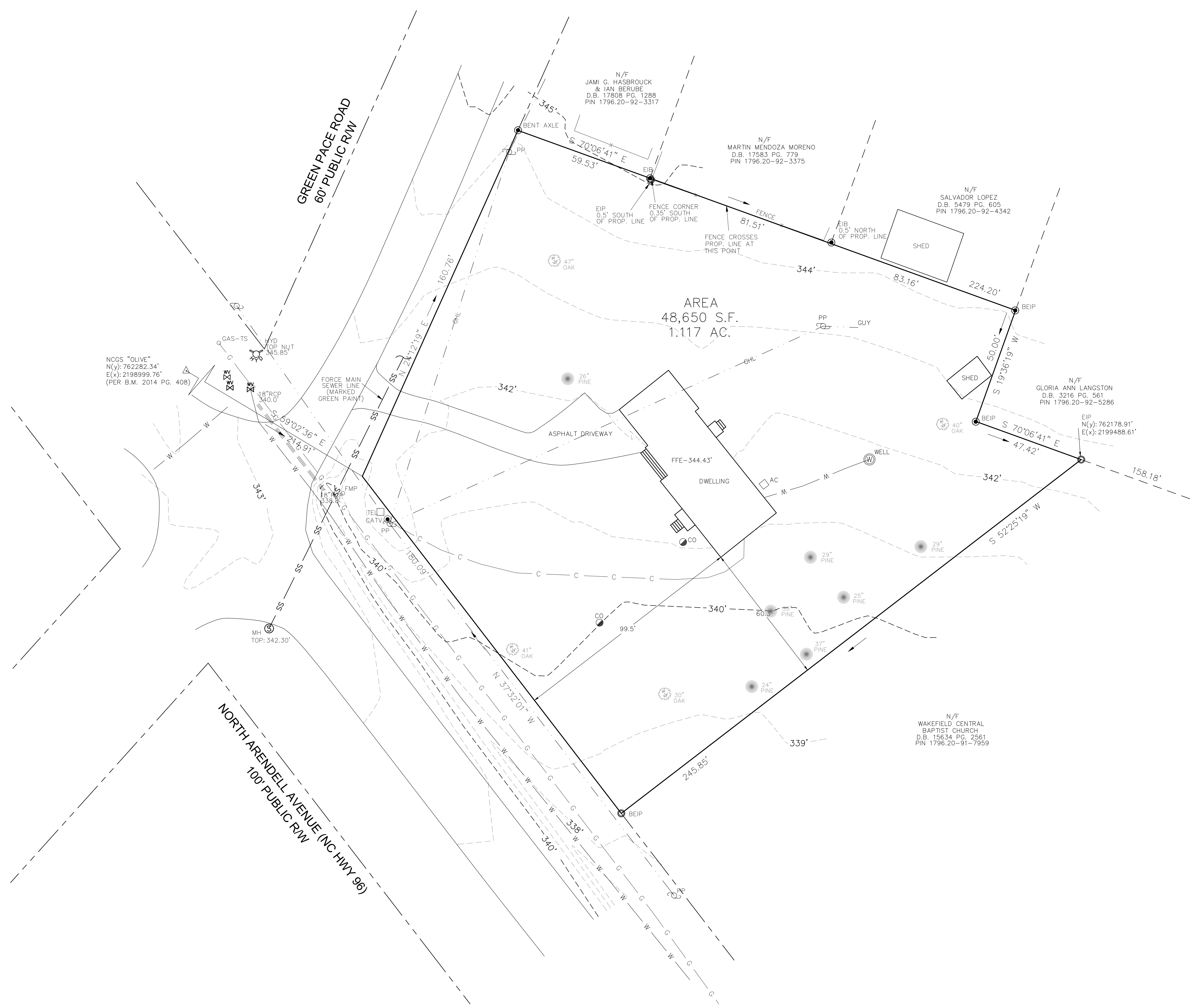
LANDSCAPE ARCHITECT
SITE COLLABORATIVE, INC.
 821 WAKE FOREST RD
 RALEIGH, NC 27604
 CONTACT: GRAHAM H. SMITH
 PHONE: 919.805.3586
 EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ARCHITECT
CLINE DESIGN
 125 N. HARRINGTON ST
 RALEIGH, NC 27603
 CONTACT: KELLY SYNNOTT
 PHONE: 919.833.6413
 EMAIL: KELLYS@CLINEDESIGNASSOC.COM

CIVIL ENGINEER
BARTLETT ENGINEERING & SURVEYING, PC
 1906 NASH STREET NORTH
 WILSON, NC 27893
 CONTACT: ROBERT BARTLETT
 PHONE: 252.399.0704
 EMAIL: ROBERT@BARTLETTENG.COM

HEAVY COMMERCIAL (HC) DISTRICT DIMENSIONAL STANDARDS FOR NON-RESIDENTIAL DEVELOPMENT		
STANDARD	REQUIRED	PROVIDED
MINIMUM LOT AREA (SQUARE FEET)	6,000	48,650 (GROSS)
MINIMUM LOT WIDTH (LINEAR FEET)	50	193
MINIMUM STREET SETBACK (FEET)	30	30
MINIMUM SIDE SETBACK (FEET)	0, 5 IF PROVIDED	
MINIMUM REAR SETBACK (FEET)	0 IF ABUTTED BY AN ALLEY; OTHERWISE 25	25
MAXIMUM BUILDING HEIGHT (FEET)	50; HEIGHT MAY INCREASE BY 2 FEET FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FEET IN HEIGHT	
MINIMUM SPACING BETWEEN PRINCIPAL BUILDINGS ON THE SAME LOT (FEET)	25	N/A

SITE DATA SUMMARY	
EXISTING DATA	
PROJECT NAME	VETS PETS ZEBULON
STREET ADDRESS	1620 N. ARENDELL AVE., ZEBULON, NC
ZONING	R2
PIN	1796922199
REAL ID NUMBER	0030585
DEED BOOK / DEED PAGE	DB 2050, PG 630
LAND USE	SINGLE FAMILY RESIDENTIAL
LOT AREA	1.12 AC (48,650 SF)
PROPOSED DATA	
ZONING	HEAVY COMMERCIAL CONDITIONAL (HC-C)
PROPOSED USE	VETERINARY CLINIC
R/W DEDICATION	0.04 AC (1,690 SF)
NET LOT AREA	1.08 AC (46,960 SF)
OPEN SPACE SET-ASIDE REQUIRED	1,409 SF (3% OF SITE)
OPEN SPACE SET-ASIDE PROVIDED	4,400 SF (9.4% OF SITE)
PARKING SUMMARY	
PARKING REQUIRED (4 PER DOCTOR)	12 OR 16 SPACES (3 OR 4 DOCTORS)
PARKING PROVIDED	32 SPACES (INCLUDING 2 ADA SPACES)
LOT COVERAGE	
EXISTING LOT COVERAGE	4,010 SF
LOT COVERAGE PROPOSED	24,104 SF (0.55 AC) (51%)
LOT COVERAGE ALLOWED	80% OF LOT AREA
CALCULATED LOT COVERAGE ALLOWED	0.8 X 46,960 SF = 37,568 SF (0.86 AC)
NET CHANGE IN LOT COVERAGE	+ 20,094 SF (0.46 AC)



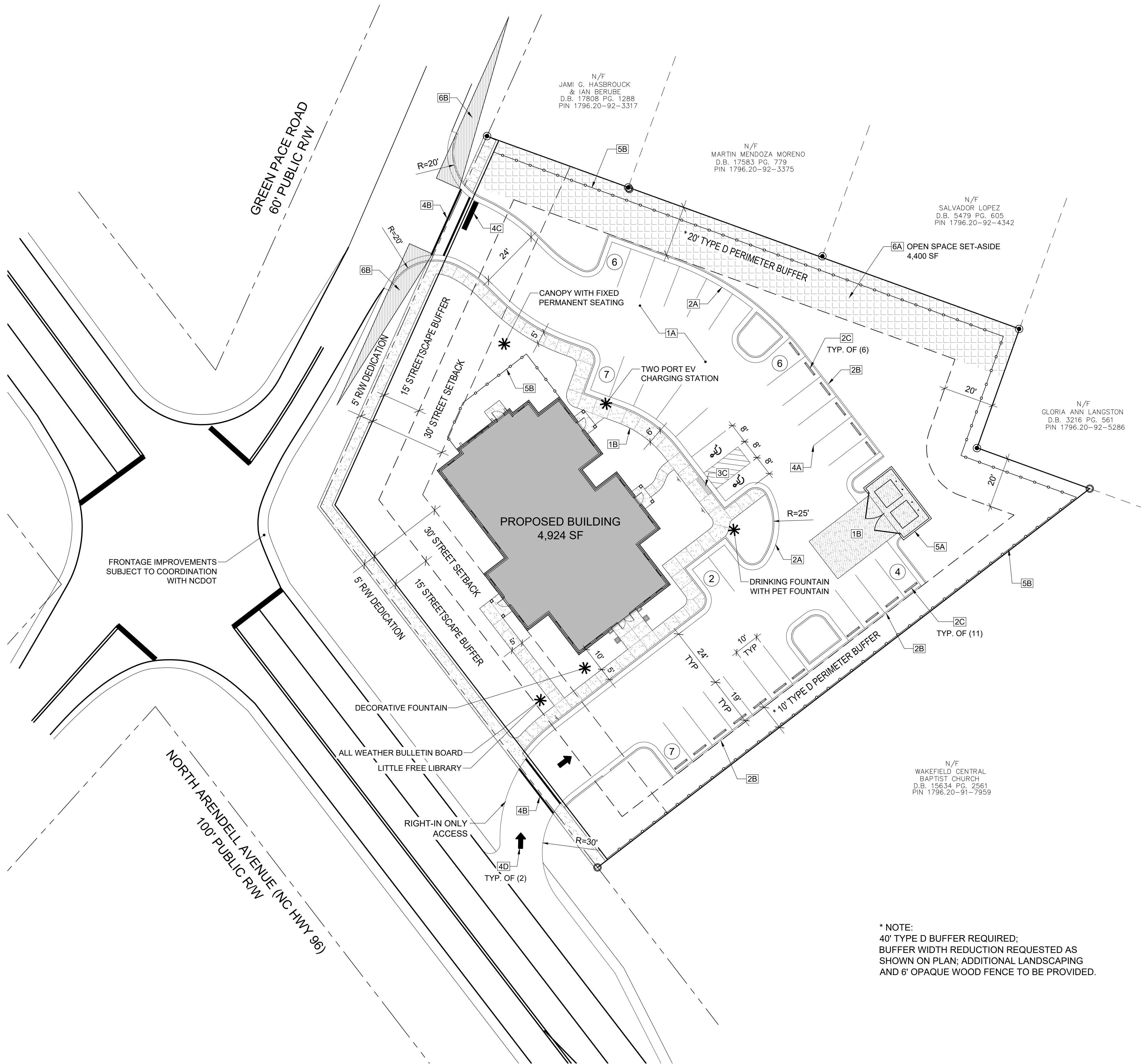
BASEMAP INFORMATION DATED MARCH 22, 2023
TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED
BY CMP PROFESSIONAL LAND SURVEYORS,
WAKE FOREST, NC

ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC
1620 N. ARENDELL AVE., ZEBULON, NC

PROJECT NUMBER:
22091
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CONDITIONAL
ZONING PLAN
DATE: 06.01.2023

SHEET TITLE:
EXISTING
CONDITONS

SHEET NUMBER:
L100



GENERAL SITE NOTES

- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- ALL DIMENSIONS ARE TO BOTTOM OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3'-0" AT BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR. THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- THIS SITE SHALL BE FULLY COMPLIANT WITH THE CURRENT EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 AND CHAPTER 11 OF THE NBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR LANDSCAPE ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.

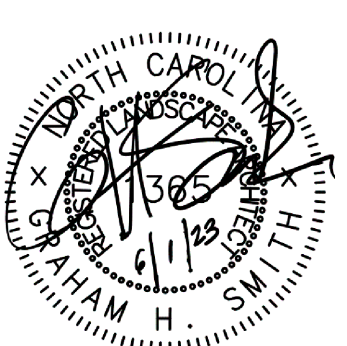
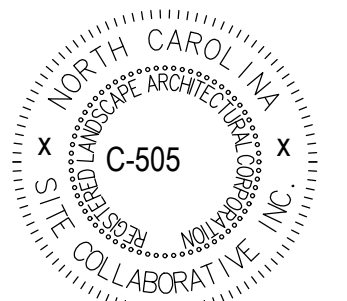
HARDSCAPE LEGEND

SYMBOL	PROPOSED SITE ITEM
[Symbol]	1A ASPHALT PAVING
[Symbol]	1B C.I.P. CONCRETE PAVING
[Symbol]	2A 30" CONCRETE CURB & GUTTER
[Symbol]	2B 6" WIDE FLUSH CONCRETE CURB
[Symbol]	2C CONCRETE WHEELSTOP
[Symbol]	2D "DO NOT ENTER - WRONG WAY" SIGN
[Symbol]	3A ADA PARKING
[Symbol]	3B ADA PARKING SIGN
[Symbol]	3C ADA DETECTABLE WARNING SURFACE
[Symbol]	3D ADA RAMP
[Symbol]	4A 4" THERMOPLASTIC PARKING STRIPE
[Symbol]	4B CROSSWALK
[Symbol]	4C STOP BAR
[Symbol]	4D DIRECTIONAL ARROW
[Symbol]	5A DUMPSTER ENCLOSURE WITH GATE
[Symbol]	5B 6' HT. OPAQUE FENCE
[Symbol]	6A OPEN SPACE SET-ASIDE
[Symbol]	6B 10'x70' SIGHT TRIANGLE

LAYOUT LEGEND

SYMBOL	DESCRIPTION
[Symbol]	ALIGN
[Symbol]	DIMENSION (PRECISION TO 1/4")
[Symbol]	ARC DIMENSION (PRECISION TO 1/4")
TYP	TYPICAL
[Symbol]	CENTERLINE
[Symbol]	MIRROR
Ø	DIAMETER
R	RADIUS

* NOTE:
40' TYPE D BUFFER REQUIRED;
BUFFER WIDTH REDUCTION REQUESTED AS SHOWN ON PLAN; ADDITIONAL LANDSCAPING AND 6' OPAQUE WOOD FENCE TO BE PROVIDED.



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ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC
1620 N. ARENDELL AVE., ZEBULON, NC

PROJECT NUMBER:
22091
PROJECT PHASE:
CONDITIONAL ZONING PLAN
DATE: 06.01.2023

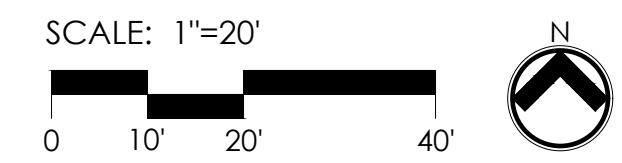
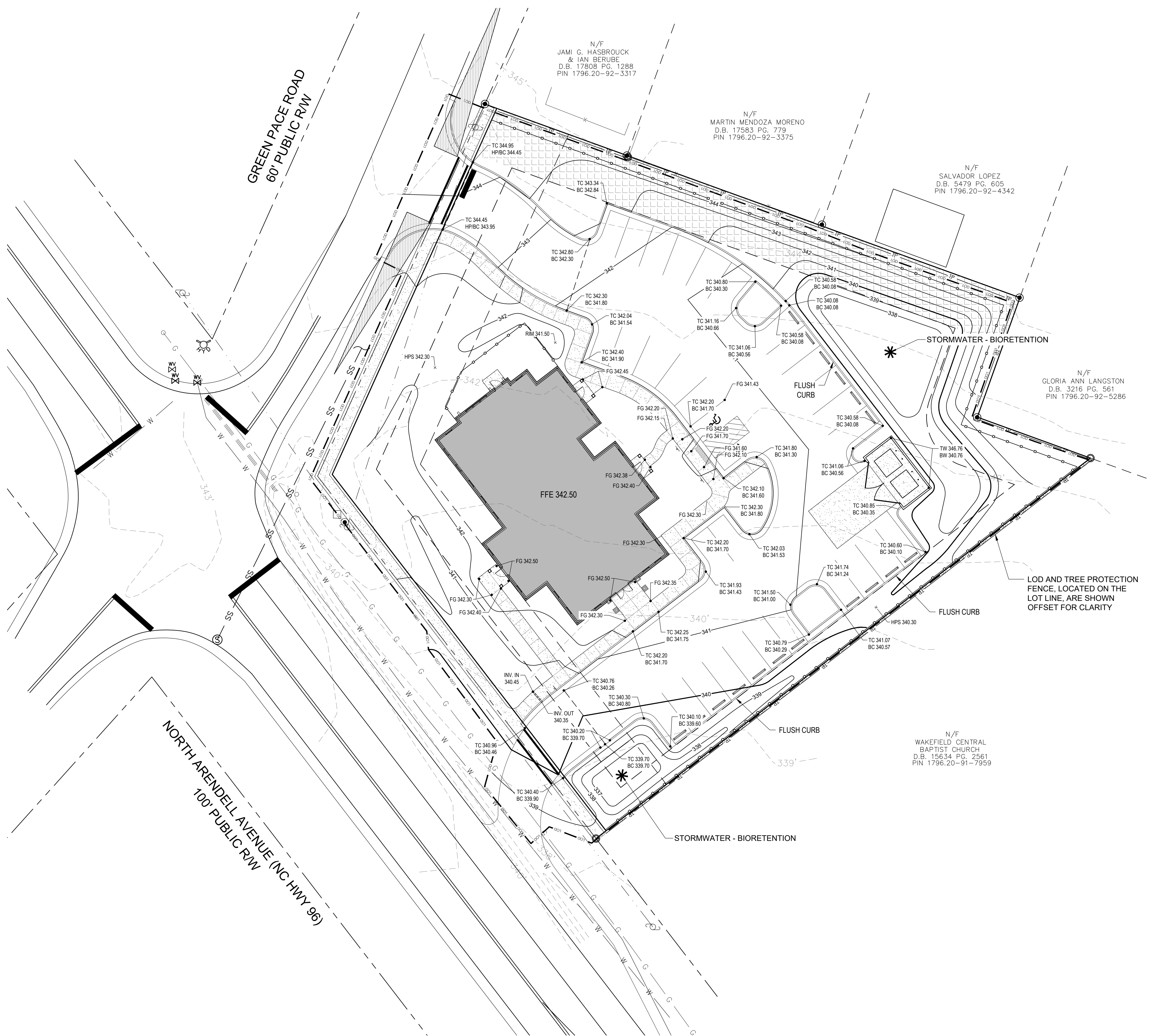
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
L200

GRADING NOTES

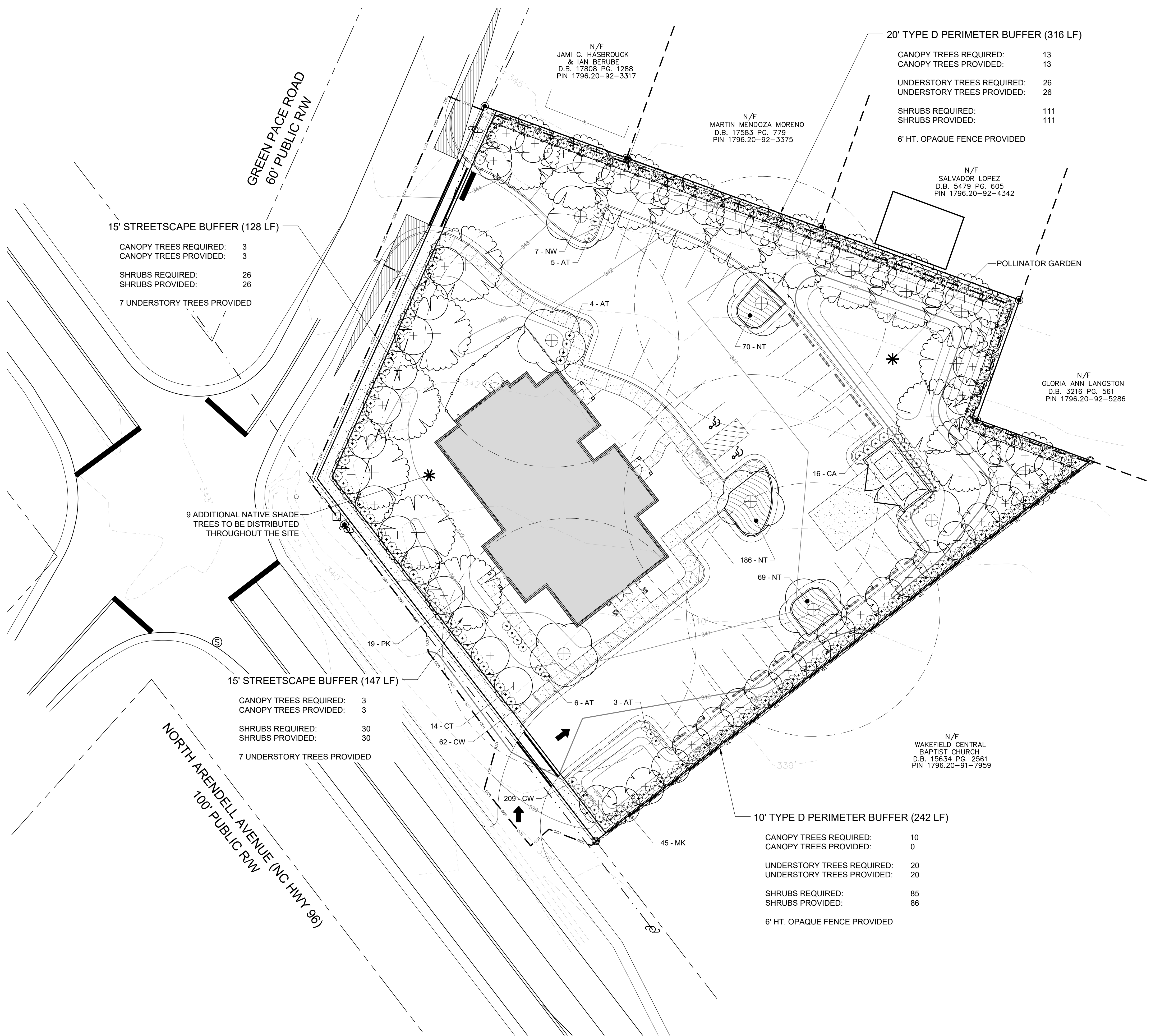
1. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

GRADING LEGEND	
KEY	DESCRIPTION
FG	FINISH GRADE
MG	MEET EXISTING GRADE
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
LP	LOW POINT
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
←←←←	ACCESSIBLE ROUTE
— TP —	TREE PROTECTION FENCE
— LOD —	LIMITS OF DISTURBANCE



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME
	CT	<i>Cercis canadensis</i> 'NC2016-2'	Flame Thrower® Eastern Redbud
	MK	<i>Magnolia grandiflora</i> 'Kay Parris'	Kay Parris Southern Magnolia
	NW	<i>Nyssa sylvatica</i> 'Wildfire'	Black Gum
	PK	<i>Pistacia chinensis</i> 'Keith Davey'	Keith Davey Chinese Pistache
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	AT	<i>Azalea</i> encore 'Autumn Sundance'™	'Autumn Sundance' Encore Azalea
	CA	<i>Camellia sasanqua</i> 'Autumn Rocket'	Autumn Rocket Camellia
	CW	<i>Camellia sasanqua</i> 'Green 02-004'	October Magic® White Shi-Shi Camellia
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	NT	<i>Nassella tenuissima</i>	Mexican Feather Grass



20' TYPE D PERIMETER BUFFER (316 LF)

CANOPY TREES REQUIRED: 13
CANOPY TREES PROVIDED: 13
UNDERSTORY TREES REQUIRED: 26
UNDERSTORY TREES PROVIDED: 26
SHRUBS REQUIRED: 111
SHRUBS PROVIDED: 111
6' HT. OPAQUE FENCE PROVIDED

15' STREETScape BUFFER (128 LF)

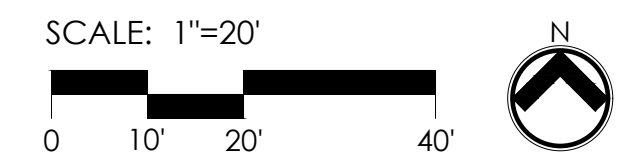
CANOPY TREES REQUIRED: 3
CANOPY TREES PROVIDED: 3
SHRUBS REQUIRED: 26
SHRUBS PROVIDED: 26
7 UNDERSTORY TREES PROVIDED

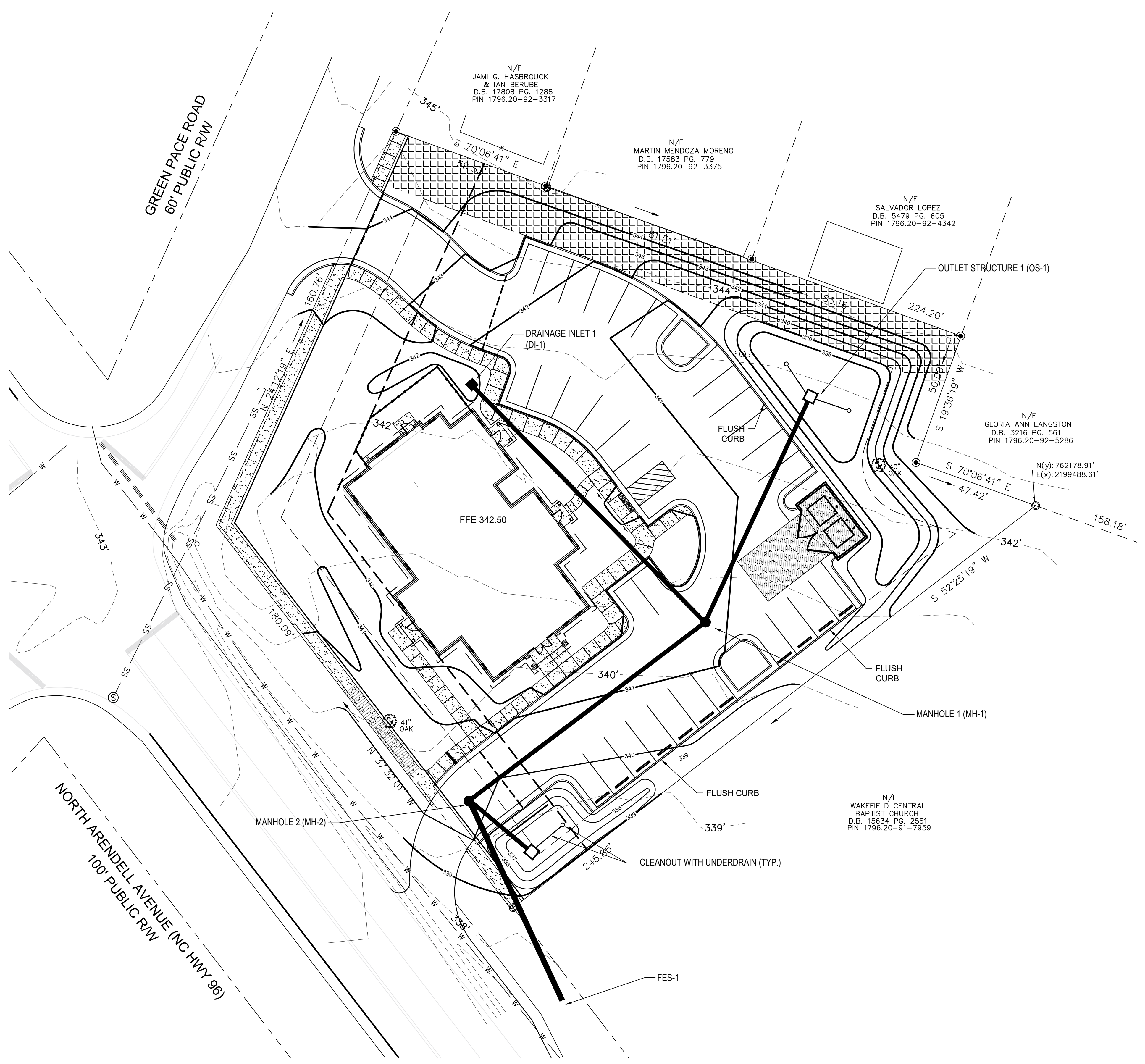
15' STREETScape BUFFER (147 LF)

CANOPY TREES REQUIRED: 3
CANOPY TREES PROVIDED: 3
SHRUBS REQUIRED: 30
SHRUBS PROVIDED: 30
7 UNDERSTORY TREES PROVIDED

10' TYPE D PERIMETER BUFFER (242 LF)

CANOPY TREES REQUIRED: 10
CANOPY TREES PROVIDED: 0
UNDERSTORY TREES REQUIRED: 20
UNDERSTORY TREES PROVIDED: 20
SHRUBS REQUIRED: 85
SHRUBS PROVIDED: 86
6' HT. OPAQUE FENCE PROVIDED





NOAA Atlas 14, Volume 2, Version 3
 Location name: Zebulon, North Carolina, USA
 Latitude: 35.844° Longitude: -78.3219°
 Elevation: 342 ft
 NOAA National Weather Service, Silver Spring, Maryland
 PF tabular | PF graphical | Mass & details

POINT PRECIPITATION FREQUENCY ESTIMATES
 PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)
 Average recurrence interval (years)

Duration	1	2	5	10	25	50	100	200	500	1000	
5 min	4.56 (4.42-5.33)	5.59 (5.44-6.44)	6.58 (6.24-8.01)	7.20 (6.57-8.87)	8.03 (7.20-10.1)	8.72 (7.50-11.2)	9.24 (7.84-12.3)	9.56 (8.14-13.9)	10.2	10.7	11.1
10 min	3.98 (3.84-4.74)	4.83 (4.69-5.61)	5.69 (5.26-6.50)	6.26 (5.63-7.20)	6.89 (6.06-7.90)	7.42 (6.20-8.43)	7.86 (6.46-9.28)	8.20 (6.78-10.4)	8.73	9.17	9.51
15 min	3.23 (3.09-3.93)	3.78 (3.64-4.38)	4.30 (3.87-5.10)	4.66 (4.03-4.91)	5.01 (4.18-5.21)	5.38 (4.16-5.52)	5.68 (4.26-5.72)	6.00 (4.38-5.94)	6.50	6.94	7.28
30 min	2.21 (2.07-2.65)	2.60 (2.46-3.04)	3.05 (2.71-3.34)	3.32 (2.69-3.50)	3.60 (2.64-3.71)	3.81 (2.70-3.85)	4.01 (2.80-4.05)	4.24 (2.82-4.26)	4.56	4.90	5.14
60 min	1.38 (1.24-1.62)	1.63 (1.49-1.91)	1.96 (1.72-2.14)	2.09 (1.67-2.00)	2.29 (1.67-2.14)	2.47 (1.67-2.14)	2.60 (1.67-2.14)	2.79 (1.67-2.14)	3.00	3.29	3.54
2 hr	0.807 (0.704-0.950)	0.865 (0.705-0.950)	1.16 (0.95-1.28)	1.38 (0.95-1.31)	1.63 (0.95-1.31)	1.87 (0.95-1.31)	2.00 (0.95-1.31)	2.32 (0.95-1.31)	2.65	2.92	3.19
3 hr	0.589 (0.484-0.740)	0.674 (0.484-0.740)	0.923 (0.61-0.84)	0.984 (0.61-0.84)	1.18 (0.61-0.84)	1.36 (0.61-0.84)	1.53 (0.61-0.84)	1.72 (0.61-0.84)	1.98	2.22	2.45
6 hr	0.342 (0.271-0.441)	0.405 (0.271-0.441)	0.485 (0.271-0.441)	0.529 (0.271-0.441)	0.711 (0.271-0.441)	0.823 (0.271-0.441)	0.936 (0.271-0.441)	1.08 (0.271-0.441)	1.22	1.38	1.53
12 hr	0.200 (0.164-0.261)	0.237 (0.164-0.261)	0.291 (0.164-0.261)	0.300 (0.164-0.261)	0.423 (0.164-0.261)	0.483 (0.164-0.261)	0.564 (0.164-0.261)	0.645	0.749	0.862	0.962
24 hr	0.116 (0.091-0.144)	0.143 (0.091-0.144)	0.182 (0.091-0.144)	0.213 (0.091-0.144)	0.287 (0.091-0.144)	0.293 (0.091-0.144)	0.332 (0.091-0.144)	0.372	0.431	0.479	0.518
2 day	0.066 (0.047-0.074)	0.082 (0.047-0.074)	0.104 (0.047-0.074)	0.121 (0.047-0.074)	0.145 (0.047-0.074)	0.165 (0.047-0.074)	0.188 (0.047-0.074)	0.208	0.240	0.266	0.287
3 day	0.046 (0.046-0.050)	0.056 (0.046-0.050)	0.073 (0.046-0.050)	0.085 (0.046-0.050)	0.101 (0.046-0.050)	0.119 (0.046-0.050)	0.134 (0.046-0.050)	0.144	0.166	0.183	0.197
4 day	0.038 (0.038-0.041)	0.048 (0.038-0.041)	0.067 (0.038-0.041)	0.078 (0.038-0.041)	0.094 (0.038-0.041)	0.112 (0.038-0.041)	0.127 (0.038-0.041)	0.137	0.160	0.176	0.189
7 day	0.025 (0.025-0.027)	0.032 (0.025-0.027)	0.047 (0.025-0.027)	0.054 (0.025-0.027)	0.061 (0.025-0.027)	0.074 (0.025-0.027)	0.084 (0.025-0.027)	0.091	0.109	0.122	0.131
10 day	0.020 (0.020-0.021)	0.024 (0.020-0.021)	0.031 (0.020-0.021)	0.033 (0.020-0.021)	0.039 (0.020-0.021)	0.046 (0.020-0.021)	0.051 (0.020-0.021)	0.054	0.066	0.073	0.077
20 day	0.013 (0.013-0.014)	0.016 (0.013-0.014)	0.019 (0.013-0.014)	0.021 (0.013-0.014)	0.025 (0.013-0.014)	0.029 (0.013-0.014)	0.032 (0.013-0.014)	0.033	0.037	0.040	0.042
30 day	0.011 (0.011-0.012)	0.013 (0.011-0.012)	0.015 (0.011-0.012)	0.017 (0.011-0.012)	0.021 (0.011-0.012)	0.024 (0.011-0.012)	0.026 (0.011-0.012)	0.027	0.031	0.033	0.034
45 day	0.009 (0.009-0.010)	0.011 (0.009-0.010)	0.013 (0.009-0.010)	0.014 (0.009-0.010)	0.018 (0.009-0.010)	0.021 (0.009-0.010)	0.023 (0.009-0.010)	0.024	0.028	0.029	0.030
60 day	0.008 (0.008-0.009)	0.010 (0.008-0.009)	0.011 (0.008-0.009)	0.012 (0.008-0.009)	0.014 (0.008-0.009)	0.016 (0.008-0.009)	0.017 (0.008-0.009)	0.018	0.021	0.022	0.023

Notes:
 * Precipitation frequency (PF) estimates in this table are based on frequency analysis of point duration series (PDS).
 * Estimates in parentheses are PF estimates at lower and upper bounds of the 90% confidence interval. The estimates are based on the lower bound of the 90% confidence interval. Estimates at upper bounds are not deemed appropriate for use in design.
 * Please refer to NOAA Atlas 14 document for more information.

PRELIMINARY PEAK FLOW REDUCTION

RETURN EVENT (YEARS)	PREDEVELOPED PEAK RUN-OFF (CFS)	POST DEVELOPED PEAK RUN-OFF (CFS)	REDUCTION (%)
1	1.36	0.53	61.0%
2	2.10	0.90	57.1%
10	4.97	4.63	6.8%
25	6.38	6.34	0.6%

STAGE-STORAGE (NORTH BIORETENTION CELL)

ELEVATION (FEET)	AREA (FT ²)	VOLUME (FT ³)
341	1200.0	0.0
342	2305.0	1752.5
343	3420.0	4615.0

STAGE-STORAGE (NORTH BIORETENTION CELL)

ELEVATION (FEET)	AREA (FT ²)	VOLUME (FT ³)
337	355.0	0.0
338	694.0	1752.5
339	1187.0	1451.3

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ZEBULON ANIMAL HOSPITAL
 DVM SERVICES REALTY, LLC

PROJECT NUMBER:
 PROJECT PHASE:
 DATE: 06.01.2023
 SHEET TITLE:
 SHEET NUMBER:



N. ARENDELL AVE ELEVATION



GREEN PACE ROAD ELEVATION



NORTHEAST ELEVATION



STANDING SEAM
METAL ROOF

PAINTED SHINGLES

FIBER CEMENT TRIM

ANIMAL HOSPITAL

BUILDING SIGNAGE

CEMENTITIOUS LAP SIDING

BRICK VENEER

BUILDING SIGNAGE

SOUTHEAST ELEVATION