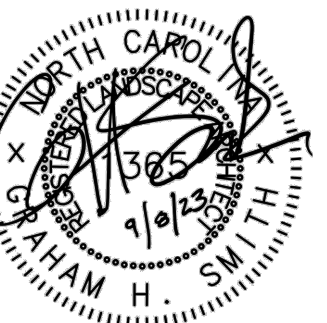
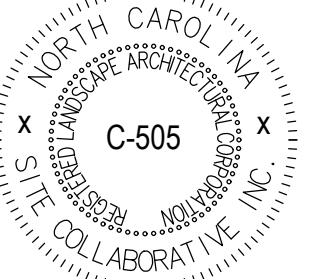


# ZEBULON ANIMAL HOSPITAL

## CONDITIONAL ZONING PLAN



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**ZEBULON ANIMAL HOSPITAL**  
**DVM SERVICES REALTY, LLC**  
**1620 N. ARENDELL AVE., ZEBULON, NC**

PROJECT NUMBER:  
22091

PROJECT PHASE:  
CONDITIONAL ZONING PLAN

DATE: 06.01.2023  
REVISED 08.01.2023  
REVISED 09.08.2023

SHEET TITLE:  
COVER

SHEET NUMBER:

L000

1620 N. ARENDELL AVE.  
ZEBULON, NC

DATE: JUNE 1, 2023  
REVISED: AUGUST 1, 2023

REVISED: SEPTEMBER 8, 2023

### CONTACT INFORMATION

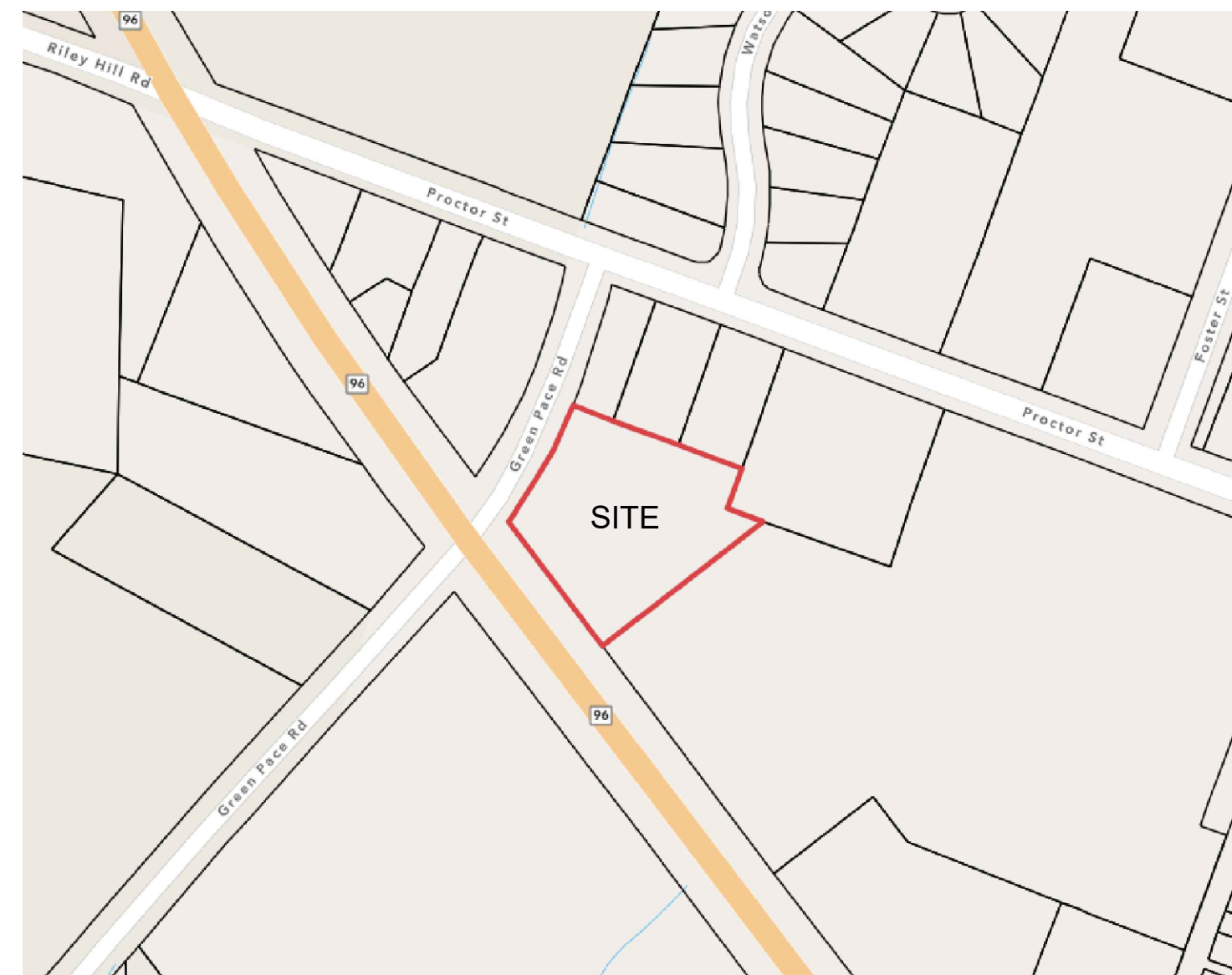
APPLICANT  
**DVM SERVICES REALTY, LLC**  
 325 NASH STREET E  
 WILSON, NC 27893  
 CONTACT: BRIAN WOOD  
 PHONE: 252.237.1375  
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OWNER  
**JULIA M. HICKS**  
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 ZEBULON, NC 27597  
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LANDSCAPE ARCHITECT  
**SITE COLLABORATIVE, INC.**  
 821 WAKE FOREST RD  
 RALEIGH, NC 27604  
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 PHONE: 919.805.3586  
 EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ARCHITECT  
**CLINE DESIGN**  
 125 N. HARRINGTON ST  
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 CONTACT: KELLY SYNNOTT  
 PHONE: 919.833.6413  
 EMAIL: KELLYS@CLINEDESIGNASSOC.COM

CIVIL ENGINEER  
**BARTLETT ENGINEERING & SURVEYING, PC**  
 1906 NASH STREET NORTH  
 WILSON, NC 27893  
 CONTACT: ROBERT BARTLETT  
 PHONE: 252.399.0704  
 EMAIL: ROBERT@BARTLETTENG.COM



VICINITY MAP



SHEET INDEX	
L000	COVER
L100	EXISTING CONDITIONS
L200	SITE PLAN
L300	GRADING PLAN
L400	PLANTING PLAN
UP1	UTILITY PLAN
DA1	DRAINAGE AREAS
SW1	STORMWATER PLAN
A1.1	N ARENDELL AVE. ELEVATION
A1.2	GREEN PACE ROAD ELEVATION
A1.3	NORTHEAST ELEVATION
A1.4	SOUTHEAST ELEVATION

### UTILITY ALLOCATION POLICY COMPLIANCE

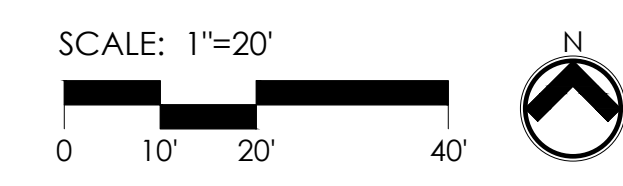
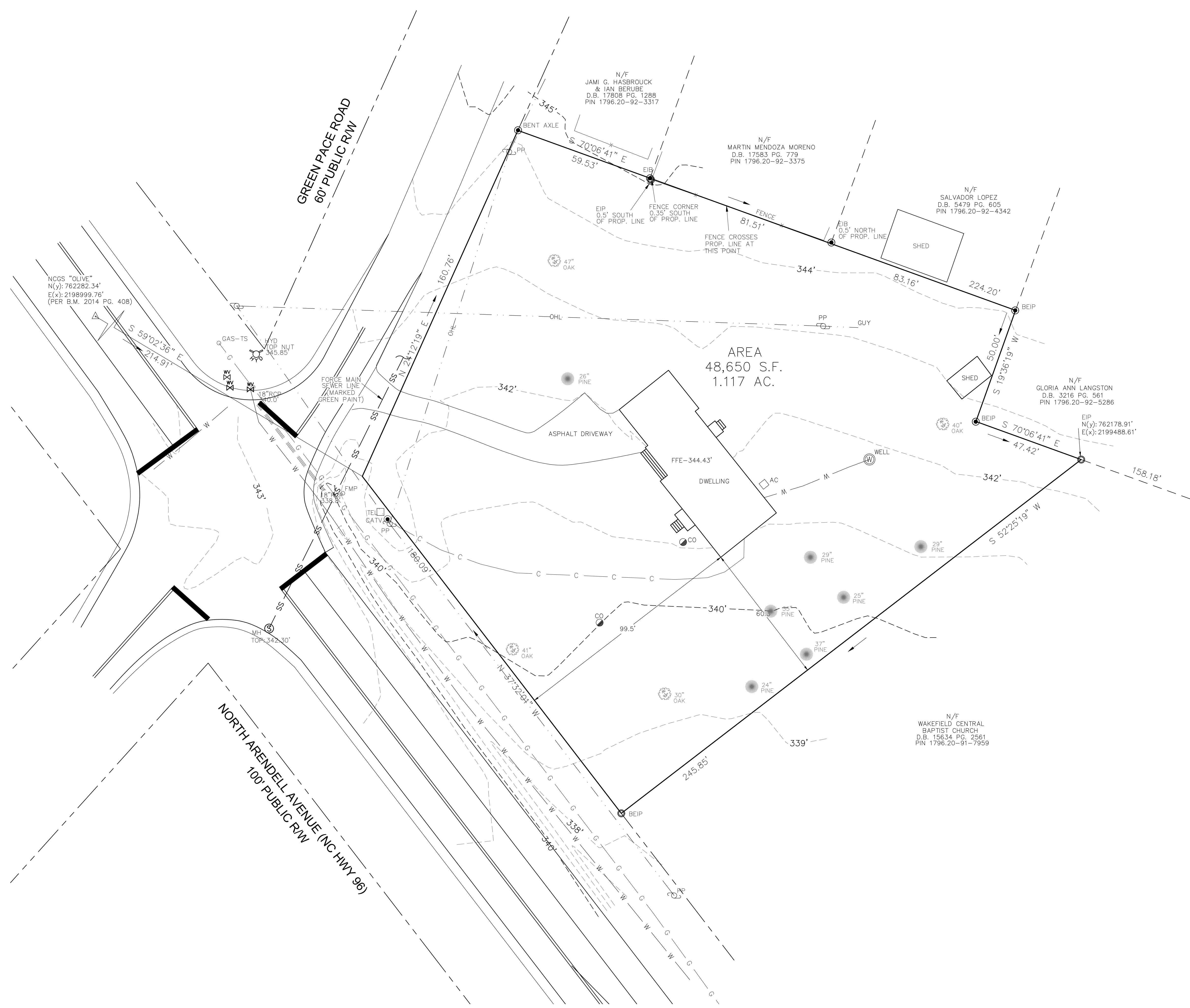
- BASE POINTS:  
SINGLE USE OFFICE - 30 POINTS
- BONUS POINTS:  
CATEGORY 1 - NON-CONFORMITY ABATEMENT AND PUBLIC INFRASTRUCTURE IMPROVEMENTS (0)
- CATEGORY 2 - GREEN DEVELOPMENT STANDARDS/BUILDING AND SITE DESIGN (10)
- SECTION 2B - PARKING
  - EV CHARGING STATION (TWO PORT) - 5 POINTS (SEE SHEET L200)
  - SECTION 2C - STORMWATER SCMS (MAX 10)
    - BIORETENTION - 5 POINTS. (SEE SHEET L300)
- CATEGORY 3 - OUTDOOR ENHANCEMENT (12)
- SECTION 3A - OUTDOOR ENHANCEMENT (MAX 12)
    - PLANTING POLLINATOR GARDEN - 3 POINTS (SEE SHEET L400)
    - INSTALLATION OF NATIVE SHADE TREE SPECIES - 9 POINTS (SEE SHEET L400)
- CATEGORY 4 - AMENITIES (8)
- SECTION 4G - ADDITIONAL URBAN OPEN SPACE ENHANCEMENTS (WITHIN NON-RESIDENTIAL ZONING DISTRICTS) - MAX 10 POINTS
    - FOUNTAIN (DECORATIVE) - 2 POINTS (SEE SHEET L200)
    - CANOPY INCLUDING FIXED PERMANENT SEATING - 2 POINTS (SEE SHEET L200)
    - DRINKING FOUNTAIN WITH PET FOUNTAIN - 2 POINTS (SEE SHEET L200)
    - LITTLE FREE LIBRARY - 1 POINT (SEE SHEET L200)
    - ALL WEATHER BULLETIN BOARD - 1 POINT (SEE SHEET L200)
- CATEGORY 5 - AFFORDABLE HOUSING - MAX 10 POINTS (0)
- CATEGORY 6 - OTHER - MAX 5 POINTS (0)

POINT SUMMARY:

BASE	30 POINTS
CATEGORY 1	0 POINTS
CATEGORY 2	10 POINTS
CATEGORY 3	12 POINTS
CATEGORY 4	8 POINTS
CATEGORY 5	0 POINTS
CATEGORY 6	0 POINTS
<b>TOTAL</b>	<b>60 POINTS</b>

HEAVY COMMERCIAL (HC) DISTRICT DIMENSIONAL STANDARDS FOR NON-RESIDENTIAL DEVELOPMENT		
STANDARD	REQUIRED	PROVIDED
MINIMUM LOT AREA (SQUARE FEET)	6,000	48,650 (GROSS)
MINIMUM LOT WIDTH (LINEAR FEET)	50	193
MINIMUM STREET SETBACK (FEET)	30	30
MINIMUM SIDE SETBACK (FEET)	0, 5 IF PROVIDED	
MINIMUM REAR SETBACK (FEET)	0 IF ABUTTED BY AN ALLEY; OTHERWISE 25	25
MAXIMUM BUILDING HEIGHT (FEET)	50; HEIGHT MAY INCREASE BY 2 FEET FOR EACH ADDITIONAL FOOT OF SETBACK UP TO 100 FEET IN HEIGHT	
MINIMUM SPACING BETWEEN PRINCIPAL BUILDINGS ON THE SAME LOT (FEET)	25	N/A

SITE DATA SUMMARY	
<b>EXISTING DATA</b>	
PROJECT NAME	ZEBULON ANIMAL HOSPITAL
STREET ADDRESS	1620 N. ARENDELL AVE., ZEBULON, NC
ZONING	R2
PIN	1796922199
REAL ID NUMBER	0030585
DEED BOOK / DEED PAGE	DB 2050, PG 630
LAND USE	SINGLE FAMILY RESIDENTIAL
LOT AREA	1.12 AC (48,650 SF)
<b>PROPOSED DATA</b>	
ZONING	HEAVY COMMERCIAL CONDITIONAL (HC-C)
PROPOSED USE	VETERINARY CLINIC
R/W DEDICATION	N/A
NET LOT AREA	1.12 AC (48,650 SF)
OPEN SPACE SET-ASIDE REQUIRED	1,409 SF (3% OF SITE)
OPEN SPACE SET-ASIDE PROVIDED	4,400 SF (9.4% OF SITE)
<b>PARKING SUMMARY</b>	
PARKING REQUIRED (4 PER DOCTOR)	12 OR 16 SPACES (3 OR 4 DOCTORS)
PARKING PROVIDED	32 SPACES (INCLUDING 2 ADA SPACES)
<b>LOT COVERAGE</b>	
EXISTING LOT COVERAGE	4,010 SF
LOT COVERAGE PROPOSED	24,939 SF (0.57 AC) (51%)
LOT COVERAGE ALLOWED	80% OF LOT AREA
CALCULATED LOT COVERAGE ALLOWED	0.8 X 48,650 SF = 38,920 SF (0.89 AC)
NET CHANGE IN LOT COVERAGE	+ 20,929 SF (0.48 AC)



BASEMAP INFORMATION DATED MARCH 22, 2023  
 TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED  
 BY CMP PROFESSIONAL LAND SURVEYORS,  
 WAKE FOREST, NC

**ZEBULON ANIMAL HOSPITAL**  
**DVM SERVICES REALTY, LLC**  
**1620 N. ARENDELL AVE., ZEBULON, NC**

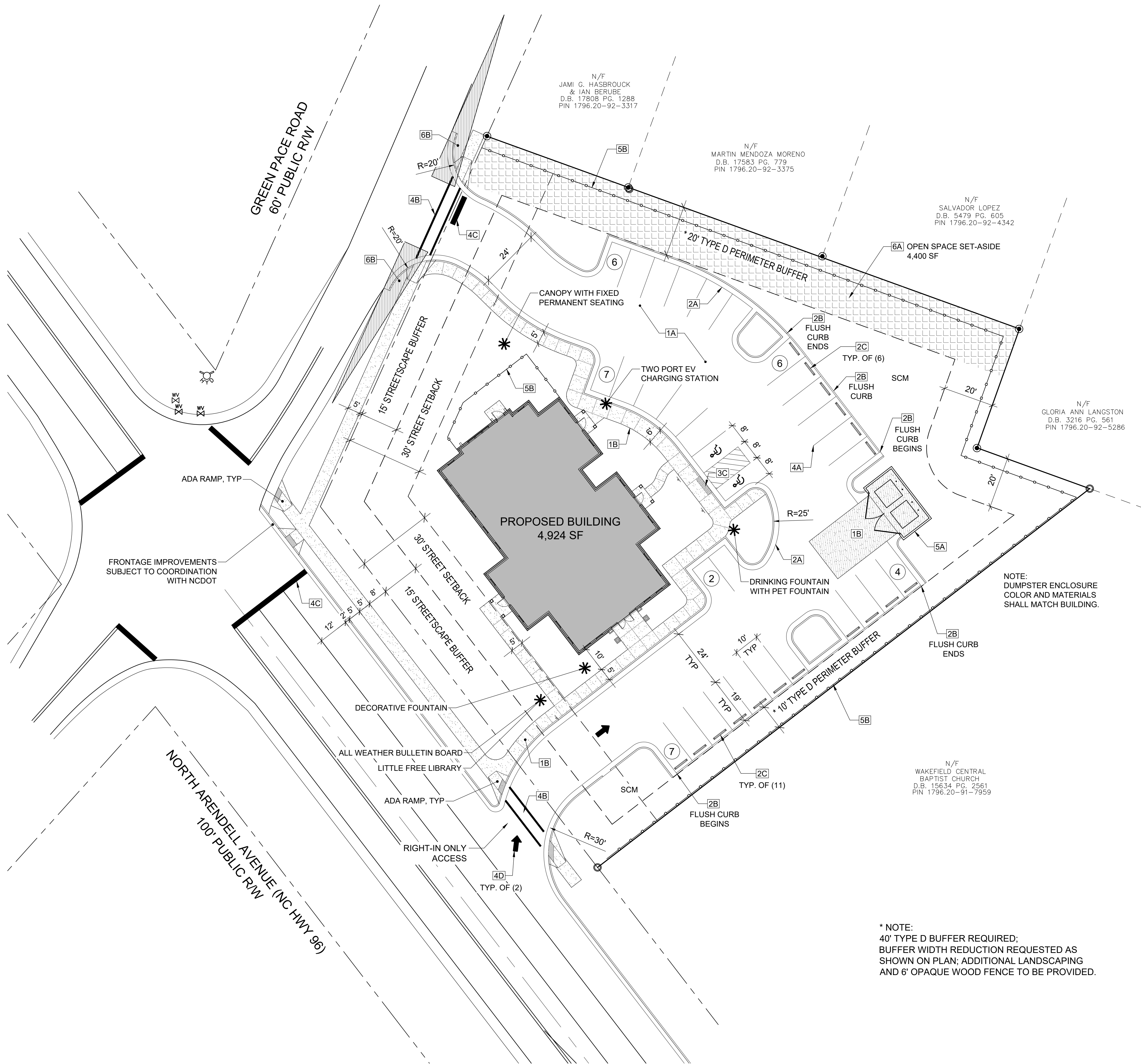
PROJECT NUMBER:  
 22091

PROJECT PHASE:  
 CONDITIONAL  
 ZONING PLAN

DATE: 06.01.2023  
 REVISED 08.01.2023  
 REVISED 09.08.2023

SHEET TITLE:  
 EXISTING  
 CONDITONS

SHEET NUMBER:  
 L100



**GENERAL SITE NOTES**

- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- ALL DIMENSIONS ARE TO BOTTOM OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3'-0" AT BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR. THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- THIS SITE SHALL BE FULLY COMPLIANT WITH THE CURRENT EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 AND CHAPTER 11 OF THE NBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR LANDSCAPE ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.

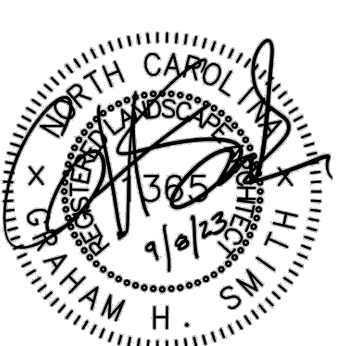
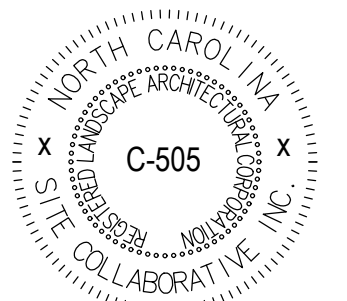
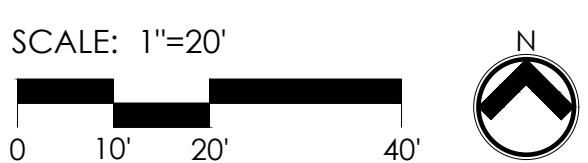
**HARDSCAPE LEGEND**

SYMBOL	PROPOSED SITE ITEM
[Symbol]	1A ASPHALT PAVING
[Symbol]	1B C.I.P. CONCRETE PAVING
[Symbol]	2A 30" CONCRETE CURB & GUTTER
[Symbol]	2B 6" WIDE FLUSH CONCRETE CURB
[Symbol]	2C CONCRETE WHEELSTOP
[Symbol]	2D "DO NOT ENTER - WRONG WAY" SIGN
[Symbol]	3A ADA PARKING
[Symbol]	3B ADA PARKING SIGN
[Symbol]	3C ADA DETECTABLE WARNING SURFACE
[Symbol]	3D ADA RAMP
[Symbol]	4A 4" THERMOPLASTIC PARKING STRIPE
[Symbol]	4B CROSSWALK
[Symbol]	4C STOP BAR
[Symbol]	4D DIRECTIONAL ARROW
[Symbol]	5A DUMPSTER ENCLOSURE WITH GATE
[Symbol]	5B 6' HT. OPAQUE FENCE
[Symbol]	6A OPEN SPACE SET-ASIDE
[Symbol]	6B 10'x70' SIGHT TRIANGLE

**LAYOUT LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	ALIGN
[Symbol]	DIMENSION (PRECISION TO 1/4")
[Symbol]	ARC DIMENSION (PRECISION TO 1/4")
[Symbol]	TYP TYPICAL
[Symbol]	CENTERLINE
[Symbol]	MIRROR
[Symbol]	DIAMETER
[Symbol]	RADIUS

\* NOTE:  
40' TYPE D BUFFER REQUIRED;  
BUFFER WIDTH REDUCTION REQUESTED AS SHOWN ON PLAN; ADDITIONAL LANDSCAPING AND 6' OPAQUE WOOD FENCE TO BE PROVIDED.



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**DVM SERVICES REALTY, LLC**  
**1620 N. ARENDELL AVE., ZEBULON, NC**

PROJECT NUMBER:  
22091

PROJECT PHASE:  
CONDITIONAL ZONING PLAN

DATE: 06.01.2023  
REVISED 08.01.2023  
REVISED 09.08.2023

SHEET TITLE:  
SITE PLAN

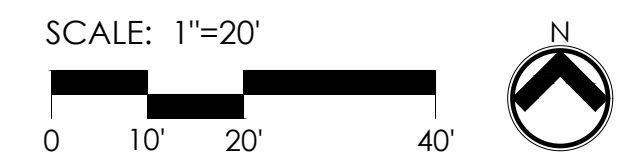
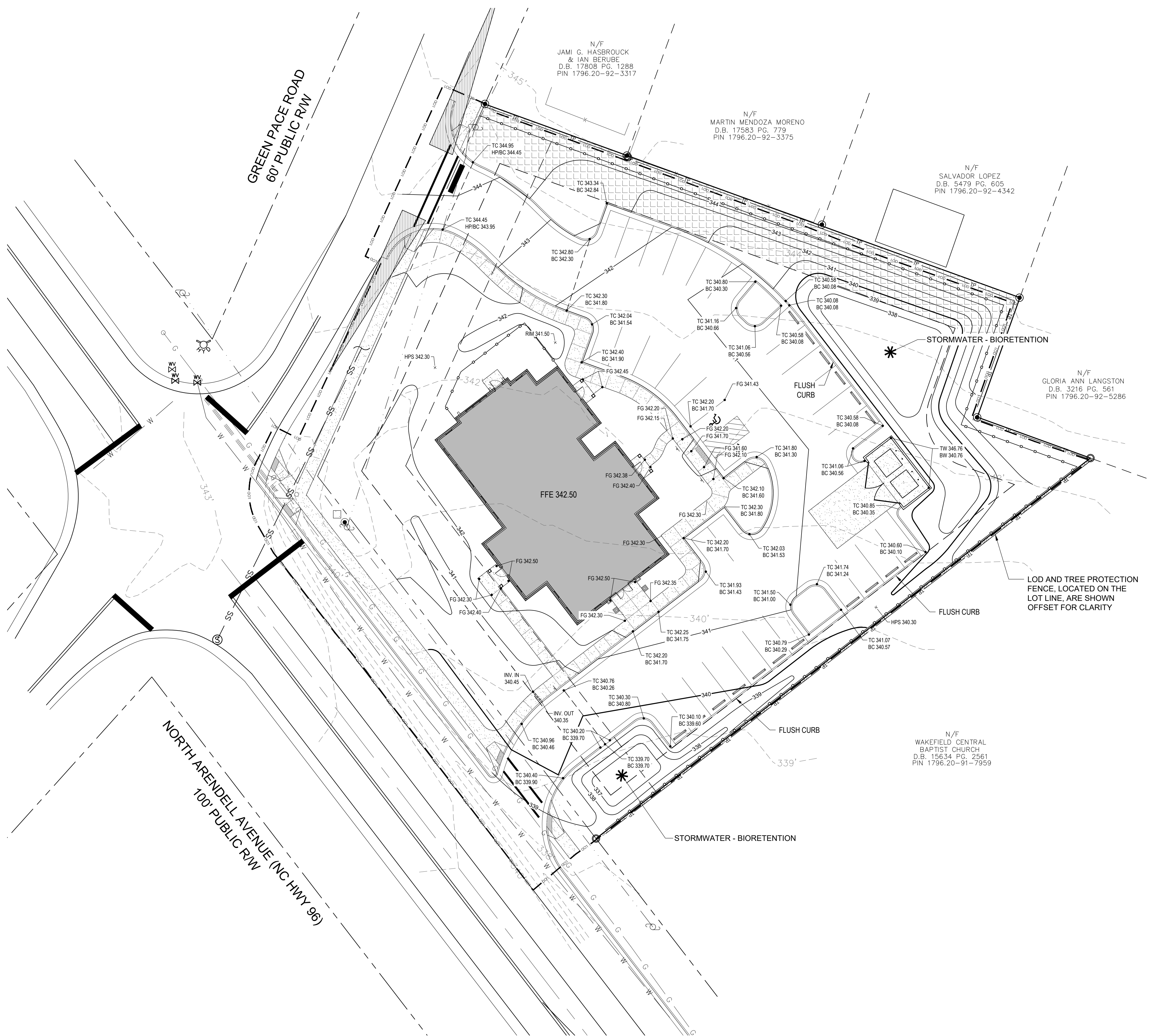
SHEET NUMBER:  
L200

**GRADING NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

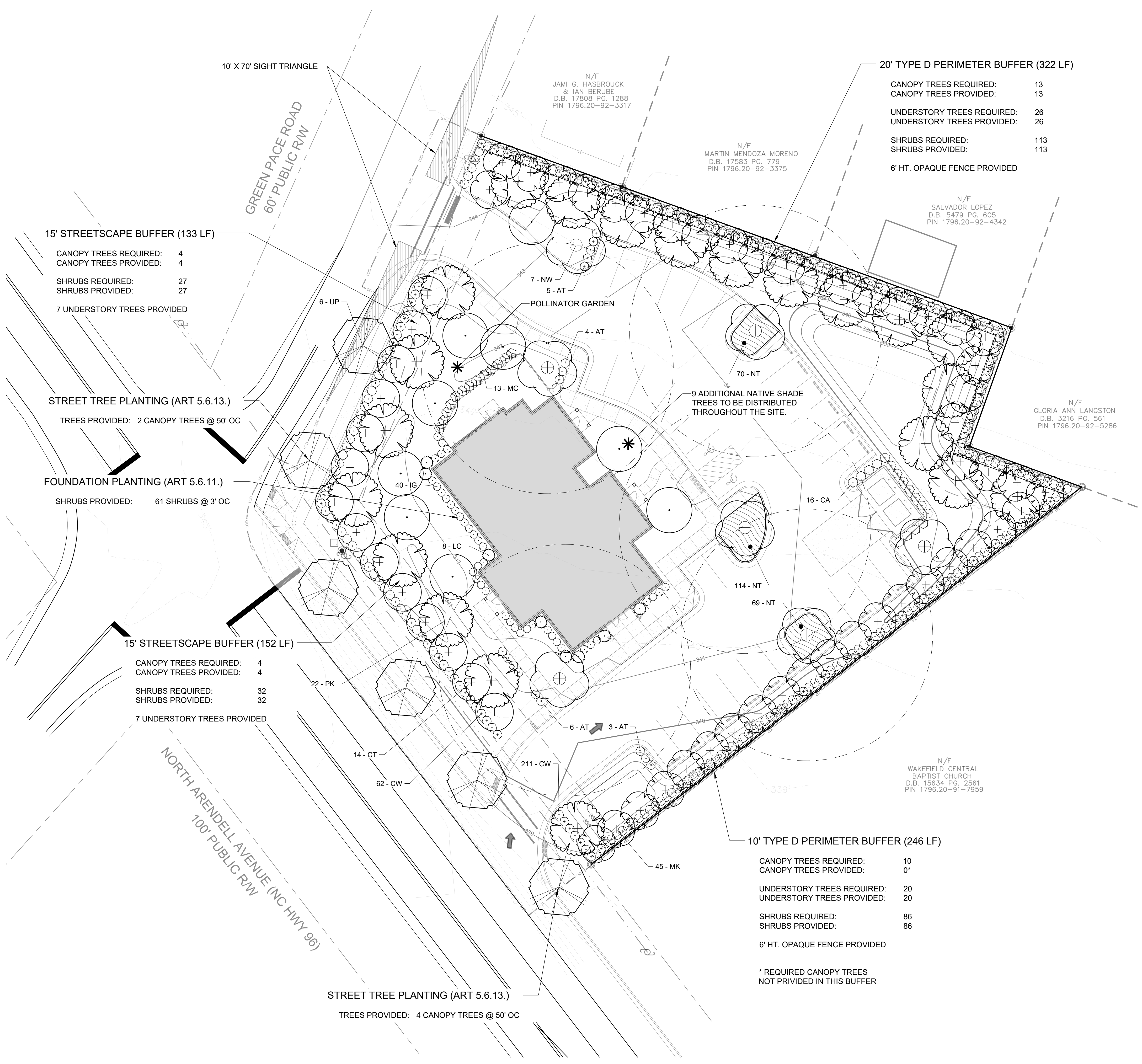
GRADING LEGEND	
KEY	DESCRIPTION
FG	FINISH GRADE
MG	MEET EXISTING GRADE
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
LP	LOW POINT
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
←←←←	ACCESSIBLE ROUTE
— TP —	TREE PROTECTION FENCE
— LOD —	LIMITS OF DISTURBANCE

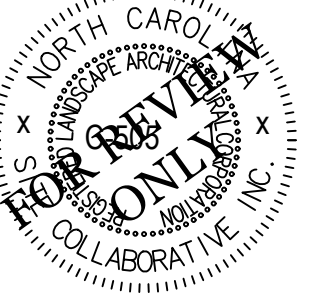
NOTE:  
ROADWAY GRADING WILL BE COORDINATED DURING SITE PLAN APPROVAL.



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME
	CT	<i>Cercis canadensis</i> 'NC2016-2'	Flame Thrower® Eastern Redbud
	MK	<i>Magnolia grandiflora</i> 'Kay Parris'	Kay Parris Southern Magnolia
	NW	<i>Nyssa sylvatica</i> 'Wildfire'	Black Gum
	PK	<i>Pistacia chinensis</i> 'Keith Davey'	Keith Davey Chinese Pistache
	UP	<i>Ulmus parvifolia</i>	Lacebark Elm
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	AT	<i>Azalea encore</i> 'Autumn Sundance'™	'Autumn Sundance' Encore Azalea
	CA	<i>Camellia sasanqua</i> 'Autumn Rocket'	Autumn Rocket Camellia
	CW	<i>Camellia sasanqua</i> 'Green 02-004'	October Magic® White Shi-Shi Camellia
	IG	<i>Ilex glabra</i> 'Shamrock'	Shamrock Holly
	MC	<i>Myrica cerifera</i>	Wax Myrtle
	LC	<i>Loropetalum chinense</i> 'Fire Dance'	Fire Dance Loropetalum
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	NT	<i>Nassella tenuissima</i>	Mexican Feather Grass





ROADWAY SECTIONS, ELEVATIONS, AND STATIONS FOR THE ROADWAY EXISTING CONDITIONS DESIGNED BY VOLKERT INC. FOR STATE PROJECT NUMBER: 1086100.160.

ROADWAY AND INTERSECTION IMPROVEMENTS TO BE CONSTRUCTED BY OTHERS.

EXISTING WELL TO NOT BE CONNECTED TO BUILDING. WELL CAN BE USED FOR IRRIGATION.

IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

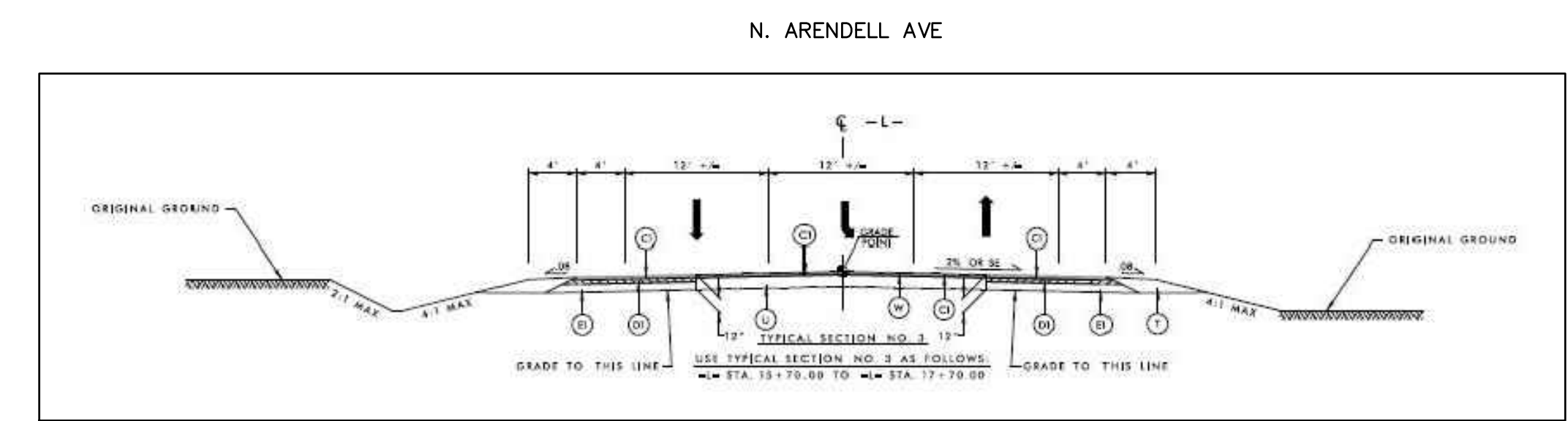
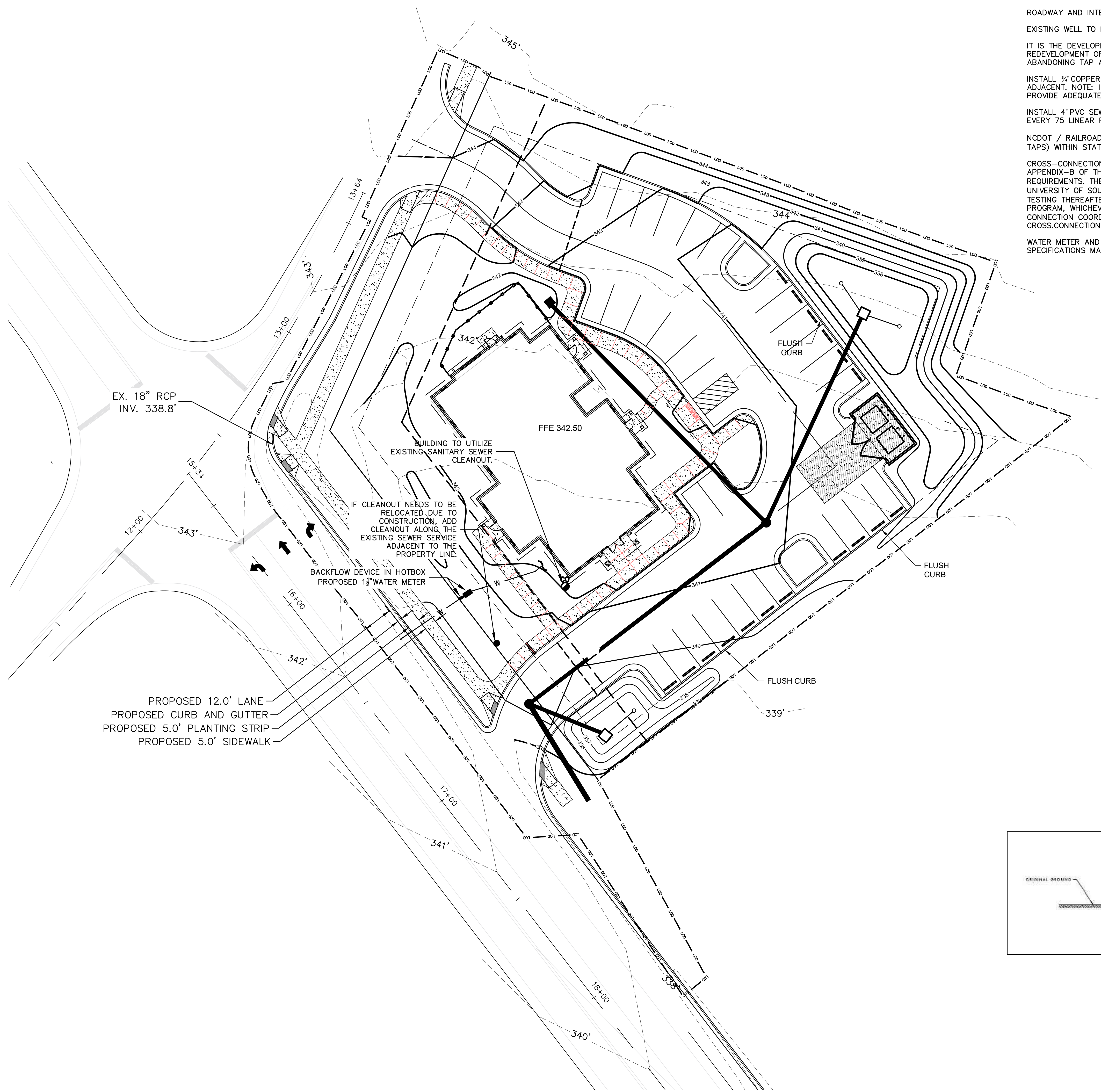
INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.

INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.

NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION

CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

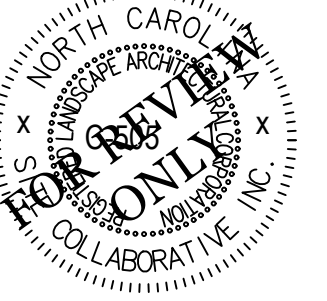
WATER METER AND BACKFLOW PREVENTION DEVICE TO MEET THE STANDARDS SET FORTH IN THE WAKE COUNTY WATER SPECIFICATIONS MANUAL.



**PRELIMINARY PLAN  
 NOT FOR RECORDATION,  
 SALES OR CONVEYANCES**

**ZEBULON ANIMAL HOSPITAL  
 DVM SERVICES REALTY, LLC**

PROJECT NUMBER:	
PROJECT PHASE:	
DATE:	08.01.2023
SHEET TITLE:	UTILITY PLAN
SHEET NUMBER:	UP1



**ZEBULON ANIMAL HOSPITAL**  
 DVM SERVICES REALTY, LLC

PROJECT NUMBER:  
 PROJECT PHASE:  
 DATE: 08.01.2023  
 SHEET TITLE:  
**DRAINAGE AREAS**  
 SHEET NUMBER:  
 DA1



**PRELIMINARY PLAN**  
 NOT FOR RECORDATION,  
 SALES OR CONVEYANCES

**STORM DRAIN SCHEDULE (10-YEAR STORM)**  
 n = 0.013

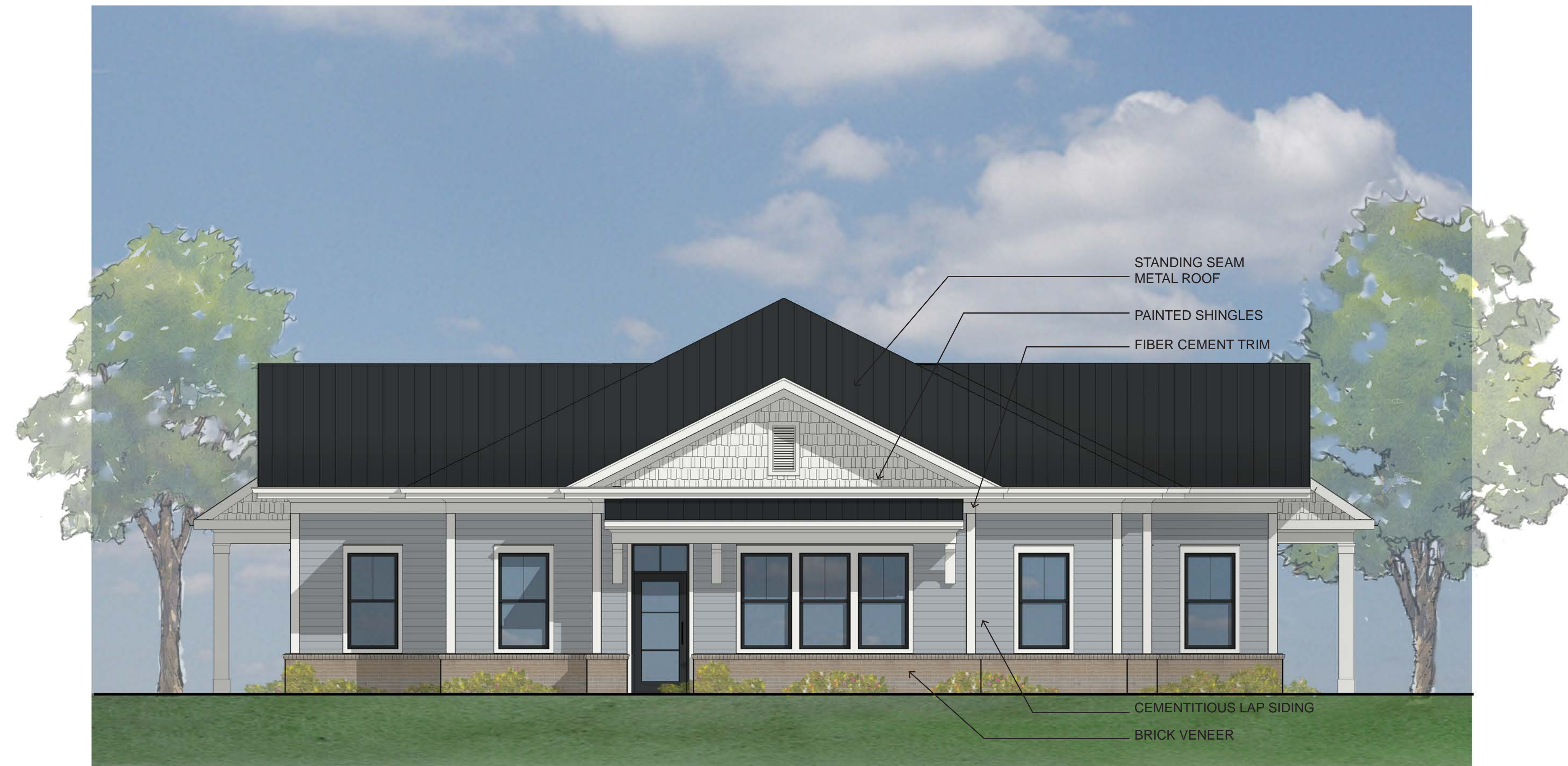
FROM	TO	PIPE RUN	INLET AREA (SF)	INLET AREA (ACRES)	A TOTAL AREA (ACRES)	INLET TIME (MN)	PIPE TIME (MN)	TIME OF CONC (MN)	I INTENSITY (IN/HR)	Cc COEFF	Cc RUNOFF COEFF	Q10 DSCHRG (CFS)	SLOPE (FT/FT)	Dtheo (INCHES)	SIZE (INCHES)	Vuill (FT/SEC)	Qfull (CFS)	LENGTH PIPE (FT)	SEGMENT TIME (MN)	UPPER INVERT	LOWER INVERT
DI-1	MH-1	L-5	12632	0.29	0.29	5.0	0.0	5.0	7.20	0.90	0.90	1.9	0.0025	12.2	18	3.0	5.3	125.0	0.7	338.67	338.36
OS-1	MH-1	L-4	30971	0.71	1.00	5.0	0.0	5.0	7.20	0.90	0.90	6.5	0.0025	19.5	24	3.6	11.3	91.0	0.4	338.59	338.36
MH-1	MH-2	L-3	0	0.00	1.00	5.0	0.0	5.0	7.20	0.90	0.90	6.5	0.0015	21.4	24	2.8	8.8	120.0	0.7	338.36	338.18
OS-2	MH-2	L-2	9714	0.22	1.22	5.0	0.0	5.0	7.49	0.90	0.90	8.3	0.0015	23.4	24	2.8	8.8	31.3	0.2	338.23	338.18
MH-2	FES-1	L-1	0	0.00	1.22	5.0	0.0	5.0	7.49	0.90	0.90	8.3	0.0015	23.4	24	2.8	8.8	121.5	0.7	338.18	338.00







N. ARENDELL AVE ELEVATION



GREEN PACE ROAD ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION