

ZEBULON ANIMAL HOSPITAL

CONDITIONAL ZONING PLAN

1620 N. ARENDELL AVE.
ZEBULON, NC

DATE: JUNE 1, 2023
REVISED: AUGUST 1, 2023

CONTACT INFORMATION

APPLICANT
DVM SERVICES REALTY, LLC
325 NASH STREET E
WILSON, NC 27893
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OWNER
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LANDSCAPE ARCHITECT
SITE COLLABORATIVE, INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: GRAHAM H. SMITH
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ARCHITECT
CLINE DESIGN
125 N. HARRINGTON ST
RALEIGH, NC 27603
CONTACT: KELLY SYNNOTT
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CIVIL ENGINEER
BARTLETT ENGINEERING & SURVEYING, PC
1906 NASH STREET NORTH
WILSON, NC 27893
CONTACT: ROBERT BARTLETT
PHONE: 252.399.0704
EMAIL: ROBERT@BARTLETTENG.COM



VICINITY MAP



NTS

| SHEET INDEX | |
|-------------|---------------------------|
| L000 | COVER |
| L100 | EXISTING CONDITIONS |
| L200 | SITE PLAN |
| L300 | GRADING PLAN |
| L400 | PLANTING PLAN |
| UP1 | UTILITY PLAN |
| FR1 | FUTURE ROADWAY PLAN |
| DA1 | DRAINAGE AREAS |
| SW1 | STORMWATER PLAN |
| A1.1 | N ARENDELL AVE. ELEVATION |
| A1.2 | GREEN PACE ROAD ELEVATION |
| A1.3 | NORTHEAST ELEVATION |
| A1.4 | SOUTHEAST ELEVATION |

UTILITY ALLOCATION POLICY COMPLIANCE

BASE POINTS:
SINGLE USE OFFICE - 30 POINTS

BONUS POINTS:
CATEGORY 1 - NON-CONFORMITY ABATEMENT AND PUBLIC INFRASTRUCTURE IMPROVEMENTS (0)

CATEGORY 2 - GREEN DEVELOPMENT STANDARDS/BUILDING AND SITE DESIGN (10)
 • SECTION 2B - PARKING
 -EV CHARGING STATION (TWO PORT) - 5 POINTS (SEE SHEET L200)
 • SECTION 2C - STORMWATER SCMS (MAX 10)
 -BIORETENTION - 5 POINTS. (SEE SHEET L300)

CATEGORY 3 - OUTDOOR ENHANCEMENT (12)
 • SECTION 3A - OUTDOOR ENHANCEMENT (MAX 12)
 -PLANTING POLLINATOR GARDEN - 3 POINTS (SEE SHEET L400)
 -INSTALLATION OF NATIVE SHADE TREE SPECIES - 9 POINTS (SEE SHEET L400)

CATEGORY 4 - AMENITIES (8)
 • SECTION 4G - ADDITIONAL URBAN OPEN SPACE ENHANCEMENTS (WITHIN NON-RESIDENTIAL ZONING DISTRICTS) - MAX 10 POINTS
 -FOUNTAIN (DECORATIVE) - 2 POINTS (SEE SHEET L200)
 -CANOPY INCLUDING FIXED PERMANENT SEATING - 2 POINTS (SEE SHEET L200)
 -DRINKING FOUNTAIN WITH PET FOUNTAIN - 2 POINTS (SEE SHEET L200)
 -LITTLE FREE LIBRARY - 1 POINT (SEE SHEET L200)
 -ALL WEATHER BULLETIN BOARD - 1 POINT (SEE SHEET L200)

CATEGORY 5 - AFFORDABLE HOUSING - MAX 10 POINTS (0)

CATEGORY 6 - OTHER - MAX 5 POINTS (0)

POINT SUMMARY:

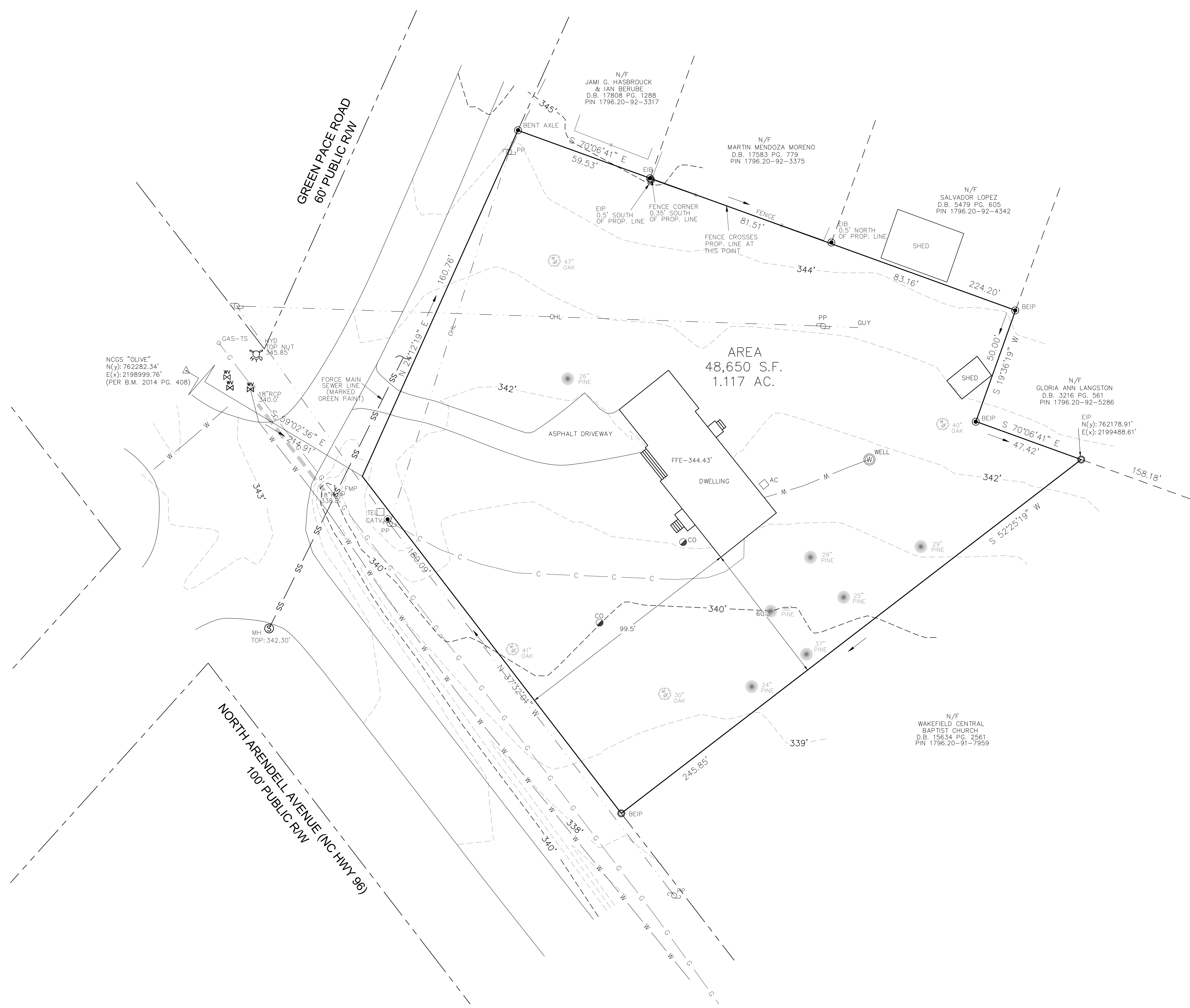
| | |
|------------|-----------|
| BASE | 30 POINTS |
| CATEGORY 1 | 0 POINTS |
| CATEGORY 2 | 10 POINTS |
| CATEGORY 3 | 12 POINTS |
| CATEGORY 4 | 8 POINTS |
| CATEGORY 5 | 0 POINTS |
| CATEGORY 6 | 0 POINTS |

TOTAL 60 POINTS

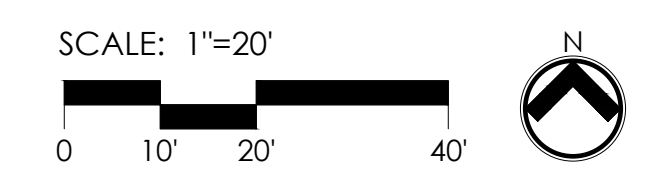
HEAVY COMMERCIAL (HC) DISTRICT DIMENSIONAL STANDARDS FOR NON-RESIDENTIAL DEVELOPMENT

| STANDARD | REQUIRED | PROVIDED |
|--|--|----------------|
| MINIMUM LOT AREA (SQUARE FEET) | 6,000 | 48,650 (GROSS) |
| MINIMUM LOT WIDTH (LINEAR FEET) | 50 | 193 |
| MINIMUM STREET SETBACK (FEET) | 30 | 30 |
| MINIMUM SIDE SETBACK (FEET) | 0, 5 IF PROVIDED | |
| MINIMUM REAR SETBACK (FEET) | 0 IF ABUTTED BY AN ALLEY; OTHERWISE 25 | 25 |
| MAXIMUM BUILDING HEIGHT (FEET) | 50; HEIGHT MAY INCREASE BY 2 FEET FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FEET IN HEIGHT | |
| MINIMUM SPACING BETWEEN PRINCIPAL BUILDINGS ON THE SAME LOT (FEET) | 25 | N/A |

| SITE DATA SUMMARY | |
|---------------------------------|---------------------------------------|
| EXISTING DATA | |
| PROJECT NAME | ZEBULON ANIMAL HOSPITAL |
| STREET ADDRESS | 1620 N. ARENDELL AVE., ZEBULON, NC |
| ZONING | R2 |
| PIN | 1796922199 |
| REAL ID NUMBER | 0030585 |
| DEED BOOK / DEED PAGE | DB 2050, PG 630 |
| LAND USE | SINGLE FAMILY RESIDENTIAL |
| LOT AREA | 1.12 AC (48,650 SF) |
| PROPOSED DATA | |
| ZONING | HEAVY COMMERCIAL CONDITIONAL (HC-C) |
| PROPOSED USE | VETERINARY CLINIC |
| R/W DEDICATION | N/A |
| NET LOT AREA | 1.12 AC (48,650 SF) |
| OPEN SPACE SET-ASIDE REQUIRED | 1,409 SF (3% OF SITE) |
| OPEN SPACE SET-ASIDE PROVIDED | 4,400 SF (9.4% OF SITE) |
| PARKING SUMMARY | |
| PARKING REQUIRED (4 PER DOCTOR) | 12 OR 16 SPACES (3 OR 4 DOCTORS) |
| PARKING PROVIDED | 32 SPACES (INCLUDING 2 ADA SPACES) |
| LOT COVERAGE | |
| EXISTING LOT COVERAGE | 4,010 SF |
| LOT COVERAGE PROPOSED | 24,939 SF (0.57 AC) (51%) |
| LOT COVERAGE ALLOWED | 80% OF LOT AREA |
| CALCULATED LOT COVERAGE ALLOWED | 0.8 X 48,650 SF = 38,920 SF (0.89 AC) |
| NET CHANGE IN LOT COVERAGE | + 20,929 SF (0.48 AC) |



AREA
 48,650 S.F.
 1.117 AC.



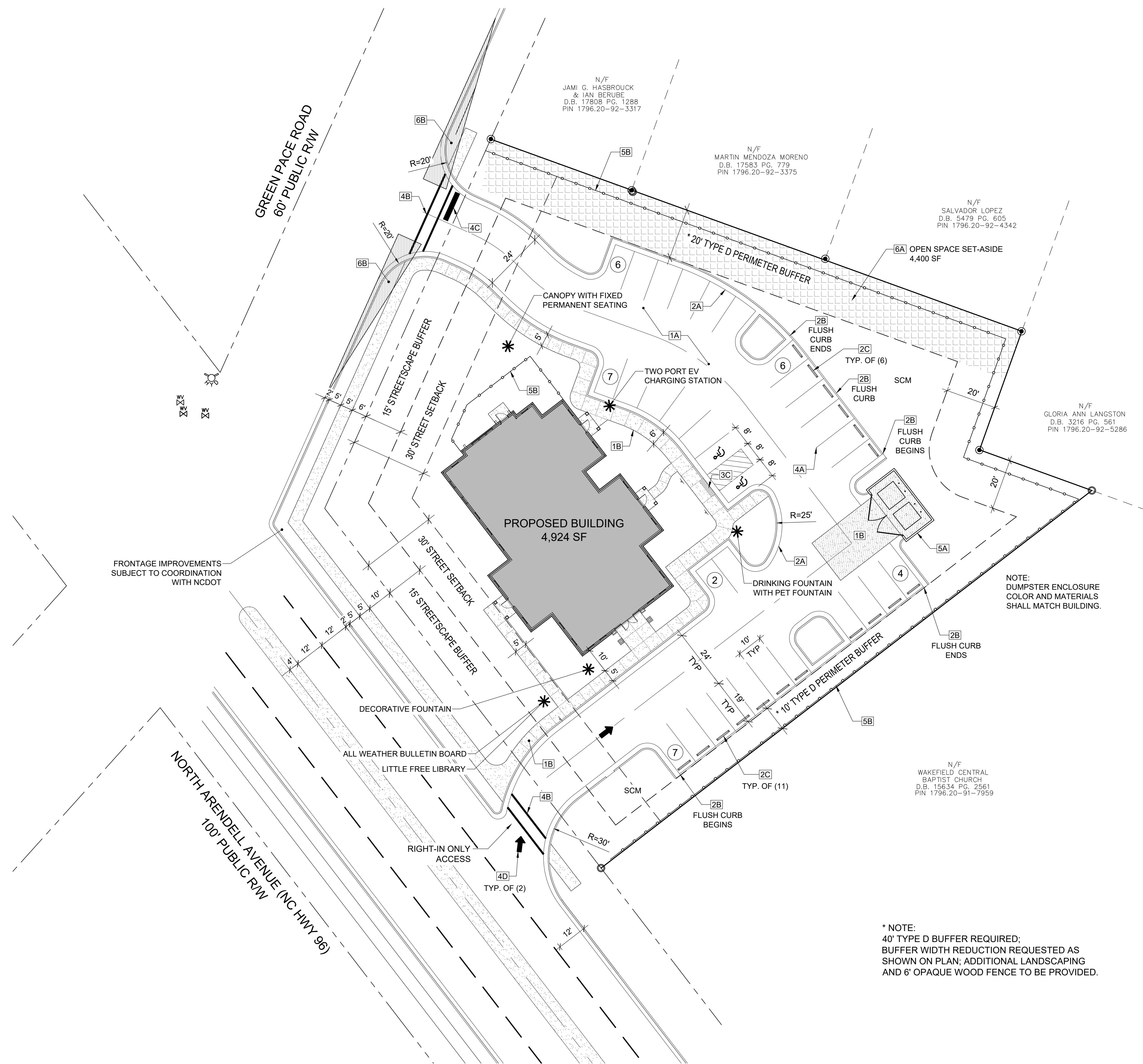
BASEMAP INFORMATION DATED MARCH 22, 2023
 TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED
 BY CMP PROFESSIONAL LAND SURVEYORS,
 WAKE FOREST, NC

ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC
1620 N. ARENDELL AVE., ZEBULON, NC

PROJECT NUMBER:
 22091
 PROJECT PHASE:
 CONDITIONAL
 ZONING PLAN
 DATE: 06.01.2023
 REVISED 08.01.2023

SHEET TITLE:
 EXISTING
 CONDITONS

SHEET NUMBER:
 L100



GENERAL SITE NOTES

- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- ALL DIMENSIONS ARE TO BOTTOM OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3'-0" AT BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR. THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- THIS SITE SHALL BE FULLY COMPLIANT WITH THE CURRENT EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 AND CHAPTER 11 OF THE NBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR LANDSCAPE ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.

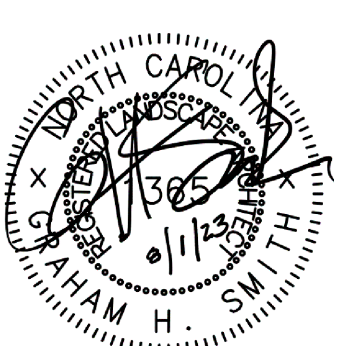
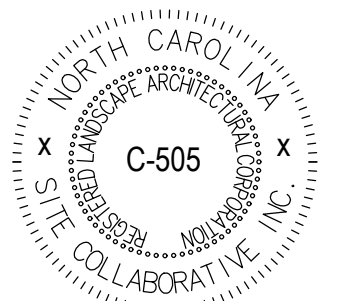
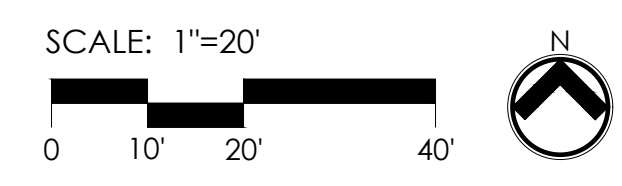
HARDSCAPE LEGEND

| SYMBOL | PROPOSED SITE ITEM |
|----------|------------------------------------|
| [Symbol] | 1A ASPHALT PAVING |
| [Symbol] | 1B C.I.P. CONCRETE PAVING |
| [Symbol] | 2A 30" CONCRETE CURB & GUTTER |
| [Symbol] | 2B 6" WIDE FLUSH CONCRETE CURB |
| [Symbol] | 2C CONCRETE WHEELSTOP |
| [Symbol] | 2D "DO NOT ENTER - WRONG WAY" SIGN |
| [Symbol] | 3A ADA PARKING |
| [Symbol] | 3B ADA PARKING SIGN |
| [Symbol] | 3C ADA DETECTABLE WARNING SURFACE |
| [Symbol] | 3D ADA RAMP |
| [Symbol] | 4A 4" THERMOPLASTIC PARKING STRIPE |
| [Symbol] | 4B CROSSWALK |
| [Symbol] | 4C STOP BAR |
| [Symbol] | 4D DIRECTIONAL ARROW |
| [Symbol] | 5A DUMPSTER ENCLOSURE WITH GATE |
| [Symbol] | 5B 6' HT. OPAQUE FENCE |
| [Symbol] | 6A OPEN SPACE SET-ASIDE |
| [Symbol] | 6B 10'x70' SIGHT TRIANGLE |

LAYOUT LEGEND

| SYMBOL | DESCRIPTION |
|----------|-----------------------------------|
| [Symbol] | ALIGN |
| [Symbol] | DIMENSION (PRECISION TO 1/4") |
| [Symbol] | ARC DIMENSION (PRECISION TO 1/4") |
| TYP | TYPICAL |
| [Symbol] | CENTERLINE |
| [Symbol] | MIRROR |
| Ø | DIAMETER |
| R | RADIUS |

* NOTE:
40' TYPE D BUFFER REQUIRED;
BUFFER WIDTH REDUCTION REQUESTED AS SHOWN ON PLAN; ADDITIONAL LANDSCAPING AND 6' OPAQUE WOOD FENCE TO BE PROVIDED.



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ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC
1620 N. ARENDELL AVE., ZEBULON, NC

PROJECT NUMBER:
22091

PROJECT PHASE:
CONDITIONAL ZONING PLAN

DATE: 06.01.2023
REVISED 08.01.2023

SHEET TITLE:
SITE PLAN

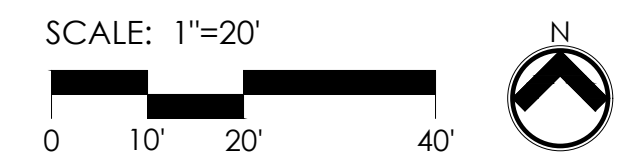
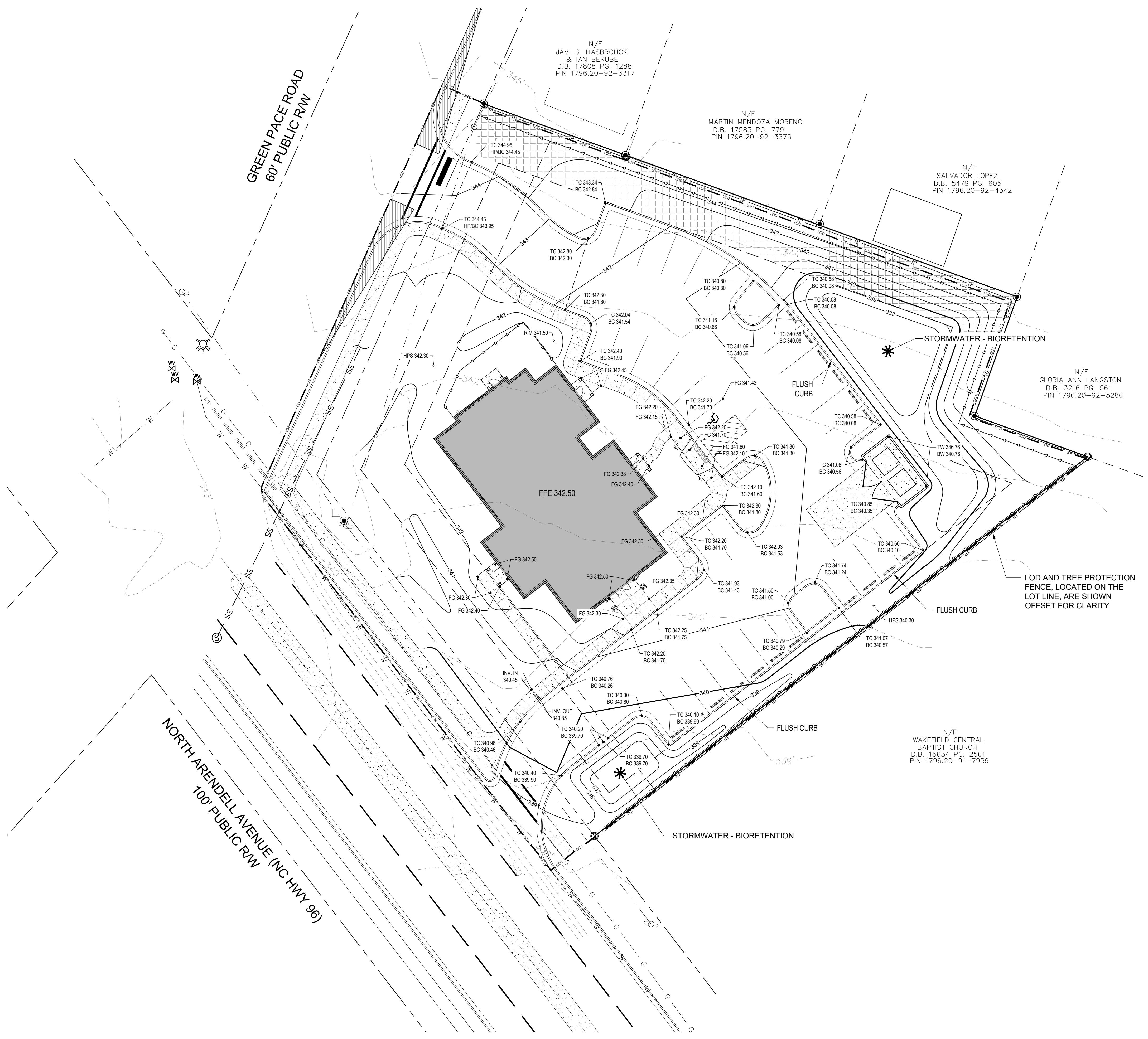
SHEET NUMBER:
L200

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

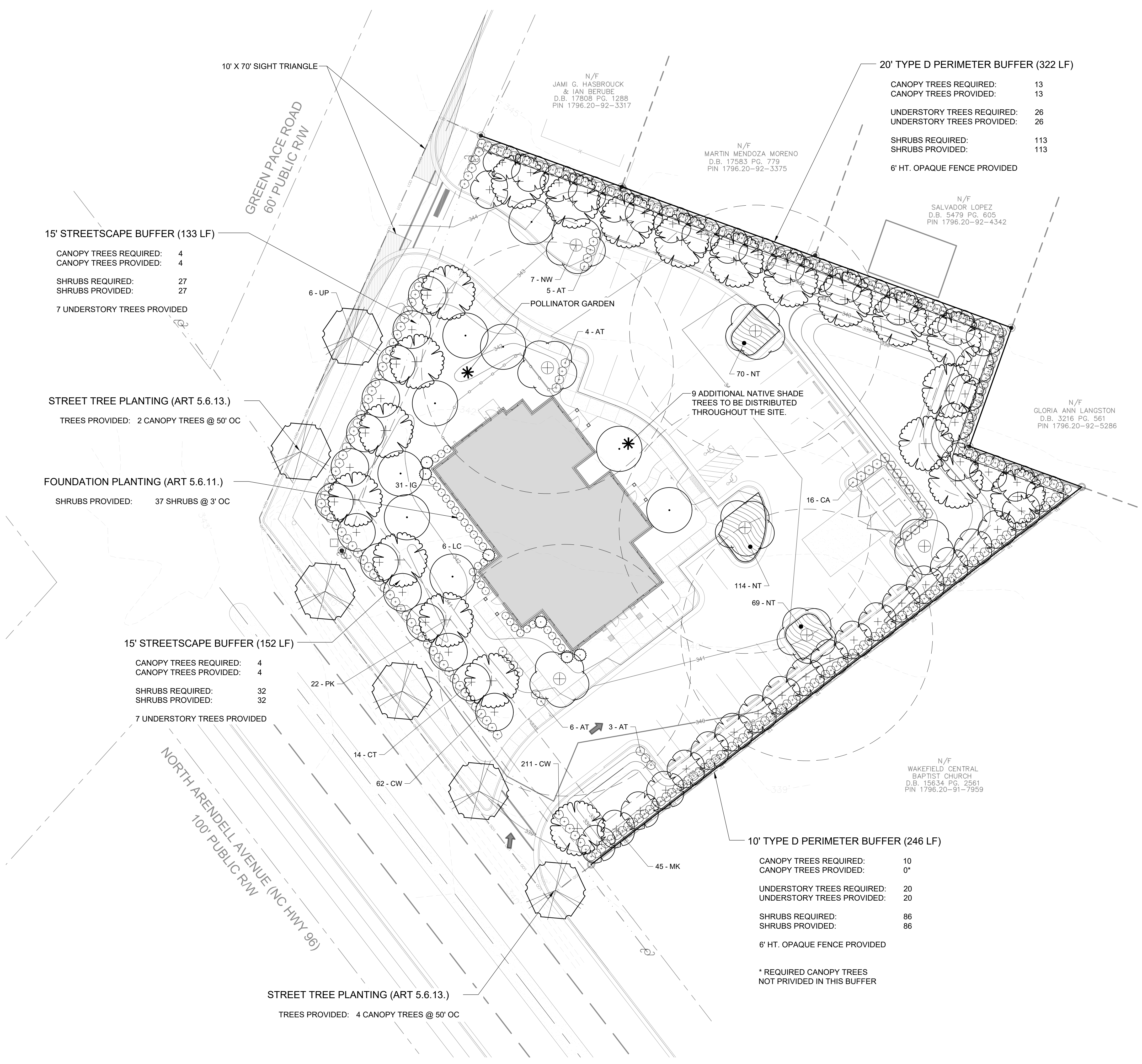
| GRADING LEGEND | |
|----------------|-----------------------|
| KEY | DESCRIPTION |
| FG | FINISH GRADE |
| MG | MEET EXISTING GRADE |
| HP | HIGH POINT |
| HPS | HIGH POINT OF SWALE |
| LP | LOW POINT |
| BS | BOTTOM OF STAIRS |
| TS | TOP OF STAIRS |
| BR | BOTTOM OF RAMP |
| TR | TOP OF RAMP |
| BC | BOTTOM OF CURB |
| TC | TOP OF CURB |
| BW | BOTTOM OF WALL |
| TW | TOP OF WALL |
| ←←←← | ACCESSIBLE ROUTE |
| — TP — | TREE PROTECTION FENCE |
| — LOD — | LIMITS OF DISTURBANCE |

NOTE:
ROADWAY GRADING WILL BE COORDINATED DURING SITE PLAN APPROVAL.



PLANT SCHEDULE

| TREES | CODE | BOTANICAL NAME | COMMON NAME |
|---------------|------|---|---------------------------------------|
| | CT | <i>Cercis canadensis</i> 'NC2016-2' | Flame Thrower® Eastern Redbud |
| | MK | <i>Magnolia grandiflora</i> 'Kay Parris' | Kay Parris Southern Magnolia |
| | NW | <i>Nyssa sylvatica</i> 'Wildfire' | Black Gum |
| | PK | <i>Pistacia chinensis</i> 'Keith Davey' | Keith Davey Chinese Pistache |
| | UP | <i>Ulmus parvifolia</i> | Lacebark Elm |
| SHRUBS | CODE | BOTANICAL NAME | COMMON NAME |
| | AT | <i>Azalea encore</i> 'Autumn Sundance' TM | 'Autumn Sundance' Encore Azalea |
| | CA | <i>Camellia sasanqua</i> 'Autumn Rocket' | Autumn Rocket Camellia |
| | CW | <i>Camellia sasanqua</i> 'Green 02-004' | October Magic® White Shi-Shi Camellia |
| | IG | <i>Ilex glabra</i> 'Shamrock' | Shamrock Holly |
| | LC | <i>Loropetalum chinense</i> 'Fire Dance' | Fire Dance Loropetalum |
| GROUND COVERS | CODE | BOTANICAL NAME | COMMON NAME |
| | NT | <i>Nassella tenuissima</i> | Mexican Feather Grass |



20' TYPE D PERIMETER BUFFER (322 LF)
CANOPY TREES REQUIRED: 13
CANOPY TREES PROVIDED: 13
UNDERSTORY TREES REQUIRED: 26
UNDERSTORY TREES PROVIDED: 26
SHRUBS REQUIRED: 113
SHRUBS PROVIDED: 113
6' HT. OPAQUE FENCE PROVIDED

15' STREETSCAPE BUFFER (133 LF)
CANOPY TREES REQUIRED: 4
CANOPY TREES PROVIDED: 4
SHRUBS REQUIRED: 27
SHRUBS PROVIDED: 27
7 UNDERSTORY TREES PROVIDED

STREET TREE PLANTING (ART 5.6.13.)
TREES PROVIDED: 2 CANOPY TREES @ 50' OC

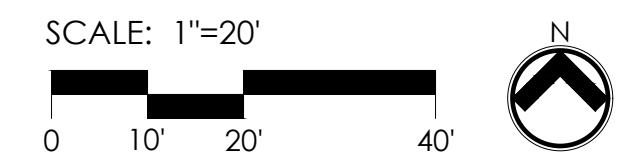
FOUNDATION PLANTING (ART 5.6.11.)
SHRUBS PROVIDED: 37 SHRUBS @ 3' OC

15' STREETSCAPE BUFFER (152 LF)
CANOPY TREES REQUIRED: 4
CANOPY TREES PROVIDED: 4
SHRUBS REQUIRED: 32
SHRUBS PROVIDED: 32
7 UNDERSTORY TREES PROVIDED

10' TYPE D PERIMETER BUFFER (246 LF)
CANOPY TREES REQUIRED: 10
CANOPY TREES PROVIDED: 0*
UNDERSTORY TREES REQUIRED: 20
UNDERSTORY TREES PROVIDED: 20
SHRUBS REQUIRED: 86
SHRUBS PROVIDED: 86
6' HT. OPAQUE FENCE PROVIDED

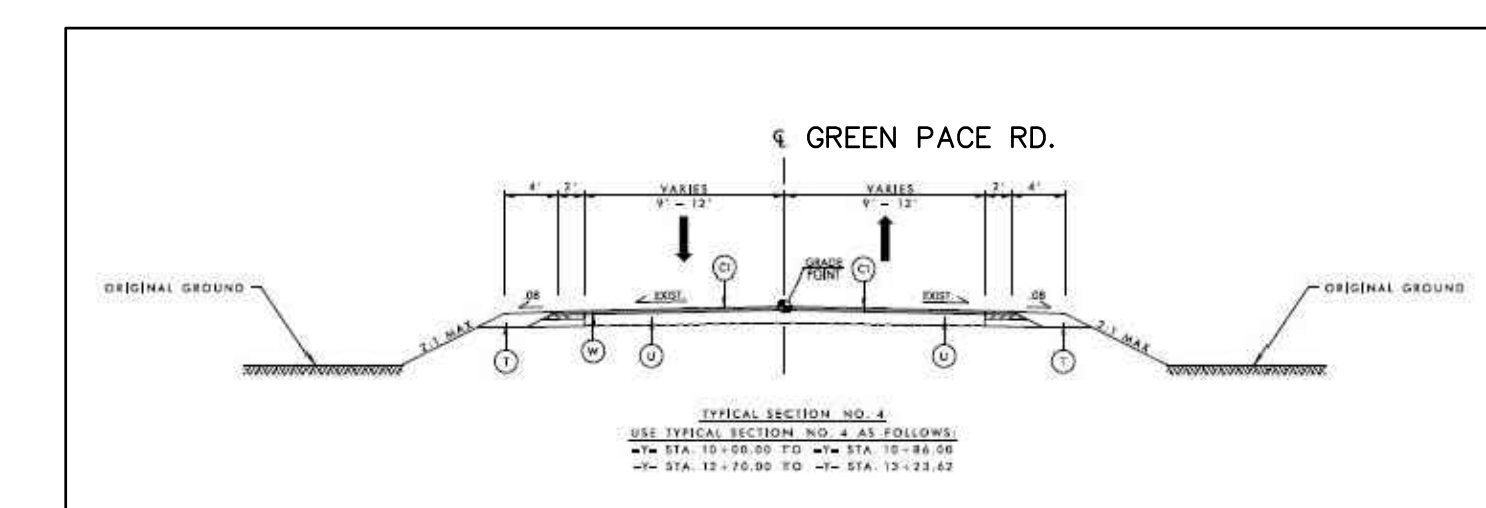
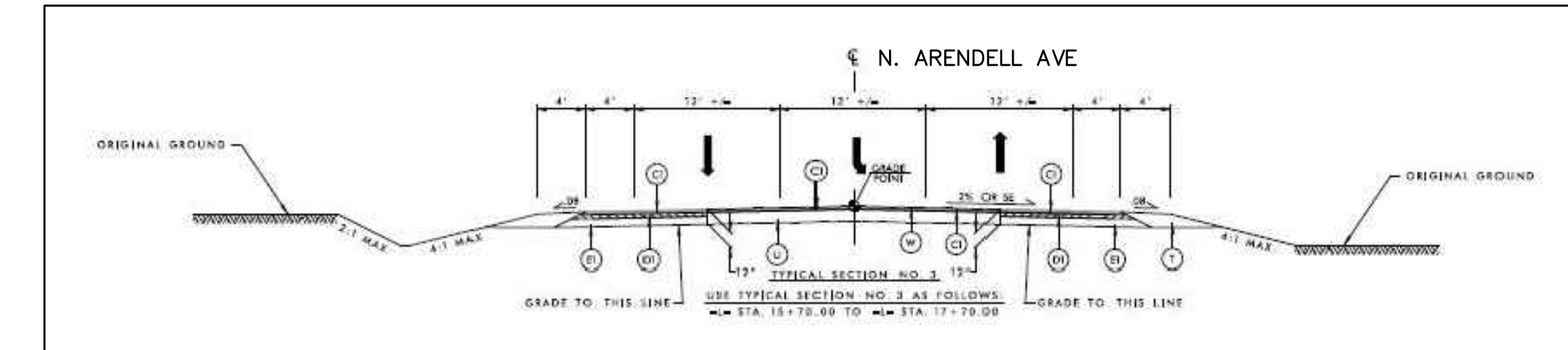
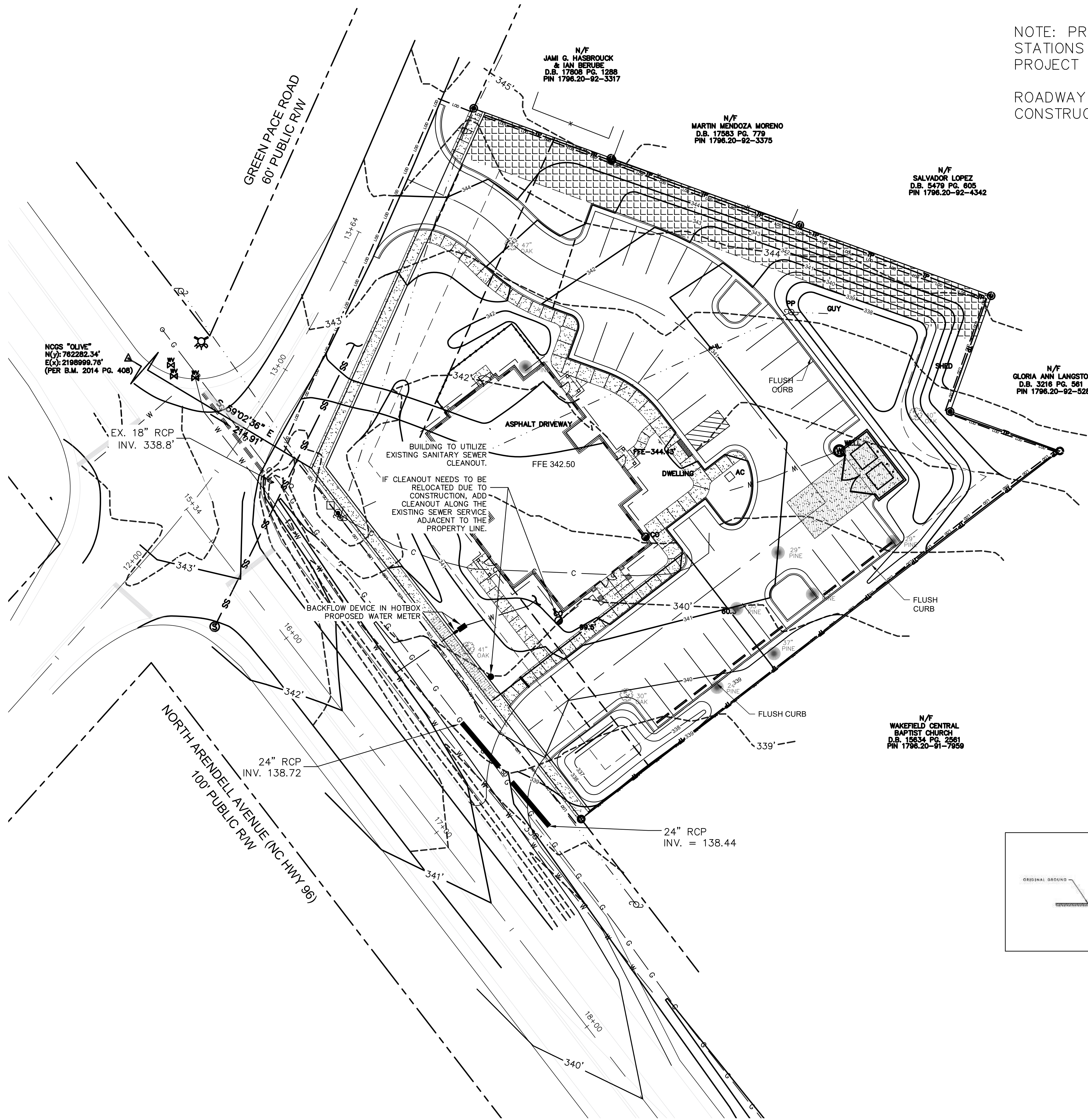
STREET TREE PLANTING (ART 5.6.13.)
TREES PROVIDED: 4 CANOPY TREES @ 50' OC

* REQUIRED CANOPY TREES NOT PROVIDED IN THIS BUFFER



NOTE: PROPOSED ROADWAY SECTIONS, ELEVATIONS, AND STATIONS DESIGNED BY VOLKERT INC. FOR STATE PROJECT NUMBER: 1086100.160.

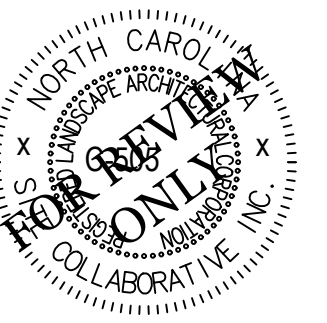
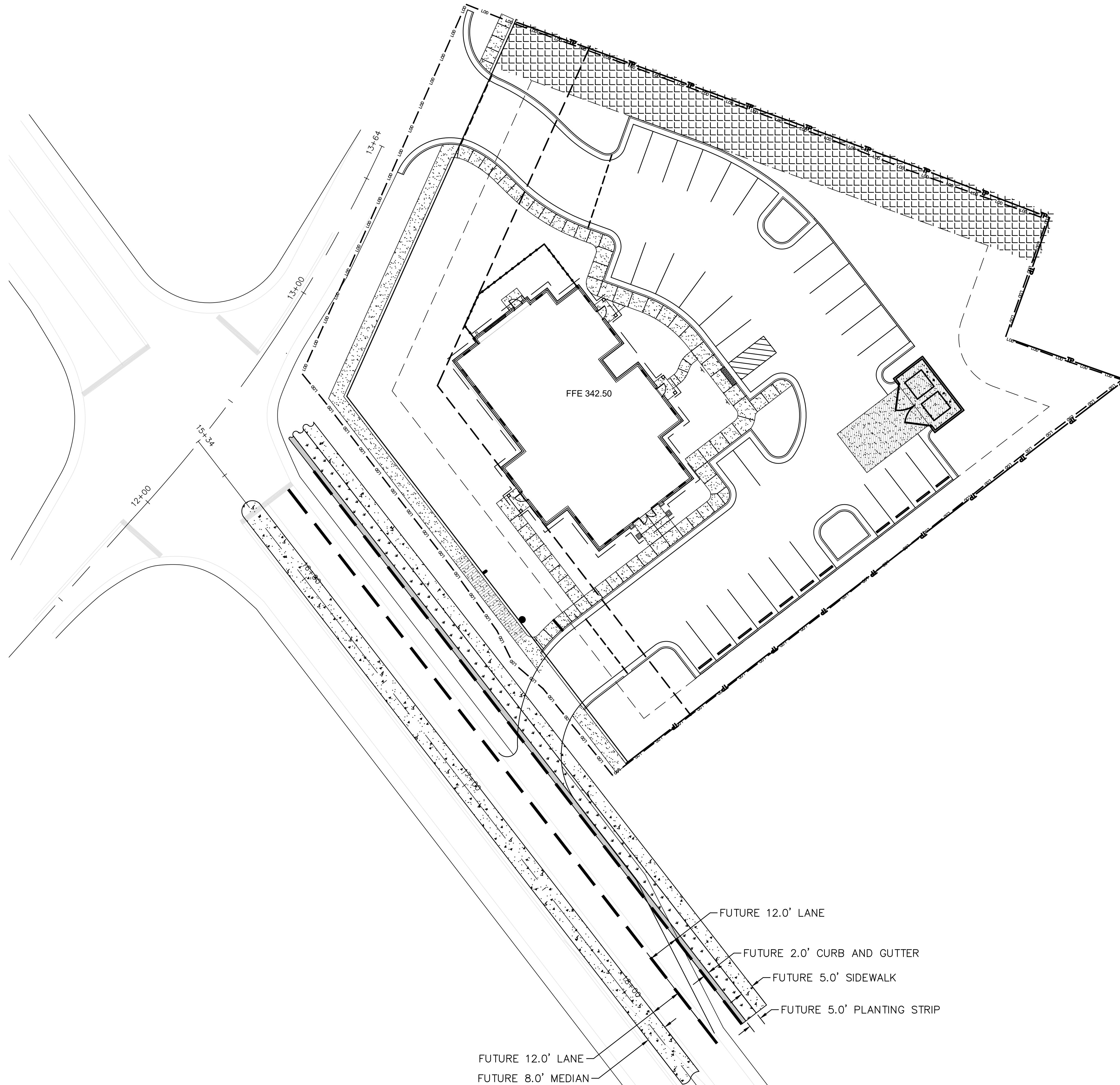
ROADWAY AND INTERSECTION IMPROVEMENTS TO BE CONSTRUCTED BY OTHERS.



ZEBULON ANIMAL HOSPITAL
 DVM SERVICES REALTY, LLC

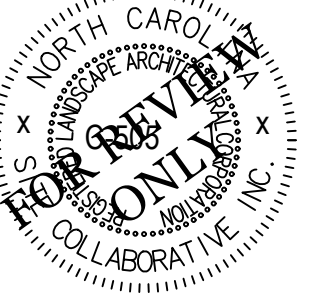
| | |
|-----------------|--------------|
| PROJECT NUMBER: | |
| PROJECT PHASE: | |
| DATE: | 08.01.2023 |
| SHEET TITLE: | UTILITY PLAN |
| SHEET NUMBER: | UP1 |

ROADWAY PLAN SHOWS THE TOWN OF ZEBULON MASTER PLAN, IN TWO DIMENSIONS ONLY FOR A STANDARD CROSS SECTION. THIS PLAN IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.



ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC

| |
|-------------------------------------|
| PROJECT NUMBER: |
| PROJECT PHASE: |
| DATE: 08.01.2023 |
| SHEET TITLE: FUTURE ROADWAY PLAN |
| SHEET NUMBER: FR1 |



ZEBULON ANIMAL HOSPITAL
DVM SERVICES REALTY, LLC

PROJECT NUMBER:

PROJECT PHASE:

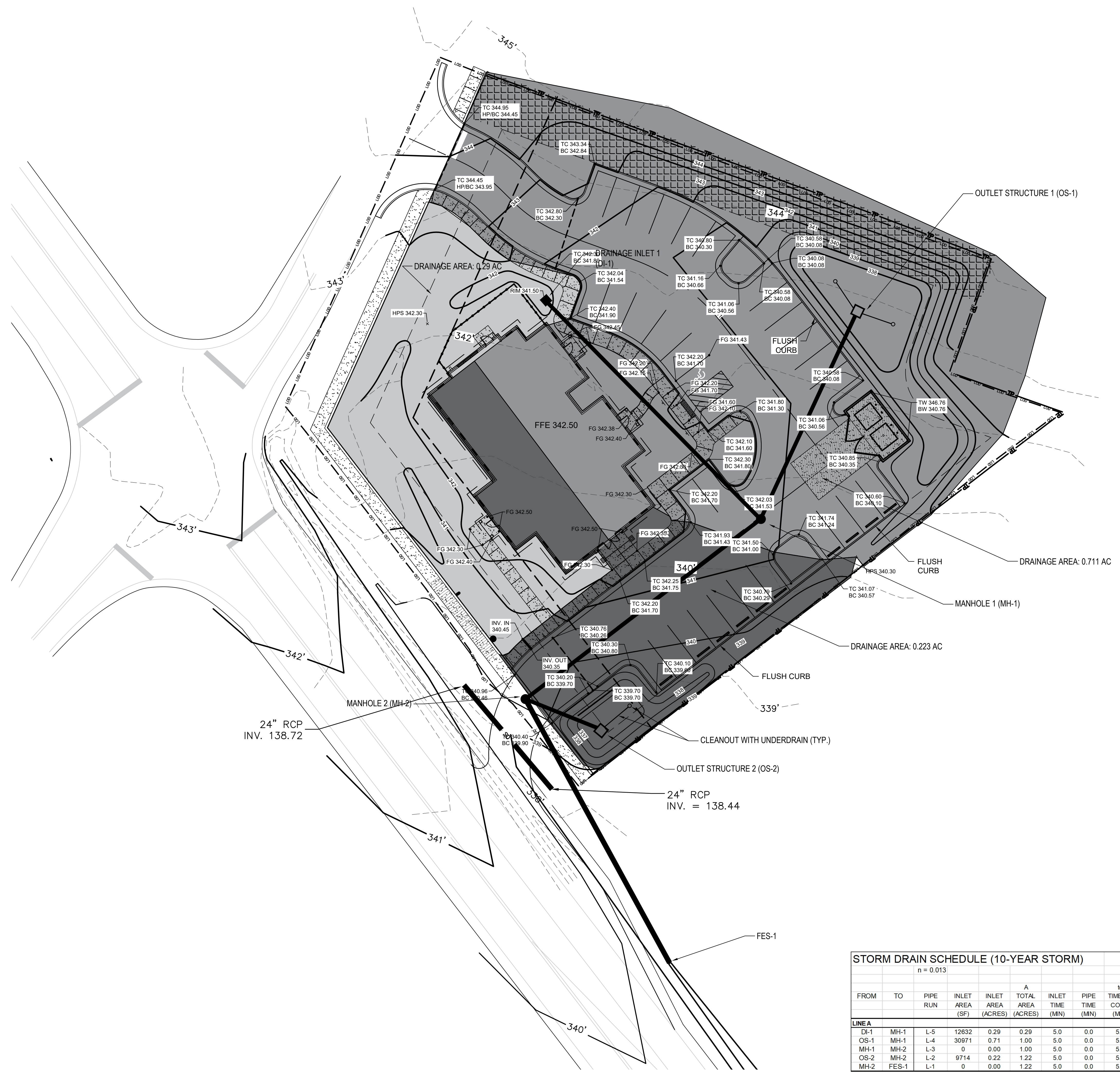
DATE: 08.01.2023

SHEET TITLE:

DRAINAGE AREAS

SHEET NUMBER:

DA1



STORM DRAIN SCHEDULE (10-YEAR STORM)
n = 0.013

| FROM | TO | PIPE RUN | INLET AREA (SF) | INLET AREA (ACRES) | TOTAL AREA (ACRES) | INLET TIME (MN) | PIPE TIME (MN) | TIME OF CONC (MN) | I (IN/HR) | Cc | Cc | Q10 (CFS) | SLOPE (FT/FT) | Dtheo (INCHES) | SIZE (INCHES) | Vu/ll (FT/SEC) | Qv/ll (CFS) | LENGTH (FT) | SEGMENT TIME (MN) | UPPER INVERT | LOWER INVERT |
|------|-------|----------|-----------------|--------------------|--------------------|-----------------|----------------|-------------------|-----------|------|------|-----------|---------------|----------------|---------------|----------------|-------------|-------------|-------------------|--------------|--------------|
| DI-1 | MH-1 | L-5 | 12632 | 0.29 | 0.29 | 5.0 | 0.0 | 5.0 | 7.20 | 0.90 | 0.90 | 1.9 | 0.0025 | 12.2 | 18 | 3.0 | 5.3 | 125.0 | 0.7 | 338.67 | 338.36 |
| OS-1 | MH-1 | L-4 | 30971 | 0.71 | 1.00 | 5.0 | 0.0 | 5.0 | 7.20 | 0.90 | 0.90 | 6.5 | 0.0025 | 19.5 | 24 | 3.6 | 11.3 | 91.0 | 0.4 | 338.59 | 338.36 |
| MH-1 | MH-2 | L-3 | 0 | 0.00 | 1.00 | 5.0 | 0.0 | 5.0 | 7.20 | 0.90 | 0.90 | 6.5 | 0.0015 | 21.4 | 24 | 2.8 | 8.8 | 120.0 | 0.7 | 338.36 | 338.18 |
| OS-2 | MH-2 | L-2 | 9714 | 0.22 | 1.22 | 5.0 | 0.0 | 5.0 | 7.49 | 0.90 | 0.90 | 8.3 | 0.0015 | 23.4 | 24 | 2.8 | 8.8 | 31.3 | 0.2 | 338.23 | 338.18 |
| MH-2 | FES-1 | L-1 | 0 | 0.00 | 1.22 | 5.0 | 0.0 | 5.0 | 7.49 | 0.90 | 0.90 | 8.3 | 0.0015 | 23.4 | 24 | 2.8 | 8.8 | 121.5 | 0.7 | 338.18 | 338.00 |



N. ARENDELL AVE ELEVATION



GREEN PACE ROAD ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION